

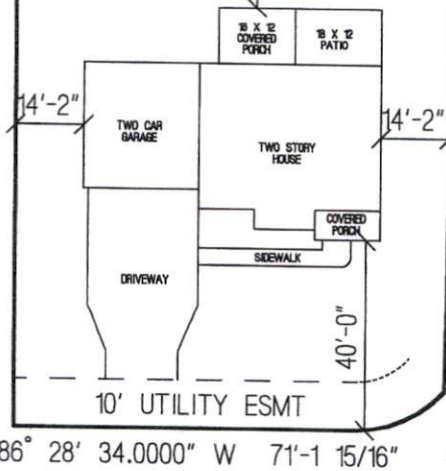
S 86° 33' 23.0000" E 94'-5 3/16"

N 3° 31' 26.0000" E 285'-5 1/4"

N 4° 28' 53.0000" E 277'-3 3/8"



197'-5"



N 86° 28' 34.0000" W 71'-1 15/16" AL=21'-3/8"

SITE PLAN APPROVAL

DISTRICT RA 20m USE 62x48

#BEDROOMS 4

7-22-20 K.A.G.

ZONING ADMINISTRATOR

SFD

OAKHAVEN DRIVE

TMD RESIDENTIAL PROPERTIES, LLC.  
 THE COLTER W/ 3RD CAR GARAGE  
 LOT # 15 OAK HAVEN  
 SCALE: 1"=40'

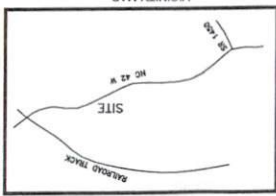
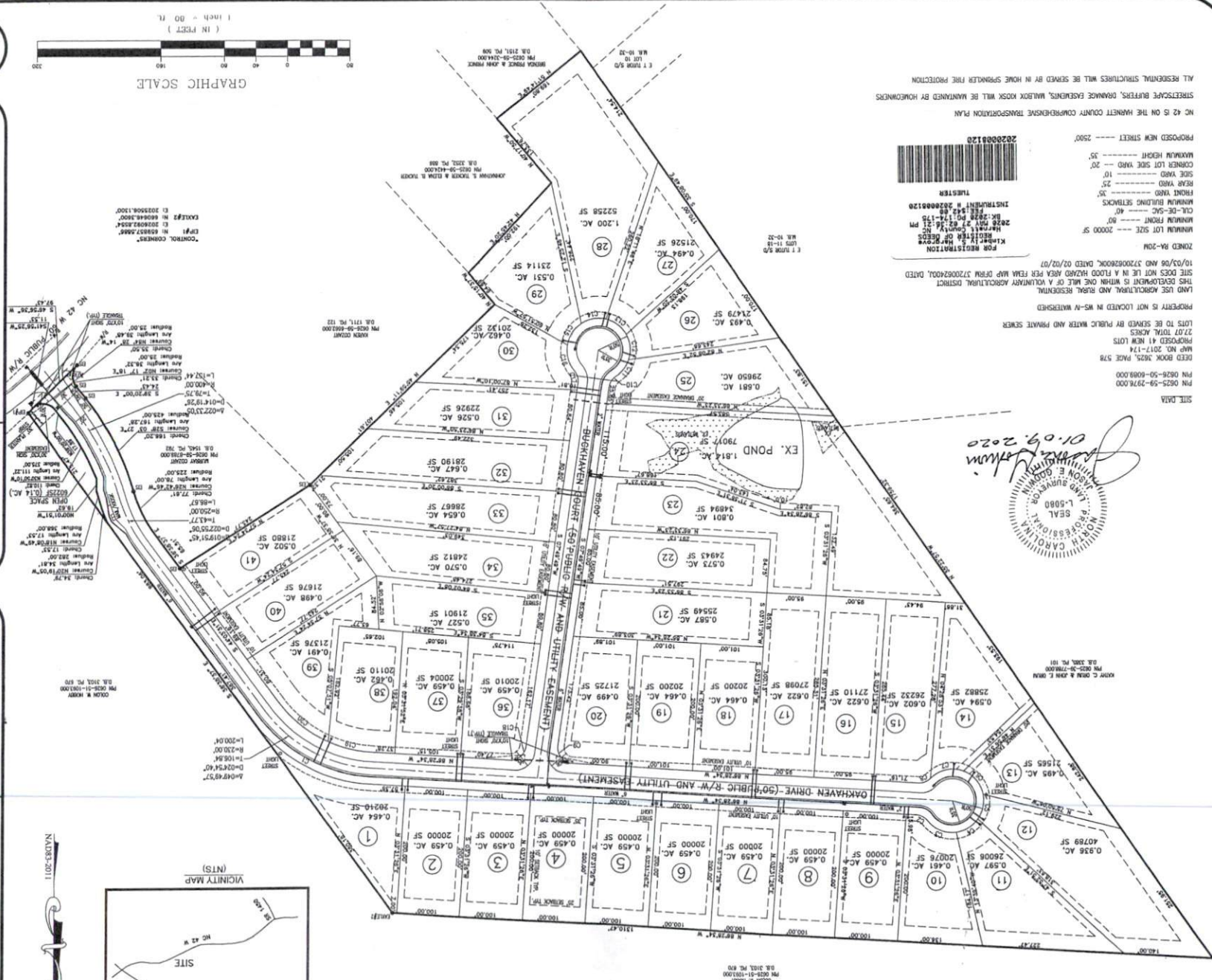
NO. 42 IS ON THE HANNETT COUNTY COMPREHENSIVE TRANSPORTATION PLAN  
 STREETSCAPE BARRIERS, DAMAGE FACEMASKS, WALLBOX MOXIS WILL BE MAINTAINED BY HOMEOWNERS  
 ALL RESIDENTIAL STRUCTURES WILL BE SERVED BY IN HOME SPRINKLER FIRE PROTECTION



