

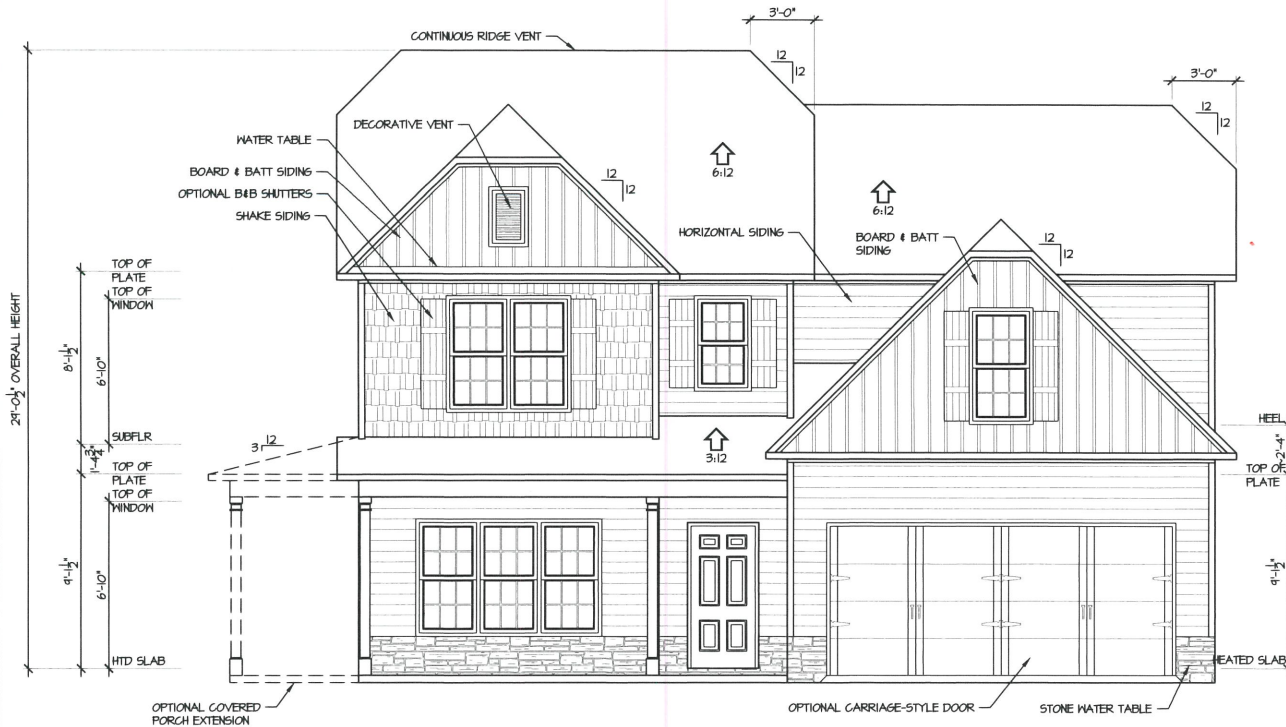
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2 FRONT ELEVATION  
3/16" = 1'-0" BASE MODEL



3 REAR ELEVATION  
3/16" = 1'-0"



**NOTICE TO CONTRACTOR**  
All construction must comply with current NC Building Codes and is subject to final inspection and verification.

**APPROVED**  
Unauthorized work may occur.  
Permit holder responsible for full compliance with the code.

07/27/2020

**SPACE DATA**

FIRST FLOOR, HEATED:	1340 SF
SECOND FLOOR, HEATED:	1671 SF
FRONT PORCH:	144 SF
FRONT PORCH OPTION:	228 SF
REAR PORCH:	12 SF
GARAGE:	347 SF

**ATTIC VENT CALC'S.**

ATTIC AREA:	1854 S.F.	
GABLE VENTS:		N/A
RIDGE VENTS:	871 L.F. / 11 S.F. (65%)	
SOFFIT VENT:	40 L.F. / 6 S.F. (35%)	
RATIO:	11 / 1854	= 1 / 110

