



ATLANTA, GEORGIA LOCATION: 1045 SATELLITE BLVD. SUITE 050 DULUTH, GA. 30091 PHONE: 770-375-1351

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Table with 3 columns: NO., DATE, REVISION. Includes entries for 05.31.16 (FIRST SUBMITTAL), 10.04.16 (3RD CAR GARAGE OPTIONS ADDED), and 11.23.16 (FRAME WALK CHANGES).

PROFESSIONAL SEAL: [Blank]

Permit Marked

PROJECT TITLE: 40' Plans ISSUED FOR PERMIT CONSTRUCTION



CLIENTS NAME: PROJECT NO: GMD-GA16014

SHEET TITLE: TITLE SHEET

PRINT DATE: JAN 1, 2019

SHEET NO: T-1

ACA001132

40' PLANS

JESSAMINE - RH

ABBREVIATIONS and INDEX tables. ABBREVIATIONS lists symbols for architectural elements like doors, windows, and materials. INDEX lists drawing titles and sheet numbers (e.g., A-1.0 MONOLITHIC SLAB PLAN 'A', E-1.0 1ST FLOOR UTILITY PLAN).

PLAN CHANGES table with columns for DATE and DESCRIPTION. Includes changes from 05.31.16, 10.04.16, and 11.23.16.

CONSULTANTS table with columns for BUILDER, DESIGNER, and STRUCTURAL ENGINEER, including contact information for H&H HOMES, GMD DESIGN GROUP, and K&E ENGINEERING.

GENERAL NOTES DESIGNER: THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR REVISED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER. PROVIDE BLOCKING AND/OR BACKING AT ALL TOWER BAR, TOWER RINS AND/OR TOILET PAPER HOLDER LOCATIONS, AS SHOWN PER PLAN TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK. ELASTOMERIC SHEET WATERPROOFING: FURNISH AND INSTALL ALL WATERPROOFING COMPLETE. A 40 MIL. SELF-ADHERING MEMBRANE OF RUBBERIZED ASPHALT INTEGRALLY BONDED TO POLYETHYLENE SHEETING, OR EQUAL. INSTALL PER MANUFACTURER'S AND TRADE ASSOCIATIONS PRINTED INSTALLATION INSTRUCTIONS. 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES. INSTALLATION INSTRUCTIONS. 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES. TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. SHIP DRAWINGS REVIEW AND DISTRIBUTION, ALONG WITH PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT. DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.

BUILDER SET: THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A 'BUILDER'S SET' OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HEREAFTER REFERRED TO AS 'PLANS'. THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THEY ARE NOT INTENDED TO SPECIFY PARTICULAR PRODUCTS OR OTHER METHODS OF ANY SPECIFIC MATERIALS, PRODUCT OR METHOD. THE IMPLEMENTATION OF THE PLANS REQUIRES A CLIENT / CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION. CONSTRUCTION REQUIREMENTS AND QUALITY: PROVIDE WORK OF THE SPECIFIC QUALITY; WHERE QUALITY LEVEL IS NOT INDICATED, PROVIDE WORK OF QUALITY CUSTOMARY IN SIMILAR TYPES OF WORK. WHERE THE PLANS AND SPECIFICATIONS, CODES, LAWS, REGULATIONS, MANUFACTURER'S RECOMMENDATIONS OR INDUSTRY STANDARDS REQUIRE WORK OF HIGHER QUALITY OR PERFORMANCE, PROVIDE WORK COMPLYING WITH THOSE REQUIREMENTS AND QUALITY. WHERE TWO OR MORE QUALITY PROVISIONS OF THOSE REQUIREMENTS CONFLICT WITH THE MOST STRINGENT REQUIREMENT; WHERE REQUIREMENTS ARE DIFFERENT BUT APPARENTLY EQUAL, AND WHERE IT IS UNCERTAIN WHICH REQUIREMENT IS MOST STRINGENT, OBTAIN CLARIFICATION FROM THE GMD DESIGN GROUP BEFORE PROCEEDING.

AREA CALCULATIONS: JESSAMINE SQUARE FOOTAGES table with columns for AREA, ELEV 'A', ELEV 'B', ELEV 'C'. Rows include 1st FLOOR, 2nd FLOOR, TOTAL LIVING, GARAGE, PORCH, OPT. COVERED PATIO, OPT. WRAP-AROUND PORCH, OPT. 3-CAR GARAGE.

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| NO. | DATE | REVISION |
|-----|----------|-------------------------------|
| 1 | 09.20.16 | FIRST SUBMITTAL |
| 2 | 10.04.16 | 2ND GAR. GARAGE OPTIONS ADDED |
| 3 | 11.23.16 | FRAME WALK CHANGES |

PROFESSIONAL SEAL:

PROJECT TITLE:
40' Plans

ISSUED FOR/PERMIT
CONSTRUCTION

CLIENTS NAME:
[Redacted]

PROJECT NO: GMD-GA16014

SHEET TITLE:
**JESSAMINE - RH
EXTERIOR
ELEVATIONS 'B'**

PRINT DATE:
JAN 1, 2019

SHEET NO:
A1.6

NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 6'-10" UNO. ON ELEVATIONS.
2ND FLOOR = 6'-10" UNO. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS.
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY:
(ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)

KEY NOTES:

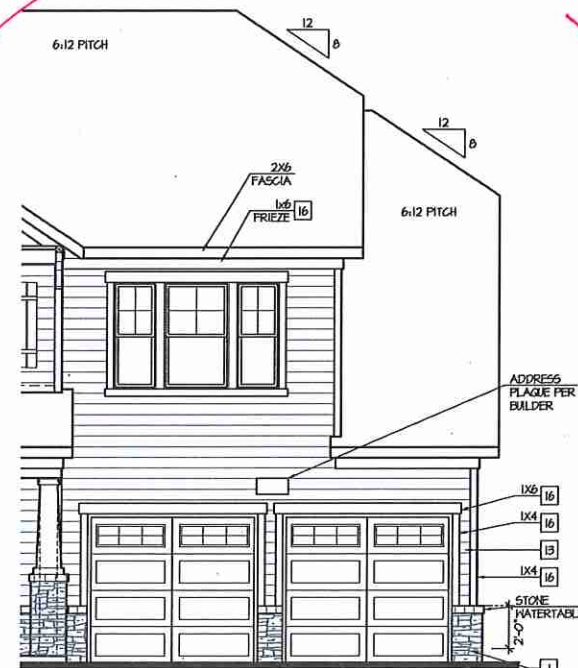
- MASONRY:**
- ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 8" SOLDIER COURSE.
 - RONLOCK COURSE.
 - DECORATIVE KEY. SEE DETAIL.
- TYPICALS:**
- CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
 - CODE APPROVED TERMINATION CHIMNEY CAP.
 - CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
 - STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - DECORATIVE WROUGHT IRON. SEE DETAILS.
- SIDING:**
- VINYL OR FIBER CEMENT SHAKE SIDING PER DEVELOPER.
 - VINYL OR FIBER CEMENT LAP SIDING PER DEVELOPER.
 - VINYL OR FIBER CEMENT NAVY SIDING PER DEVELOPER.
 - VINYL OR FIBER CEMENT PANEL SIDING 1/4" X3" BATTIS AT 12" O.C.
 - VINYL OR 1X FIBER CEMENT TRIM OR EQUAL, UNO. SIZE AS NOTED.
 - VINYL SHUTTERS OR PER BUILDER, TYPE AS SHOWN. SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE LOCAL CODES.



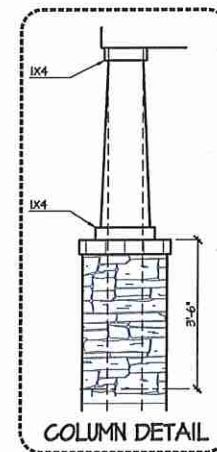
Rear Elevation 'B'

SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT

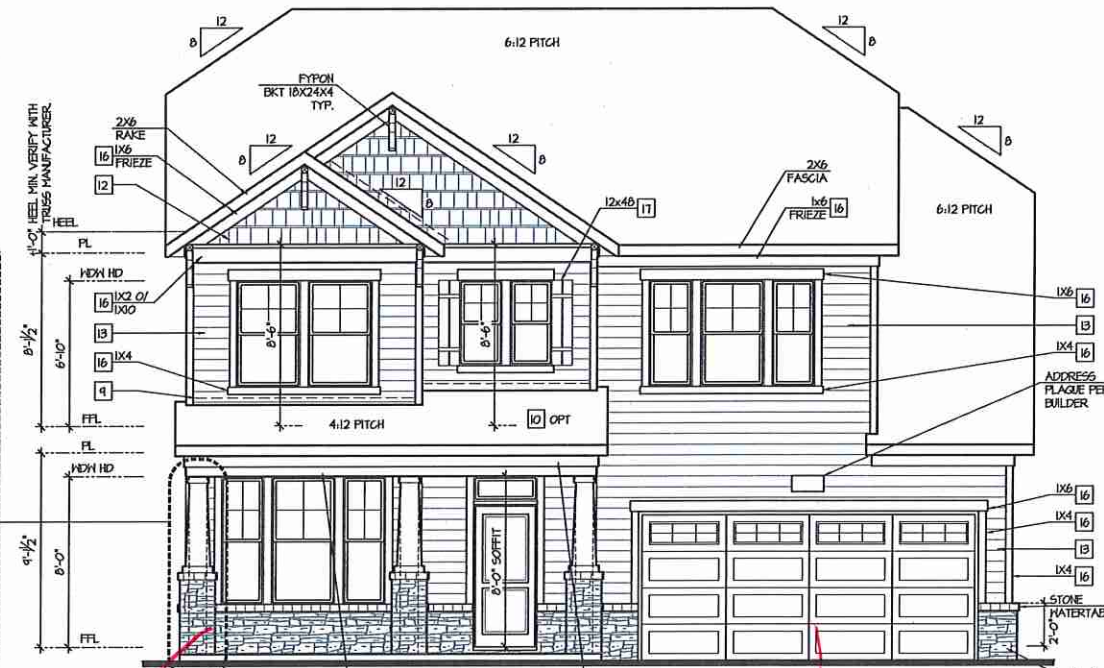


**Partial Front Elevation 'B'
w/ Opt 2 Door Garage**

SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT



COLUMN DETAIL



Front Elevation 'B'

SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT

Stone

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| NO. | DATE | REVISION: |
|-----|----------|---------------------------------|
| 1 | 03/16 | FIRST SUBMITTAL |
| 2 | 10/04/16 | 3RD GAR GARAGE OPTIONS ADDED |
| 3 | 11/20/16 | FRAME WALK CHANGES |

PROFESSIONAL SEAL:

PROJECT TITLE:
40' Plans

**ISSUED FOR PERMIT
CONSTRUCTION**

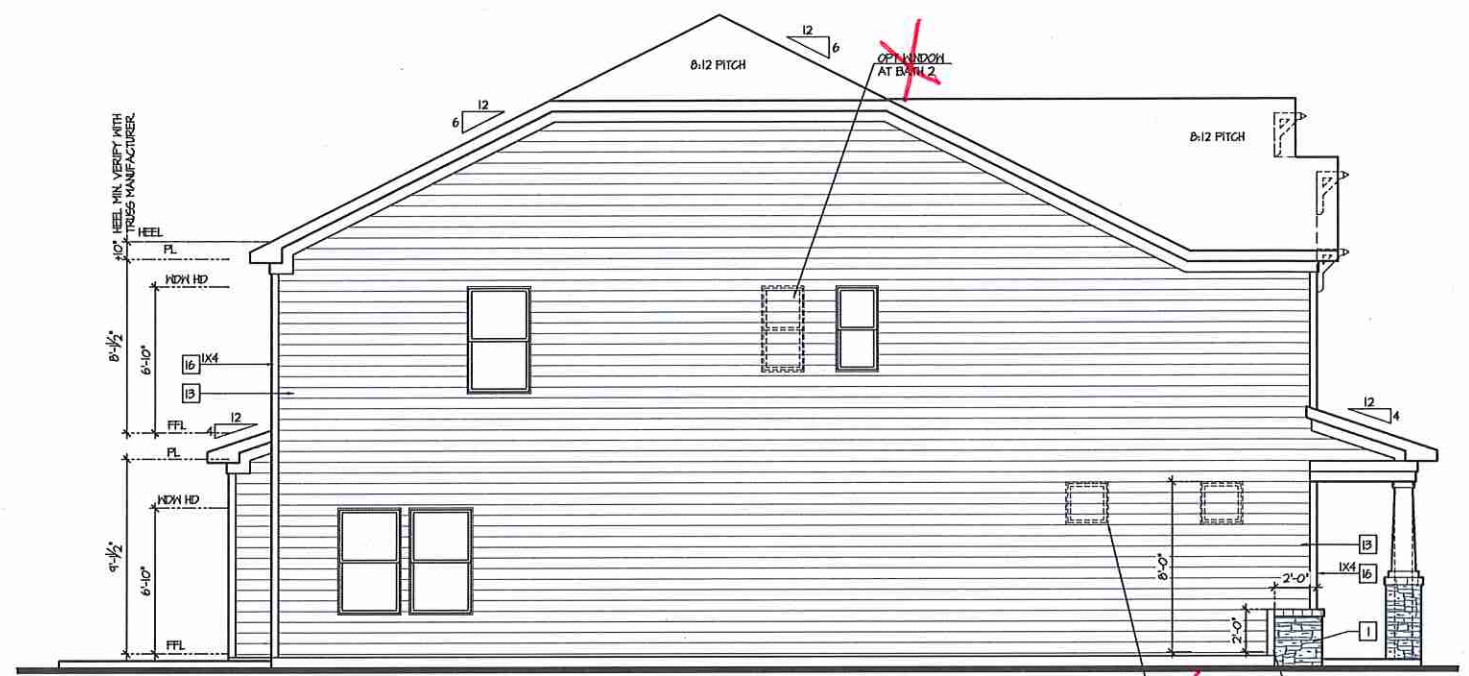
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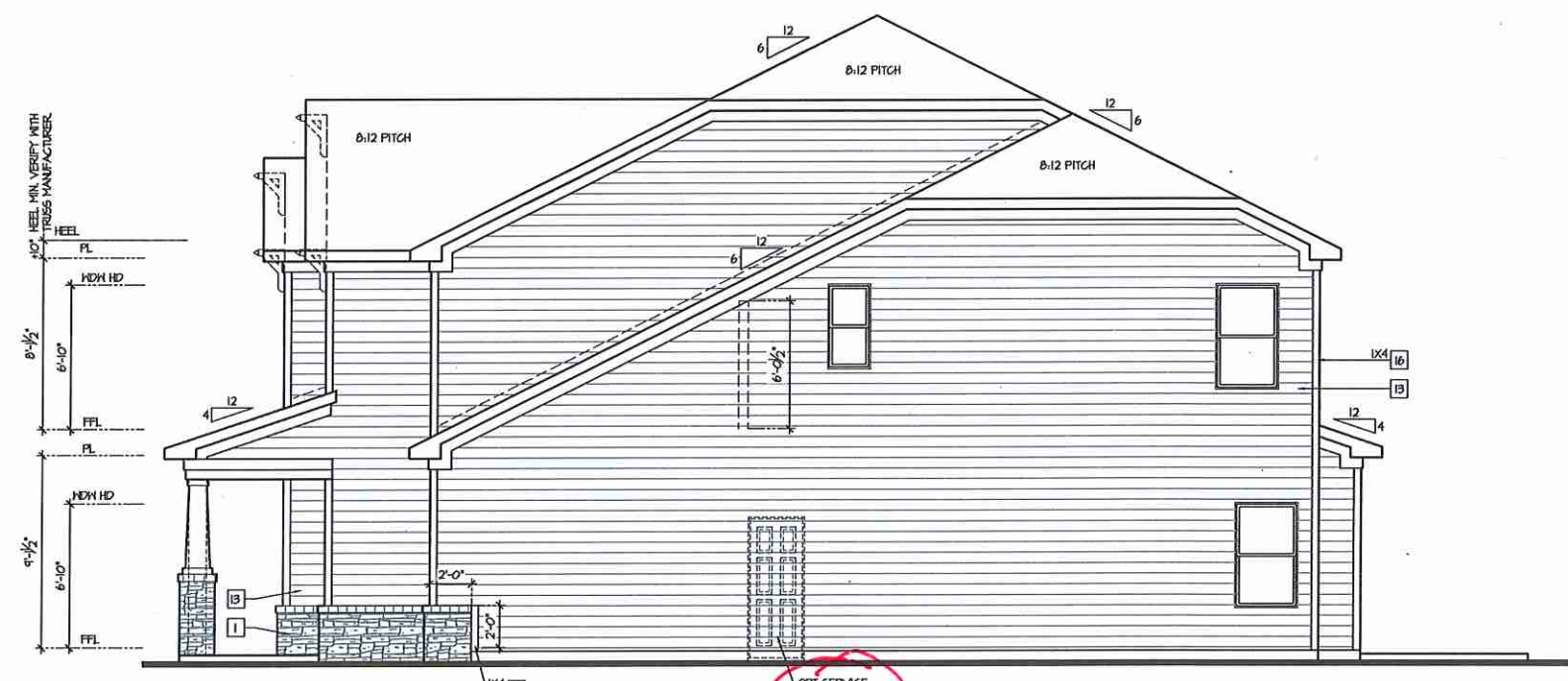
SHEET TITLE:
**JESSAMINE - RH
EXTERIOR
ELEVATIONS 'B'**

PRINT DATE:
JAN 1, 2019

SHEET NO:
A1.6.1



Left Elevation 'B'
SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x17' LAYOUT



Right Elevation 'B'
SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x17' LAYOUT

- NOTES:**
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 - WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
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 - GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
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 - PROTECTION AGAINST DECAY:
(ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE)
- KEY NOTES:**
- MASONRY:**
- 1 ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 3 MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 4 8" SOLDIER COURSE.
 - 5 RAYLOCK COURSE
 - 6 DECORATIVE KEY. SEE DETAIL.
- TYPICALS:**
- 1 CORROSION RESISTANT SCREEN LOWERED VENTS, SIZE AS NOTED.
 - 2 CODE APPROVED TERMINATION CHIMNEY GAP.
 - 3 CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
 - 4 STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 5 DECORATIVE WROUGHT IRON. SEE DETAILS.
- SIDING:**
- 1 VINYL OR FIBER CEMENT SHAKE SIDING PER DEVELOPER
 - 2 VINYL OR FIBER CEMENT LAP SIDING PER DEVELOPER
 - 3 VINYL OR FIBER CEMENT WAVY SIDING PER DEVELOPER
 - 4 VINYL OR FIBER CEMENT PANEL SIDING 1/4" X 3" BATTS AT 12" O.C.
 - 5 VINYL OR IX FIBER CEMENT TRIM OR EQUAL, UNO. SIZE AS NOTED
 - 6 VINYL SHUTTERS OR PER BUILDER, TYPE AS SHOWN. SIZE AS NOTED.
- ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE LOCAL CODES.

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
 - WINDOW HEAD HEIGHTS:
 1ST FLOOR = 6'-10" UNL. ON ELEVATIONS.
 2ND FLOOR = 6'-10" UNL. ON ELEVATIONS.

ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

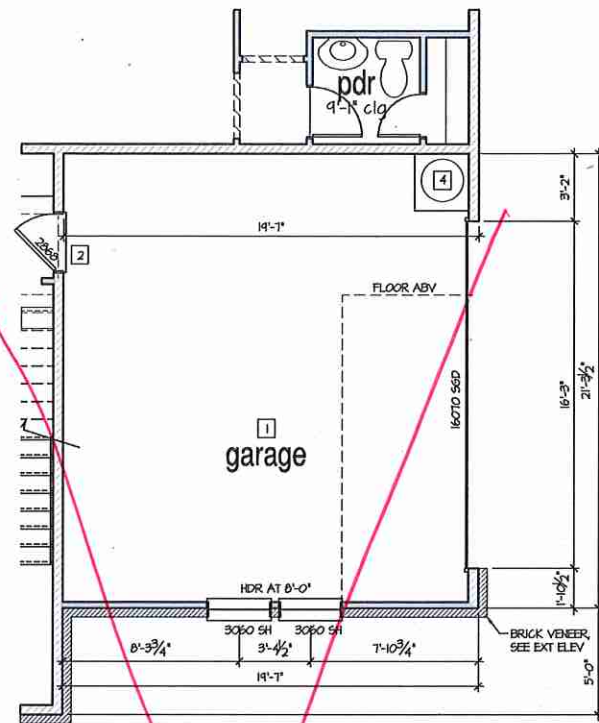
WALL LEGEND:

| | | | |
|--|---|--|---|
| | FULL HEIGHT 2x4 HOOD STUD PARTITION | | FULL HEIGHT 2x6 HOOD STUD PARTITION |
| | BRICK / STONE VENEER | | STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED |
| | LOH GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED | | DRYWALL OPENING HEIGHT AND STUD SIZE AS NOTED ON PLAN |

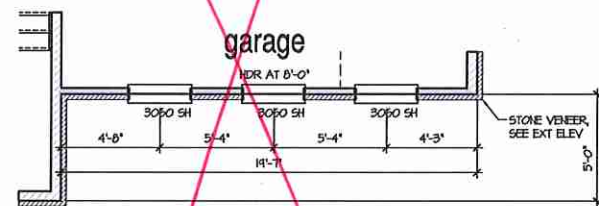
KEY NOTES:

- FIRE PROTECTION:**
- HOUSE TO GARAGE FIRE SEPARATION. GARAGEHOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER U2 GYPSUM BOARD. (PER LOCAL CODE)
 - GARAGEHOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD. (PER LOCAL CODE)
 - HOUSE TO GARAGE DOOR SEPARATION PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR. (PER LOCAL CODE)
 - BENEATH STAIRS AND LANDINGS, U2 GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER LOCAL CODE)
 - MEPS
 - FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE, INSTALL THE WATER HEATER PER LOCAL CODE, 18" HIGH PLATFORM. PROTECT THE GAS APPLIANCE FROM MOTOR VEHICLE IMPACT PROTECTION PER LOCAL CODE.
 - FAU 8"x8" PLATFORM. VERIFY WITH TRUSS MANUFACTURER. (6'-6" MIN. CLEAR HEIGHT TO HORIZONTAL MEMBERS, 2"x6" OVER 2"x4" BOTTOM CHORD, OF TRUSS, VERIFY W/ TRUSSES.)
 - A/C CONDENSER PAD. (VERIFY)
 - PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"x22". FIRE RATED ACCESS AS NOTED. (PER LOCAL CODE)
 - ATTIC ACCESS LADDER. VERIFY LOCATION AND SIZE WITH TRUSSES. (25 1/2" X 54" SIZE)
- TYPICALS:**
- TEMPERED SAFETY GLASS. (PER LOCAL CODE)
 - PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER. HEIGHT AS NOTED.
 - HALF WALL, HEIGHT AS NOTED.
 - INTERIOR SOFFITS: FFL = 8'-4" UNL. SFL = 7'-6" UNL.
- BATHS:**
- SHOWER. TEMPERED GLASS ENCLOSURE.
 - TUB-SHOWER COMBO. TEMPERED GLASS ENCLOSURE.
 - CERAMIC TILE SHOWER AND FLOOR. TEMPERED GLASS ENCLOSURE.
 - GARDEN TUB IS A SLIDE IN FIBERGLASS MODEL. PER BUILDER
- KITCHEN:**
- 30" FREE STANDING ELECTRICAL RANGE OR OPT. GAS RANGE VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 30" ELECTRICAL COOKTOP OR OPT. GAS COOKTOP AND HOOD VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ELECTRIC OVEN WITH MICROWAVE OVEN.

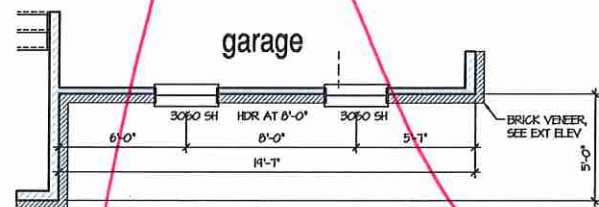
9'-1" STAIR NOTE:
 (SEE 14' T.I. WITH 3/4" PLYWOOD SUBFLOOR)
 15 TREADS AT 10" EACH VERIFY
 16 RISERS AT 7'-1.71" = 124 1/4" TOTAL RISE VERIFY



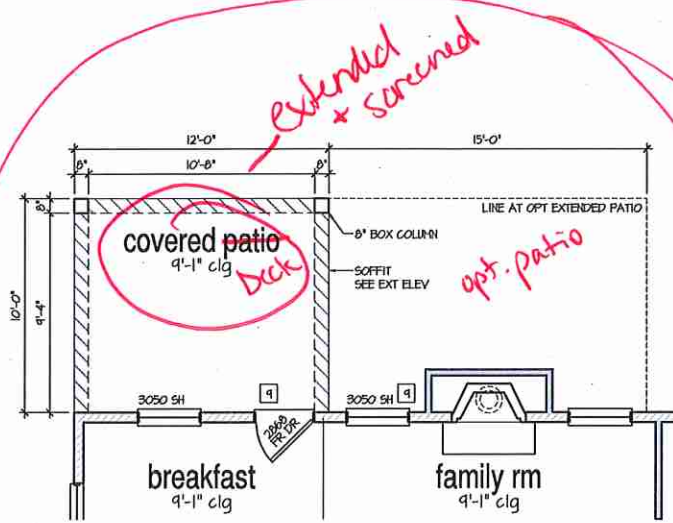
Opt. Side-Load Garage 'A'
 SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x17' LAYOUT



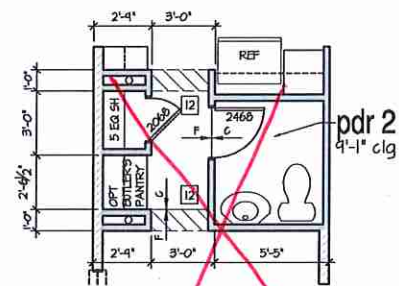
Opt. Side-Load Garage 'B'
 SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x17' LAYOUT



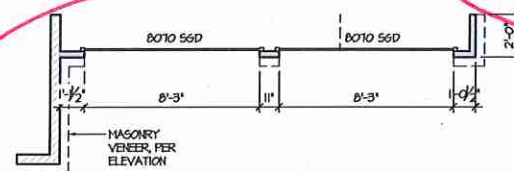
Opt. Side-Load Garage 'C'
 SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x17' LAYOUT



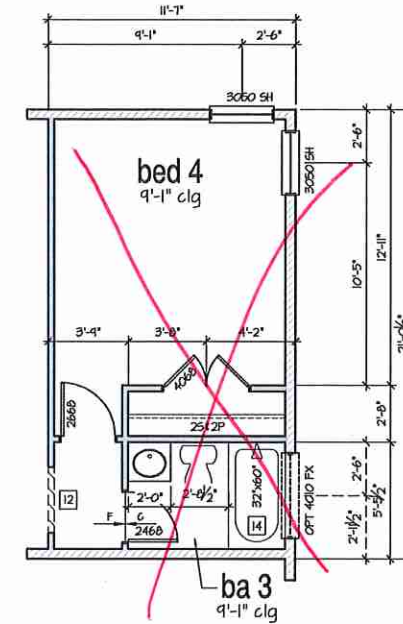
Opt. Covered Patio Deck
 SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x17' LAYOUT



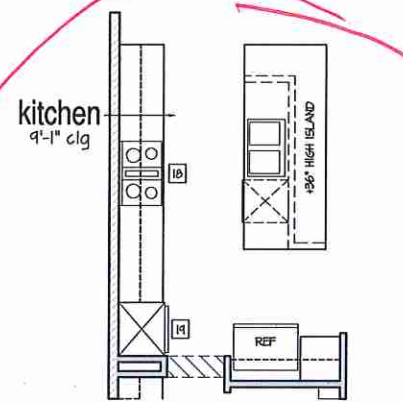
Opt. Powder Room 2
 SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x17' LAYOUT



Opt. 2 Door Garage
 SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x17' LAYOUT



Opt. Bed 4 / Bath 3
 SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x17' LAYOUT



Opt. Gourmet Kitchen
 SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x17' LAYOUT



ATLANTA, GEORGIA LOCATION:
 1845 SATELLITE BLVD
 SUITE 850
 DALUTH, GA, 30001
 PHONES: 770-375-1354

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| NO. | DATE | REVISION |
|-----|----------|------------------------------|
| 1 | 05/31/16 | FIRST SUBMITTAL |
| 2 | 10/24/16 | 3RD CAR GARAGE OPTIONS ADDED |
| 3 | 11/25/16 | FRAME HALL CHANGES |

PROFESSIONAL SEAL:

PROJECT TITLE:

40' Plans

ISSUED FOR/PERMIT CONSTRUCTION

CLIENTS NAME:



PROJECT NO: GMD-GA16014

SHEET TITLE:
JESSAMINE - RH
1st FLOOR
PLAN OPTIONS

PRINT DATE:
 JAN 1, 2019

SHEET NO:
A1.1.1

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.

- WINDOW HEAD HEIGHTS:
1ST FLOOR = 6'-10" UNO, ON ELEVATIONS.
2ND FLOOR = 6'-10" UNO, ON ELEVATIONS.

ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

WALL LEGEND:

FULL HEIGHT 2X4 WOOD STUD PARTITION
FULL HEIGHT 2X6 WOOD STUD PARTITION
BRICK / STONE VENEER
LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED
DRYWALL OPENING, HEIGHT AS NOTED ON PLAN

KEY NOTES:

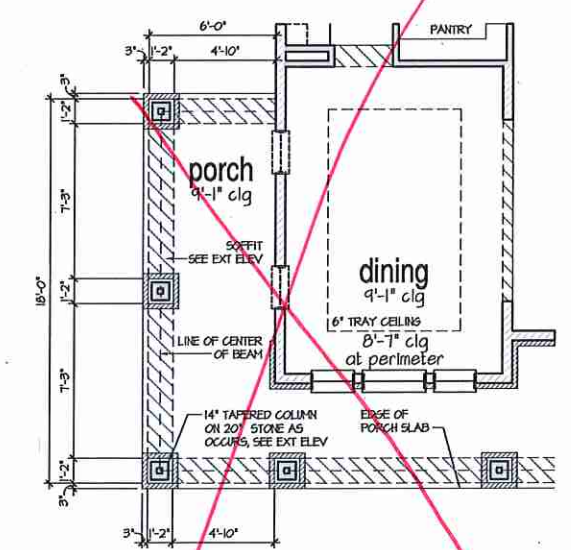
FIRE PROTECTION:

- HOUSE TO GARAGE FIRE SEPARATION. GARAGEHOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. (PER LOCAL CODE)
- HOUSE TO GARAGE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD. (PER LOCAL CODE)
- HOUSE TO GARAGE DOOR SEPARATION PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR. (PER LOCAL CODE)
- BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER LOCAL CODE)
- MEPS
- FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE, INSTALL THE WATER HEATER PER LOCAL CODE, 18" HIGH PLATFORM. PROTECT THE GAS APPLIANCE FROM MOTOR VEHICLE IMPACT PROTECTION PER LOCAL CODE.
- FAU 8X8' PLATFORM VERIFY WITH TRUSS MANUFACTURER. (6'-6" MIN CLEAR HEIGHT TO HORIZONTAL MEMBERS, 2'X6" OVER 2'X4" BOTTOM CHORD, OF TRUSS, VERIFY W/ TRUSSES.)
- A/C CONDENSER PAD, (VERIFY)
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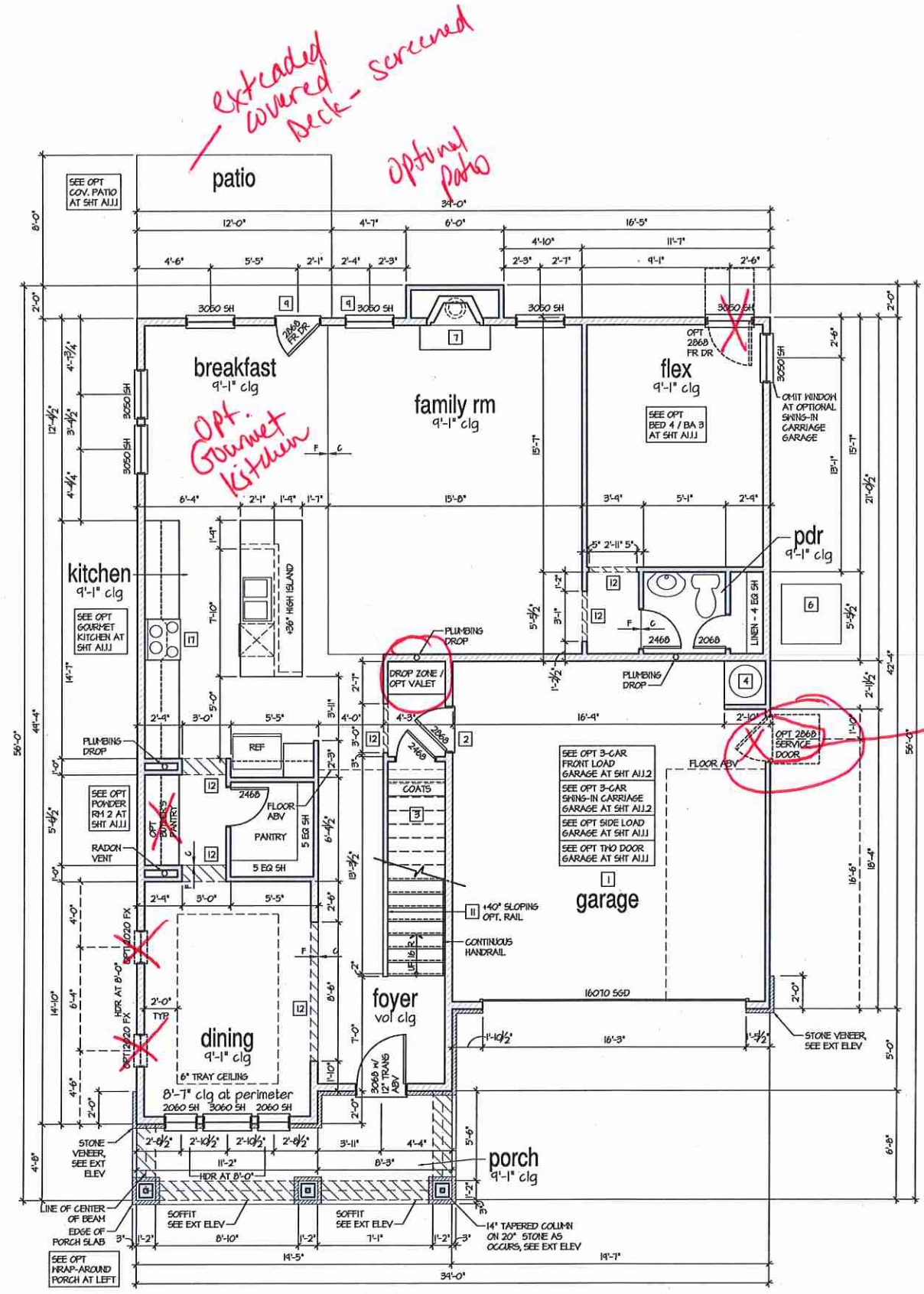
TYPICALS:

- TEMPERED SAFETY GLASS. (PER LOCAL CODE)
- PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER. HEIGHT AS NOTED.
- HALF WALL, HEIGHT AS NOTED.
- INTERIOR SOFFITS: FFL = 8'-4" UNO. SFL = 7'-6" UNO.
- BATHS:
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- TUB-SHOWER COMBO, TEMPERED GLASS ENCLOSURE.
- CERAMIC TILE SHOWER AND FLOOR, TEMPERED GLASS ENCLOSURE.
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9'-1" STAIR NOTE:
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15 TREADS AT 10" EACH VERIFY
16 RISERS AT 11" = 124 1/4" TOTAL RISE VERIFY



Opt. Wrap-Around Porch 'B'
SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X11" LAYOUT



1st Floor Plan 'B'
SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X11" LAYOUT



ATLANTA, GEORGIA LOCATION:
1845 SATELLITE BLVD
SUITE 850
DALTON, GA, 30011
PHONE: 770-375-1354

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| NO. | DATE | REVISION |
|----------|------|------------------------------|
| 03/26 | | FIRST SUBMITTAL |
| 10/04/16 | | 3RD CAR GARAGE OPTIONS ADDED |
| 11/25/16 | | FRAME WALK CHANGES |

PROFESSIONAL SEAL:

PROJECT TITLE:
40' Plans

ISSUED FOR/PERMIT CONSTRUCTION



CLIENTS NAME:
PROJECT NO: GMD-GA16014

SHEET TITLE:
**JESSAMINE - RH
1st FLOOR
PLAN 'B'**

PRINT DATE:
JAN 1, 2019

SHEET NO:
A1.1.3

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
 - WINDOW HEAD HEIGHTS:
 1ST FLOOR = 6'-10" UNO, ON ELEVATIONS.
 2ND FLOOR = 6'-10" UNO, ON ELEVATIONS.

ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

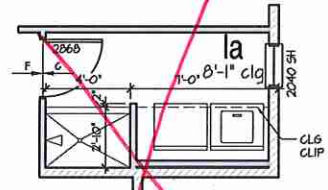
WALL LEGEND:

| | | | |
|--|--|--|--|
| | FULL HEIGHT 2x4 HOOD STUD PARTITION | | FULL HEIGHT 2x6 HOOD STUD PARTITION |
| | BRICK / STONE VENEER | | STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED |
| | LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED | | DRYWALL OPENING, HEIGHT AS NOTED ON PLAN |

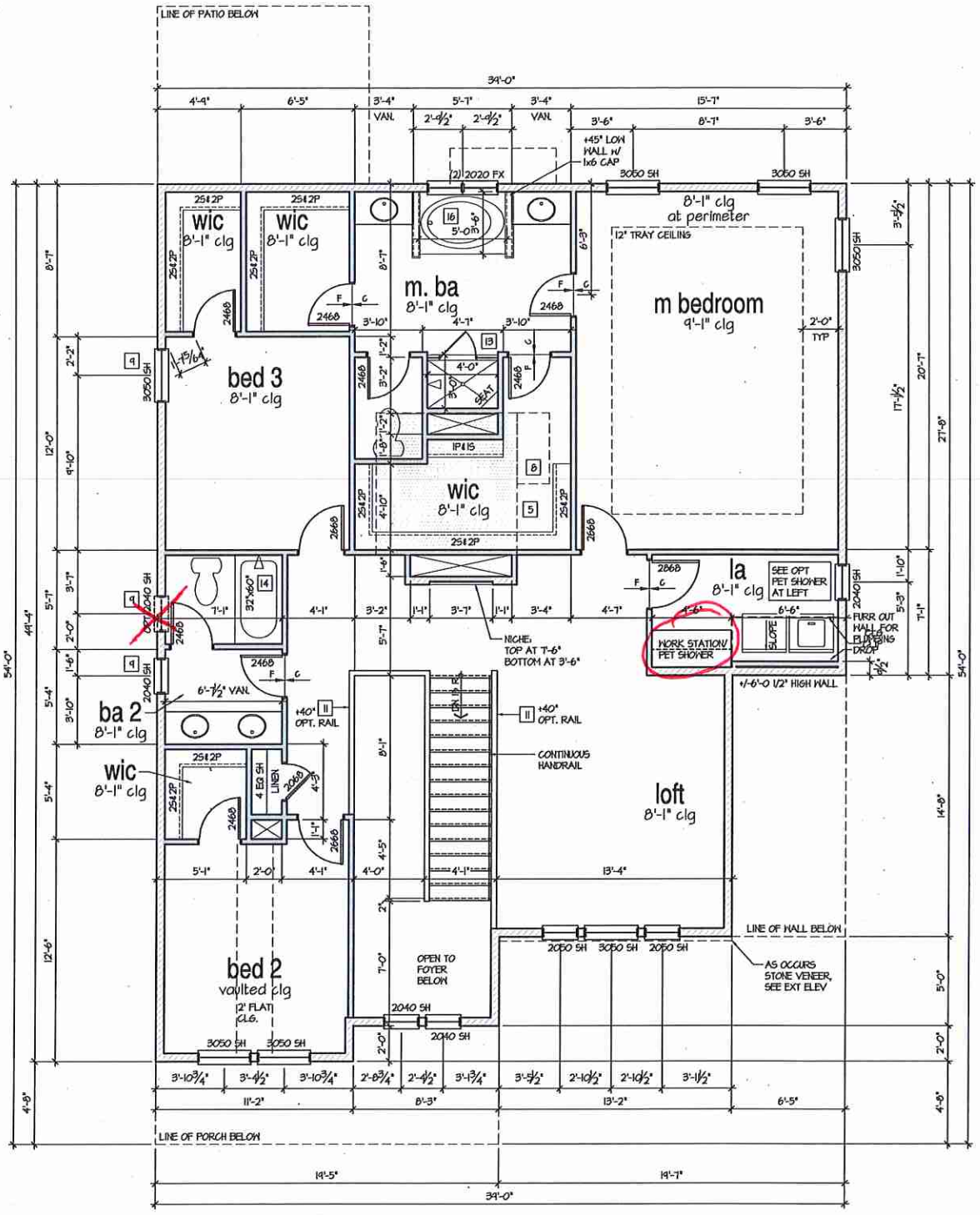
KEY NOTES:

- FIRE PROTECTION:**
- HOUSE TO GARAGE FIRE SEPARATION, GARAGEHOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD, (PER LOCAL CODE). GARAGEHOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD, (PER LOCAL CODE).
 - HOUSE TO GARAGE DOOR SEPARATION PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR, (PER LOCAL CODE).
 - BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS, (PER LOCAL CODE).
- MEPS:**
- FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE, INSTALL THE WATER HEATER PER LOCAL CODE, 18" HIGH PLATFORM, PROTECT THE GAS APPLIANCE FROM MOTOR VEHICLE IMPACT PROTECTION PER LOCAL CODE.
 - FAU 8'x8' PLATFORM, VERIFY WITH TRUSS MANUFACTURER, (6'-6" MIN. CLEAR HEIGHT TO HORIZONTAL MEMBERS, 2'x6" OVER 2'x4" BOTTOM CHORD, OF TRUSS, VERIFY W/ TRUSSES).
 - A/C CONDENSER PAD, (VERIFY).
 - PRE-FABRICATED METAL FIREPLACE, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"x22", FIRE RATED ACCESS AS NOTED, (PER LOCAL CODE). ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES, (25 1/2" X 54" SIZE).
- TYPICALS:**
- TEMPERED SAFETY GLASS, (PER LOCAL CODE).
 - PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER, HEIGHT AS NOTED.
 - HALF HALL, HEIGHT AS NOTED.
 - INTERIOR SOFFITS: FFL = 8'-1" UNO, SFL = 7'-6" UNO, BATHS.
 - SHOWER, TEMPERED GLASS ENCLOSURE.
 - TUB-SHOWER CONDO, TEMPERED GLASS ENCLOSURE.
 - CERAMIC TILE SHOWER AND FLOOR, TEMPERED GLASS ENCLOSURE.
 - GARDEN TUB IS A SLIDE IN FIBERGLASS MODEL, PER BUILDER.
 - KITCHEN:
 - 30" FREE STANDING ELECTRICAL RANGE OR OPT. GAS RANGE VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 30" ELECTRICAL COOKTOP OR OPT. GAS COOKTOP AND HOOD VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ELECTRIC OVEN WITH MICROWAVE OVER.

9'-1" STAIR NOTE:
 (SEE 14" T.J. WITH 3/4" PLYWOOD SUBFLOOR)
 15 TREADS AT 10" EACH VERIFY
 16 RISERS AT 7-1/4" = 124 1/4" TOTAL
 RISE VERIFY



Opt. Pet Shower
 SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x17' LAYOUT



2nd Floor Plan 'B'
 SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x17' LAYOUT



ATLANTA, GEORGIA LOCATION:
 1045 SATELLITE BLVD
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| NO. | DATE | REVISION |
|--------|------|------------------------------|
| 05306 | | FIRST SUBMITTAL |
| 100436 | | 3RD CAR GARAGE OPTIONS ADDED |
| 112936 | | FRAME WALK CHANGES |

PROFESSIONAL SEAL:

PROJECT TITLE:
40' Plans

ISSUED FOR PERMIT CONSTRUCTION

CLIENTS NAME:

PROJECT NO: GMD-GAI6014

SHEET TITLE:
**JESSAMINE - RH
 2nd FLOOR
 PLAN 'B'**

PRINT DATE:
 JAN 1, 2019

SHEET NO:
A1.2.1

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| NO. | DATE | REVISION |
|---------|-------|-------------------------------|
| △ 05.16 | 05.16 | FIRST SUBMITTAL |
| △ 10.16 | 10.16 | 3RD GAR. GARAGE OPTIONS ADDED |
| △ 11.20 | 11.20 | FRAME WALK CHANGES |

PROFESSIONAL SEAL:

PROJECT TITLE:

40' Plans

CLIENT'S NAME:



PROJECT NO: GMD-6A16014

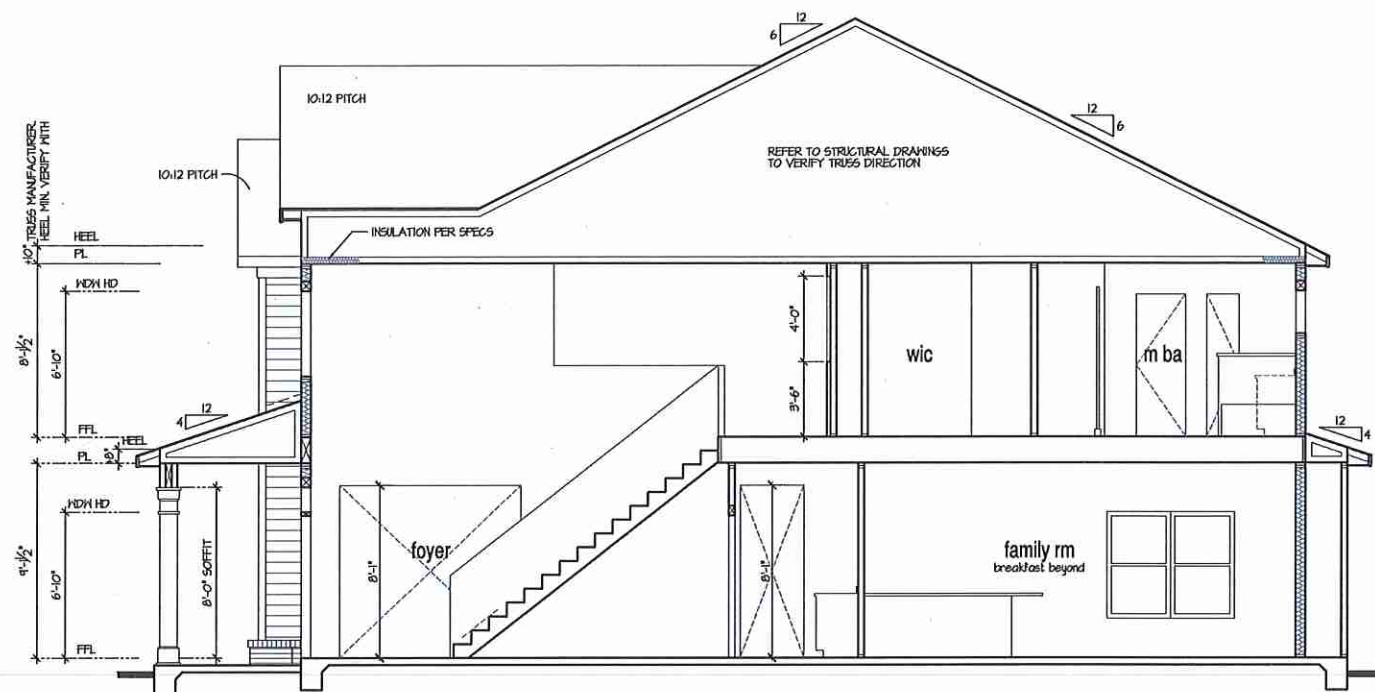
SHEET TITLE:
JESSAMINE - RH
BUILDING
SECTIONS

PRINT DATE:

JAN 1, 2019

SHEET NO:

A1.4



Building Section 2

SCALE: 1/4"=1'-0" AT 22'x34" LAYOUT 1/8"=1'-0" AT 11'x11" LAYOUT



Building Section 1

SCALE: 1/4"=1'-0" AT 22'x34" LAYOUT 1/8"=1'-0" AT 11'x11" LAYOUT

9'-1" STAIR NOTE:
(USE 1/4" T.J. WITH 3/4" PLYWOOD SUBFLOOR)
15 TREADS AT 10" EACH VERIFY
16 RISERS AT 7.71" = 124 1/4" TOTAL RISE VERIFY

NOTES:

- REFER TO FLOOR PLAN NOTES FOR TYPICAL FIRE PROTECTION NOTES AND LOCATIONS.
- THESE BUILDING SECTIONS MAY VARY AT ALTERNATE ELEVATION STYLES AND AT "PLAN OPTION" CONDITIONS. REFER TO MAIN FLOOR PLAN AND ALTERNATE FLOOR PLANS FOR INFORMATION NOT SHOWN HERE.
- BUILDING SECTIONS SHOWN HERE DEPICT VOLUME SPACES WITHIN THE STRUCTURE. REFER TO STRUCTURAL DRAWINGS, TRUSS DRAWINGS, STRUCTURAL DETAILS AND CALCULATIONS BY OTHER FOR ALL STRUCTURAL INFO.
- ROOFING: PITCHED SHINGLE ROOF. REFER TO ROOF PLAN FOR TYPICALS.
- MOOD FLOORS: FLOOR SHEATHING OVER FLOOR JOIST. REFER TO STRUCTURAL AND TRUSS DRAWINGS BY OTHERS.
- VERIFY STAIRS MINIMUM AND MAXIMUM REQUIREMENTS FOR CONSTRUCTION CLEARANCES WITH LOCAL CODES.
- INSULATION:
EXTERIOR WALLS ZONE 3: R-13 BATTIS MINIMUM VERIFY
EXTERIOR WALLS ZONE 4: R-15 BATTIS MINIMUM VERIFY
CEILINGS WITH ATTIC ABOVE COMPRESSED INSULATION: R-30 BATTIS MINIMUM VERIFY
CEILINGS WITH ATTIC ABOVE UNCOMPRESSED INSULATION (HEELS IN TRUSSES): R-30 BATTIS MINIMUM VERIFY
- FLOOR OVER GARAGE: R-11 BATTIS MINIMUM VERIFY
ATTIC KNEEWALL: R-11 BATTIS MINIMUM VERIFY
CRAWL SPACE FLOORING: R-11 BATTIS MINIMUM VERIFY
- WINDOW GLAZING "U" FACTOR: 0.35

PER STATE RESIDENTIAL CODE COMPLIANCE METHOD TO BE DETERMINED BY BUILDER.

ISSUED FOR/PERMIT CONSTRUCTION

*Extended covered deck
Screened
+
optional patio*

ATTIC VENT CALCULATION FOR 'JESSAMINE': 1:150 RATIO.

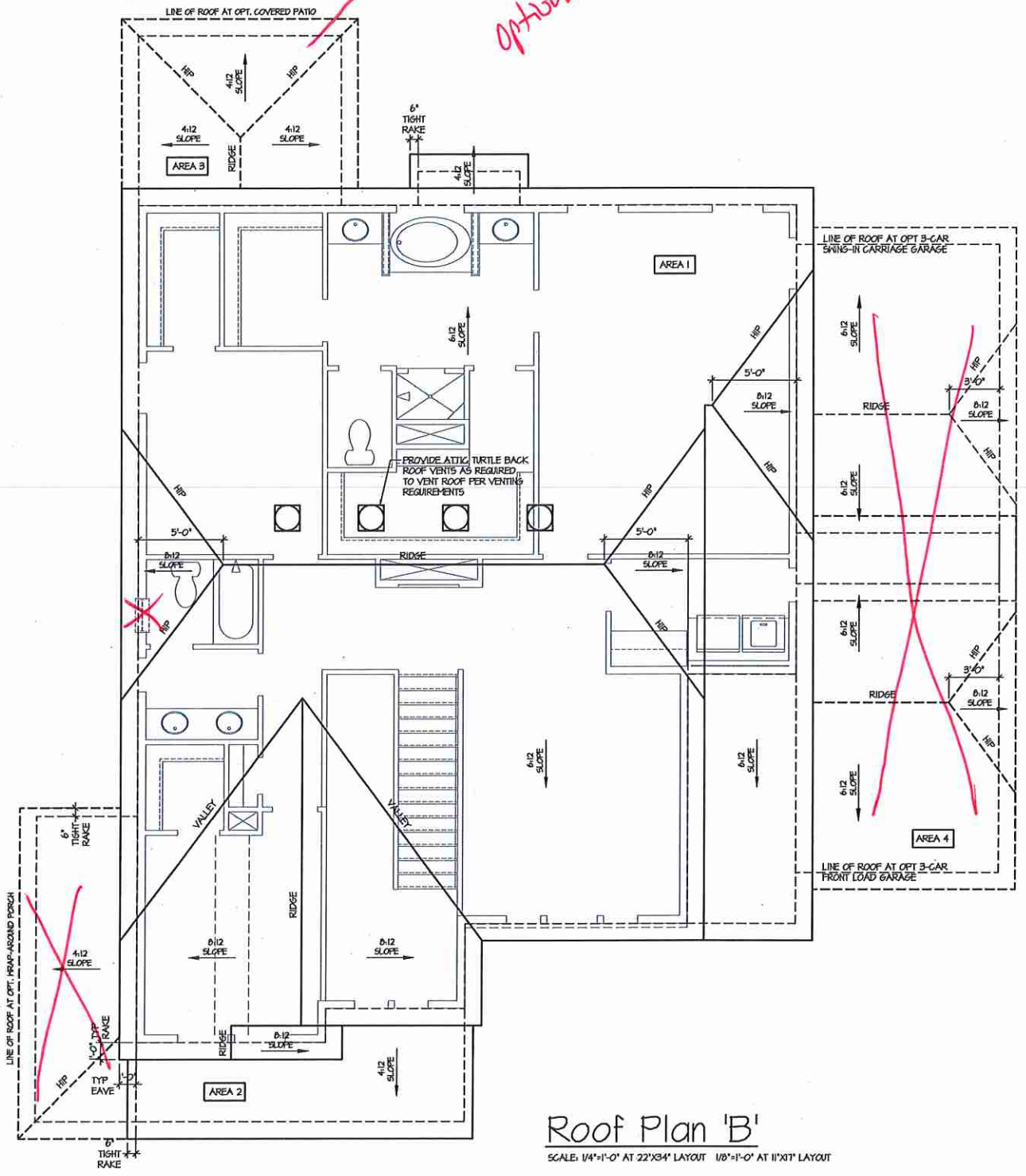
| | |
|--|--|
| <p>THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/50 OF THE AREA OF THE SPACE VENTILATED.</p> <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p> | <p>1 SQUARE INCH VENT FOR EVERY 150 SQUARE INCHES OF CEILING $144 \text{ SQ. IN.} = 1 \text{ SQ. FT.}$ $\text{BLDG. CEILING (SF)} \times 144 = \text{BLDG (SQ. IN)}$ $\text{BLDG. (SQ. IN)} / 150 = \text{SQ. IN. OF VENT REQUIRED}$</p> <p>ROOF AREA 1 = 1710 SF $1710 \text{ SQ. FT.} \times 144 = 254880 \text{ SQ. IN.}$ $254880 \text{ SQ. IN.} / 150 = 1699.2 \text{ SQ. IN. OF VENT REQ'D}$</p> <p>ROOF AREA 2 = 1071 SF $1071 \text{ SQ. FT.} \times 144 = 15408 \text{ SQ. IN.}$ $15408 \text{ SQ. IN.} / 150 = 102.72 \text{ SQ. IN. OF VENT REQ'D}$</p> <p>ROOF AREA 3 = 120 SF $120 \text{ SQ. FT.} \times 144 = 17280 \text{ SQ. IN.}$ $17280 \text{ SQ. IN.} / 150 = 115.2 \text{ SQ. IN. OF VENT REQ'D}$</p> <p>ROOF AREA 4 = 240 SF $240 \text{ SQ. FT.} \times 144 = 34560 \text{ SQ. IN.}$ $34560 \text{ SQ. IN.} / 150 = 230.4 \text{ SQ. IN. OF VENT REQ'D}$</p> |
|--|--|

NOTES:

| | |
|---|--|
| - ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY. | - TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWINGS TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS. |
| - DASHED LINES INDICATE WALL BELOW. | - ALL PLUMBING VENTS SHALL BE COVERED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE. |
| - LOCATE GUTTER AND DOWNSPOUTS PER BUILDER. | |
| - PITCHED ROOFS AS NOTED. | |

ATTIC VENT CALCULATION FOR 'JESSAMINE': 1:300 RATIO.

| | |
|---|--|
| <p>AS AN ALTERNATE TO THE 1/50 RATIO LISTED ABOVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300</p> <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p> | <p>1 SQUARE INCH VENT FOR EVERY 300 SQUARE INCHES OF CEILING $144 \text{ SQ. IN.} = 1 \text{ SQ. FT.}$ $\text{BLDG. CEILING (SF)} \times 144 = \text{BLDG (SQ. IN)}$ $\text{BLDG. (SQ. IN)} / 300 = \text{SQ. IN. OF VENT REQUIRED}$ $\text{SQ. IN. OF VENT REQUIRED} / 2 = 50\% \text{ AT HIGH} \ \& \ 50\% \ \text{ AT LOW}$</p> <p>ROOF AREA 1 = 1710 SF $1710 \text{ SQ. FT.} \times 144 = 254880 \text{ SQ. IN.}$ $254880 \text{ SQ. IN.} / 300 = 849.6 \text{ SQ. IN. OF VENT REQ'D}$ $849.6 \text{ SQ. IN.} / 2 = 424.8 \text{ SQ. IN.}$ 424.8 SQ. IN. OF VENT AT HIGH & 424.8 SQ. IN. OF VENT AT LOW REQUIRED.</p> <p>ROOF AREA 2 = 1071 SF $1071 \text{ SQ. FT.} \times 144 = 15408 \text{ SQ. IN.}$ $15408 \text{ SQ. IN.} / 300 = 51.36 \text{ SQ. IN. OF VENT REQ'D}$ $51.36 \text{ SQ. IN.} / 2 = 25.68 \text{ SQ. IN.}$ 25.68 SQ. IN. OF VENT AT HIGH & 25.68 SQ. IN. OF VENT AT LOW REQUIRED.</p> <p>ROOF AREA 3 = 120 SF $120 \text{ SQ. FT.} \times 144 = 17280 \text{ SQ. IN.}$ $17280 \text{ SQ. IN.} / 300 = 57.6 \text{ SQ. IN. OF VENT REQ'D}$ $57.6 \text{ SQ. IN.} / 2 = 28.8 \text{ SQ. IN.}$ 28.8 SQ. IN. OF VENT AT HIGH & 28.8 SQ. IN. OF VENT AT LOW REQUIRED.</p> <p>ROOF AREA 4 = 240 SF $240 \text{ SQ. FT.} \times 144 = 34560 \text{ SQ. IN.}$ $34560 \text{ SQ. IN.} / 300 = 115.2 \text{ SQ. IN. OF VENT REQ'D}$ $115.2 \text{ SQ. IN.} / 2 = 57.6 \text{ SQ. IN.}$ 57.6 SQ. IN. OF VENT AT HIGH & 57.6 SQ. IN. OF VENT AT LOW REQUIRED.</p> |
|---|--|



