

Lot 267 FO





PRINCETON FRONT ELEVATION "A" SCALE 1/8" - 1'-0



PRINCETON REAR ELEVATION "A"

General Notes

1.) MAIN FLOOR PLATE HEIGHT TO BE 9:-0* UNLESS NOTED OTHERWISE.

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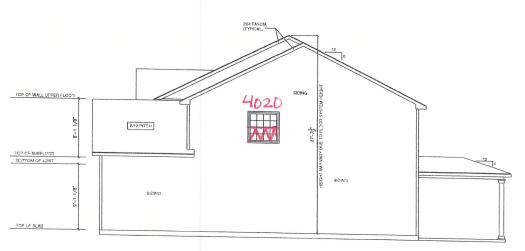
	3331
GARAGE AREA TOTAL UNDER BEAM AREA	414 3591
COVERED FRONT PORCH	32
HEATED & COOLED	3145
SECOND FLOOR TO FRAMING	1628
FIRST FLOOR TO FRAMING	1517

Front & Rear Elevation

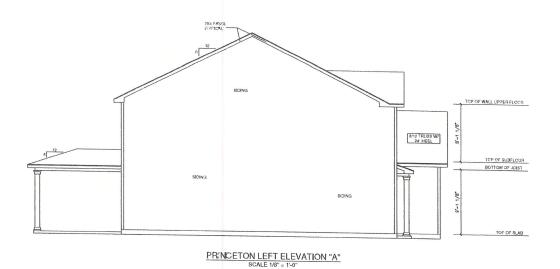


SUBDIVISION NAME: X CITY: PHASE: BLOCK: Х LOT:

> PLAN INDEX CL 3145



PRINCETON RIGHT ELEVATION "A"



General Notes

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SQUARE FOOT KEY

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FIRST FLOOR TO FRAMING	1517
SECOND FLOOR TO FRAMING	1628
HEATED & GOOLED	3145
COVERED FRONT PORCH	32
GARAGE AREA	414
TOTAL UNDER BEAM AREA	3591
	-
OPTIONAL COVERED REAR PATIO	144
	1

Right & Left Elevation



SUBDIVI	SION NAME:
CITY:	X
PHASE:	х
BLOCK:	X
LOT:	х

PLAN INDEX CL 3145

· Plumbing drop General Notes 1.] MAIN FLOOR PLATE HEIGHT TO BE 9-0 UNLESS NOTED OTHERWISE. NOTE: 9'-0" CEILINGS AT FIRST FLOOR ONLY 2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE. 3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERS DAWN (9 3 12" UNLESS NOTES OTHERWISE.

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OR 30" UNLESS NOTES OTHERWISE.