**Caviness Building and Development Company**  
Builder of Excellence © 2020 CavLand

AMERICAN INSTITUTE OF BUILDING DESIGN  
AIBD

NATIONAL COUNCIL OF BUILDING ADMINISTRATORS  
TODD TUCKER 34 - 156

FORTIFIED-WISE™ PROFESSIONAL

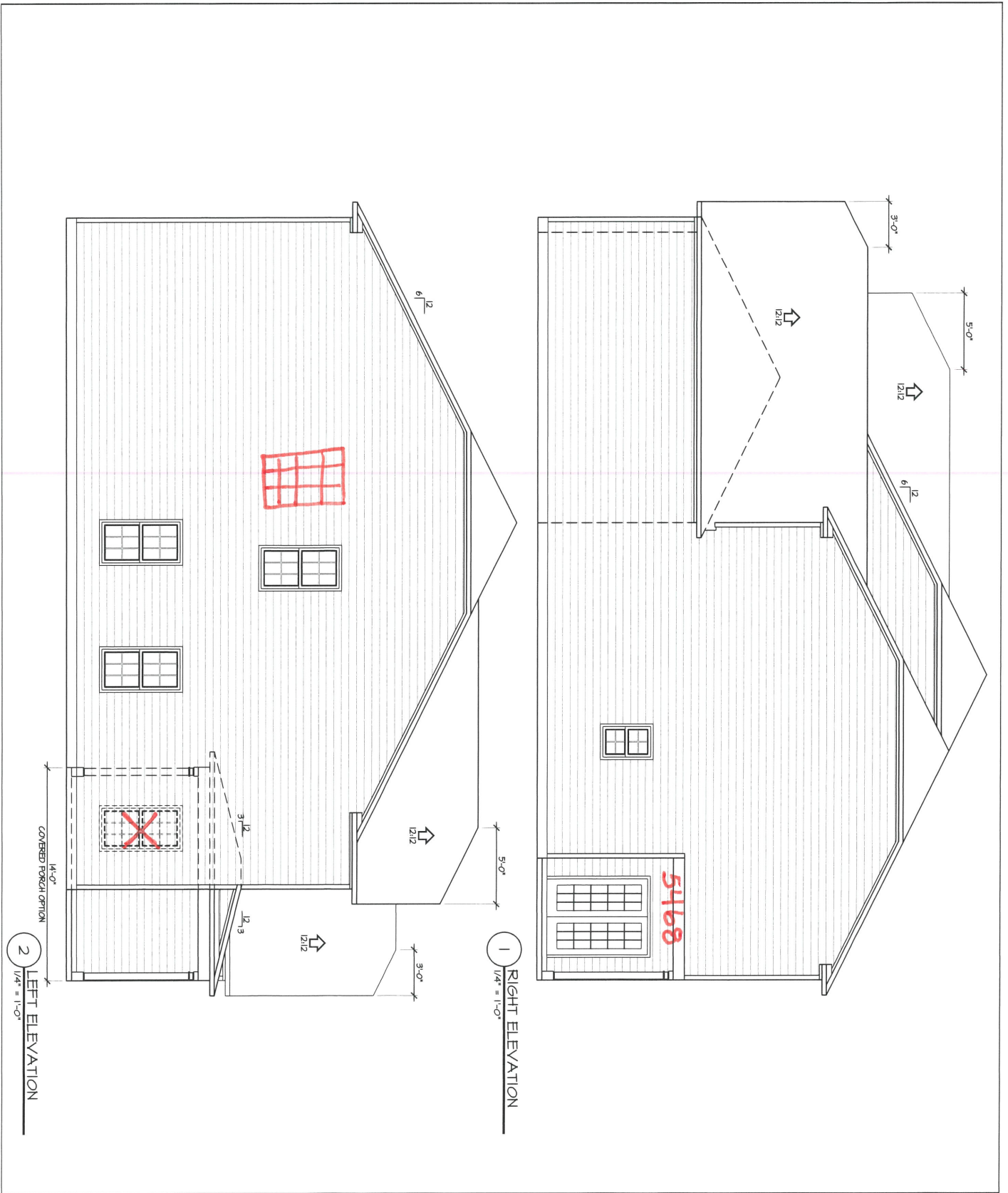
**Caviness Building and Development Company**  
ELEVATIONS

SCALE: AS NOTED

DATE: DECEMBER 2013

PLAN NO. CL 3067 **A**

3/23/2020  
SHEET NO. 1



3/23/2020

**2**

SHEET NO. CL 3067 A

DATE: DECEMBER 2013

SCALE: 1/4" = 1'-0"