Roof Plan 'B'
 SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X17' LAYOUT



ATLANTA, GEORGIA LOCATION:
 1045 SATELLITE BLVD
 SUITE 850
 DALY, GA. 30097
 PHONES: 770-375-1354

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| NO. | DATE | REVISION |
|------------|------|------------------------------|
| △ 05/16 | | FIRST SUBMITTAL |
| △ 10/24/16 | | 3RD CAR GARAGE OPTIONS ADDED |
| △ 11/25/16 | | FRAME WALK CHANGES |

PROFESSIONAL SEAL:

PROJECT TITLE:
40' Plans

ISSUED FOR/PERMIT CONSTRUCTION

CLIENTS NAME:

PROJECT NO.: GMD-GAI6014

SHEET TITLE:
**JESSAMINE - RH
 ROOF PLAN 'B'**

PRINT DATE:
 JAN 1, 2019

SHEET NO.:
A1.6.2

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| NO. | DATE | REVISION: |
|-----|----------|-------------------------------|
| 1 | 03/16 | FIRST SUBMITTAL |
| 2 | 10/16 | 3RD GAR. GARAGE OPTIONS ADDED |
| 3 | 11/23/16 | FRAME WALK CHANGES |

PROFESSIONAL SEAL:

PROJECT TITLE:

40' Plans

ISSUED FOR PERMIT CONSTRUCTION

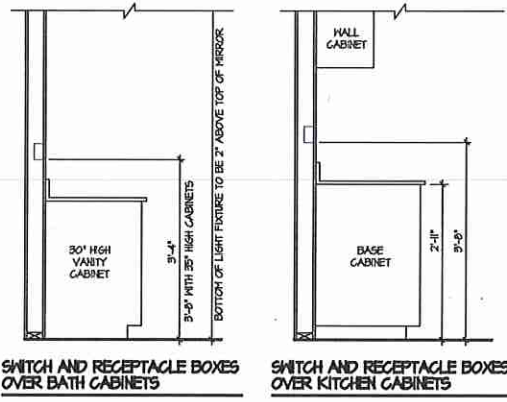
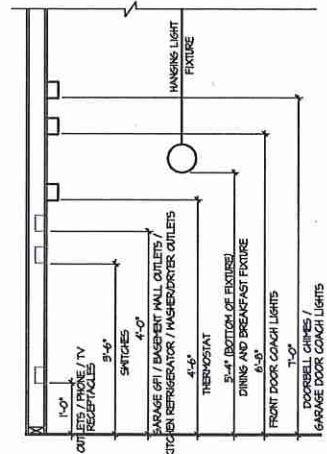
CLIENTS NAME:

PROJECT NO: GMD-6A16014

SHEET TITLE:
**JESSAMINE - RH
1st FLOOR
UTILITY PLAN**

PRINT DATE:
JAN 1, 2019

SHEET NO:
E1.0

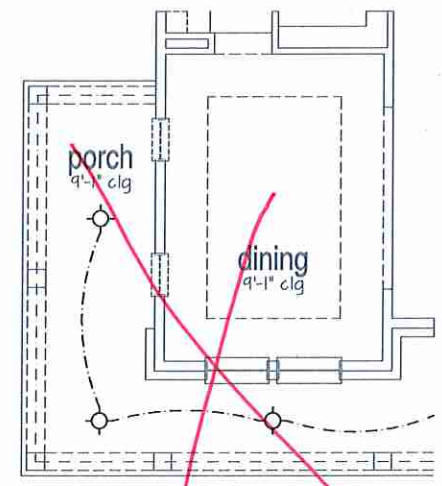


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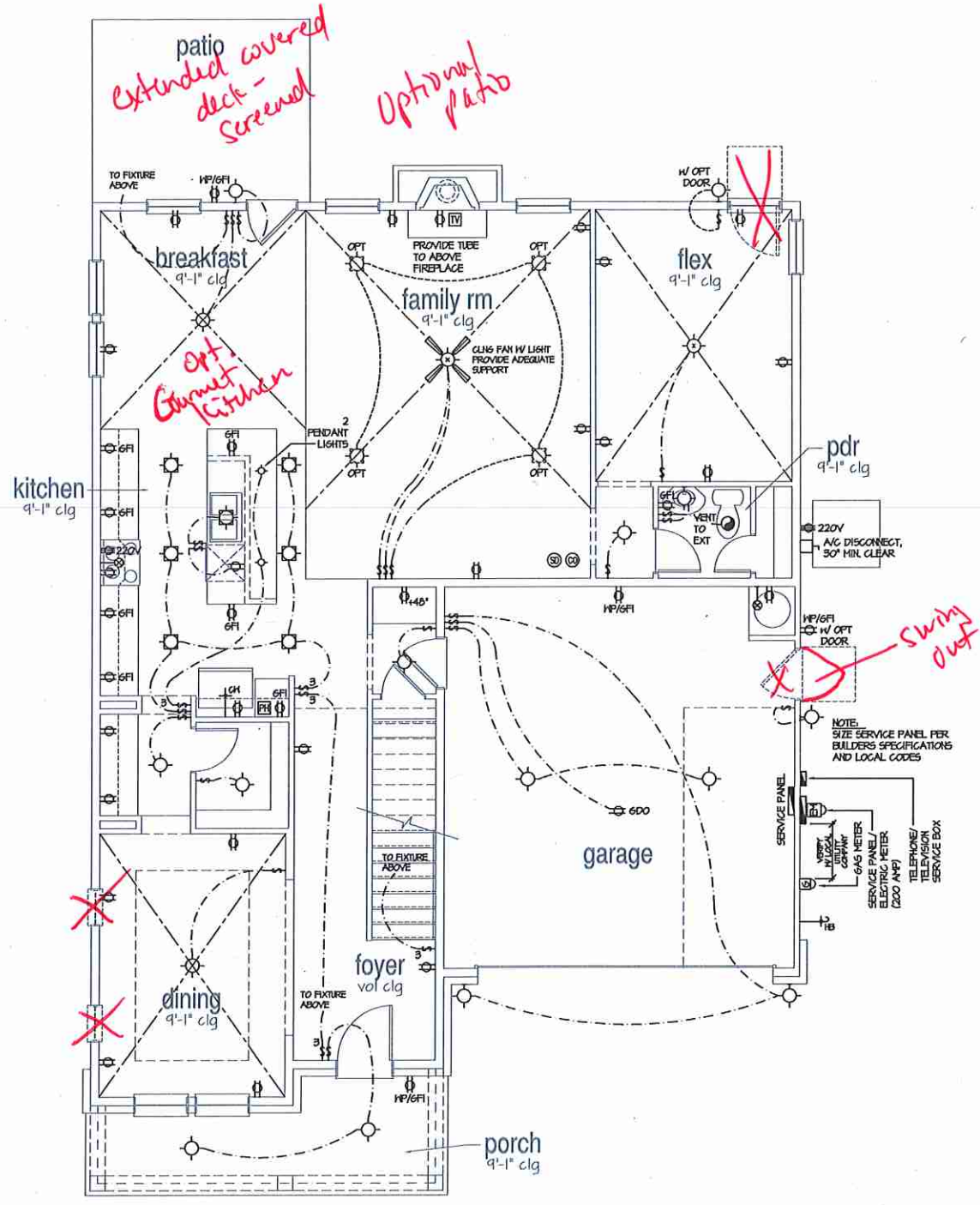
- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL AFCI (ARC FAULT CIRCUIT-INTERRUPTERS) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS.
- FANLIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PUMPS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

LEGEND:

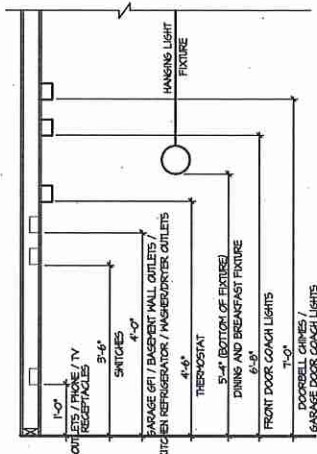
| | |
|---|--|
| ○ | UNDERCOUNTER FLUORESCENT LIGHT FIXTURE |
| □ | DUPLEX OUTLET |
| □ | HEATHERPROOF GFI DUPLEX OUTLET |
| □ | GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET |
| □ | HALF-SWITCHED DUPLEX OUTLET |
| □ | 220V 220-VOLT OUTLET |
| ○ | REINFORCED JUNCTION BOX |
| □ | HALL SWITCH |
| □ | THREE-WAY SWITCH |
| □ | FOUR-WAY SWITCH |
| □ | GFI'S |
| □ | PUSHBUTTON SWITCH |
| □ | NOV SMOKE DETECTOR W/ BATTERY BACKUP |
| □ | CO2 DETECTOR |
| □ | THERMOSTAT |
| □ | TELEPHONE |
| □ | TELEVISION |
| □ | ELECTRIC METER |
| □ | ELECTRIC PANEL |
| □ | DISCONNECT SWITCH |
| ○ | CEILING MOUNTED INCANDESCENT LIGHT FIXTURE |
| ○ | HALL MOUNTED INCANDESCENT LIGHT FIXTURE |
| ○ | RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF |
| ○ | EXHAUST FAN (VENT TO EXTERIOR) |
| ○ | EXHAUST FANLIGHT COMBINATION (VENT TO EXTERIOR) |
| ○ | FLUORESCENT LIGHT FIXTURE |
| ○ | TECH. HUB SYSTEM |
| ○ | CEILING FAN (PROVIDE ADEQUATE SUPPORT) |
| ○ | CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT) |
| ○ | GAS SUPPLY WITH VALVE |
| ○ | HOSE DEEB |
| ○ | 1/4" WATER STUD CUT |
| ○ | HALL SCONCE |



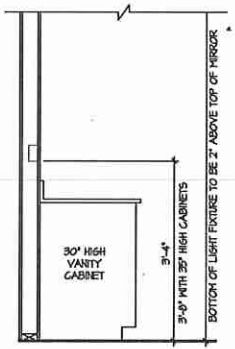
Opt. Wrap-Around Porch 'A'
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT



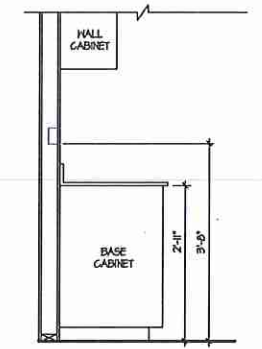
1st Floor Plan
SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT



STANDARD ELECTRICAL BOX HEIGHTS



SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS



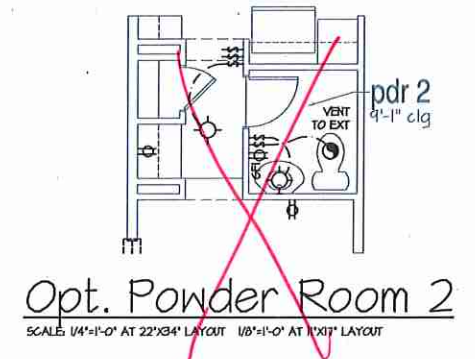
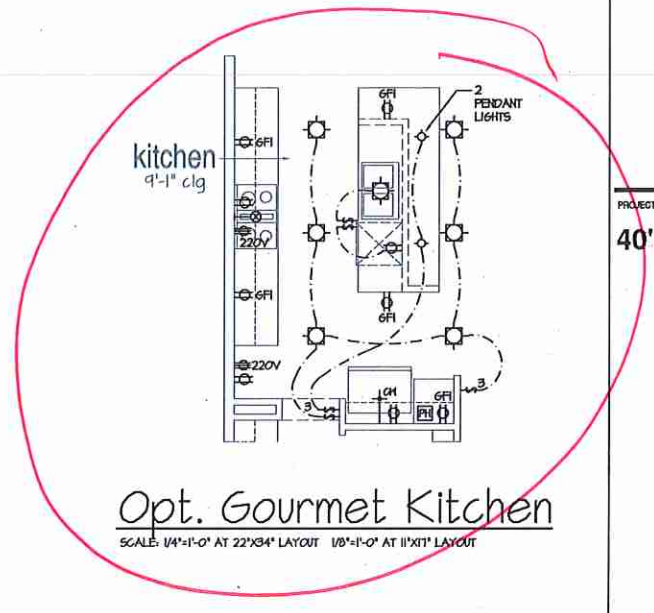
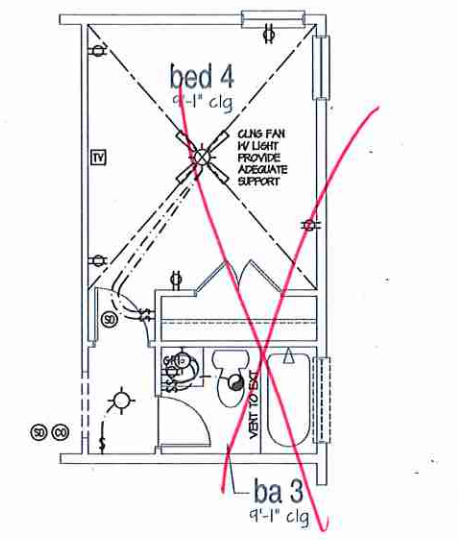
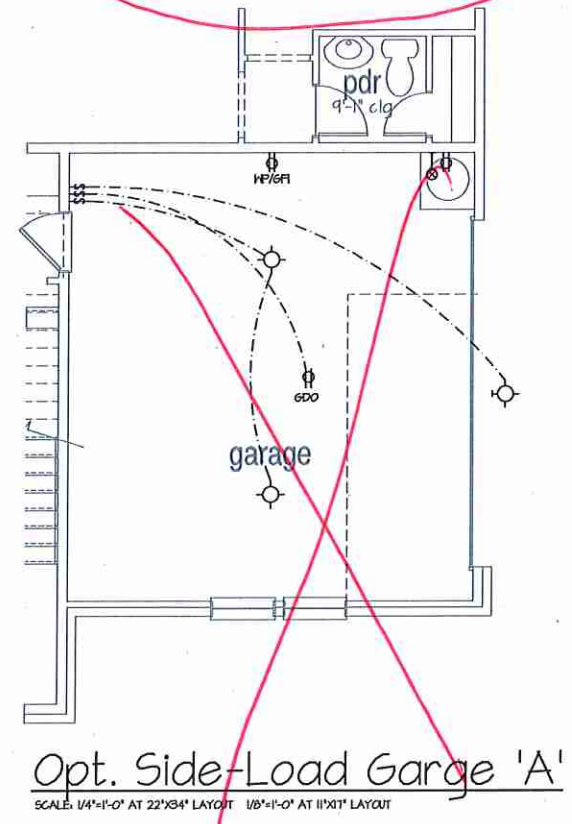
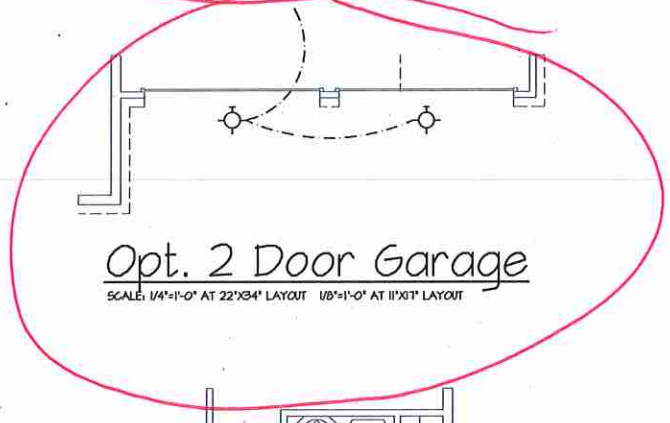
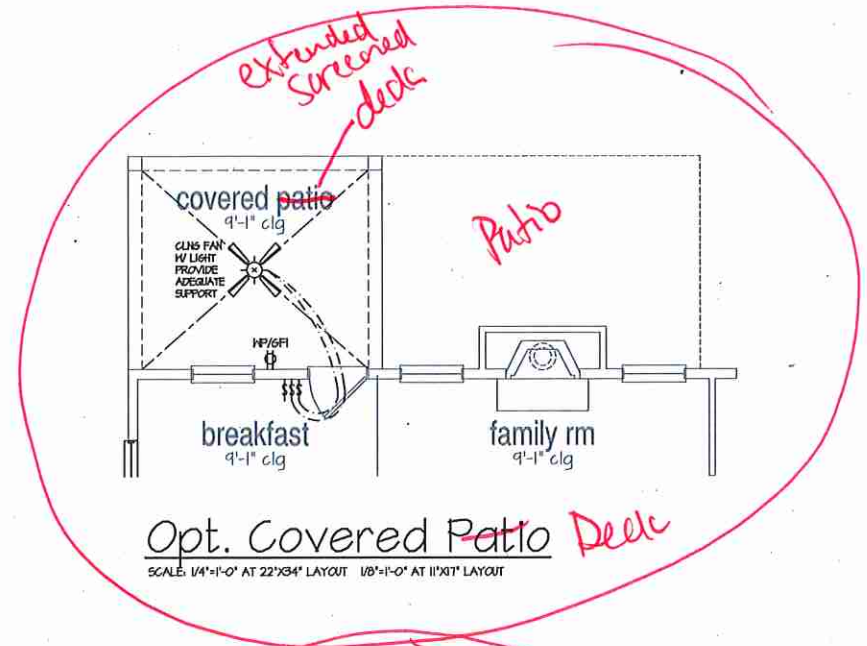
SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS

NOTES:

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS.
- FANLIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (RANGES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PUMPS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURFACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

LEGEND:

| | | | |
|---|--|---|---|
| ⊕ | DUPLEX OUTLET | ⊕ | UNDERCOUNTER FLUORESCENT LIGHT FIXTURE |
| ⊕ | HEATHERPROOF GFI DUPLEX OUTLET | ⊕ | CILING MOUNTED INCANDESCENT LIGHT FIXTURE |
| ⊕ | GFI | ⊕ | HALL MOUNTED INCANDESCENT LIGHT FIXTURE |
| ⊕ | GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET | ⊕ | RECESSED INCANDESCENT LIGHT FIXTURE (VP) - VAPOR PROOF |
| ⊕ | HALF-SWITCHED DUPLEX OUTLET | ⊕ | EXHAUST FAN (VENT TO EXTERIOR) |
| ⊕ | 220V 220 VOLT OUTLET | ⊕ | EXHAUST FANLIGHT COMBINATION (VENT TO EXTERIOR) |
| ⊕ | REINFORCED JUNCTION BOX | ⊕ | FLUORESCENT LIGHT FIXTURE |
| ⊕ | HALL SWITCH | ⊕ | TECH. HUB SYSTEM |
| ⊕ | THREE-WAY SWITCH | ⊕ | CILING FAN (PROVIDE ADEQUATE SUPPORT) |
| ⊕ | FOUR-WAY SWITCH | ⊕ | CILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT) |
| ⊕ | GFI'S | ⊕ | 6AS SUPPLY WITH VALVE |
| ⊕ | FUSIONITION SWITCH | ⊕ | HOSE DECK |
| ⊕ | NOV SMOKE DETECTOR W/ BATTERY BACKUP | ⊕ | 1/4" WATER SIBD OUT |
| ⊕ | CO2 DETECTOR | ⊕ | HALL SCONCE |
| ⊕ | THERMOSTAT | | |
| ⊕ | TELEPHONE | | |
| ⊕ | TELEVISION | | |
| ⊕ | ELECTRIC METER | | |
| ⊕ | ELECTRIC PANEL | | |
| ⊕ | DISCONNECT SWITCH | | |



ATLANTA, GEORGIA LOCATION
1045 SATELLITE BLVD
SUITE 850
DALYRICH, GA, 30015
PHONE: 770-375-1254

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| NO. | DATE | REVISION |
|------------|------|------------------------------|
| △ 03.20.16 | | FIRST SUBMITTAL |
| △ 10.04.16 | | 3RD GAR GARAGE OFFINGS ADDED |
| △ 11.29.16 | | FRAME WALK CHANGES |

PROFESSIONAL SEAL:

PROJECT TITLE:
40' Plans

ISSUED FOR/PERMIT CONSTRUCTION

CLIENTS NAME:
[Redacted]