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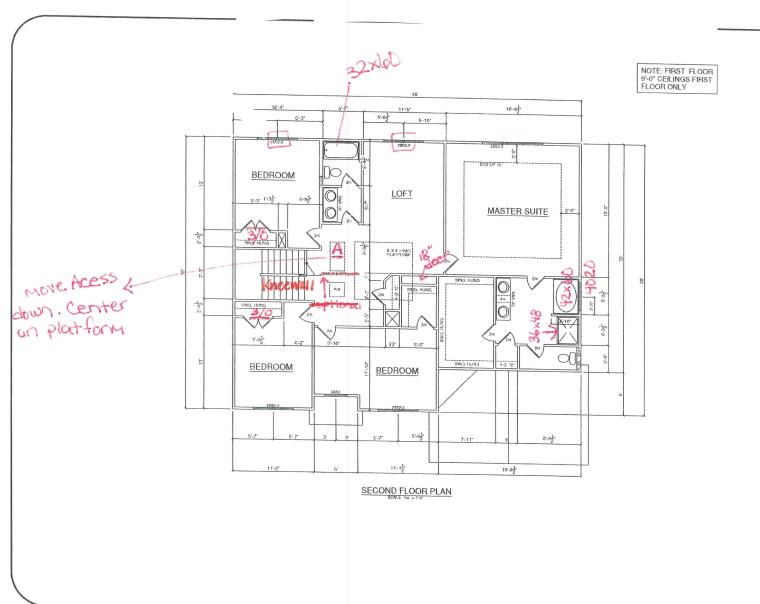
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LOCATIONS AND SIZING TO BE DETERMINED A VERIFIED BY BUILDER, APPROPRIATE TRAIC CONTRACTOR AND OR LICENSED ENGINEER CONTRACTOR AND OR LICENSED ENGINEE
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TAKE PRECIDENCE OVER DRAWINGS.
12.) BUILDER TO VERIFY ALL DIMENSIONS. BRKFST. SING, HUNG FAMILY **GUEST** 3-4-5 10-15 SQUARE FOOT KEY French doors Wholocking hardware + Cal-treads who painted risers FIRST FLOOR TO FRAMING SECOND FLOOR TO FRAMIN 1628 HEATED & COOLED open rail 3145 COVERED FRONT PORCH 32 •• GARAGE AREA 414 TOTAL UNDER BEAM AREA KITCH. 5-17-3501 20-7 OPTIONAL COVERED REAR PATIO First Floor Plan CUBBY Caviness Land CLG. ABOVE Building and Development C CLG. ABOVE OPER DINING STUDY NOTE ADD COFFERED CEILING OPEN GARAGE STUDY STEP SUBDIVISION NAME: X BEAM. CITY - 8" POST D. BEAM 5'-7" 5-31-PHASE: 5'-7" 15 X 7 O.H. GARAGE DOOR BLOCK: 1'-10-1/2" 1'-10-1/2" 10'-10" 20' LOT: FIRST FLOOR PLAN 11'-2" OPTIONAL STUDY DOORS PLAN INDEX CL 3145 36x60 Shower only



General Notes

1.) MAIN FLOOR PLATE HEIGHT TO BE 9'-0" UNLESS NOTED OTHERWISE. 2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0' UNLESS NOTED OTHERWISE. FOR THE SENSITE OTHERWISE.

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SQUARE FOOT KEY

FIRST FLOOR TO FRAMING	1517
SECOND FLOOR TO FRAMING	1628
HEATED & COOLED	3145
COVERED FRONT PORCH	32
GARAGE AREA	414
TOTAL UNDER BEAM AREA	3591
	+-
OPTIONAL COVERED REAR PATIO	144

Second Floor



SUBDIVISION NAME: CITY: PHASE: BLOCK: Х LOT:

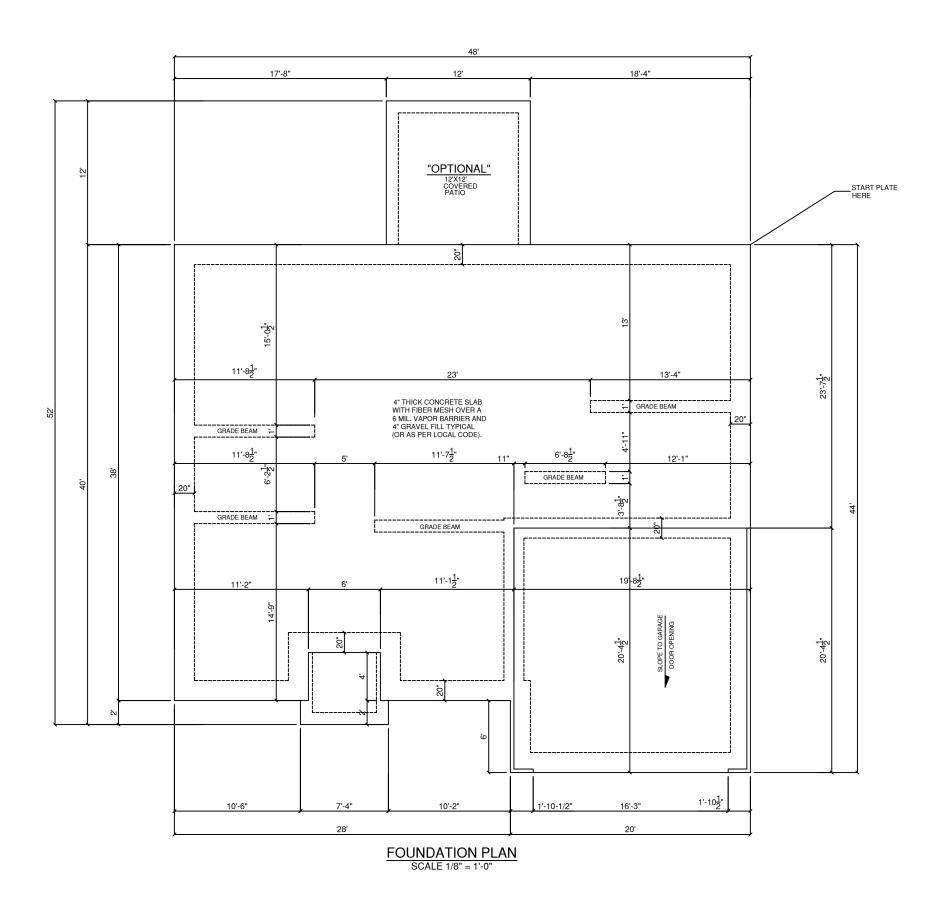
PLAN INDEX

CL 3145

ANCHOR BOLT DETAIL



ANCHOR BOLT LOCATIONS -WITHIN 1'0" OF ALL CORNERS -WITHIN 1'0" OF ALL BOARD ENDS -EVERY 6'0" ON CENTER



General Notes

- 1.) MAIN FLOOR PLATE HEIGHT TO BE 9'-0" UNLESS NOTED OTHERWISE. 2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.
- 3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE
- DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE.

 4.) ALL ANGLES TO BE DRAWN AT 45°
 OR 90" UNLESS NOTED OTHERWISE.

 5.) WINDOW HEADER HEIGHT TO BE SET @
 6"-11" UNLESS NOTED OTHERWISE. HEADER
 SIZE AND MATERIAL TO BE DETERMINED &
 VERIFIED BY FRAMER, BUILDER, TRUSS SHOF
 OR BY A LICENSED ENGINEER.
- 6.) SIZE, LOCATION AND MATERIALS OF BEAMS TRUSSES, GIRDERS AND HEADERS TO BE DETERMINED & VERIFIED BY BUILDER, FRAMEF TRUSS SHOP OR LICENSED ENGINEER.
- 7.) FOOTER SIZE, MATERIAL & LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR OR LICENSED FNGINFFR.
- ENGINEER.

 8), ROOF VENTELLATION TO BE DETERMINED & VERIFIED BUILDER, ROOFING COTRACTOR OR LICENSED ENGINEER.

 9), ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED & VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR AND OR LICENSED ENGINEER. CONTRACTOR AND OR LICENSED ENGINEER.
 10., BUILDER RESPONSIBLE FOR VERIFYING
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Foundation Plan



	SUBDIVIS	SION NAME: X
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		X
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PLAN INDEX

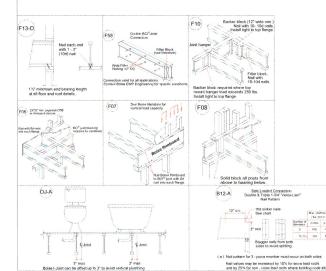
CL 3145

General Notes:

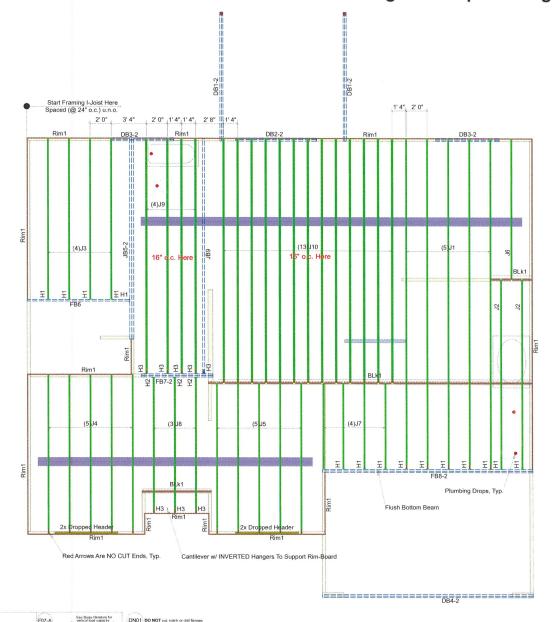
- 1.) "READ" Boise Installation Guide before installation of products.
- 2.) All, I-Joist, LVL beams, and Rim Board must be field cut to length
- 3.) Contractor must verify and approve the material list.4.) I-Joist may be moved 3" out of its own o.c. spacing, up to 19.2" o.c., to allow for plumbing drops.
- This layout, is a placement plan and, was designed in accordance with the original design of the structure (unless otherwise noted). See original plans for additional structural notes.
- 6.) Ceramic tile floors should be supported per APA standards. Additional joists may be required.
- 7.) HVAC & PLUMBER, "Review" Boise Installation Guide (Joist Hole Location & Sizing) Chart "BEFORE" cutting the I-joist product.
- 8.) "Blocking", are Random Length I-joist, Labeled as such.

	Products			
PlotID	Length	Product	Plies	Net Qty
J1	32' 0"	16" BCI® 4500s-1.8	1	5
J2	18' 8"	16" BCI® 4500s-1.8	1	2
J3	15' 8"	16" BCI® 4500s-1.8	1	4
J4	15' 8"	16" BCI® 4500s-1.8	1	5
J5	14' 8"	16" BCI® 4500s-1.8	1	5
J6	13' 8"	16" BCI® 4500s-1.8	1	1
J7	8' 8"	16" BCI® 4500s-1.8	1	4
J8	13' 4"	16" BCI® 5000s-1.8	1	3
J10	24' 0"	16" BCI® 60s-2.0	1	13
J9	24' 0"	16" BCI® 60s-2.0	1	4
DB1-2	14' 0"	1-3/4" x 9-1/4" VERSA-LAM® 2.0 3100 SP	2	4
DB2-2	8' 0"	1-3/4" x 9-1/4" VERSA-LAM® 2.0 3100 SP	2	2
DB3-2	6' 0"	1-3/4" x 9-1/4" VERSA-LAM® 2.0 3100 SP	2	4
DB4-2	20' 0"	1-3/4" x 11-7/8" VERSA-LAM® 2.0 3100 SP	2	2
FB6	10' 0"	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	1	1
FB7-2	8' 0"	1-3/4" x 16" VERSA-LAM® 2.0 3100 SP	2	2
FB8-2	22' 0"	1-3/4" x 24" VERSA-LAM® 2.0 3100 SP	2	2
JB9	24' 0"	16" BCI® 60s-2.0	1	1
JB5-2	19' 4"	16" BCI® 60s-2.0	2	2
Rim1	12' 0"	1" x 16" BC RIM BOARD OSB	1	14
BLk1	36' 0"	16" BCI® 4500s-1.8	1	1

Note: Refer to current Boise Cascade Installation Guide for details not shown.



I-Joist Plot ID # & Length on Top of Flange



2ND FLOOR LAYOUT

PlotID	Qty	Manuf	Product	Flange
H1	15	Simpson	IUS 1.81/16	None
H2	6	Simpson	IUS 2.06/16	None
НЗ	5	Simpson	IUS 2.37/16	None

Boise Cascade





Caviness Land Development - 3145 GOR-CP C

Scale: NTS

Date: NTS

By: J. Baker

DWG: 12116

Sheet: 1 of 1

GENERAL NOTES:

DO NOT CUT OR MODIFY TRUSSES.

