

NOTICE TO CONTRACTOR
All construction must comply with current NC Building Codes
and is subject to field inspection and verification.

APPROVED
Limited building only review
Parent holder responsible for
full compliance with the code

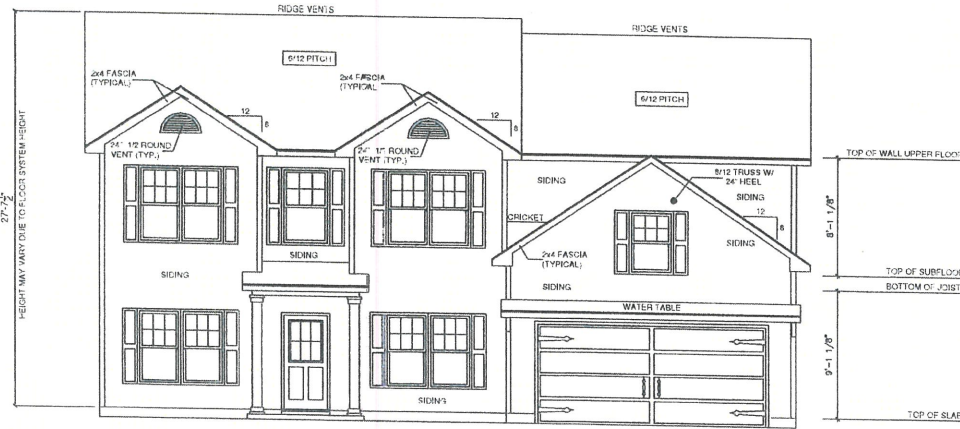
08/11/2020

B. B. B.

**Harnett
COUNTY**
NORTH CAROLINA

Lot 267 FO

NOTE: FIRST FLOOR
9'-0" CEILINGS FIRST
FLOOR ONLY



PRINCETON FRONT ELEVATION "A"
SCALE 1/8" = 1'-0"



PRINCETON REAR ELEVATION "A"
SCALE 1/8" = 1'-0"

General Notes

- 1.) MAIN FLOOR PLATE HEIGHT TO BE 6'-0" UNLESS NOTED OTHERWISE.
- 2.) OPTIONAL FINISH PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.
- 3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3/16" UNLESS NOTED OTHERWISE.
- 4.) ALL ANGLES TO BE DRAWN AT 45 OR 90° UNLESS NOTED OTHERWISE.
- 5.) WINDOW HEADER HEIGHT TO BE SET @ 6'-11" UNLESS NOTED OTHERWISE. HEADER SIZE AND MATERIAL TO BE DETERMINED & VERIFIED BY FRAMER, BUILDER, TRUSS SHOP OR BY A LICENSED ENGINEER.
- 6.) SIZE, LOCATION AND MATERIALS OF BEAMS DETERMINED & VERIFIED BY BUILDER, FRAMER, TRUSS SHOP OR LICENSED ENGINEER.
- 7.) FOOTER SIZE, MATERIAL & LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR OR LICENSED ENGINEER.
- 8.) ROOF VENTILATION TO BE DETERMINED & VERIFIED BUILDER, ROOFING CONTRACTOR OR LICENSED ENGINEER.
- 9.) ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED & VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR AND OR LICENSED ENGINEER.
- 10.) BUILDER RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE & NATIONAL CODES.
- 11.) LOCAL, STATE AND NATIONAL CODES TAKE PRECEDENCE OVER DRAWINGS.
- 12.) BUILDER TO VERIFY ALL DIMENSIONS.

SQUARE FOOT KEY

FIRST FLOOR TO FRAMING	1517
SECOND FLOOR TO FRAMING	1628
HEATED & COOLED	3145
COVERED FRONT PORCH	32
GARAGE AREA	414
TOTAL UNDER BEAM AREA	3501
OPTIONAL COVERED REAR PATIO	144

Front & Rear Elevation



X

SUBDIVISION NAME:

X

CITY:

X

PHASE:

X

BLOCK:

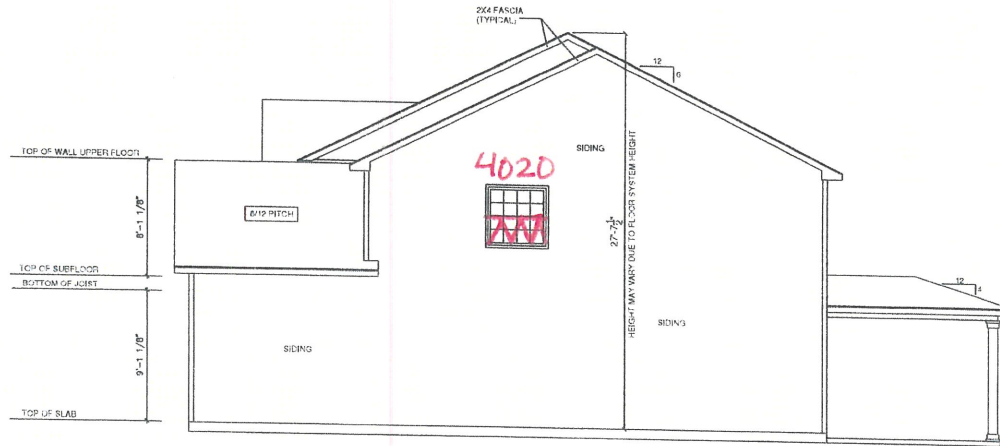
X

LOT:

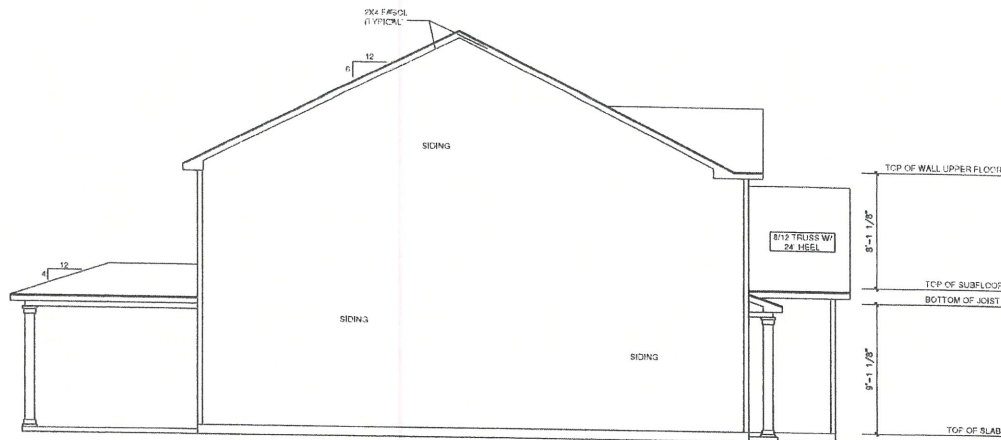
X

PLAN INDEX

CL 3145



PRINCETON RIGHT ELEVATION "A"
SCALE 1/8" = 1'-0"



PRINCETON LEFT ELEVATION "A"
SCALE 1/8" = 1'-0"

General Notes

- 1.) MAIN FLOOR PLATE HEIGHT TO BE 9'-0" UNLESS NOTED OTHERWISE.
- 2.) OPTIONAL BONUS PLATE HEIGHT TO BE 6'-0" UNLESS NOTED OTHERWISE.
- 3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3/4" UNLESS NOTED OTHERWISE.
- 4.) ALL ANGLES TO BE DRAWN AT 45° OR 90° UNLESS NOTED OTHERWISE.
- 5.) WINDOW HEADER HEIGHT TO BE SET @ 6'-11" UNLESS NOTED OTHERWISE. HEADER SIZE AND MATERIAL TO BE DETERMINED & VERIFIED BY FRAMER, BUILDER, TRUSS SHOP OR BY A LICENSED ENGINEER.
- 6.) SIZE, LOCATION AND MATERIALS OF BEAMS, TRUSSES, GIRDERS AND HEADERS TO BE DETERMINED & VERIFIED BY BUILDER, FRAMER, TRUSS SHOP OR LICENSED ENGINEER.
- 7.) FOOTER SIZE, MATERIAL & LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR OR LICENSED ENGINEER.
- 8.) ROOF VENTILLATION TO BE DETERMINED & VERIFIED BUILDER, ROOFING CONTRACTOR OR LICENSED ENGINEER.
- 9.) ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED & VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR AND OR LICENSED ENGINEER.
- 10.) BUILDER RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE & NATIONAL CODES.
- 11.) LOCAL, STATE AND NATIONAL CODES TAKE PRECEDENCE OVER DRAWINGS.
- 12.) BUILDER TO VERIFY ALL DIMENSIONS.

SQUARE FOOT KEY

FIRST FLOOR TO FRAMING	1517
SECOND FLOOR TO FRAMING	1628
HEATED & COOLED	3145
COVERED FRONT PORCH	32
GARAGE AREA	414
TOTAL UNDER RFAM AREA	3501
OPTIONAL COVERED REAR PATIO	144

Right & Left Elevation



X

SUBDIVISION NAME:

X

CITY:

X

PHASE:

X

BLOCK:

X

LOT:

X

PLAN INDEX

CL 3145

• Plumbing drop

NOTE: 9'-0" CEILINGS AT FIRST FLOOR ONLY

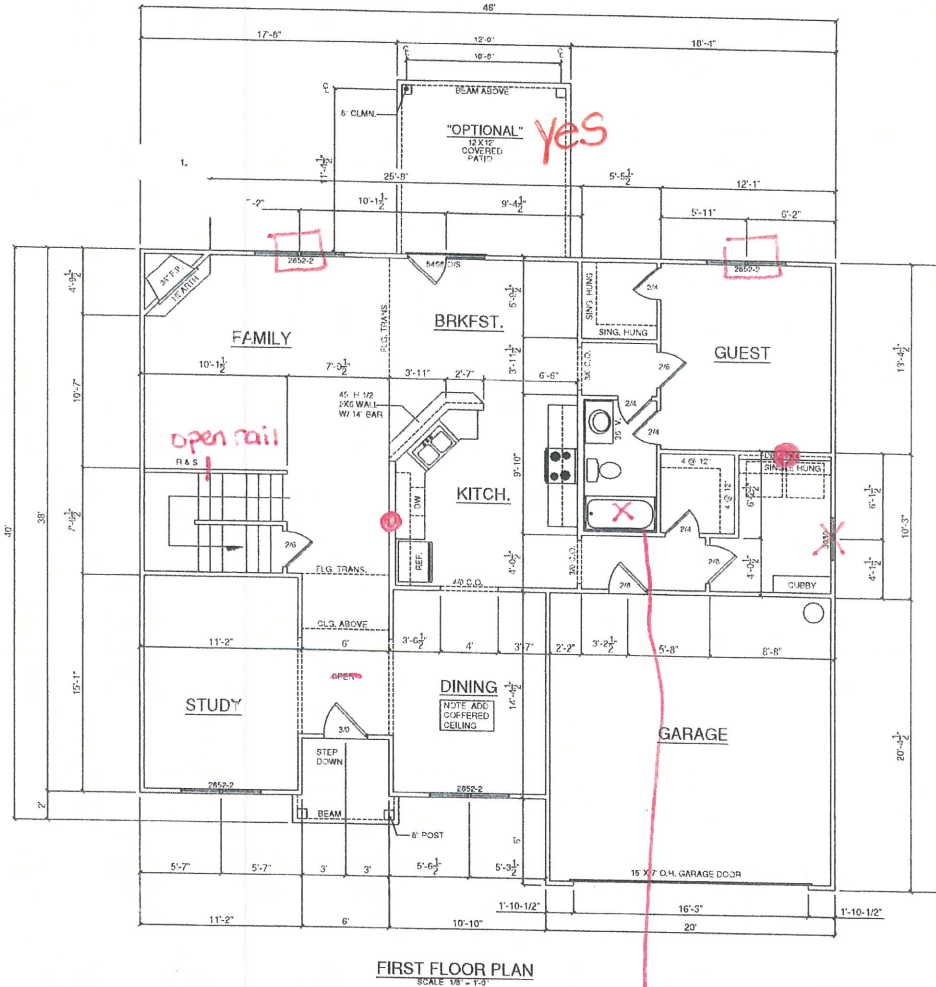
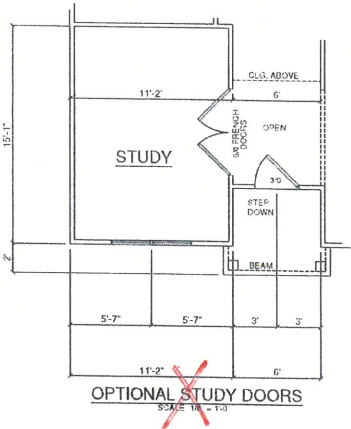
Buyer requested:

* Screen porch price

* drive pad

* French doors w/ no locking hardware

* oak treads w/ painted risers



General Notes

- 1.) MAIN FLOOR PLATE HEIGHT TO BE 9'-0" UNLESS NOTED OTHERWISE.
- 2.) OPTIONAL BONUS FT. ATT. HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.
- 3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3/16" UNLESS NOTED OTHERWISE.
- 4.) ALL ANGLES TO BE DRAWN AT 45 OR 90 UNLESS NOTED OTHERWISE.
- 5.) WINDOW HEADER HEIGHT TO BE SET @ 6'-11" UNLESS NOTED OTHERWISE. HEADER SIZE AND MATERIAL TO BE DETERMINED & VERIFIED BY FRAMER, BUILDER, TRUSS SHOP OR BY A LICENSED ENGINEER.
- 6.) SIZE, LOCATION AND MATERIALS OF BEAMS, TRUSSES, GIRDERS AND HEADERS TO BE DETERMINED & VERIFIED BY BUILDER, FRAMER, TRUSS SHOP OR LICENSED ENGINEER.
- 7.) F. FOOTER SIZE, MATERIAL & LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR OR LICENSED ENGINEER.
- 8.) ROOF VENTILLATION TO BE DETERMINED & VERIFIED BUILDER/ROOFING CONTRACTOR OR LICENSED ENGINEER.
- 9.) ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED & VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR AND OR LICENSED ENGINEER.
- 10.) BUILDER RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE & NATIONAL CODES.
- 11.) LOCAL, STATE AND NATIONAL CODES TAKE PRECEDENCE OVER DRAWINGS.
- 12.) BUILDER TO VERIFY ALL DIMENSIONS.