PROJECT NO: GMD-GAI6014

SHEET TITLE:
JESSAMINE - RH
1st FLOOR
UTILITY PLAN

PRINT DATE:
JAN 1, 2019

SHEET NO:
E1.1

| NO. | DATE | REVISION |
|-----|----------|------------------------------|
| ▲ | 05/21/16 | FIRST SUBMITTAL |
| ▲ | 10/24/16 | 2ND CAR GARAGE OPTIONS ADDED |
| ▲ | 11/23/16 | FRAME WALK CHANGES |

PROFESSIONAL SEAL:

PROJECT TITLE:
40' Plans

ISSUED FOR PERMIT
CONSTRUCTION

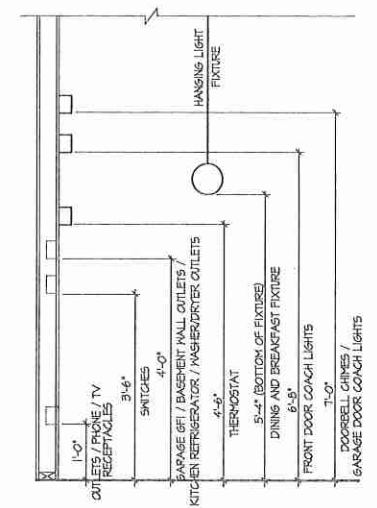
CLIENTS NAME:

PROJECT NO: GMD-GA16014

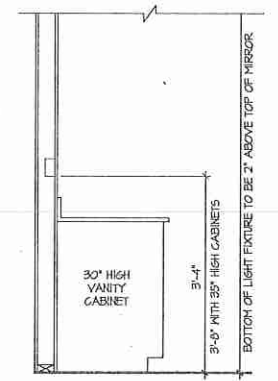
SHEET TITLE:
**JESSAMINE - RH
2nd FLOOR
UTILITY PLAN**

PRINT DATE:
May 31, 2016

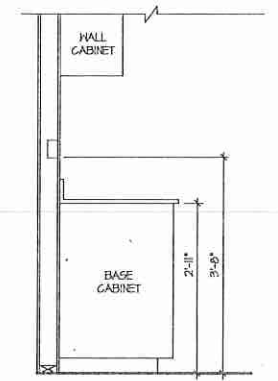
SHEET NO:
E2.0



STANDARD ELECTRICAL BOX HEIGHTS



SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS



SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS

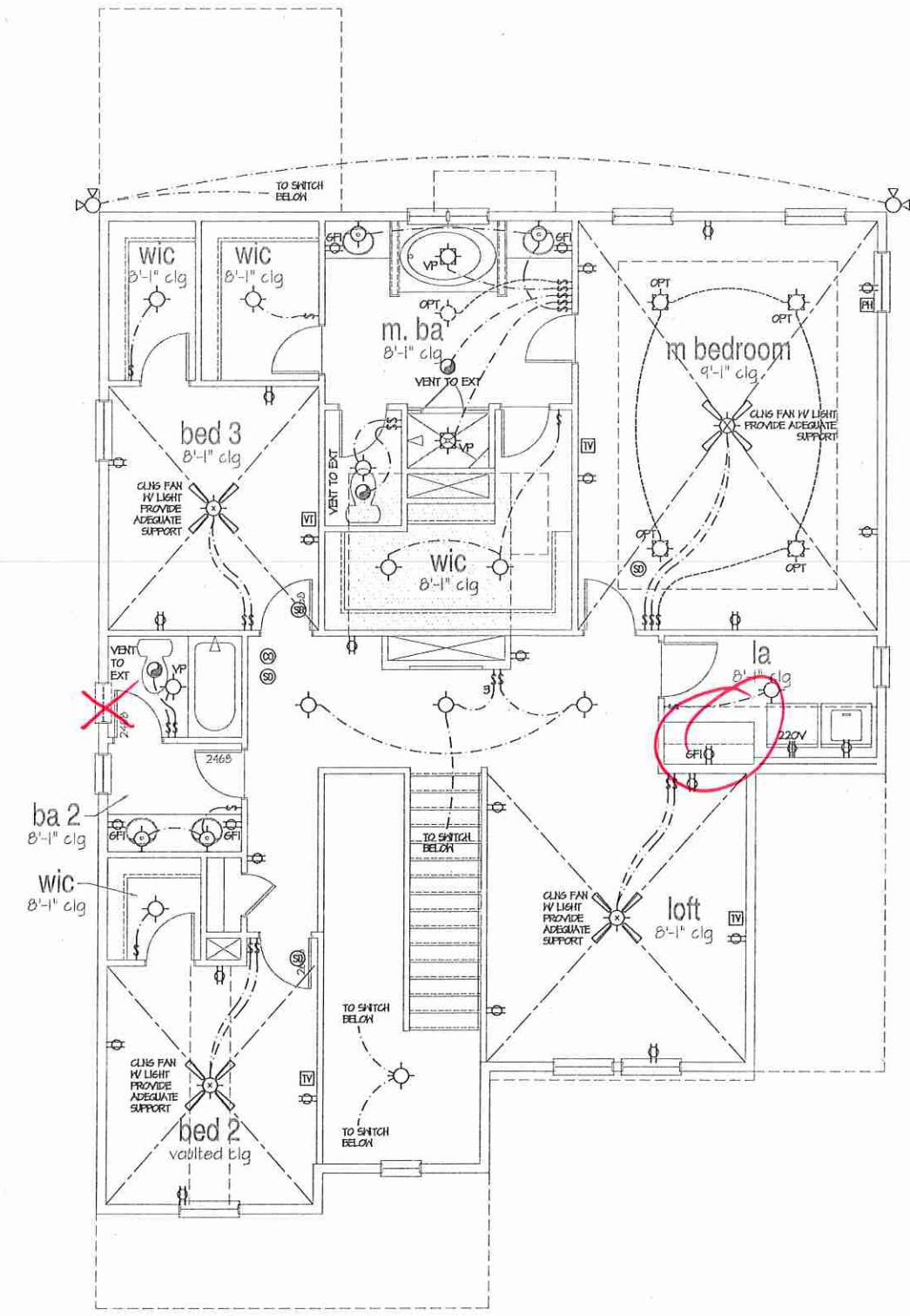
NOTES:

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
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- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

| LEGEND: | |
|---------|--|
| ⊕ | UNDERCOUNTER FLUORESCENT LIGHT FIXTURE |
| ⊕ | CEILING MOUNTED INCANDESCENT LIGHT FIXTURE |
| ⊕ | HALL MOUNTED INCANDESCENT LIGHT FIXTURE |
| ⊕ | RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF |
| ⊕ | EXHAUST FAN (VENT TO EXTERIOR) |
| ⊕ | EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR) |
| ⊕ | FLUORESCENT LIGHT FIXTURE |
| ⊕ | TECH. HUB SYSTEM |
| ⊕ | CEILING FAN (PROVIDE ADEQUATE SUPPORT) |
| ⊕ | CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT) |
| ⊕ | GAS SUPPLY WITH VALVE |
| ⊕ | HOSE BIB |
| ⊕ | 1/4" WATER STOP OUT |
| ⊕ | WALL SCORE |



Opt. Pet Shower



2nd Floor Plan 'A'
SCALE: 1/4"=1'-0" AT 22'x34" LAYOUT 1/8"=1'-0" AT 11'x11" LAYOUT



1900 AM DRIVE, SUITE 201, QUAKERTOWN, PA 18951
www.kse-eng.com (215) 804-4449

JESSAMINE

CAROLINA DIVISION

THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH AND COORDINATED WITH THE ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. THIS COORDINATION IS NOT THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER OF RECORD (SER). SHOULD ANY DISCREPANCIES BECOME APPARENT, THE CONTRACTOR SHALL NOTIFY KSE ENGINEERING, P.C. BEFORE CONSTRUCTION BEGINS. IT IS THE INTENT OF THE ENGINEER LISTED ON THESE DOCUMENTS THAT THESE DOCUMENTS BE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND ALL SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL OF THE INFORMATION CONTAINED IN THESE DOCUMENTS PRIOR TO THE COMMENCEMENT OF ANY WORK. THE ENGINEER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION. ALL CONSTRUCTION MUST BE IN ACCORDANCE TO THE INFORMATION FOUND IN THESE DOCUMENTS.

DESIGN SPECIFICATIONS:

DESIGN BUILDING CODE (REFERRED TO HEREIN AS 'THE BUILDING CODE'):
• 2018 NORTH CAROLINA RESIDENTIAL CODE. WALL BRACING PER INTERNATIONAL RESIDENTIAL CODE 2015 EDITION.

DESIGN LIVE LOADS:
• ROOF = 20 PSF (LOAD DURATION FACTOR=1.25)
• UNINHABITABLE ATTICS WITH LIMITED STORAGE = 20 PSF (WHERE SPECIFIED ON PLANS)
• HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS = 30 PSF
• FLOOR = 40 PSF
• FLOOR (SLEEPING AREAS) = 30 PSF
• DECK = 40 PSF
• BALCONY = 40 PSF
• STAIRS = 40 PSF

DESIGN DEAD LOADS:
• ROOF TRUSS = 17 PSF (TC=7, BC=10)
• FLOOR TRUSS = 15 PSF (TC=10, BC=5)
• FLOOR JOIST = 10 PSF
• QUEEN ANNE BRICK = 25 PSF

NOTE: STRUCTURAL FRAMING HAS NOT BEEN DESIGNED FOR TILE, GRANITE, MARBLE OR OTHER MATERIALS HEAVIER THAN THE ABOVE LOADING UNLESS SPECIFICALLY NOTED ON PLANS.

DESIGN WIND LOADS:
• ULTIMATE WIND SPEED = 120 MPH
• EXPOSURE CATEGORY = B

ASSUMED SOIL BEARING CAPACITY = 2000 PSF

ASSUMED LATERAL SOIL PRESSURE = 45 PCF

FROST DEPTH = 12"

SEISMIC DESIGN CATEGORY = B

ENGINEERED LUMBER SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES:

- TJI 210 SERIES (SERIES AND SPACING PER PLANS)
- LSL: E=1,550,000 PSI, F_b=2,325 PSI, F_v=310 PSI, F_c=900 PSI
- LVL: E=2,000,000 PSI, F_b=2,600 PSI, F_v=285 PSI, F_c=750 PSI
- PSL: E=2,100,000 PSI, F_b=2,900 PSI, F_v=290 PSI, F_c=625 PSI

THIS PLAN HAS BEEN DESIGNED PER THE 2018 EDITION OF THE NC RESIDENTIAL CODE. WHERE FRAMING, FOUNDATION, OR OTHER STRUCTURAL ITEMS DO NOT COMPLY WITH THE PRESCRIPTIVE METHODS OF THE CODE, THOSE ITEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE PER NCR 301.1.3.

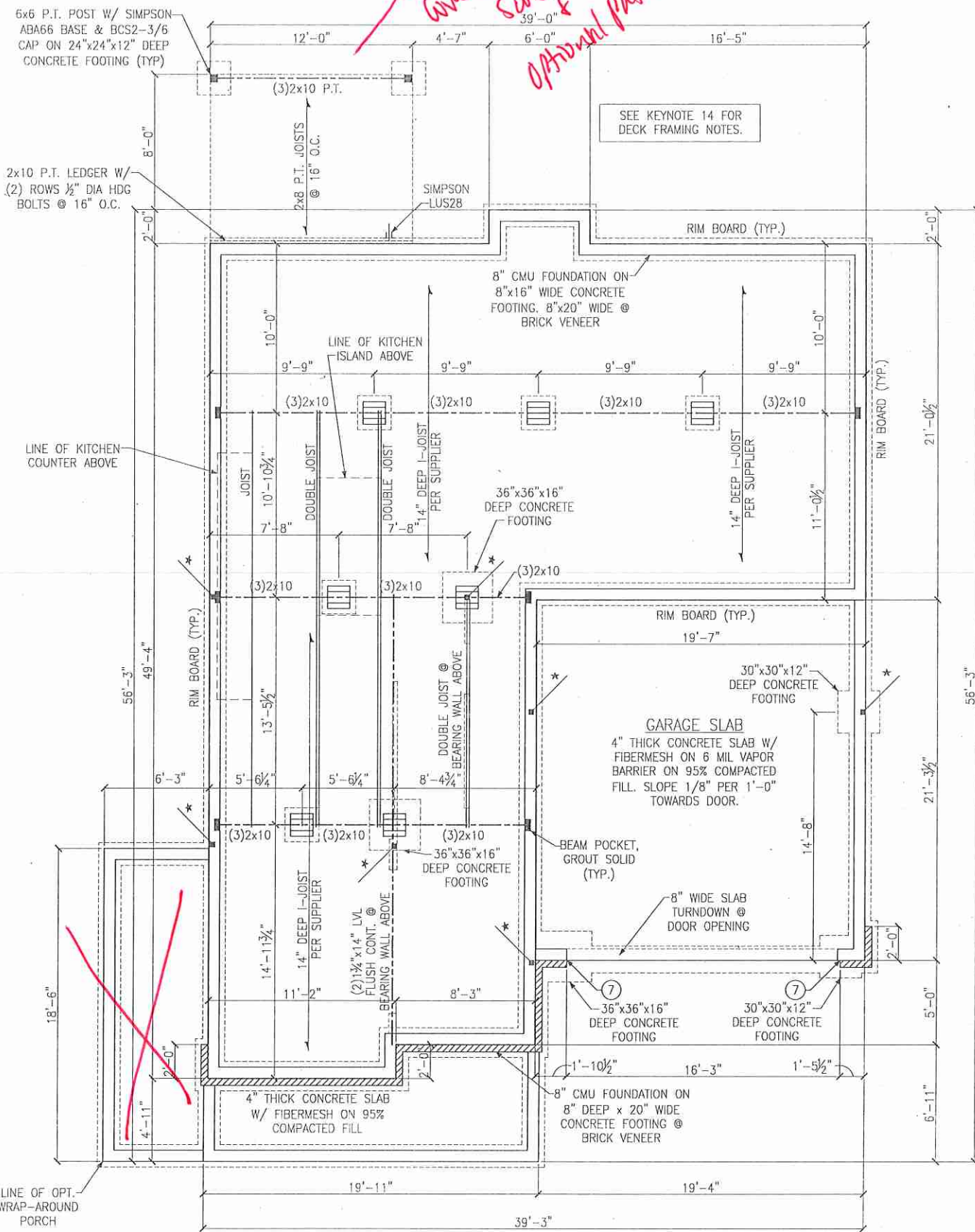


Cover Sheet
Jessamine Model - RH
120 M.P.H.
Carolina Division

Project #: 105-16010
Designed By: KRK
Checked By:
Issue Date: 4/5/19
Re-Issue:
Scale: 1/8"=1'-0" @ 11x17
1/4"=1'-0" @ 22x34

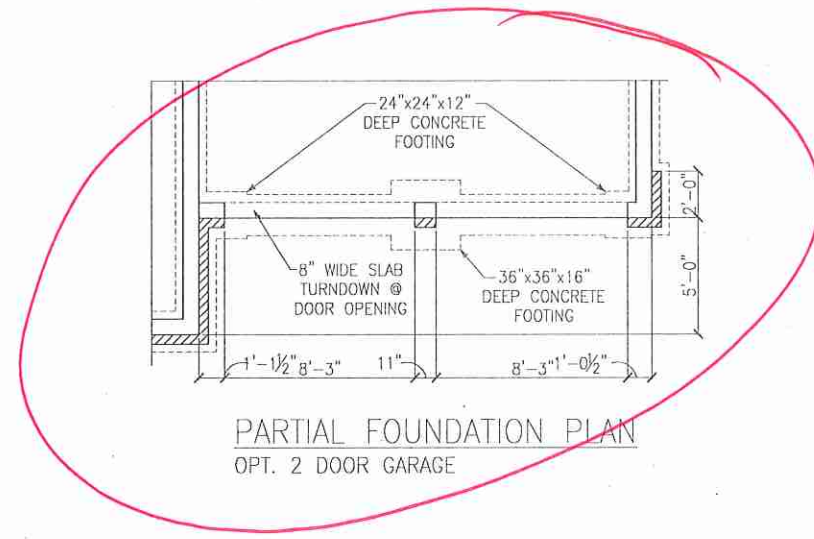


S-0

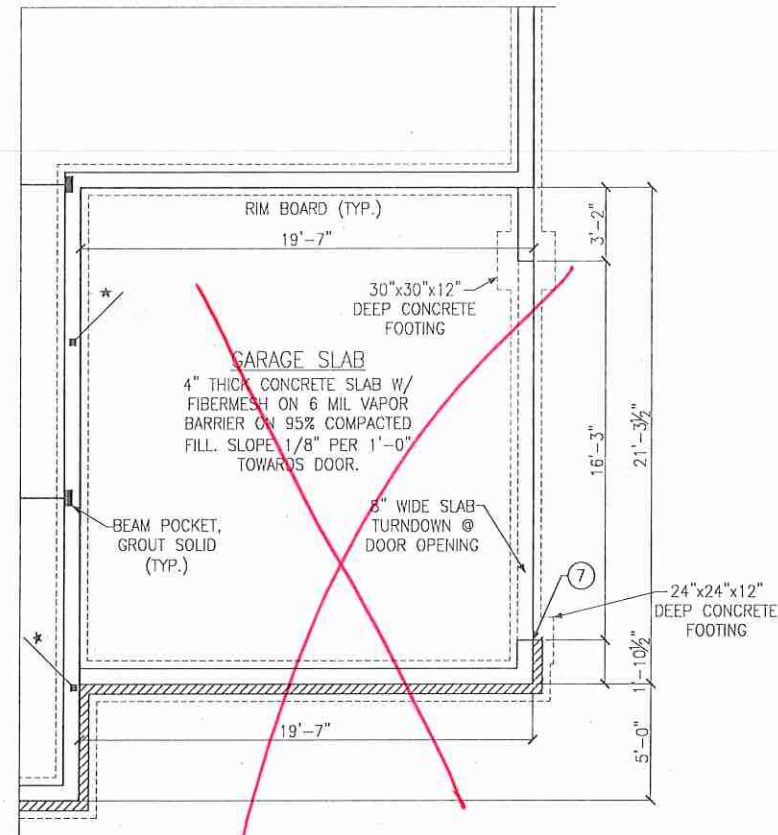


CRAWL SPACE FOUNDATION PLAN
ELEVATION A

See Elevation B



PARTIAL FOUNDATION PLAN
OPT. 2 DOOR GARAGE



PARTIAL FOUNDATION PLAN
OPT. SIDE-LOAD GARAGE

LEGEND

- * PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- ⇒ BEARING WALL ABOVE
- ▤ INTERIOR BEARING WALL
- ▨ BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.

