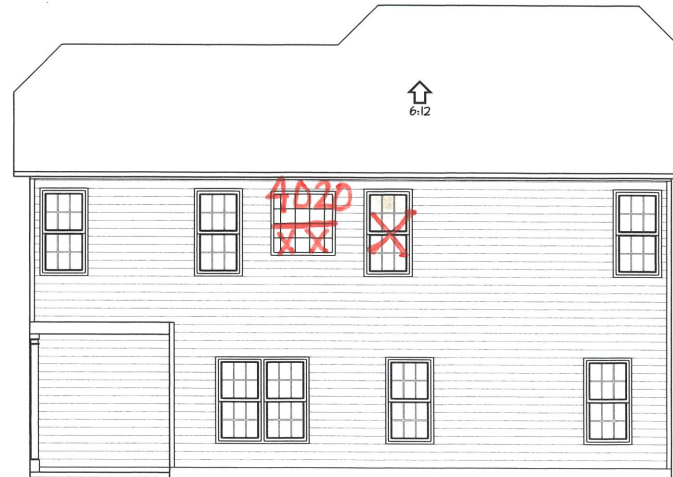


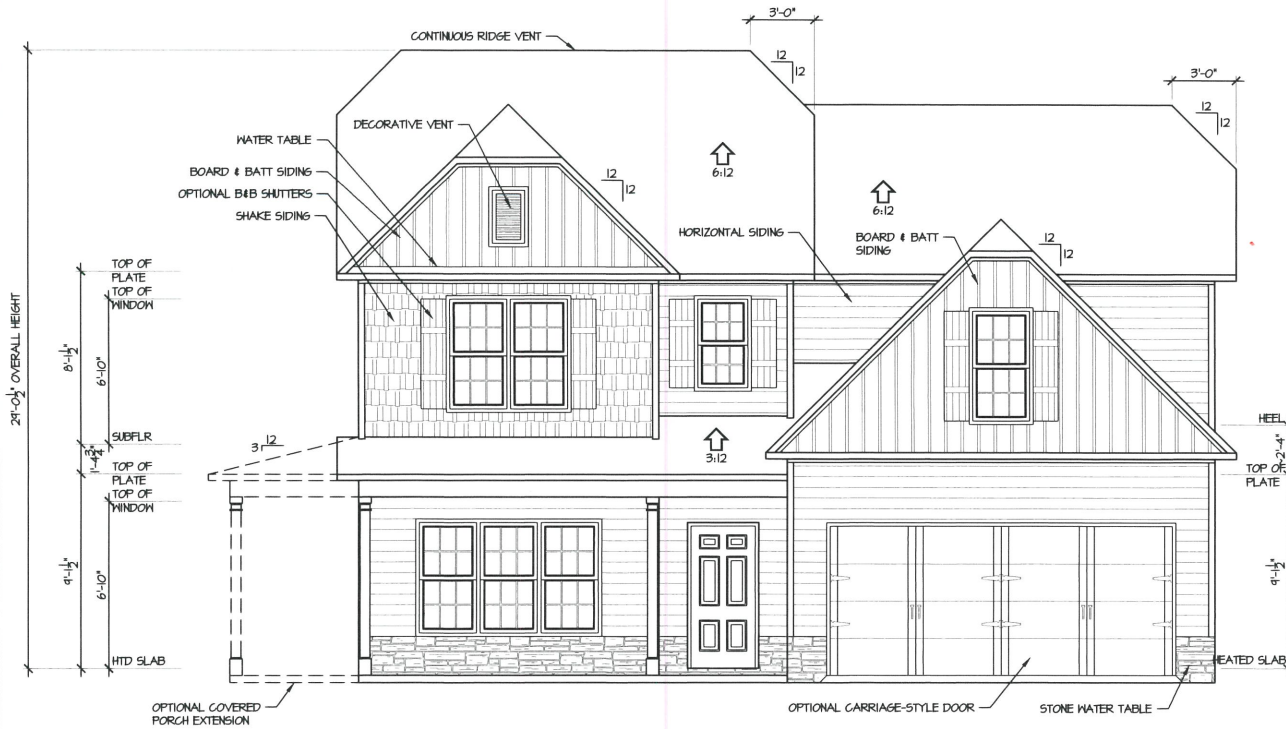
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2 FRONT ELEVATION
3/16" = 1'-0" BASE MODEL