SQUARE FOOT KEY

FIRST FLOOR TO FRAMING	1517
SECOND FLOOR TO FRAMING	1628
HEATED & COOLED	3145
COVERED FRONT PORCH	32
GARAGE AREA	414
TOTAL UNDER BEAM AREA	3591
OPTIONAL COVERED REAR PATIO	144

First Floor Plan



X

SUBDIVISION NAME:

X

CITY:

X

PHASE:

X

BLOCK:

X

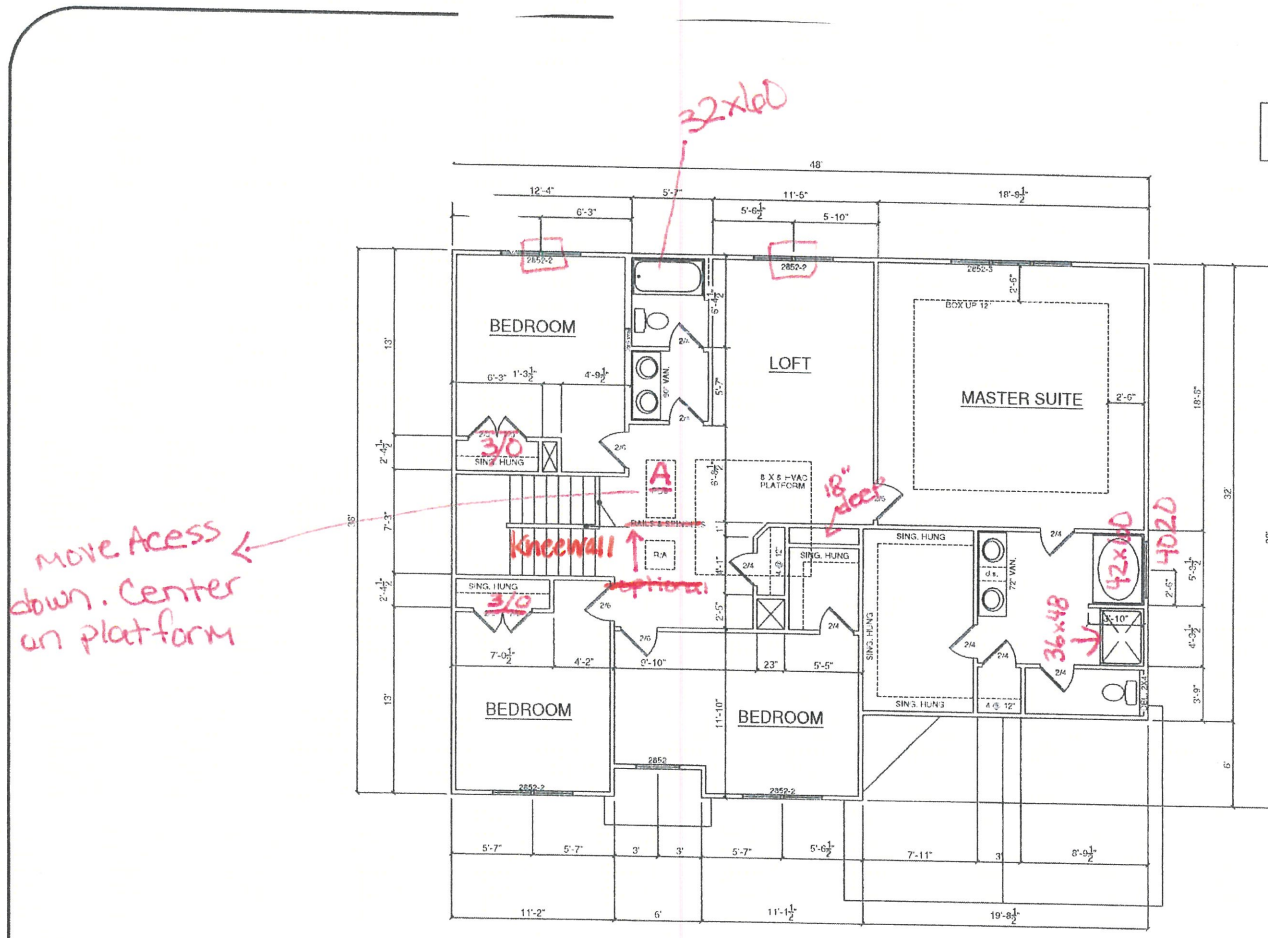
LOT:

X

PLAN INDEX

CL 3145

36x60 shower only



move Access
down. Center
an platform

32x160

18" Access

36x48

42x40

40x20

NOTE: FIRST FLOOR
9'-0" CEILINGS FIRST
FLOOR ONLY

SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

General Notes

- 1.) MAIN FLOOR PLATE HEIGHT TO BE 0'-0" UNLESS NOTED OTHERWISE.
- 2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.
- 3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3/16" UNLESS NOTED OTHERWISE.
- 4.) ALL ANGLES TO BE DRAWN AT 45 OR 90° UNLESS NOTED OTHERWISE.
- 5.) WINDOW HEADER HEIGHT TO BE SET @ SIZE AND MATERIAL TO BE DETERMINED & VERIFIED BY FRAMER, BUILDER, TRUSS SHOP OR BY A LICENSED ENGINEER.
- 6.) SIZE, LOCATION AND MATERIALS OF BEAMS, TRUSSES, GIRDERS AND HEADERS TO BE DETERMINED & VERIFIED BY BUILDER, FRAMER, TRUSS SHOP OR LICENSED ENGINEER.
- 7.) FOOTER SIZE, MATERIAL & LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR OR LICENSED ENGINEER.
- 8.) ROOF VENTILATION TO BE DETERMINED & VERIFIED BY BUILDER, ROOFING CONTRACTOR OR LICENSED ENGINEER.
- 9.) ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED & VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR AND OR LICENSED ENGINEER.
- 10.) BUILDER RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE & NATIONAL CODES.
- 11.) LOCAL, STATE AND NATIONAL CODES TAKE PRECEDENCE OVER DRAWINGS.
- 12.) BUILDER TO VERIFY ALL DIMENSIONS.