KEYNOTES:

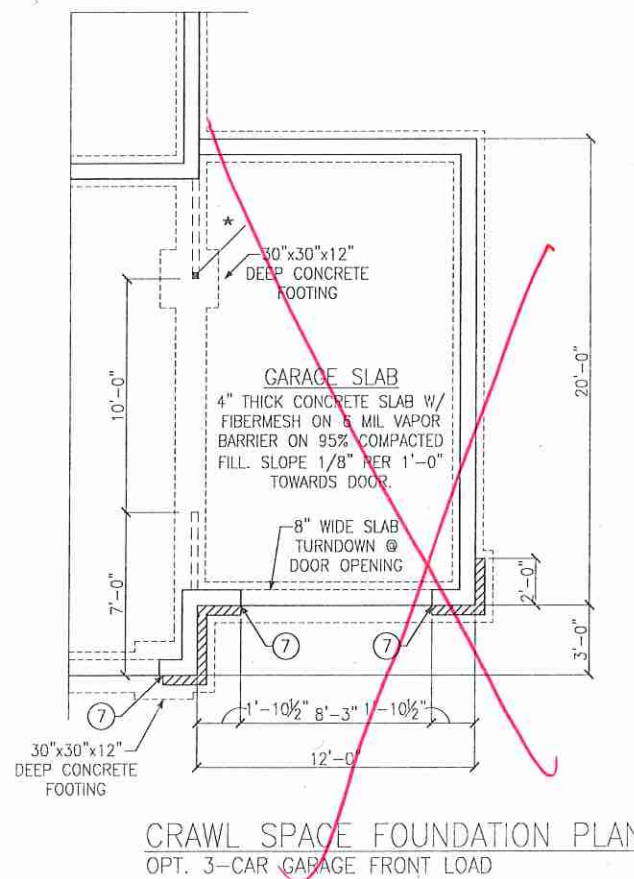
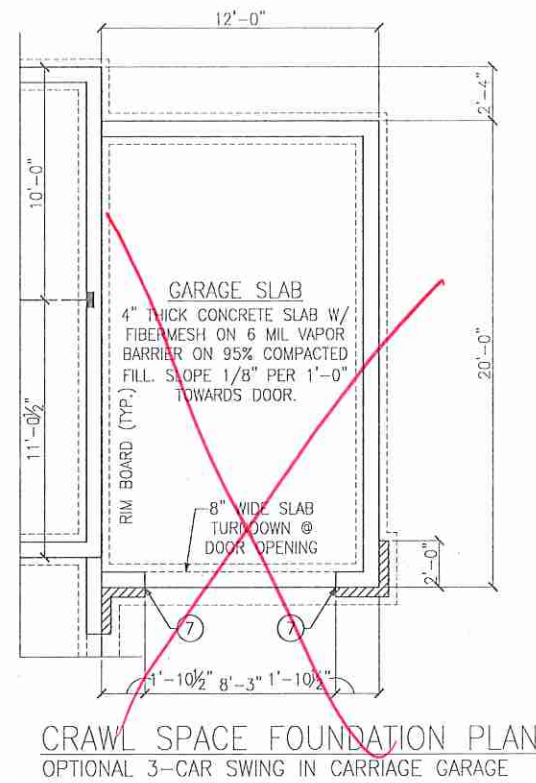
⑦ REINFORCE 8" CMU WALL AND FOOTING UNDER PORTAL FRAME PER DETAIL B/SD-4.

Crawl Space Foundation Plan & Framing Plans

Elevation A & Options
Jessamine Model - RH
120 M.P.H.
Carolina Division



Project #: 105-16010
Designed By: KRK
Checked By:
Issue Date: 4/5/19
Re-Issue:
Scale: 1/8"=1'-0" @ 11x17
1/4"=1'-0" @ 22x34



LEGEND

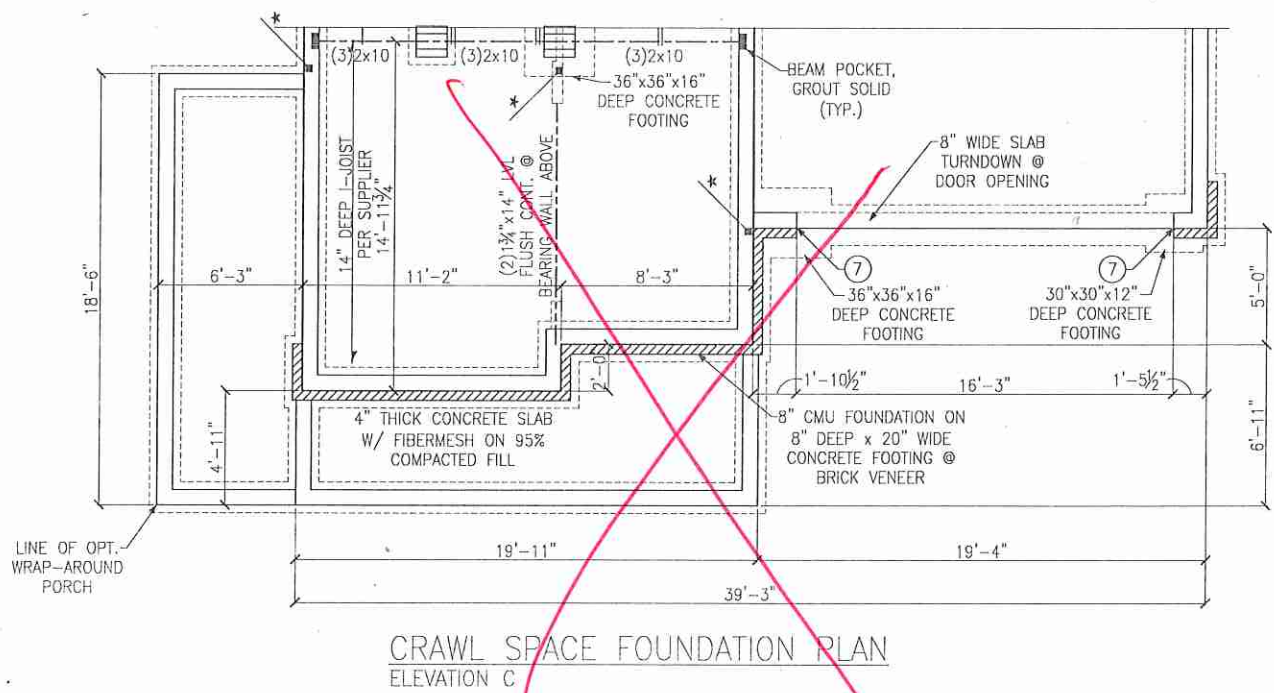
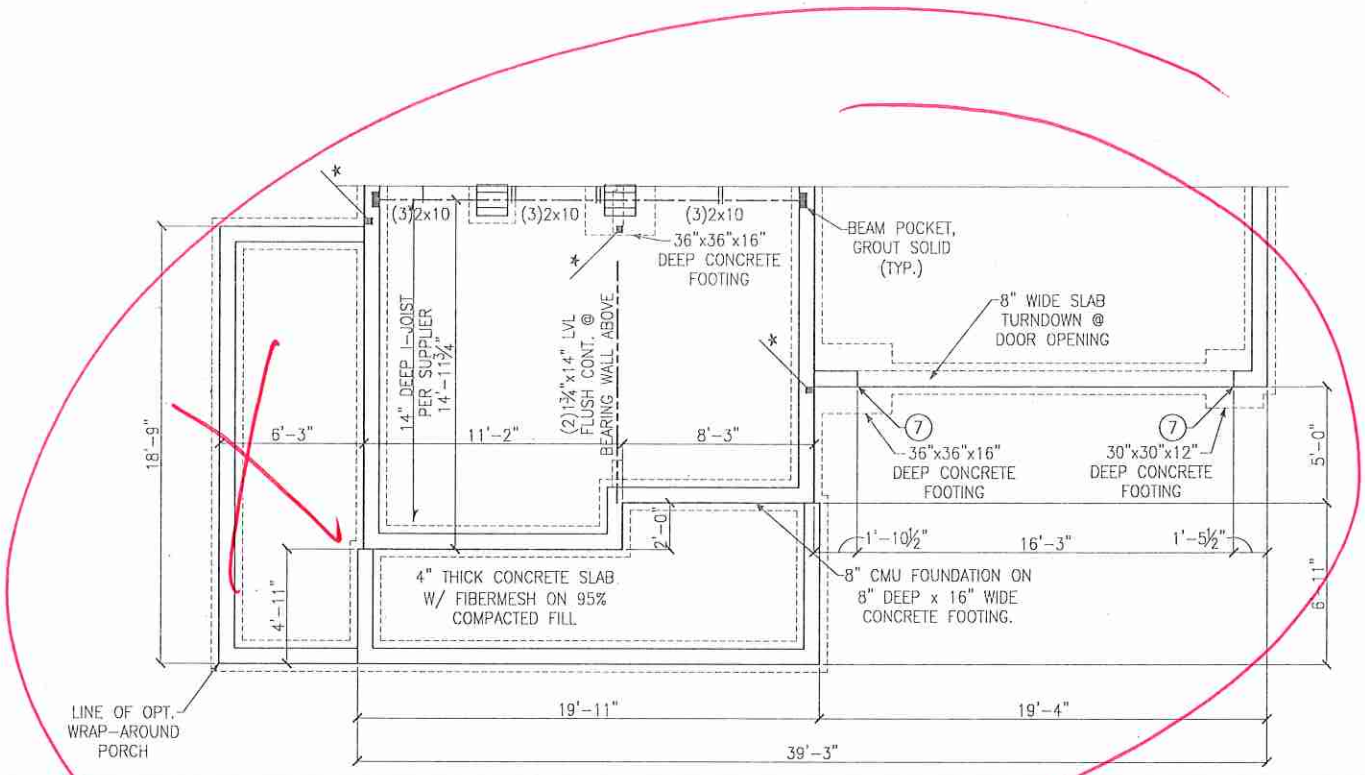
- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- INTERIOR BEARING WALL
- BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
- 48" WSP

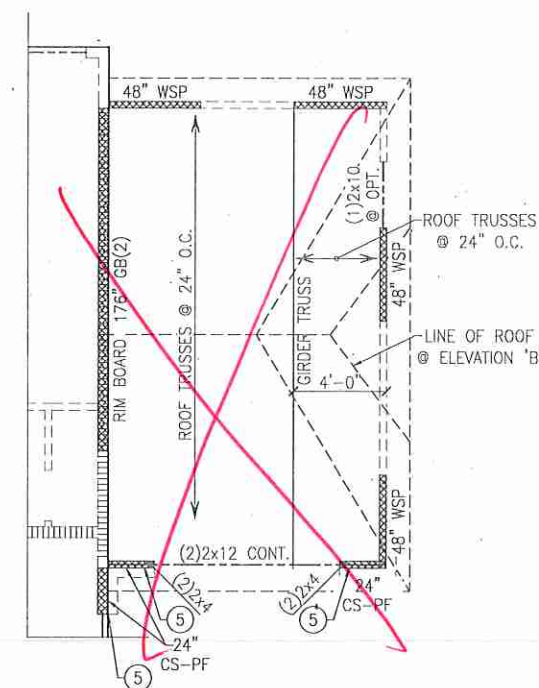
REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.

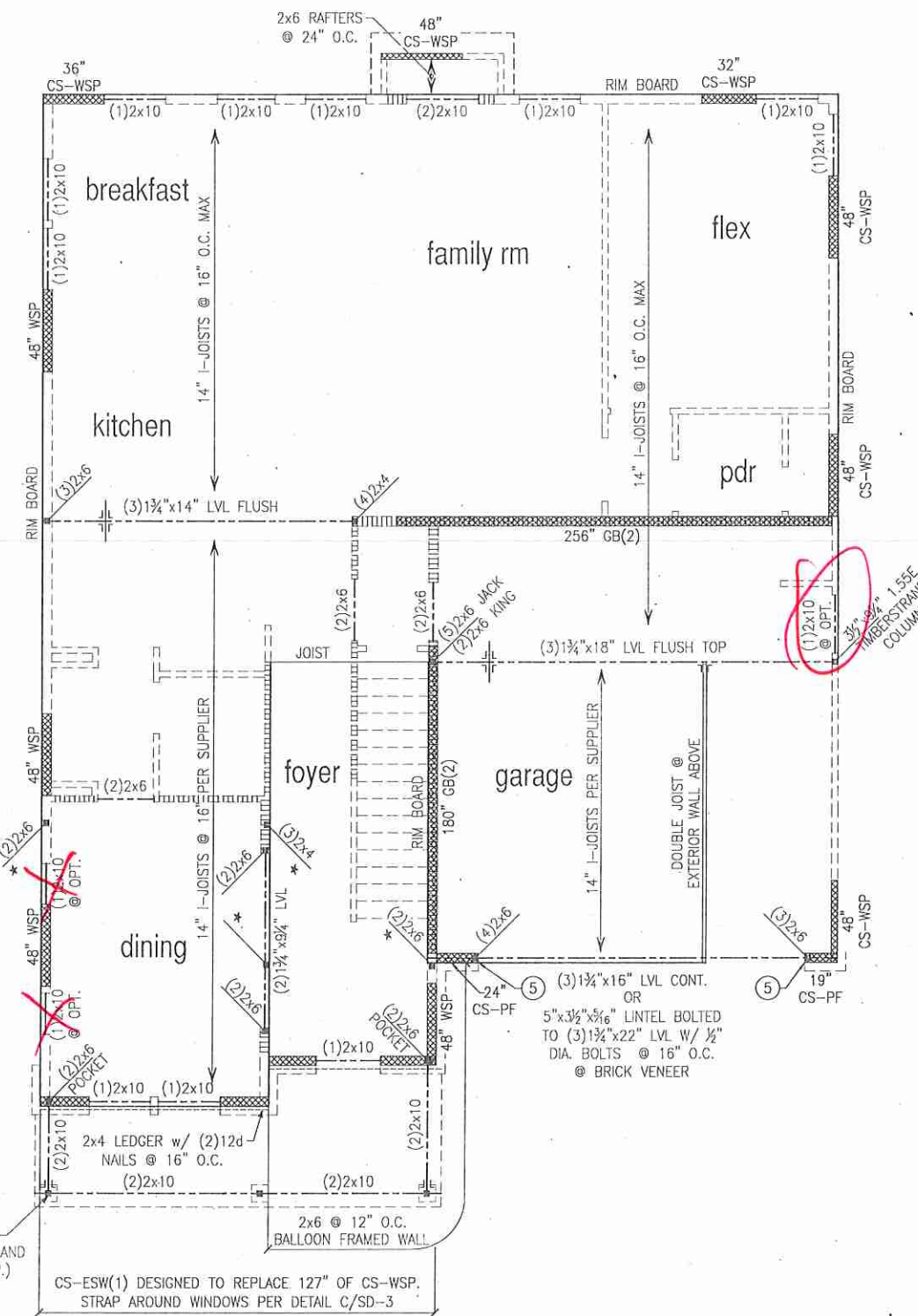
KEYNOTES:

- ⑦ REINFORCE 8" CMU WALL AND FOOTING UNDER PORTAL FRAME PER DETAIL B/SD-4.



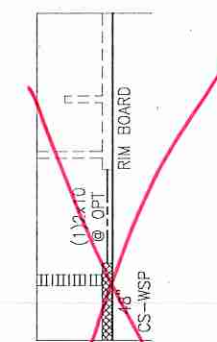


PARTIAL FRAMING PLAN
 OPTIONAL 3-CAR SWING IN CARRIAGE GARAGE

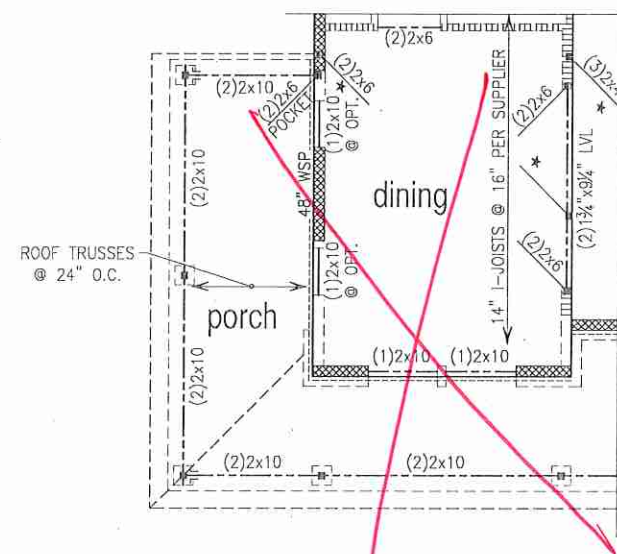


SECOND FLOOR FRAMING PLAN
 ELEVATION A

See Elevation B



PARTIAL FRAMING PLAN
 OPT. BED 4/BATH 3



PARTIAL FRAMING PLAN
 OPT. WRAP-AROUND PORCH
 ELEVATION A

LEGEND

- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- INTERIOR BEARING WALL
- BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
- 48" WSP

REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 9' WALL PLATES

FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.

KEYNOTES:

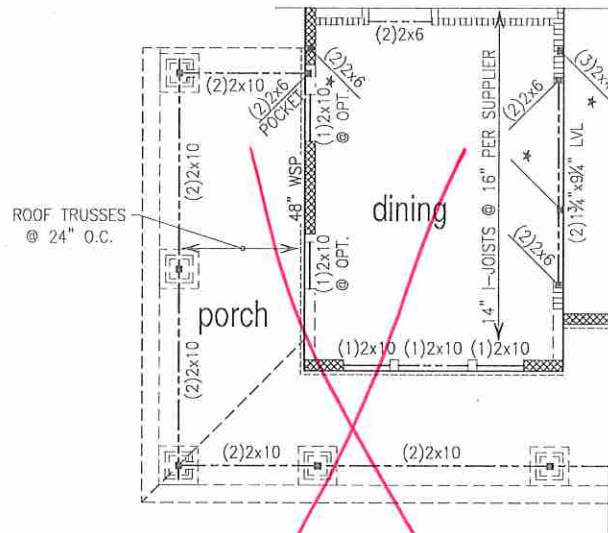
- ④ INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.
- ⑤ INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.

4x4 P.T. POST W/ SIMPSON ABA44 BASE AND BCS2-2/4 CAP (TYP.)

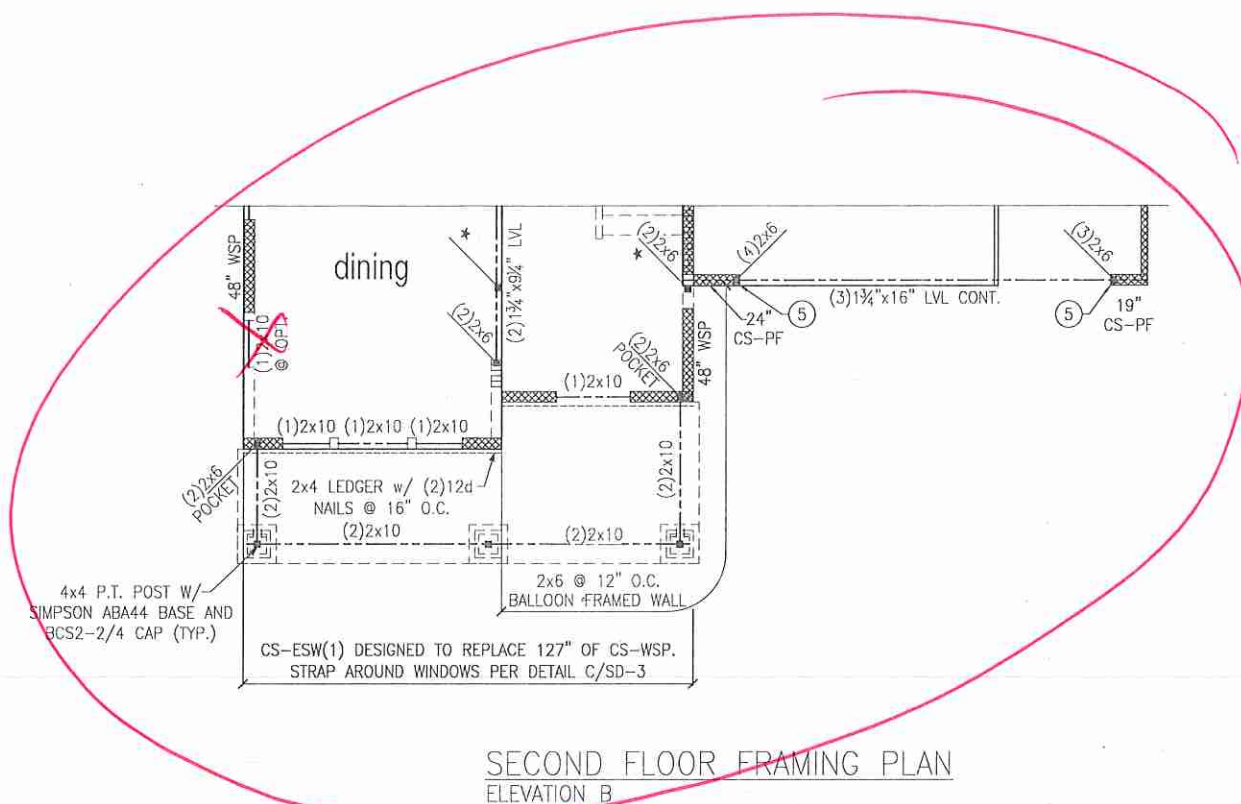
CS-ESW(1) DESIGNED TO REPLACE 127" OF CS-WSP. STRAP AROUND WINDOWS PER DETAIL C/SD-3