**Caviness Land**

SHEET TITLE: ELEVATIONS

FORTIFIED-WISE PROFESSIONAL

TODD TUCKER 34-1156



**Caviness Land**

Building and Development Company

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● Plumbing drop

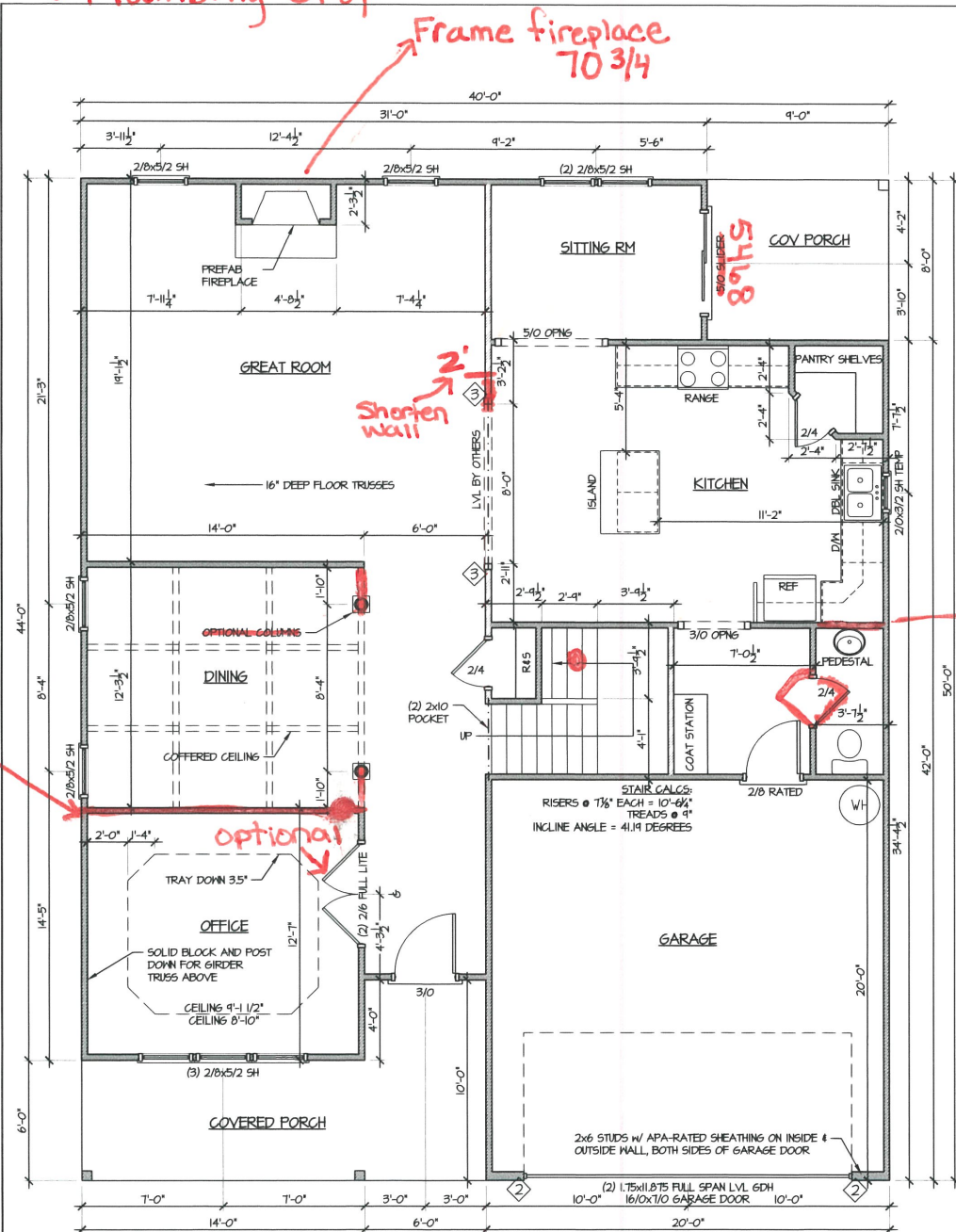
Frame fireplace  
70 3/4

2x6 Wall

Shorten wall

2x6 Wall

optional



1 FIRST FLOOR PLAN  
1/4" = 1'-0"

GENERAL NOTE:  
ALL 2x4 WALLS DRAWN AS 3 1/2"  
ALL 2x6 WALLS DRAWN AS 5 1/2"