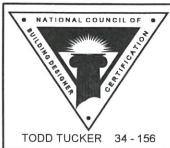


3 REAR ELEVATION
3/16" = 1'-0"



SPACE DATA	
FIRST FLOOR, HEATED:	1340 SF
SECOND FLOOR, HEATED:	1671 SF
FRONT PORCH:	144 SF
FRONT PORCH OPTION:	228 SF
REAR PORCH:	12 SF
GARAGE:	341 SF

ATTIC VENT CALC'S.	
ATTIC AREA:	1854 S.F.
GABLE VENTS:	N/A
RIDGE VENTS:	81 L.F. / 11 S.F. (65%)
SOFFIT VENT:	40 L.F. / 6 S.F. (35%)
RATIO:	$\frac{11}{1854} = \frac{1}{170}$



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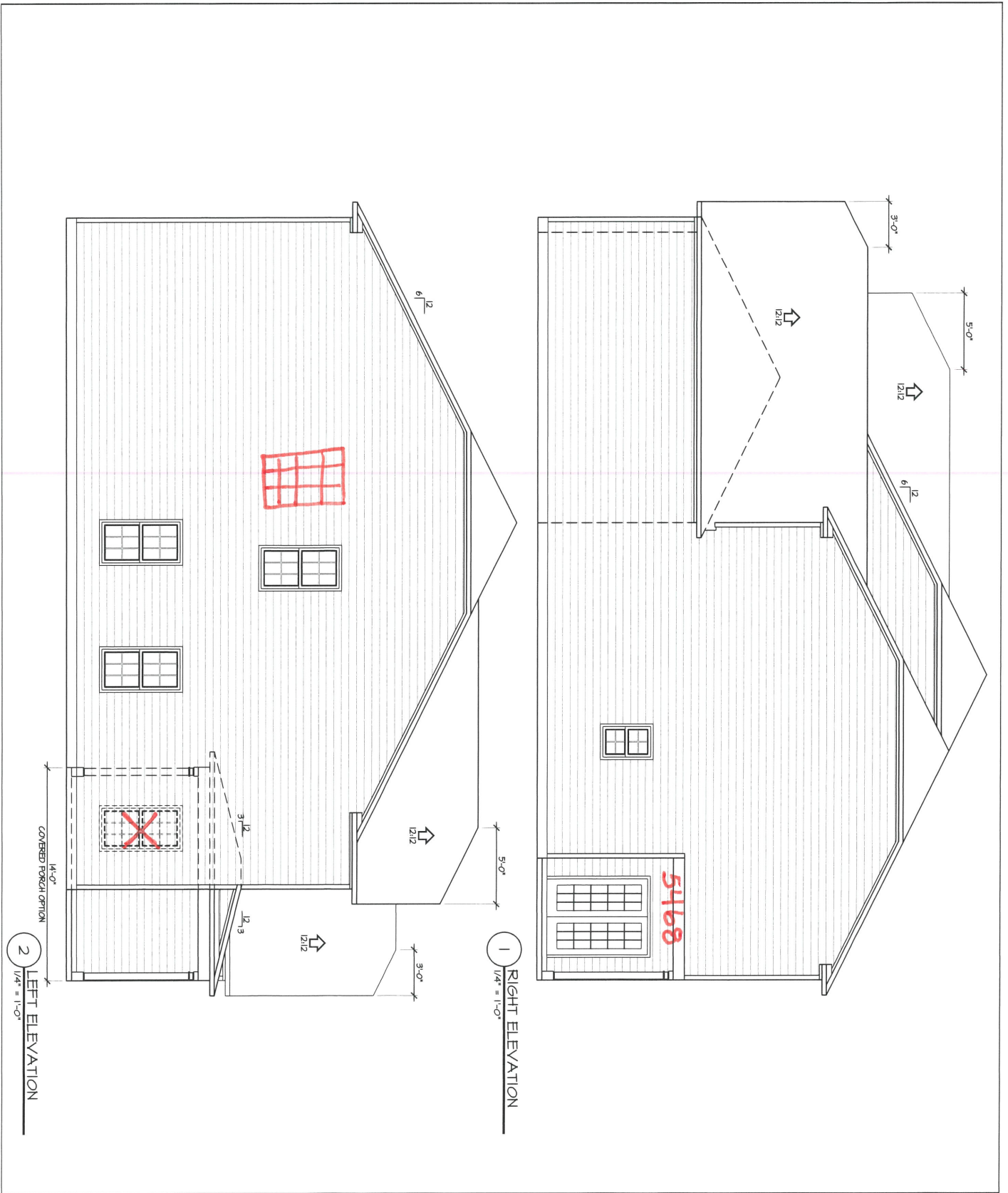