(3) 1 3/4" x 16" LVL CONT. OR 5" x 3 1/2" x 5/8" LINTEL BOLTED TO (3) 1 3/4" x 22" LVL W/ 1/2" DIA. BOLTS @ 16" O.C. @ BRICK VENEER

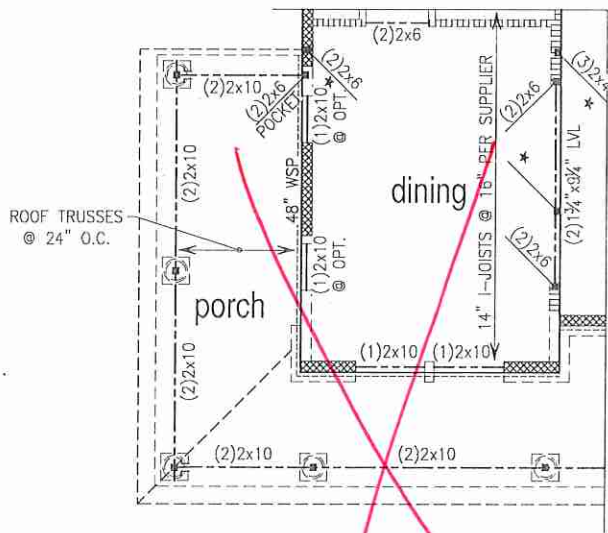
(1) 2x10 @ OPT. 3/4" x 2 1/4" 1.55E IMBERSTRAND COLUMN



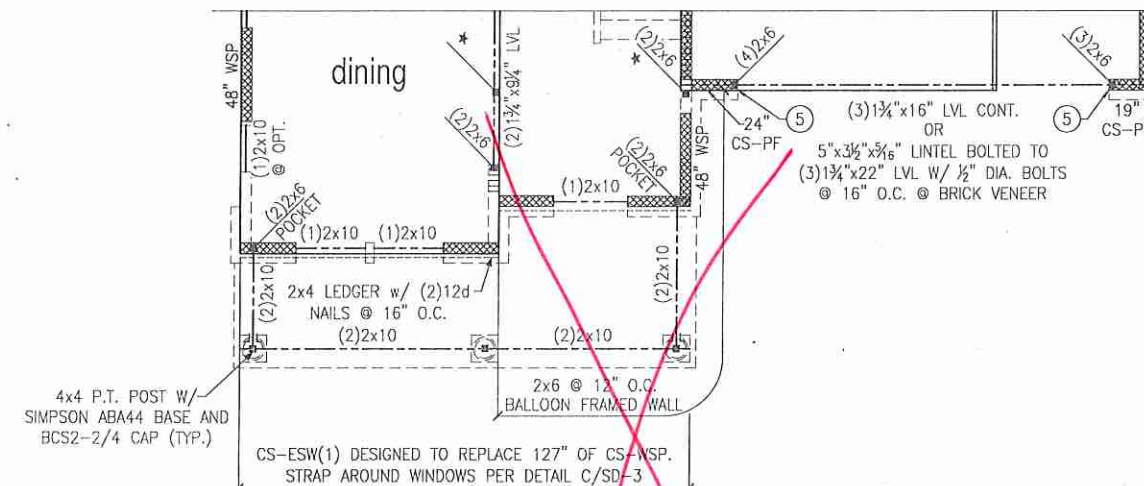
PARTIAL FRAMING PLAN
 OPT. WRAP-AROUND PORCH
 ELEVATION B



SECOND FLOOR FRAMING PLAN
 ELEVATION B



PARTIAL FRAMING PLAN
 OPT. WRAP-AROUND PORCH
 ELEVATION C



SECOND FLOOR FRAMING PLAN
 ELEVATION C

LEGEND

- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- INTERIOR BEARING WALL
- BRACED WALL PANEL
- 48" WSP (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 9' WALL PLATES

FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.

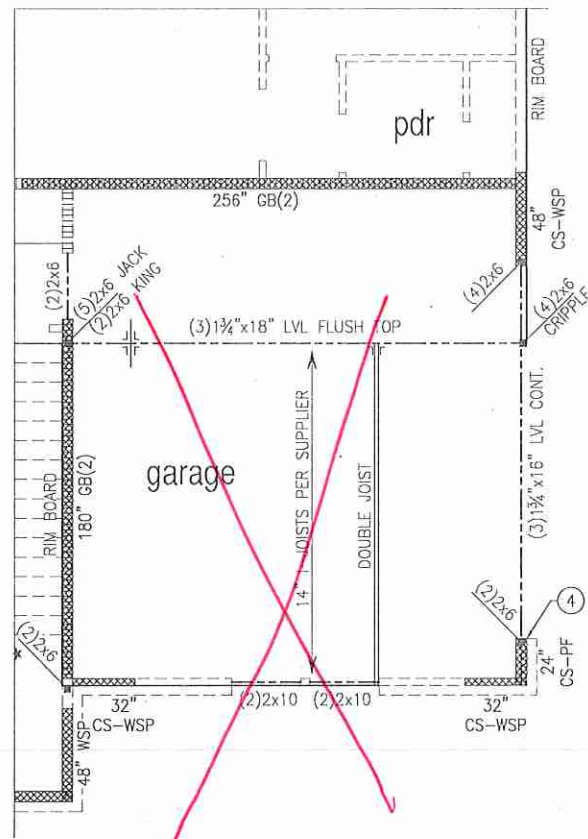
KEYNOTES:

- ④ INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.
- ⑤ INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.

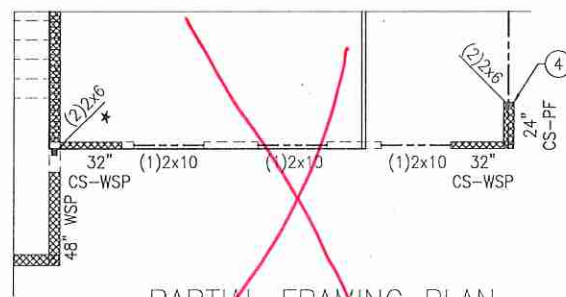


Second Floor Framing Plans
 Elevations B, C & Options
 Jessamine Model - RH
 120 M.P.H.
 Carolina Division

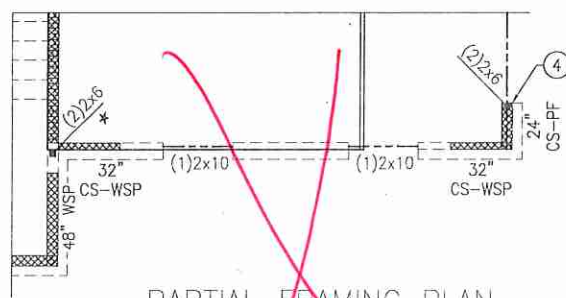
Project #: 105-16010
 Designed By: KRK
 Checked By:
 Issue Date: 4/5/19
 Re-Issue:
 Scale: 1/8"=1'-0" @ 11x17
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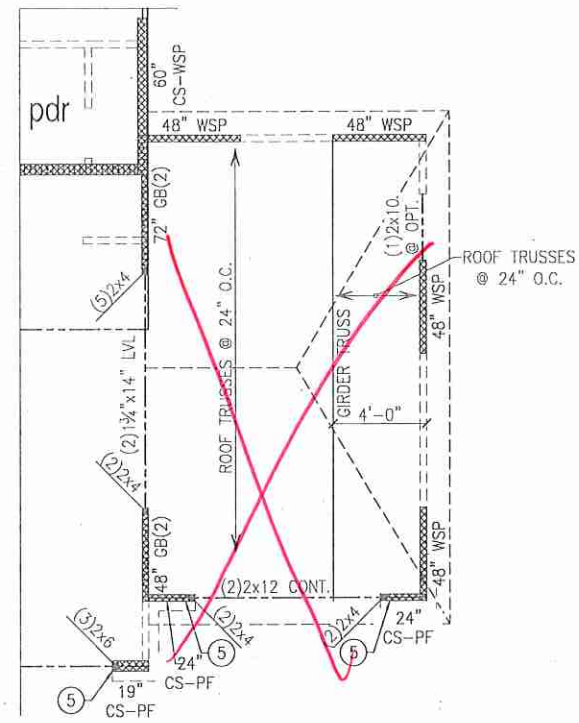
PARTIAL FRAMING PLAN
OPT. SIDE-LOAD GARAGE
ELEVATION A



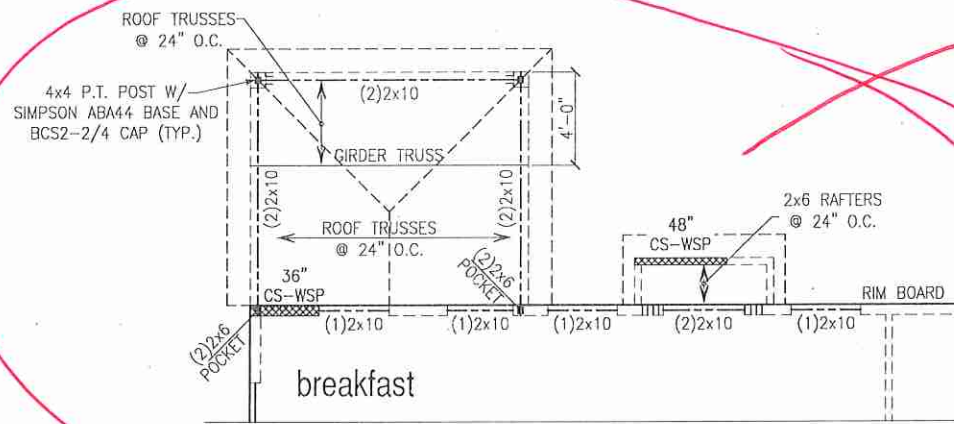
PARTIAL FRAMING PLAN
OPT. SIDE-LOAD GARAGE
ELEVATION B



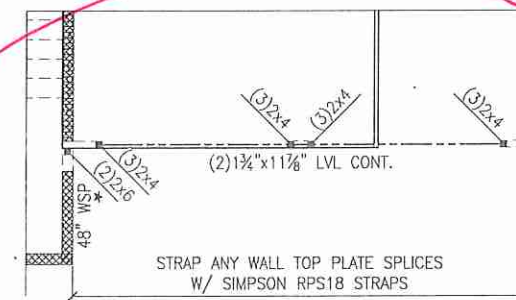
PARTIAL FRAMING PLAN
OPT. SIDE-LOAD GARAGE
ELEVATION C



PARTIAL FRAMING PLAN
OPT. 3-CAR GARAGE FRONT LOAD



PARTIAL FRAMING PLAN
OPT. COVERED PATIO



PARTIAL FRAMING PLAN
OPT. 2 DOOR GARAGE

*Screened extended
covered deck
w/ optional patio*

LEGEND

- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- INTERIOR BEARING WALL
- BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

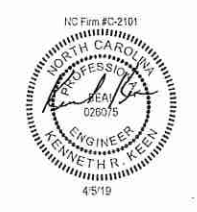
REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

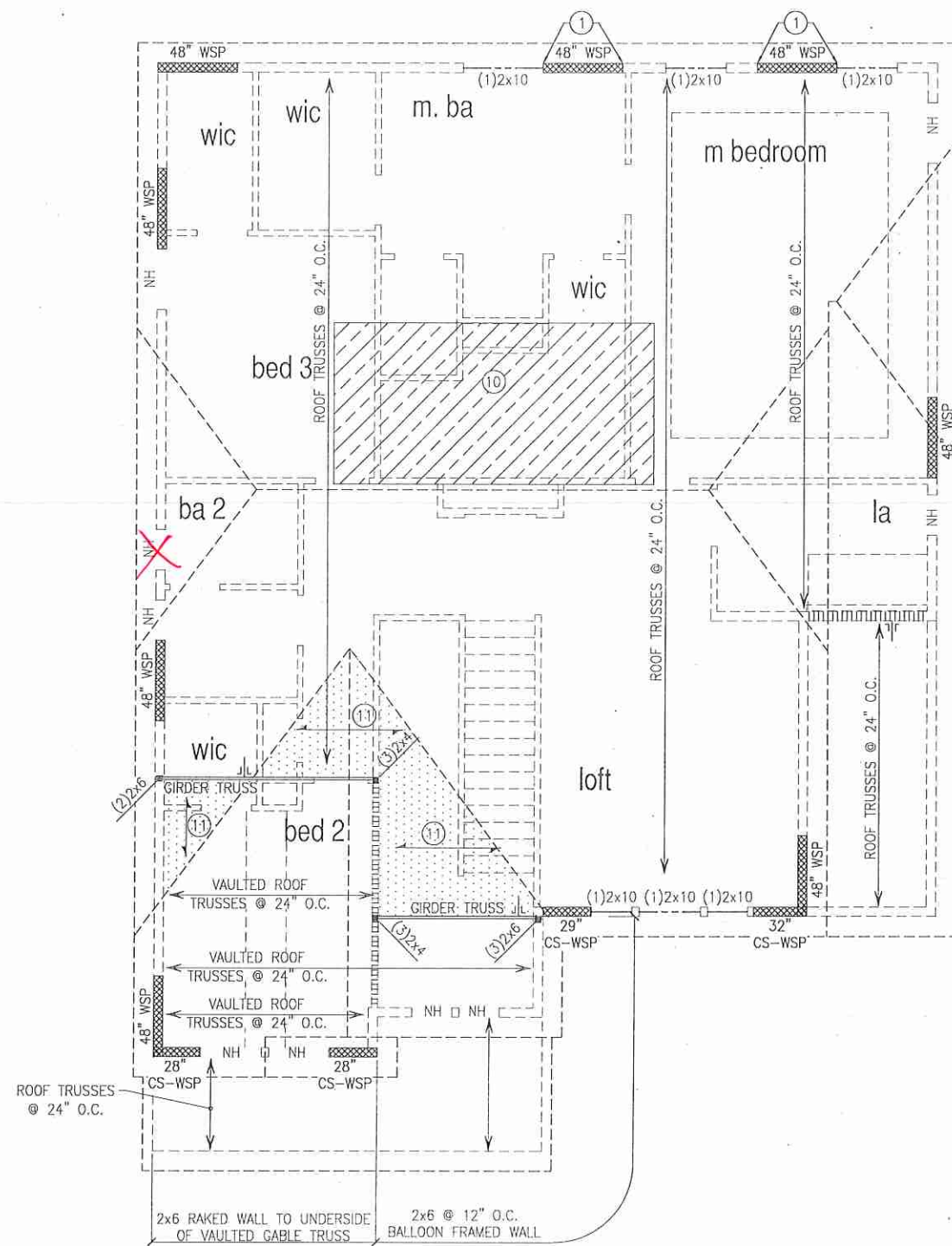
PLAN DESIGNED WITH 9' WALL PLATES

FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.

KEYNOTES:

- ④ INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.
- ⑤ INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.





ROOF FRAMING PLAN
ELEVATION B

LEGEND

- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- INTERIOR BEARING WALL
- BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
- 48" WSP

REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 8' WALL PLATES

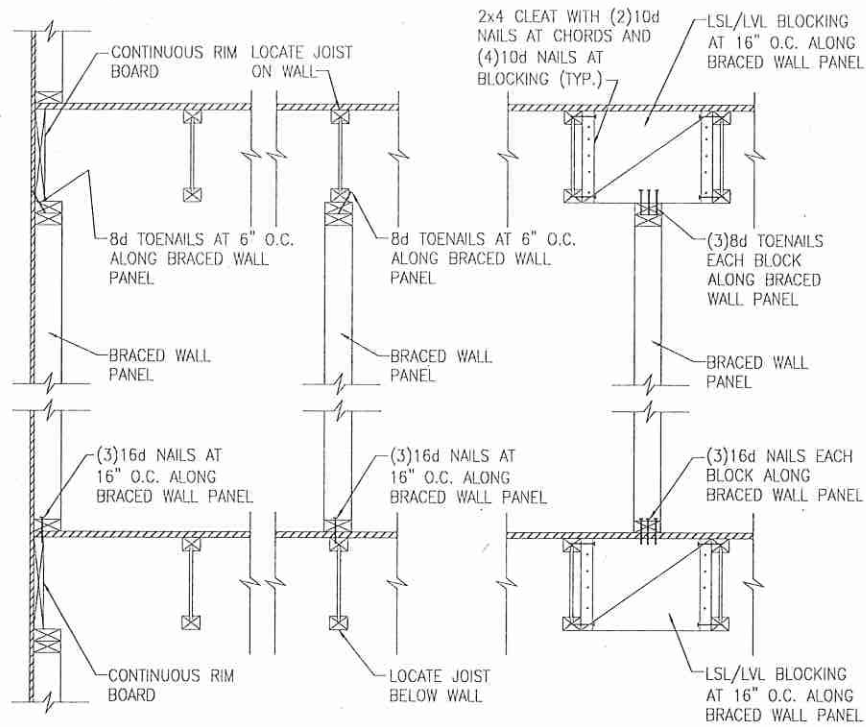
KEYNOTES:

- ① CONNECT STUD AT END OF BRACED WALL PANEL TO FRAMING BELOW WITH A 30" LONG SIMPSON CS22 COIL STRAP WITH MIN 8-10# NAILS EACH END.
- ⑩ 8'x16' HVAC PLATFORM TRUSSES DESIGNED TO SUPPORT HVAC UNITS.
- ⑪ 2x6 OVERFRAMING W/ 2x8 RIDGE AND VALLEY PLATES OR VALLEY SET TRUSSES @ 24" O.C. (TYP.)