INTERIOR BEARING WALL

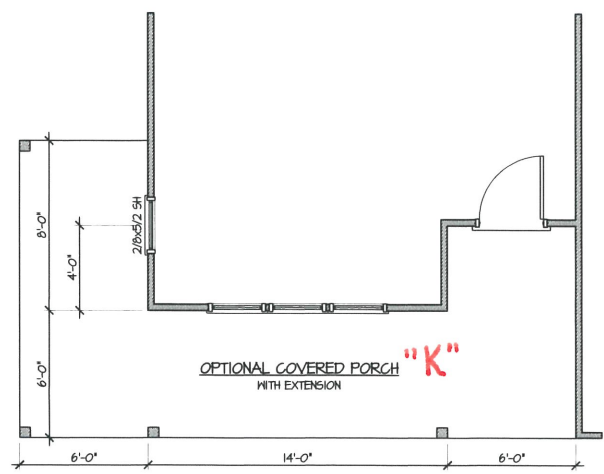
ALL EXTERIOR DIMENSIONS INCLUDE  
WALL SHEATHING

ALL WALLS ARE 2x4 WALLS UNLESS OTHERWISE NOTED

IN LOAD-BEARING WALLS,  
ALL OPENING, WINDOW & DOOR HEADERS TO BE  
(2) 2x10 5TP #2 & (1) STUD ON EACH SIDE  
UNLESS NOTED OTHERWISE

◇ SYMBOL FOR REQUIRED STUDS FOR BEAM ABOVE

ARROW INDICATES SPAN DIRECTION



A PORCH OPTION  
1/4" = 1'-0"

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TODD TUCKER 34-156

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PROFESSIONAL

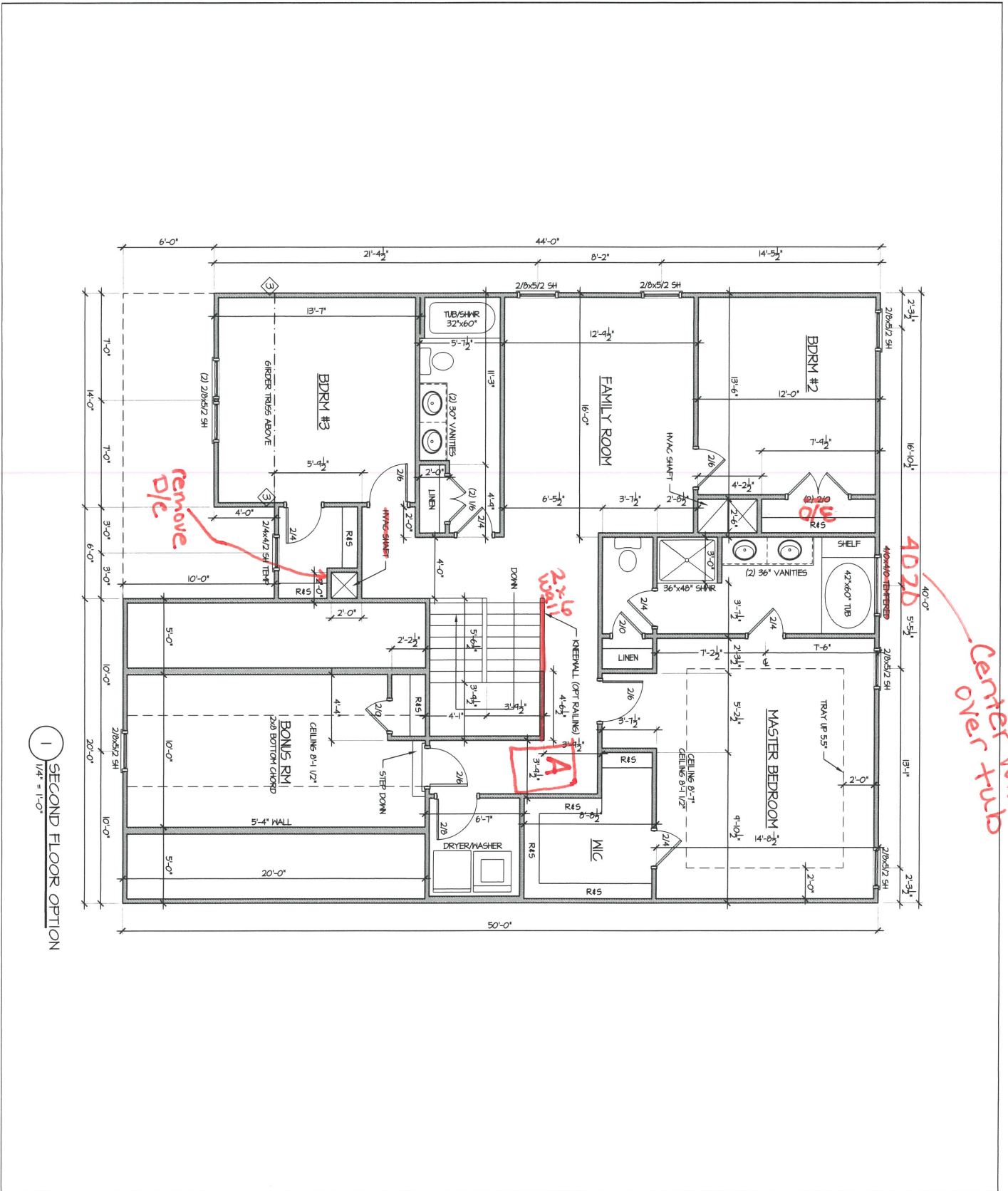
**Caviness Land**  
SHEET TITLE:  
FIRST FLOOR

