

Harnett County Department of Public Health

Improvement Permit

A building permit cannot be issued with only an Improvement Permit

ISSUED TO: Southern Touch Homes PROPERTY LOCATION: 98 Dry Creek Dr. (SR 1609)
 SUBDIVISION Bagwell Prop. Developemnt LOT # 1
 NEW REPAIR EXPANSION Site Improvements required prior to Construction Authorization Issuance:
 Type of Structure: 51x45 sfd, 3 beds 2 baths
 Proposed Wastewater System Type: At-Grade 25% Reductio
 Projected Daily Flow: 360 GPD
 Number of bedrooms: 3 Number of Occupants: 6 max
 Basement Yes No
 Pump Required: Yes No May be required based on final location and elevations of facilities
 Type of Water Supply: Community Public Well Distance from well NA feet Permit valid for: Five years
 No expiration
 Permit conditions:
At-Grade System - 6in imported soil cover required.

Authorized State Agent: [Signature] Date: 09/01/2020 SEE ATTACHED SITE SKETCH
 The issuance of this permit by the Health Department in no way guarantees the issuance of other permits. The permit holder is responsible for checking with appropriate governing bodies in meeting their requirements. This site is subject to revocation if the site plan, plat, or the intended use changes. The Improvement Permit shall not be affected by a change in ownership of the site. This permit is subject to compliance with the provisions of the Laws and Rules for Sewage Treatment and Disposal and to conditions of this permit.

Construction Authorization

(Required for Building Permit)

The construction and installation requirements of Rules 1950, 1952, 1954, 1955, 1956, 1957, 1958, and 1959 are incorporated by references into this permit and shall be met. Systems shall be installed in accordance with the attached system layout.

ISSUED TO: Southern Touch Homes PROPERTY LOCATION: 98 Dry Creek Dr. (SR 1609)
 SUBDIVISION Bagwell Prop. Developemnt LOT # 1
 Facility Type: 51x45 sfd, 3 beds 2 baths New Expansion Repair
 Basement? Yes No Basement Fixtures? Yes No
 Type of Wastewater System** At-Grade 25% Reduction System (Initial) Wastewater Flow: 360 GPD
 (See note below, if applicable
At-Grade 25% Reduction System (Repair)

Installation Requirements/Conditions	Number of trenches <u>3</u>	
Septic Tank Size <u>1000</u> gallons	Exact length of each trench <u>75</u> feet	Trench Spacing: <u>9</u> Feet on Center
Pump Tank Size _____ gallons	Trenches shall be installed on contour at a	Soil Cover: <u>6 (min)</u> inches
	Maximum Trench Depth of: <u>14-18</u> inches	(Maximum soil cover shall not exceed
	(Trench bottoms shall be level to +/-1/4" in all directions)	36" above the trench bottom)
Pump Requirements: _____ ft. TDH vs. _____ GPM		Aggregate Depth: <u>NA</u> inches below pipe
		<u>NA</u> inches above pipe
Conditions: <u>Gravity to D-Box; 6in imported soil cover required</u>		<u>NA</u> inches total

**WATER LINES (INCLUDING IRRIGATION) MUST BE 10FT. FROM ANY PART OF SEPTIC SYSTEM OR REPAIR AREA.
 NO UTILITIES ALLOWED IN INITIAL OR REPAIR DRAIN FIELD AREA.**

**If applicable: I understand the system type specified is different from the type specified on the application. I accept the specifications of this permit.
 Owner/Legal Representative Signature: _____ Date: _____

This Construction Authorization is subject to revocation if the site plan, plat, or the intended use changes. The Construction Authorization shall not be transferred when there is a change in ownership of the site. This Construction Authorization is subject to compliance with the provisions of the Laws and Rules for Sewage Treatment and Disposal and to the conditions of this permit. SEE ATTACHED SITE SKETCH

Authorized State Agent: [Signature] Date: 09/01/2020
ANDREW CORNU Construction Authorization Expiration Date: 09/01/2025

Harnett County Department of Public Health Site Sketch

Property Location: 98 Dry Creek Dr. (SR 1609)

Issued To: Southern Touch Homes

Subdivision Bagwell Prop. Developemnt

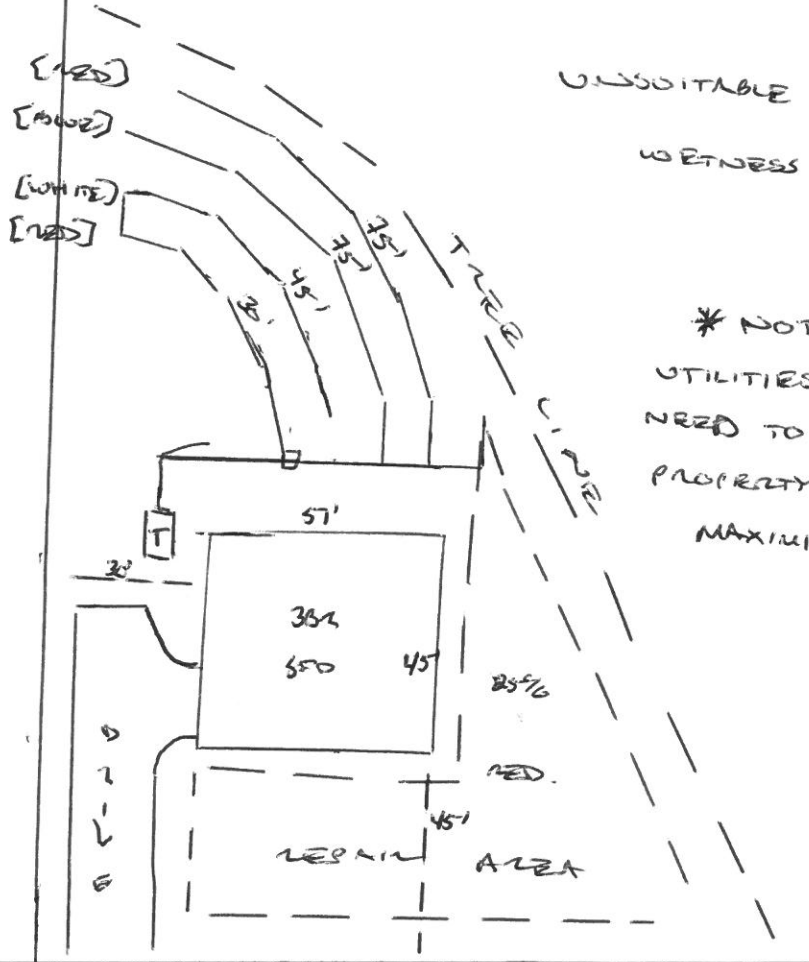
Lot # 1

Authorized State Agent: _____

[Signature]
ANDREW LUMIN

Date: 09/01/2020

- * GRAVITY TO D-BOX EQUAL DISTRIBUTION
- * IMPORT COVER SOIL REQUIRED
 - 6 IN MIN COVER
 - TRENCH # 1 [18 IN MAX]
 - TRENCH # 2 [16 IN MAX]
 - TRENCH # 3 [14 IN MAX]



* NOTE *
UTILITIES [WATER/POWER]
NEED TO BE LOCATED DOWN
PROPERTY LINES TO
MAXIMIZE REPAIR

DRY CREEK RD. (SR 1609)