

Notes:
 - This plat is for location purposes only. Builder should verify foundation information with plans before construction begins.
 - There is no USCE or NCGS monument within 2000' of this site.
 - The subject property is not within a special flood hazard area as determined by the Department of Housing and Urban Development.
 - The easement information shown hereon was obtained from the recorded plat. No updated title search was performed by the surveyor.
 - All distances are measured in feet.
 - This map reflects the information contained on the Record Plat and does not represent compliance with the Restrictive Covenants.

LEGEND

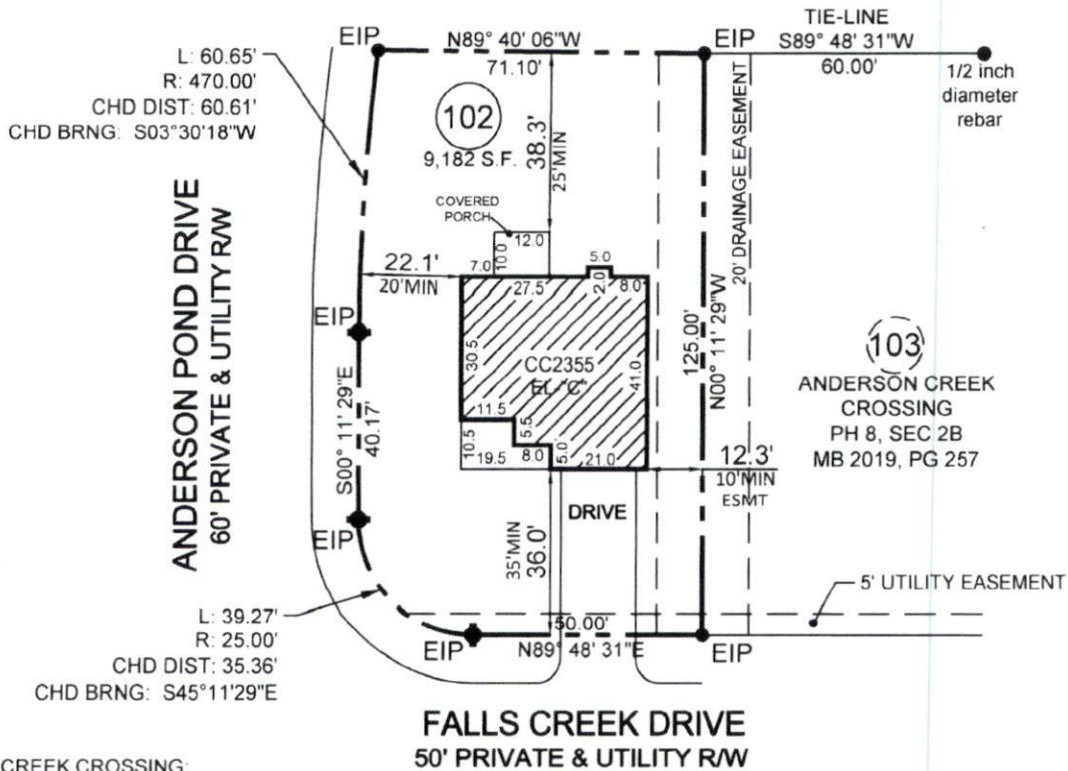
- - EXISTING IRON PIPE
- - CURVE PT / PC
- - SURVEYED LINE
- - - - EASEMENT LINE
- - - - ADJOINER
- - - - SURVEYED BY OTHERS



****PRELIMINARY PLAT - NOT FOR CONVEYANCES OR SALES****



ANDERSON CREEK PARTNERS LP
 PIN# 0505-86-8897
 DB 3111, PG 0521



ANDERSON CREEK CROSSING:
 FRONT (60' R/W) 30' MIN
 FRONT (50' R/W) 35' MIN
 SIDE 5 / 10' MIN
 (ONE SIDE CAN BE 5' WHEN OTHER IS 10)
 SIDE COR LOT @ R/W 20' MIN
 REAR 25' MIN

- PLOT PLAN FOR -
CAVINNESS & CATES BUILDING & DEVELOPMENT, INC.
 - SUBDIVISION -
ANDERSON CREEK CROSSING
 PHASE 8, SECTION 2B

ANDERSON CREEK TWP.
 HARNETT COUNTY
 NORTH CAROLINA

JULY 7, 2020
 SCALE 1" = 40'
 FIELD BOOK:

REFERENCE
 MAP BOOK 2019, PAGE 311
 HARNETT COUNTY NORTH CAROLINA REGISTRY

ENGINEERS
 PLANNERS
 SURVEYORS
MOORMAN, KIZER & REITZEL, INC.



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 LICENSE #: F-0106

PROF. SURVEYOR NO. L9150