SCALE:  
1/4" = 1'-0"

DATE:  
DECEMBER 2013

PLAN NO:  
CL 3067 A

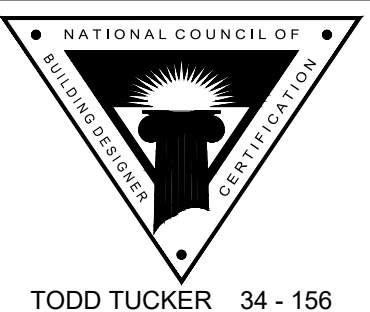
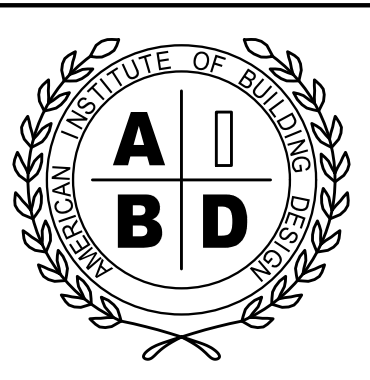
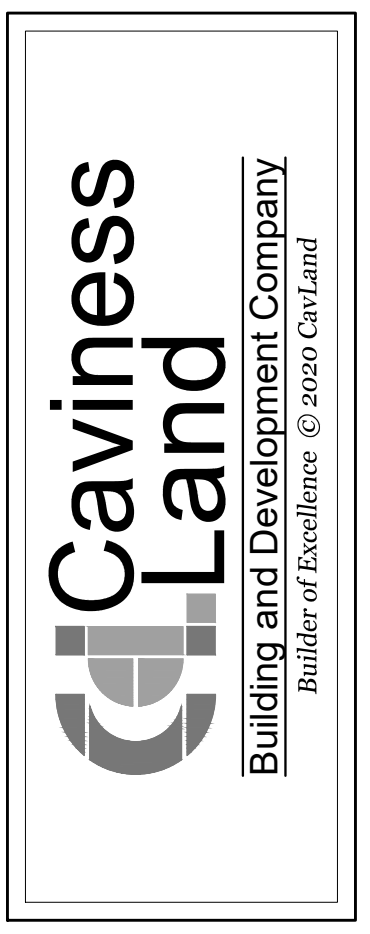
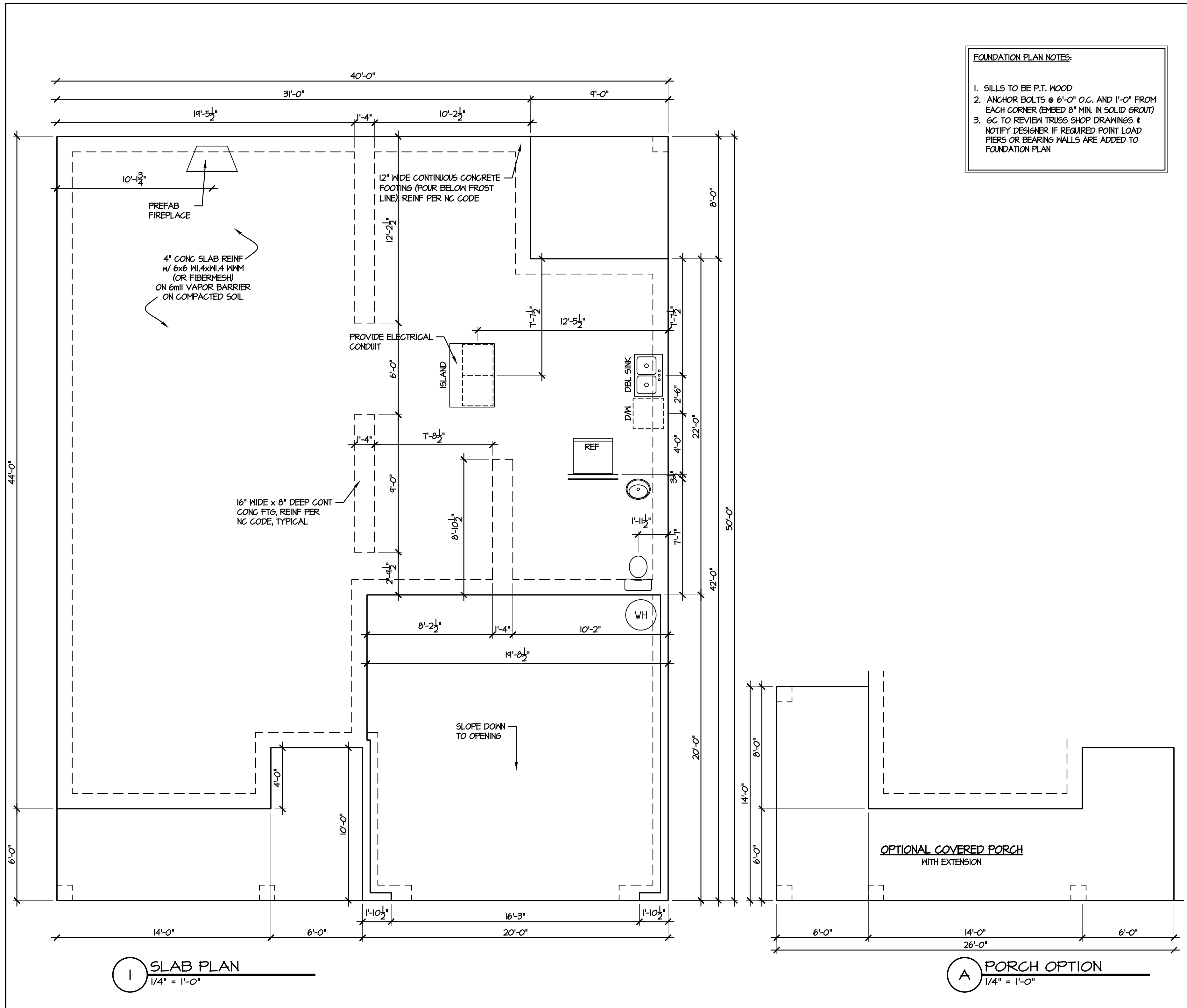
3/23/2020  
SHEET NO:  
4



1 SECOND FLOOR OPTION  
1/4" = 1'-0"

3/23/2020	PLAN NO. CL 3067	DATE DECEMBER 2013	SCALE 1/4" = 1'-0"	<p><b>Caviness Land</b></p>	<p>FORTIFIED-WISE™ PROFESSIONAL</p>	<p>NATIONAL COUNCIL OF BUILDING DESIGNERS</p>	<p>AMERICAN INSTITUTE OF BUILDING DESIGNERS</p>	<p><b>Caviness Land</b> Building and Development Company Builder of Excellence © 2020 CavLand</p>
6	SHEET NO.	DATE	SHEET TITLE SECOND FLOOR					

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TODD TUCKER 34 - 156

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Caviness Land

**SLAB PLAN**

SHEET TITLE:

SCALE: 1/4" = 1'-0"