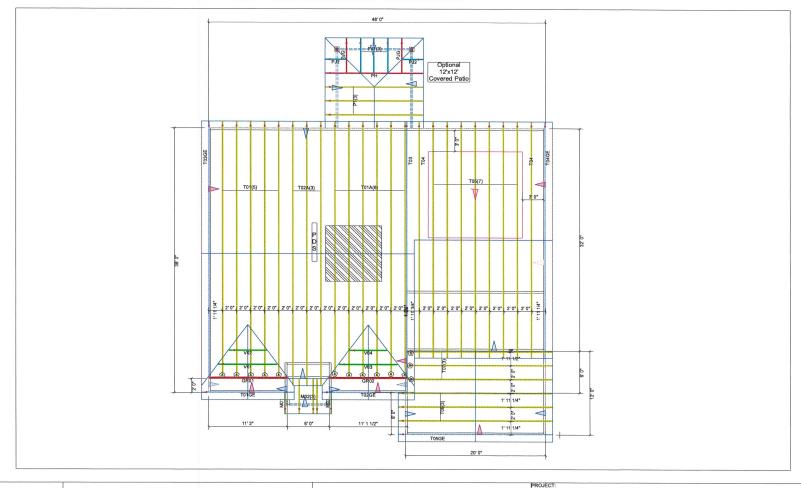
TRUSSES ARE SPACED 24" ON CENTER UNLESS NOTED OTHERWISE.

REFER TO THE INDIVIDUAL TRUSS DESIGN DRAWINGS FOR THE LOCATION OF LATERAL BRACING AND MULTI-PLY CONNECTION REQUIREMENTS.

CONNECTION REQUIREMENTS.
PER ANSI TH J-2002 THE TRUSS
ENGINEER IS RESPONSIBLE FOR
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THIS TRUSS PLACEMENT PLAN
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CONNECTIONS WHICH SHALL BE
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DESIONER. IT IS THE RESPONSIBILITY
OF THE BUILDING DESIGNER TO
RESOLVE ALL ROOF FORCES
ADEQUATELY TO THE FOUNDATION.

THIS LAYOUT IS INTENDED FOR THE PURPOSE OF TRUSS LOCATION AND PLACEMENT ONLY. REFER TO THE BUILDING PLANS FOR ACTUAL BUILDING CONSTRUCTION.