SCALE: AS NOTED

DATE: DECEMBER 2013

PLAN NO. CL 3067 A

3/23/2020 SHEET NO. 1



3/23/2020

2

SHEET NO.

PLAN NO.
CL 3067 **A**

DATE:
DECEMBER 2013

SCALE:
1/4" = 1'-0"

Caviness Land

SHEET TITLE:
ELEVATIONS

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AMERICAN INSTITUTE OF BUILDING DESIGN

AIBD

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● Plumbing drop

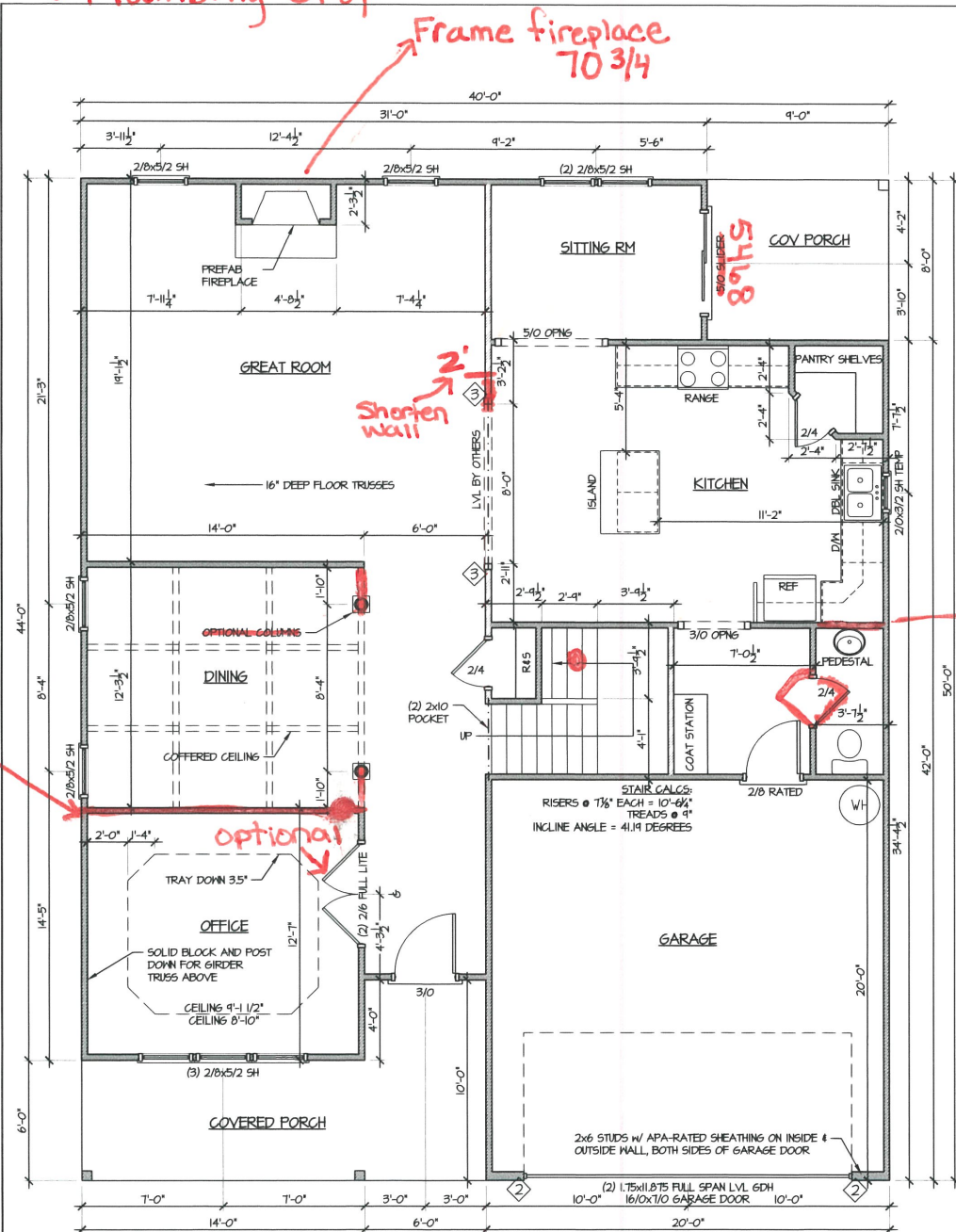
Frame fireplace
70 3/4

2x6 Wall

Shorten wall

2x6 Wall

optional