SQUARE FOOT KEY

FIRST FLOOR TO FRAMING	1517
SECOND FLOOR TO FRAMING	1678
HEATED & COOLED	3145
COVERED FRONT PORCH	32
GARAGE AREA	414
TOTAL UNDER BEAM AREA	3591
OPTIONAL COVERED REAR PATIO	144

Second Floor



X

SUBDIVISION NAME:
X

CITY:
X

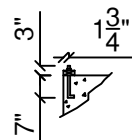
PHASE:
X

BLOCK:
X

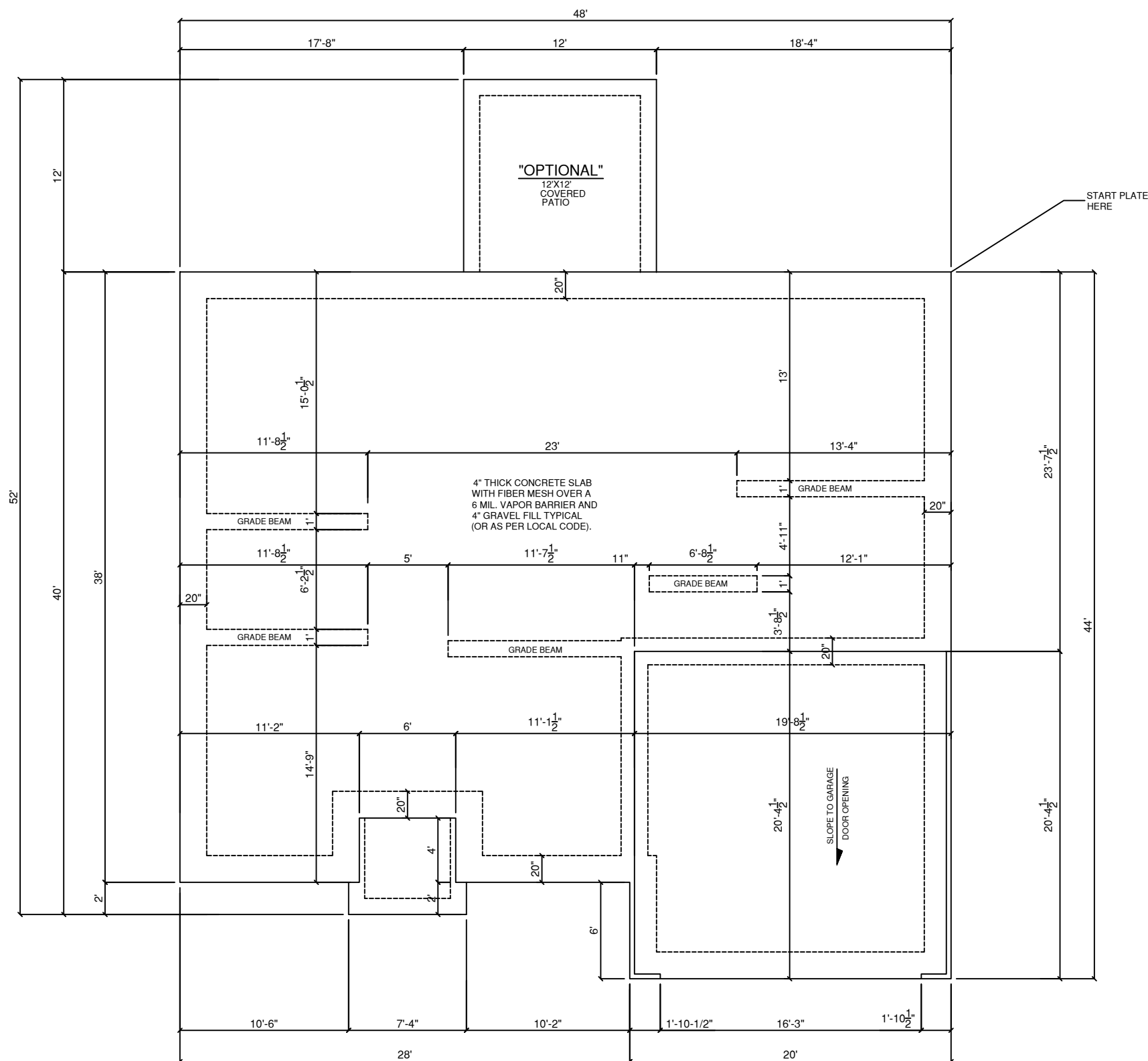
LOT:
X

PLAN INDEX
CL 3145

ANCHOR BOLT DETAIL



ANCHOR BOLT LOCATIONS
 -WITHIN 1'0" OF ALL CORNERS
 -WITHIN 1'0" OF ALL BOARD ENDS
 -EVERY 6'0" ON CENTER



General Notes

- 1.) MAIN FLOOR PLATE HEIGHT TO BE 9'-0" UNLESS NOTED OTHERWISE.
- 2.) OPTIONAL BONUS PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE.
- 3.) INTERIOR & EXTERIOR WALLS TO BE DRAWN @ 3 1/2" UNLESS NOTED OTHERWISE.
- 4.) ALL ANGLES TO BE DRAWN AT 45° OR 90° UNLESS NOTED OTHERWISE.
- 5.) WINDOW HEADER HEIGHT TO BE SET @ 6'-11" UNLESS NOTED OTHERWISE. HEADER SIZE AND MATERIAL TO BE DETERMINED & VERIFIED BY FRAMER, BUILDER, TRUSS SHOP OR BY A LICENSED ENGINEER.
- 6.) SIZE, LOCATION AND MATERIALS OF BEAMS TRUSSES, GIRDERS AND HEADERS TO BE DETERMINED & VERIFIED BY BUILDER, FRAMER TRUSS SHOP OR LICENSED ENGINEER.
- 7.) FOOTER SIZE, MATERIAL & LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR OR LICENSED ENGINEER.
- 8.) ROOF VENTELLATION TO BE DETERMINED & VERIFIED BUILDER, ROOFING CONTRACTOR OR LICENSED ENGINEER.
- 9.) ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED & VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR AND OR LICENSED ENGINEER.
- 10.) BUILDER RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE & NATIONAL CODES.
- 11.) LOCAL, STATE AND NATIONAL CODES TAKE PRECEDENCE OVER DRAWINGS.
- 12.) BUILDER TO VERIFY ALL DIMENSIONS.

SQUARE FOOT KEY

FIRST FLOOR TO FRAMING	1517
SECOND FLOOR TO FRAMING	1628
HEATED & COOLED	3145
COVERED FRONT PORCH	32
GARAGE AREA	414
TOTAL UNDER BEAM AREA	3591
OPTIONAL COVERED REAR PATIO	144

Foundation Plan



X

SUBDIVISION NAME:

X

CITY:

X

PHASE:

X

BLOCK:

X

LOT:

X

PLAN INDEX

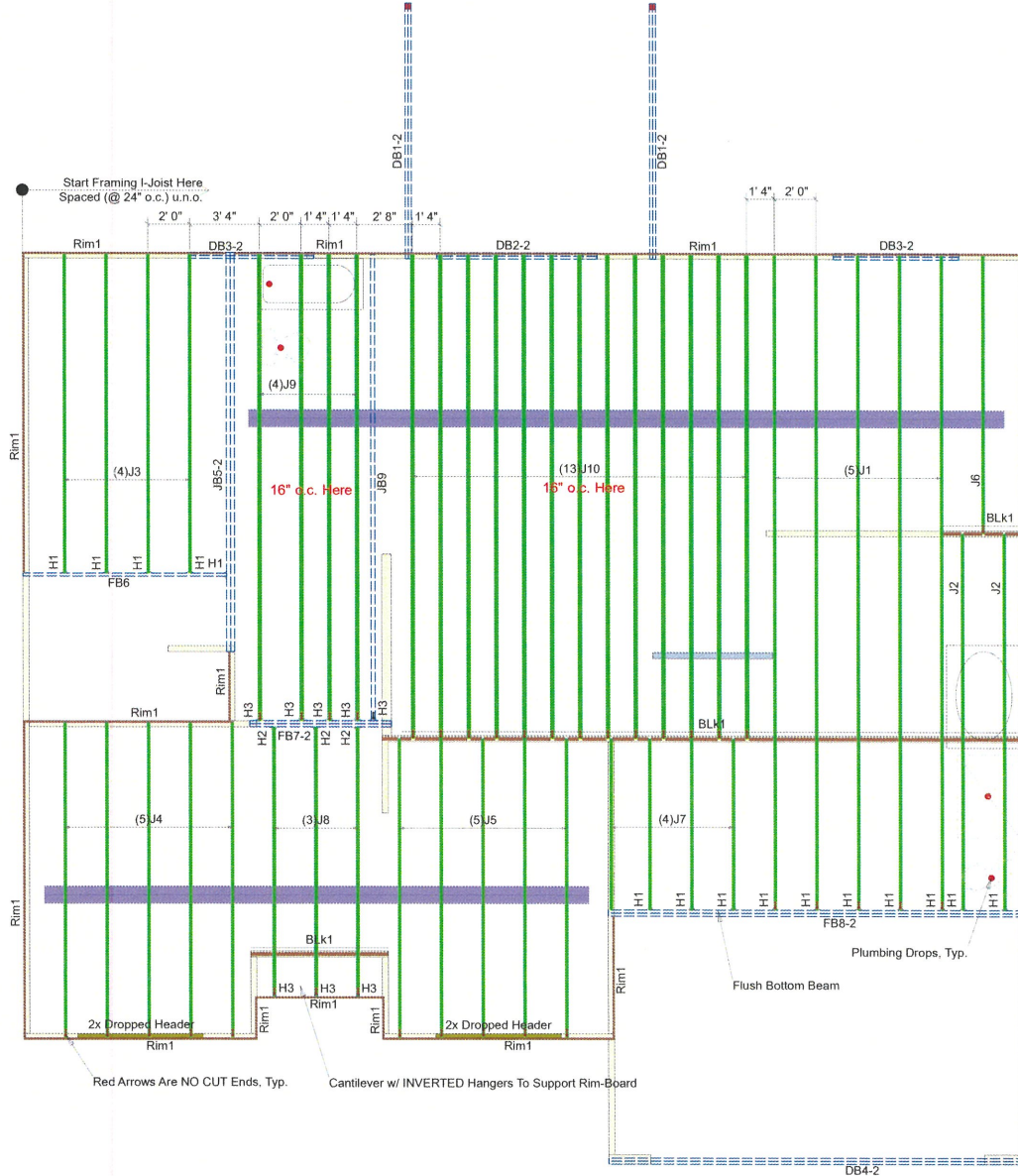
CL 3145

General Notes:

- 1.) "READ" Boise Installation Guide before installation of products.
- 2.) All I-Joist, LVL beams, and Rim Board must be field cut to length.
- 3.) Contractor must verify and approve the material list.
- 4.) I-Joist may be moved 3" out of its own o.c. spacing, up to 19.2" o.c., to allow for plumbing drops.
- 5.) This layout, is a placement plan and, was designed in accordance with the original design of the structure (unless otherwise noted). See original plans for additional structural notes.
- 6.) Ceramic tile floors should be supported per APA standards. Additional joists may be required.
- 7.) HVAC & PLUMBER, "Review" Boise Installation Guide (Joist Hole Location & Sizing) Chart "BEFORE" cutting the I-joist product.
- 8.) "Blocking", are Random Length I-joist, Labeled as such.

I-Joist Plot ID # & Length on Top of Flange

Products				
PlotID	Length	Product	Piles	Net Qty
J1	32' 0"	16" BCI@ 4500s-1.8	1	5
J2	18' 8"	16" BCI@ 4500s-1.8	1	2
J3	15' 8"	16" BCI@ 4500s-1.8	1	4
J4	15' 8"	16" BCI@ 4500s-1.8	1	5
J5	14' 8"	16" BCI@ 4500s-1.8	1	5