FOR REGISTRATION  
 KIMBLE & HARRIS  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 INSTRUMENT NO. 2020001120  
 DATE: 09/17/20  
 TIME: 11:21 PM  
 INSTRUMENT # 2020001120  
 2020  
 25' FRONT YARD SETBACKS  
 MINIMUM BUILDING SETBACKS  
 REAR YARD 25'  
 SIDE YARD 10'  
 MAXIMUM HEIGHT 35'  
 PROPOSED NEW STREET 2500'

ZONED RA-20M  
 MINIMUM LOT SIZE 20000 SF  
 MINIMUM FRONT SETBACKS 60'  
 MINIMUM BUILDING SETBACKS 2020  
 10/03/06 AND 3/20028000, DATED 02/02/07  
 THIS DEVELOPMENT IS WITHIN ONE MILE OF A RURAL RESIDENTIAL ASSOCIATION DISTRICT  
 LAND USE AGRICULTURAL AND RURAL RESIDENTIAL  
 PROPERTY IS NOT LOCATED IN MS-A WATERSEWER  
 LOTS TO BE SERVED BY PUBLIC WATER AND PRIVATE SEWER

SITE DATA  
 PIN 0625-50-6089.000  
 DEED BOOK 3025, PAGE 578  
 MAP NO. 2017-174  
 27.07 TOTAL ACRES  
 27.07 TOTAL ACRES



PROJECT: 4934  
**S-1**  
 SHEET 1 OF 2

**SUBDIVISION MAP**  
 FOR  
**OAKHAVEN SUBDIVISION**

LOCATION:  
 NC HIGHWAY 42  
 BUCKHOORN TOWNSHIP  
 HANNETT COUNTY, NC  
 PROPERTY OWNERS:  
 PN DEVELOPMENT, LLC  
 108 COMMERCIAL DRIVE  
 DUNN, NC 28335

PLAN INFORMATION:

DESIGNED BY:	EE, PA	HORIZONTAL SCALE:	1" = 100'
DRAWN BY:	EE, PA	VERTICAL SCALE:	1" = 100.00'
CHECKED BY:	JFC	DATE CREATED:	01-09-2020
REVISION:			

**Enoch**  
 Engineers, P.A.  
 CONSULTING ENGINEERS & SURVEYORS  
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 E-mail: [perkins@enochengineers.com](mailto:perkins@enochengineers.com)  
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NOTE: This document is prepared in accordance with the standards established by the State of North Carolina. It is the responsibility of the engineer to ensure that all information is correct and that the project complies with all applicable laws and regulations. The engineer does not warrant the accuracy of the information provided herein, and the user assumes all liability for any errors or omissions. This document is not to be used for any purpose other than that intended by the engineer.