1 FIRST FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTE:
ALL 2x4 WALLS DRAWN AS 3 1/2"
ALL 2x6 WALLS DRAWN AS 5 1/2"

INTERIOR BEARING WALL

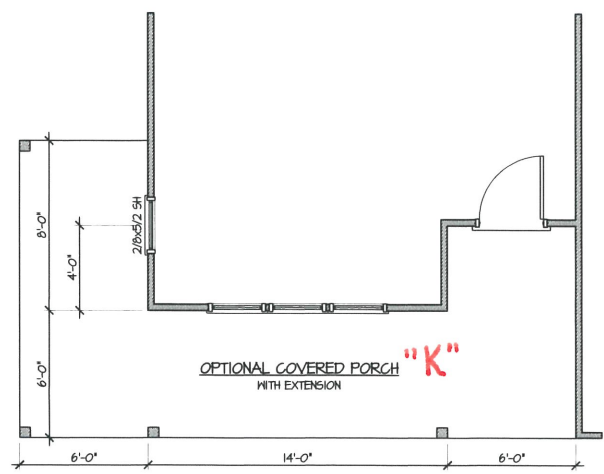
ALL EXTERIOR DIMENSIONS INCLUDE
WALL SHEATHING

ALL WALLS ARE 2x4 WALLS UNLESS OTHERWISE NOTED

IN LOAD-BEARING WALLS,
ALL OPENING, WINDOW & DOOR HEADERS TO BE
(2) 2x10 5TP #2 & (1) STUD ON EACH SIDE
UNLESS NOTED OTHERWISE

◇ SYMBOL FOR REQUIRED STUDS FOR BEAM ABOVE

ARROW INDICATES SPAN DIRECTION



A PORCH OPTION
1/4" = 1'-0"