Order#



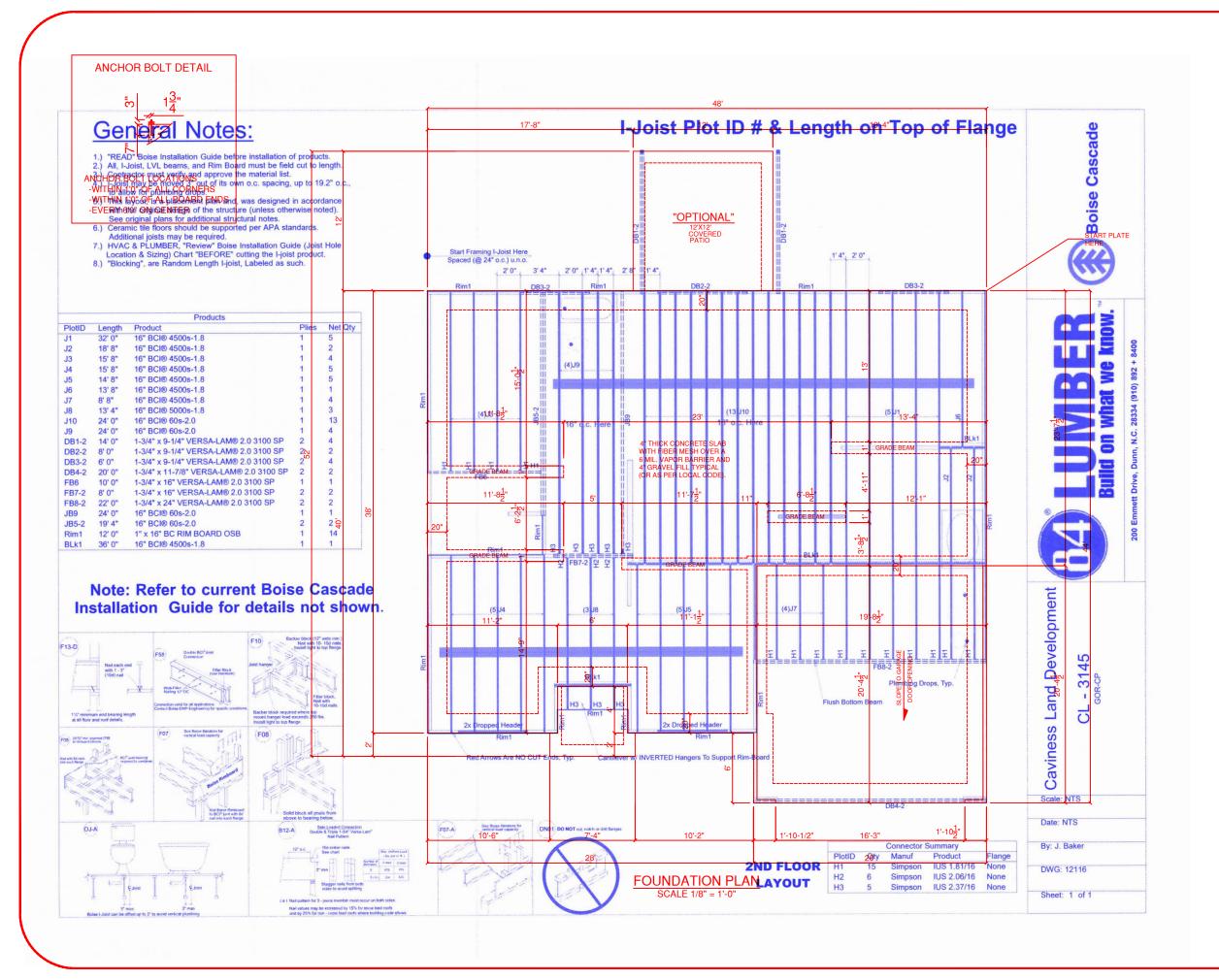
Hardware List:			ROOF LOADING:	
Α	11	HUS26	TOP LIVE: 20 PSF	
В	3	LUS26	TOP LIVE. 20 PSF	
С	-	-	TOP DEAD: 10 PSF	
D	-	-		
			BOTTOM DEAD: 10 PSF	
	-	-	BOTTOM BEAD. TOTO	
	-	-	WIND SPEED: 115 MPH	
	-	-	TTITE OF EED. TIS WITT	



DEDICATED TO QUALITY AND EXCELLENC 200 EMMETT ROAD DUNN, NORTH CAROLINA 28334 PHONE: 910-892-8400

PROJECT:	CL-3145 CP				
CUSTOMER:	Cavines	ss Land	l		
MODEL:	CL 3145	CP GOR			
CE SCALE:	NOT TO SCALE	P.O. NUMBER: PO#	Order #		

NOT TO SCALE		P.O. NUMBER: PO #	Order #	
DRAWN BY:	RE	Approved	REV:	SHIP DAT



General Notes

- 1.) MAIN FLOOR PLATE HEIGHT TO BE 9'-0"
- 2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.
- 3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE
- 4.) ALL ANGLES TO BE DRAWN AT 45° OR 90° UNLESS NOTED OTHERWISE.
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SQUARE FOOT KEY

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Foundation Plan



SUBDIVISION NAME:	
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