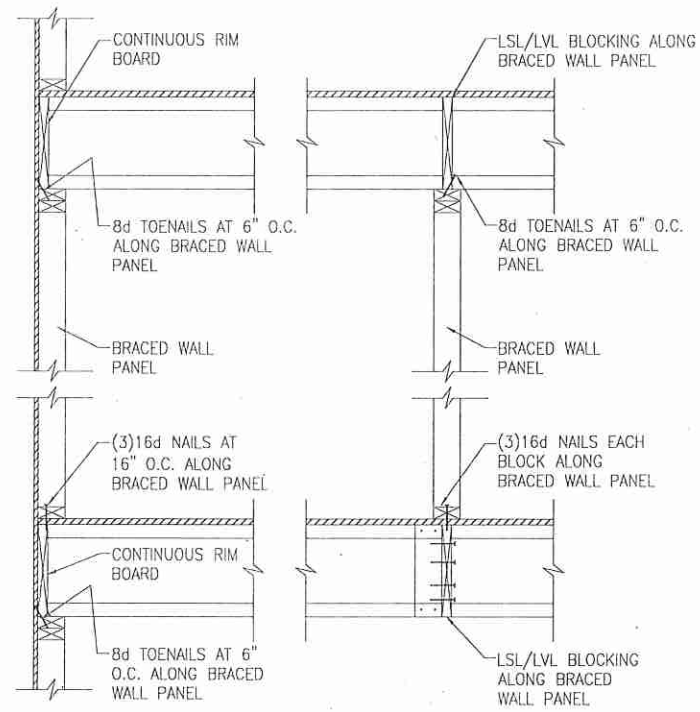


Roof Framing Plan
Elevation B
Jessamine Model - RH
120 M.P.H.
Carolina Division

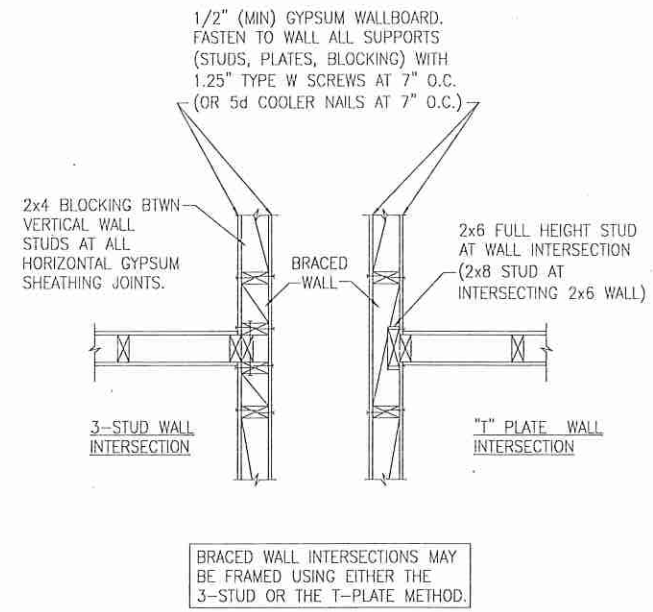
Project #: 105-16010
Designed By: KRK
Checked By:
Issue Date: 4/5/19
Re-Issue:
Scale: 1/8"=1'-0" @ 11x17
1/4"=1'-0" @ 22x34



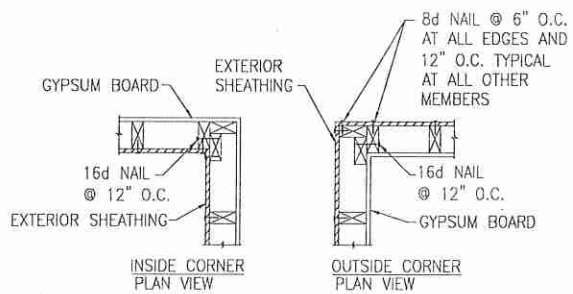
A TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION
BRACED WALL PANELS PARALLEL TO I-JOISTS



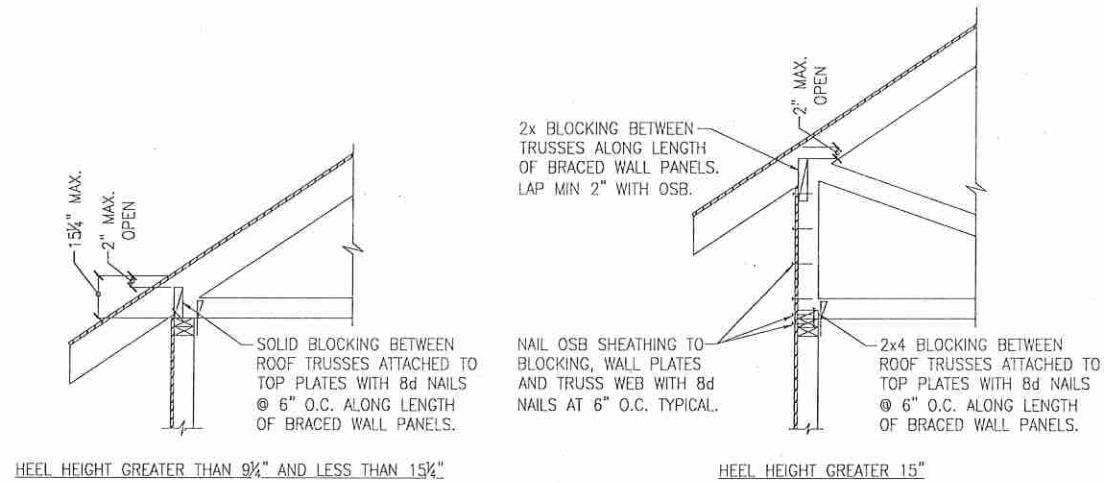
B TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION
BRACED WALL PANELS PERPENDICULAR TO I-JOISTS



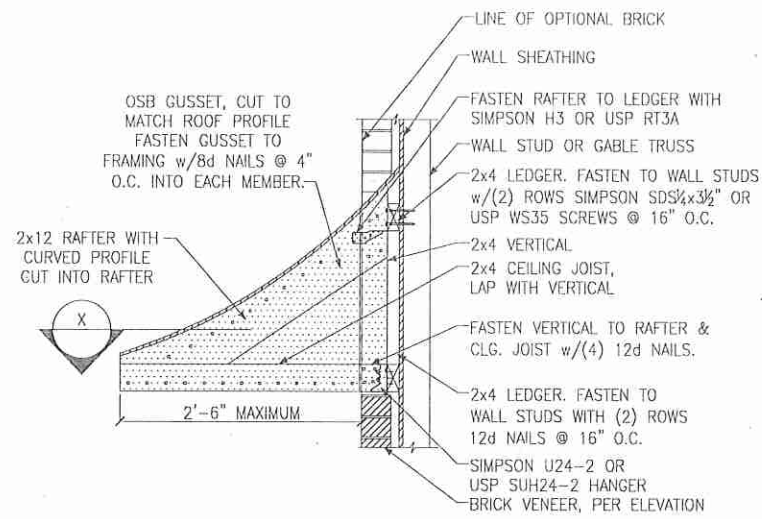
C METHOD GB(1) AND GB(2) INTERSECTION DETAILS



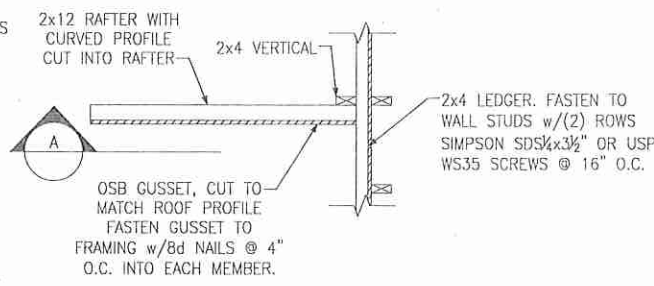
D TYPICAL EXTERIOR CORNER WALL FRAMING



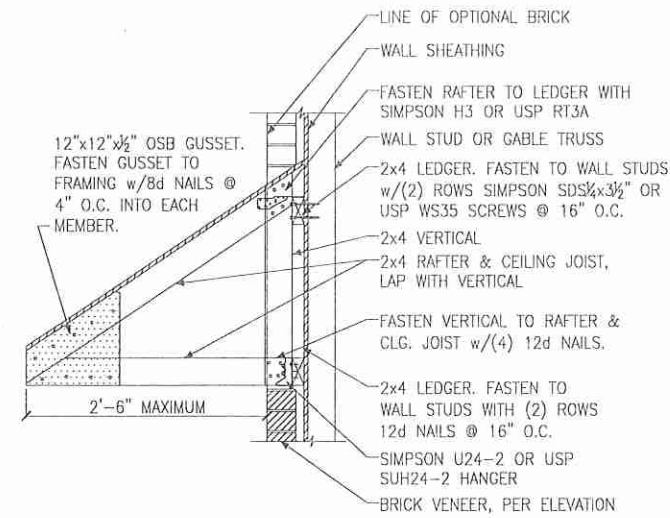
E ROOF TRUSS BEARING/BLOCKING AT BRACED WALL PANELS
ONLY REQUIRED AT BRACED WALL PANELS



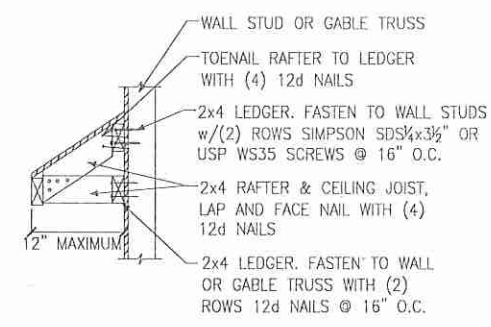
A PENT ROOF DETAIL
CURVED ROOF



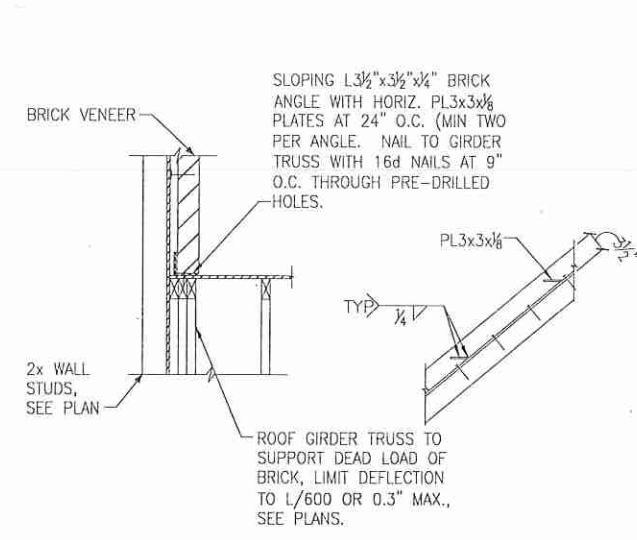
X SECTION
CURVED ROOF



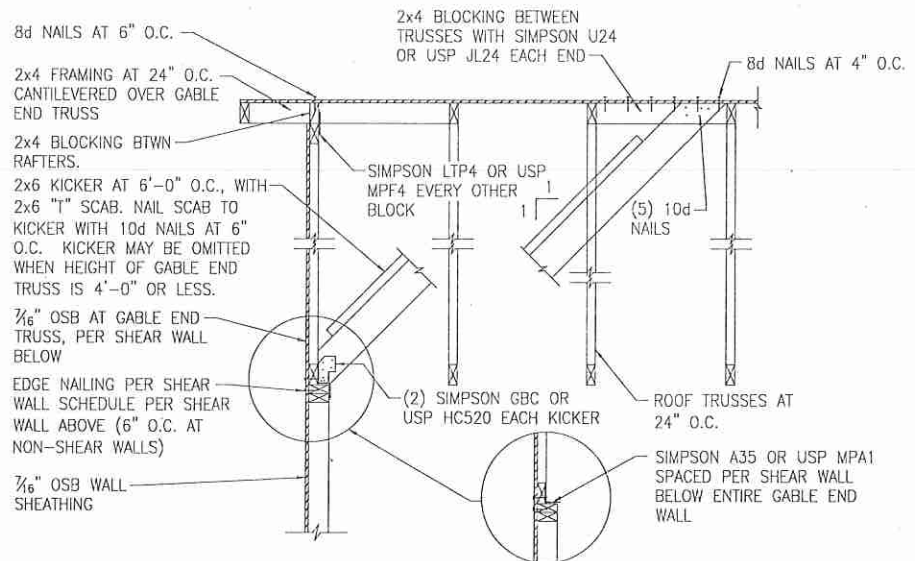
B PENT ROOF DETAIL
STRAIGHT ROOF



C EYEBROW ROOF DETAIL
STRAIGHT ROOF



D TRUSS DETAIL



E GABLE END WALL DETAIL

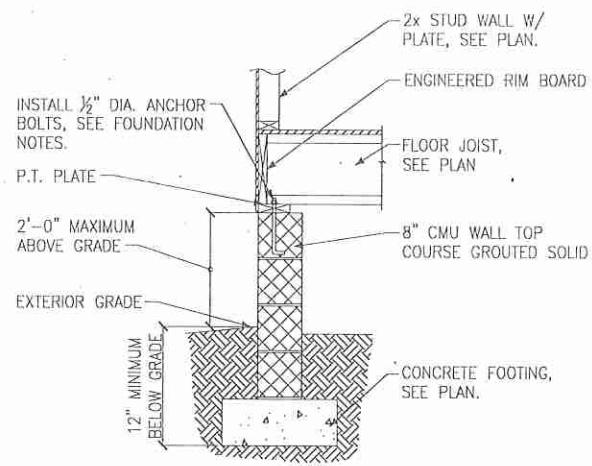


Miscellaneous Framing Details

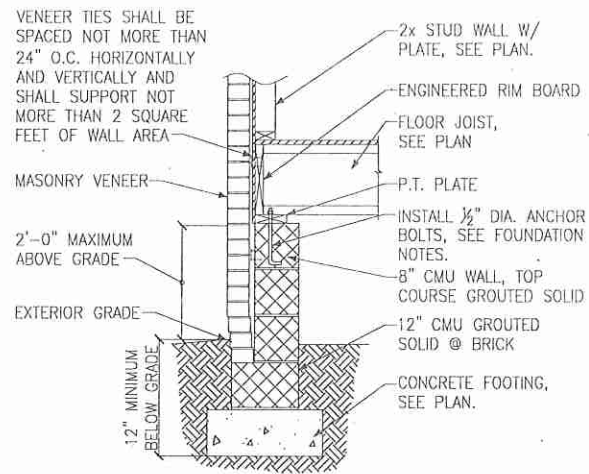
120 M.P.H.
Carolina Division

Project #: 105-19000
Designed By: KRK
Checked By:
Issue Date: 1/1/19
Re-Issue:
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1/4"=1'-0" @ 22x34

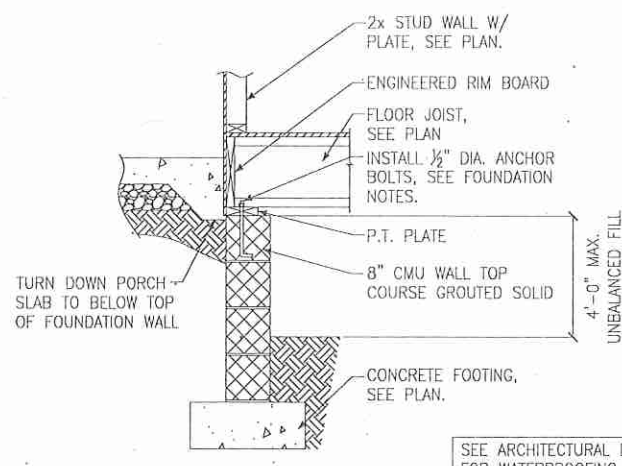




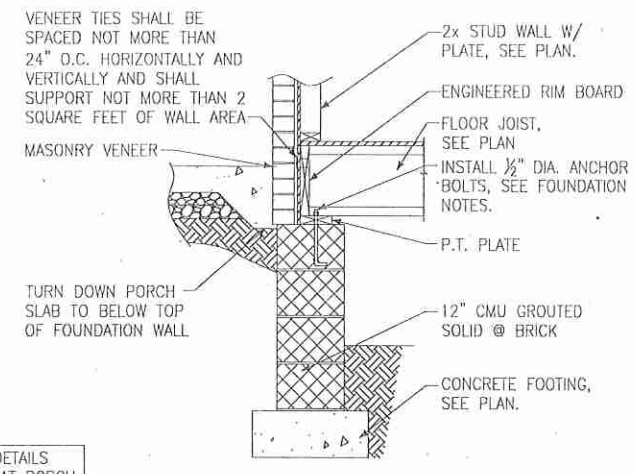
A FOUNDATION SECTION
EXTERIOR WALL



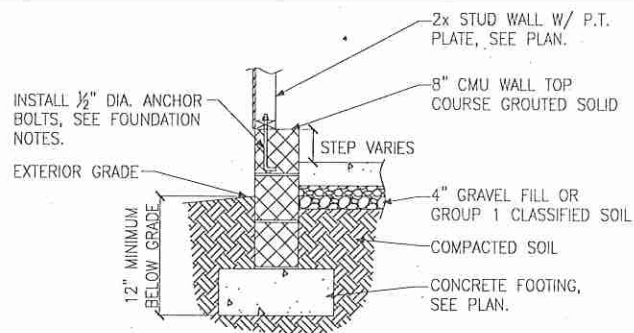
B FOUNDATION SECTION
EXTERIOR WALL @ MASONRY VENEER



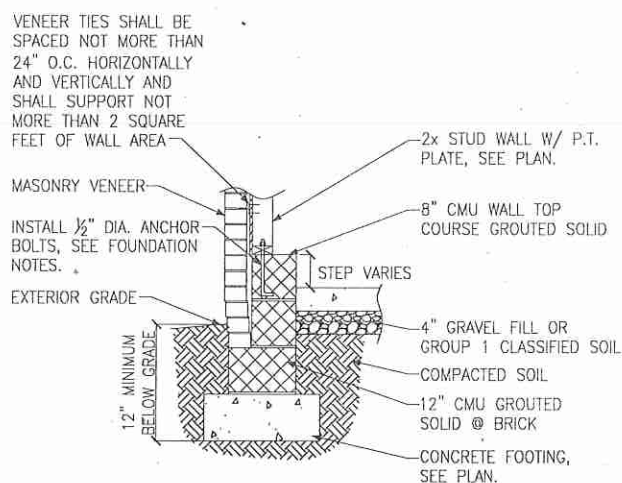
C FOUNDATION SECTION
EXTERIOR WALL AT PORCH



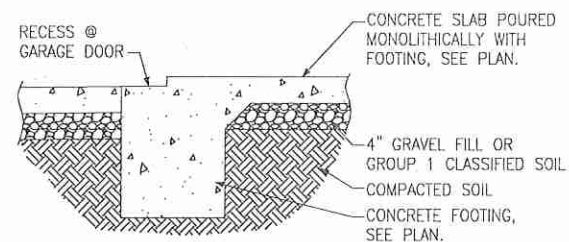
D FOUNDATION SECTION
EXTERIOR WALL AT PORCH W/ MASONRY VENEER



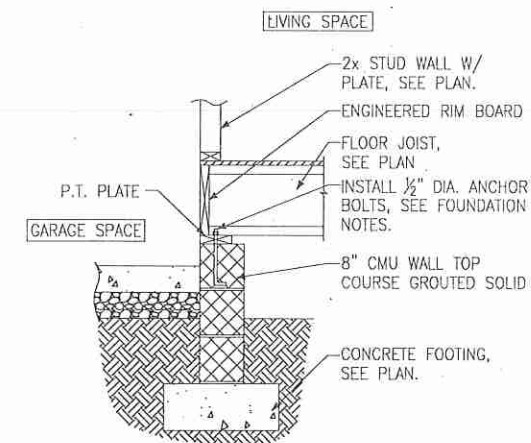
E FOUNDATION SECTION
EXTERIOR GARAGE WALL



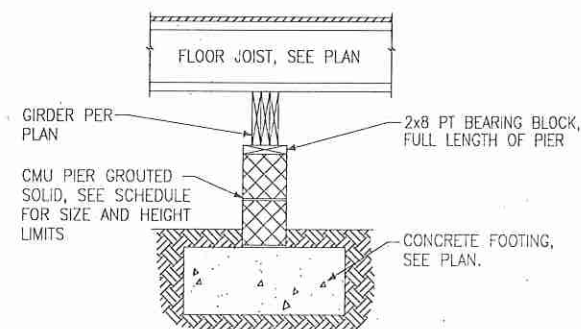
F FOUNDATION SECTION
EXTERIOR GARAGE WALL @ MASONRY VENEER



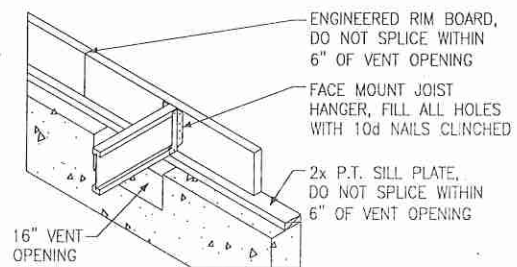
G FOUNDATION SECTION
GARAGE DOOR



H FOUNDATION SECTION
INTERIOR GARAGE WALL



J FOUNDATION SECTION
INTERIOR PIER



K CRAWL SPACE VENT DETAIL

| PIER AND FOOTING SCHEDULE | | |
|---------------------------|-----------|------------------------|
| PIER HEIGHT | PIER SIZE | MIN. FOOTING SIZE |
| UP TO 2'-8" | 8" x 16" | 24" x 24" x 12" U.N.O. |
| UP TO 5'-4" | 16" x 16" | 24" x 24" x 12" U.N.O. |
| UP TO 8'-0" | 16" x 16" | 30" x 30" x 12" U.N.O. |

NOTE:
PIERS SHALL BE CAPPED WITH 8" OF SOLID MASONRY OR CONCRETE OR TOP COURSE FILLED SOLID WITH CONCRETE/MORTAR.
PIERS OVER 5'-4" SHALL BE BE FILLED SOLIDLY WITH CONCRETE OR TYPE M OR S MORTAR.
FOR PIERS OVER 8'-0" CONTACT KSE ENGINEERING FOR PIER AND FOOTING DESIGN.