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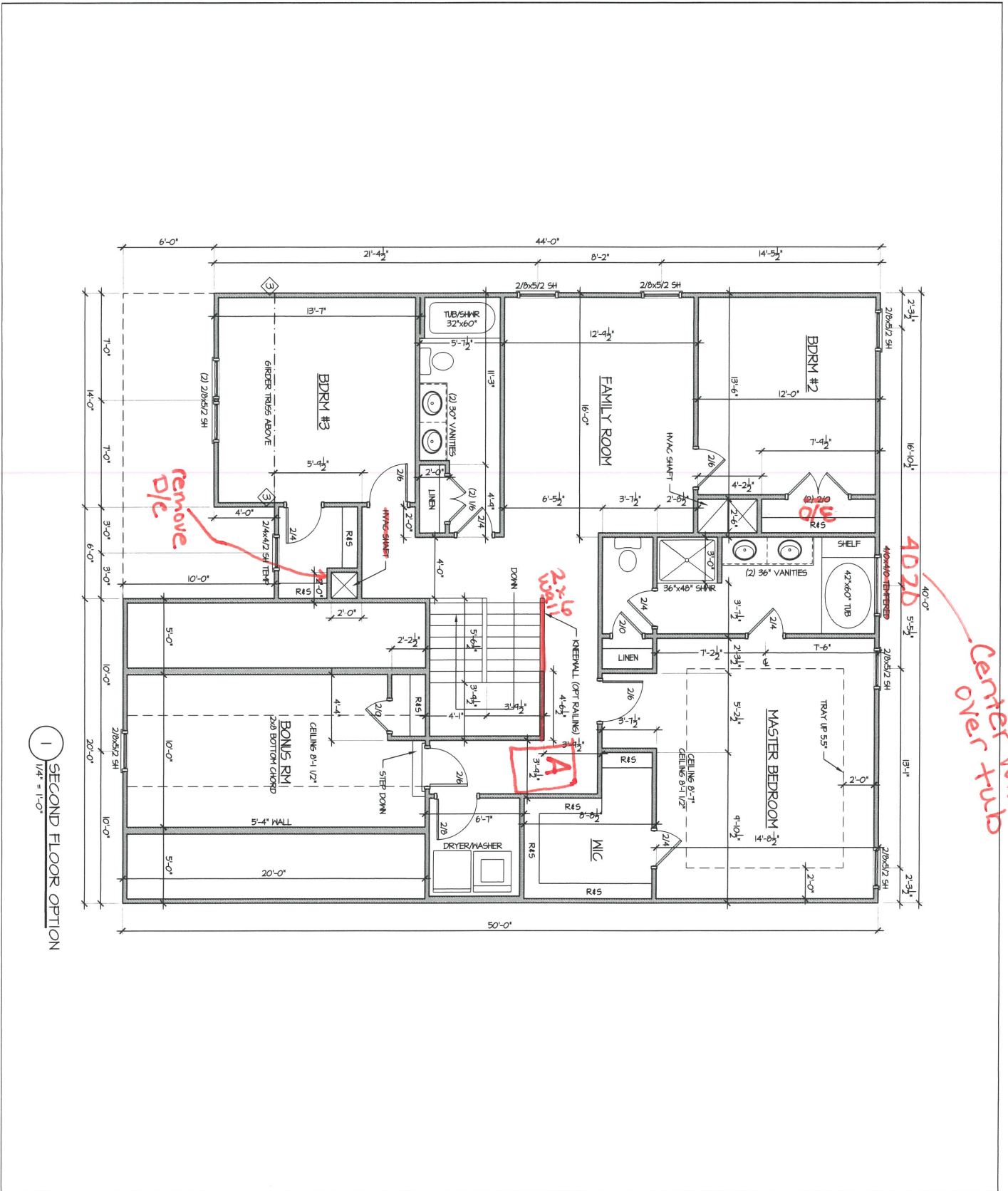
Caviness Land
SHEET TITLE:
FIRST FLOOR

SCALE:
1/4" = 1'-0"

DATE:
DECEMBER 2013

PLAN NO.:
CL 3067 A

3/23/2020
SHEET NO.:
4



1 SECOND FLOOR OPTION
1/4" = 1'-0"

<p>3/23/2020</p> <p>SHEET NO. 6</p>	<p>PLAN NO. CL 3067</p> <p>DATE: DECEMBER 2013</p>	<p>SCALE: 1/4" = 1'-0"</p>	<p>Caviness Land</p> <p>SHEET TITLE: SECOND FLOOR</p>	<p>FORTIFIED-WISE™ PROFESSIONAL</p> <p>TODD TUCKER 34-156</p> <p>NATIONAL COUNCIL OF BUILDERS CERTIFICATION</p>	<p>AMERICAN INSTITUTE OF BUILDING DESIGNERS</p> <p>A B D</p>	<p>Caviness Land</p> <p>Building and Development Company</p> <p>Builder of Excellence © 2020 CavLand</p>
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