J6	13' 8"	16" BCI@ 4500s-1.8	1	1
J7	8' 8"	16" BCI@ 4500s-1.8	1	4
J8	13' 4"	16" BCI@ 5000s-1.8	1	3
J10	24' 0"	16" BCI@ 60s-2.0	1	13
J9	24' 0"	16" BCI@ 60s-2.0	1	4
DB1-2	14' 0"	1-3/4" x 9-1/4" VERSA-LAM@ 2.0 3100 SP	2	4
DB2-2	8' 0"	1-3/4" x 9-1/4" VERSA-LAM@ 2.0 3100 SP	2	2
DB3-2	6' 0"	1-3/4" x 9-1/4" VERSA-LAM@ 2.0 3100 SP	2	4
DB4-2	20' 0"	1-3/4" x 11-7/8" VERSA-LAM@ 2.0 3100 SP	2	2
FB6	10' 0"	1-3/4" x 16" VERSA-LAM@ 2.0 3100 SP	1	1
FB7-2	8' 0"	1-3/4" x 16" VERSA-LAM@ 2.0 3100 SP	2	2
FB8-2	22' 0"	1-3/4" x 24" VERSA-LAM@ 2.0 3100 SP	2	2
JB9	24' 0"	16" BCI@ 60s-2.0	1	1
JB5-2	19' 4"	16" BCI@ 60s-2.0	2	2
Rim1	12' 0"	1" x 16" BC RIM BOARD OSB	1	14
BLK1	36' 0"	16" BCI@ 4500s-1.8	1	1



Note: Refer to current Boise Cascade Installation Guide for details not shown.

2ND FLOOR LAYOUT

Connector Summary				
PlotID	Qty	Manuf	Product	Flange
H1	15	Simpson	IUS 1.81/16	None
H2	6	Simpson	IUS 2.06/16	None
H3	5	Simpson	IUS 2.37/16	None

Caviness Land Development
CL - 3145
GOR-CP

Scale: NTS
Date: NTS
By: J. Baker
DWG: 12116
Sheet: 1 of 1

200 Emmett Drive, Dunn, N.C. 28334 (910) 892 + 8400

GENERAL NOTES:

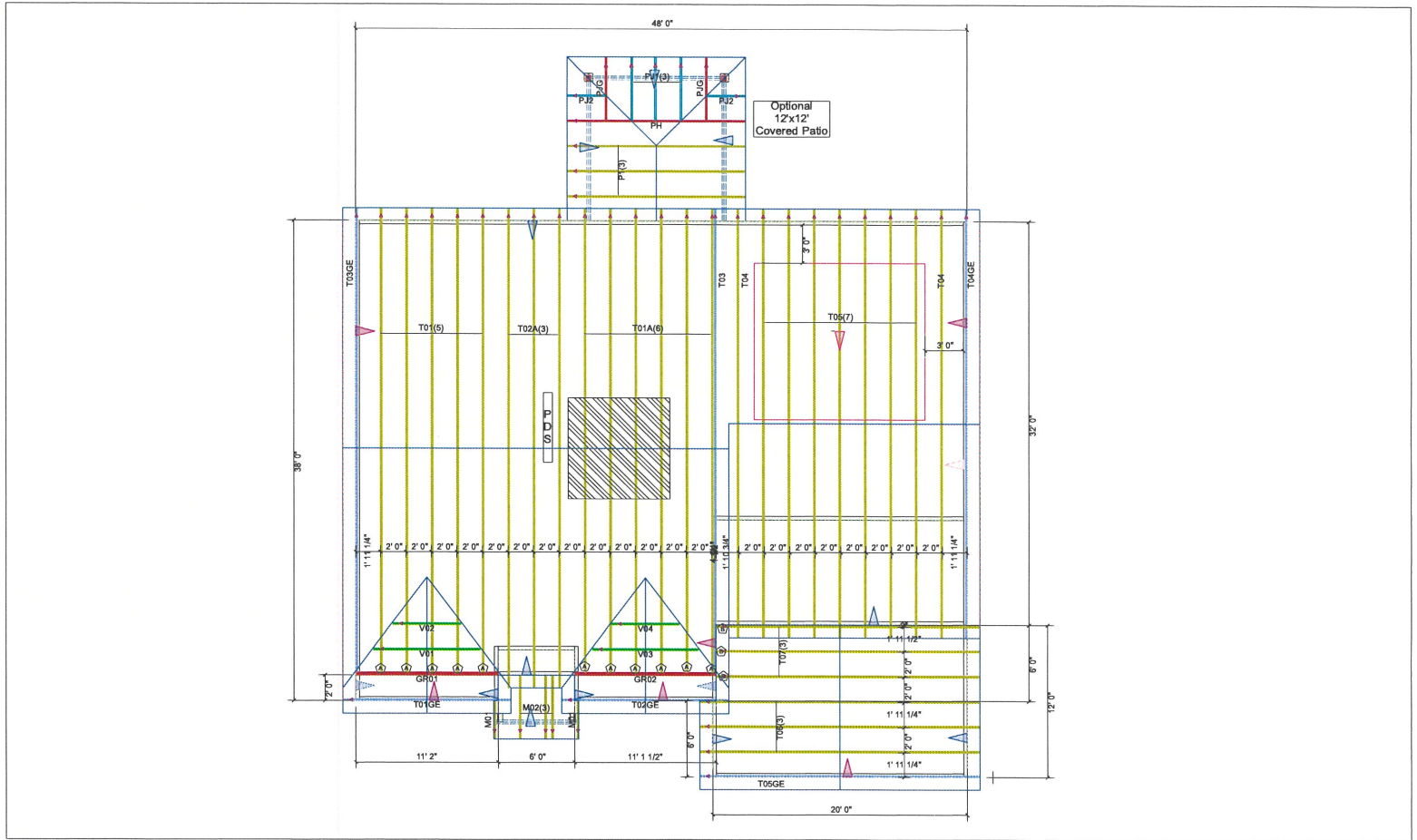
DO NOT CUT OR MODIFY TRUSSES.
TRUSSES ARE SPACED 24" ON CENTER UNLESS NOTED OTHERWISE.

REFER TO THE INDIVIDUAL TRUSS DESIGN DRAWINGS FOR THE LOCATION OF LATERAL BRACING AND MULTI-PLY CONNECTION REQUIREMENTS.

PER ANSI TPI 1-2002 THE TRUSS ENGINEER IS RESPONSIBLE FOR TRUSS TO TRUSS CONNECTIONS AND TRUSS PLY TO PLY CONNECTIONS. THIS TRUSS PLACEMENT PLAN RECOMMENDS TRUSSES TO BEARING CONNECTIONS AND TRUSS TO BEAM CONNECTIONS WHICH SHALL BE REVIEWED BY THE BUILDING DESIGNER. IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER TO RESOLVE ALL ROOF FORCES ADEQUATELY TO THE FOUNDATION.

THIS LAYOUT IS INTENDED FOR THE PURPOSE OF TRUSS LOCATION AND PLACEMENT ONLY. REFER TO THE BUILDING PLANS FOR ACTUAL BUILDING CONSTRUCTION.

ORDER: **Order #**



Hardware List:		
A	11	HUS26
B	3	LUS26
C	-	-
D	-	-
-	-	-
-	-	-
-	-	-

ROOF LOADING:
TOP LIVE: 20 PSF
TOP DEAD: 10 PSF
BOTTOM DEAD: 10 PSF
WIND SPEED: 115 MPH



DEDICATED TO QUALITY AND EXCELLENCE
200 EMMETT ROAD
DUNN, NORTH CAROLINA 28334
PHONE: 910-892-8400

PROJECT:	CL-3145 CP		
CUSTOMER:	Caviness Land		
MODEL:	CL 3145 CP GOR		
SCALE:	NOT TO SCALE	P.O. NUMBER:	PO #
DRAWN BY:	RE	PRINT DATE:	Approved
REV:		ORDER:	Order #
		SHIP DAY:	