DATE: DECEMBER 2013

PLAN NO: CL 3067

3/23/2020

SHEET NO: 3

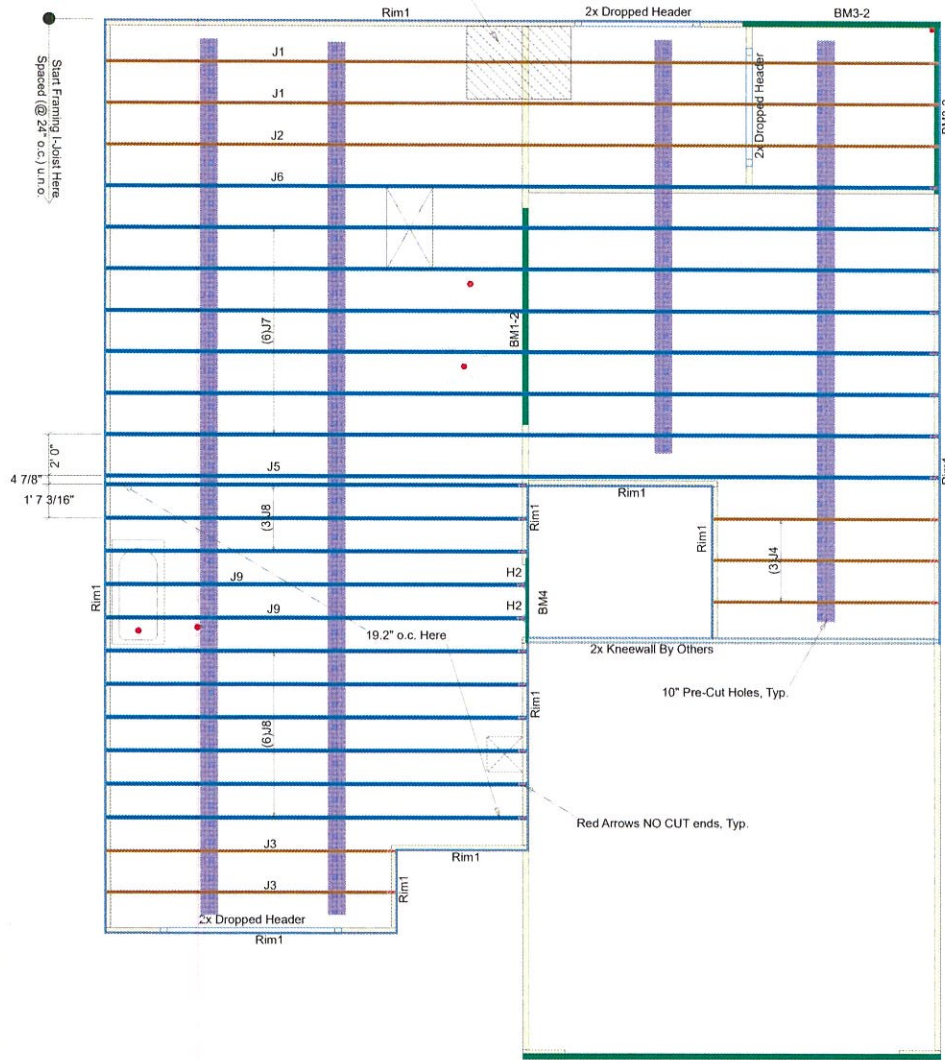
**Note: Refer to current Boise Cascade Installation Guide for details not shown.**

## General Notes:

- 1.) "READ" Boise Installation Guide before installation of products.
- 2.) All I-Joist, LVL beams, and Rim Board must be field cut to length.
- 3.) Contractor must verify and approve the material list.
- 4.) I-Joist may be moved 3" out of its own o.c. spacing, up to 19.2" o.c., to allow for plumbing drops.
- 5.) This layout, is a placement plan and, was designed in accordance with the original design of the structure (unless otherwise noted). See original plans for additional structural notes.
- 6.) Ceramic tile floors should be supported per APA standards. Additional joists may be required.
- 7.) HVAC & PLUMBER, "Review" Boise Installation Guide (Joist Hole Location & Sizing) Chart "BEFORE" cutting the I-joist product.
- 8.) "Blocking", are Random Length I-joist, Labeled as such.

## We Recommend Locating Plumbing Drops & Moving Joist Accordingly Before Installation

Garden Tub, Locate Drain as Needed



### I-Joist Plot ID # & Length on Top of Flange

### 2nd FLOOR LAYOUT

DN01 DO NOT cut, notch or drill flanges

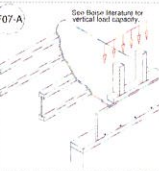
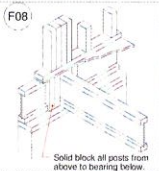
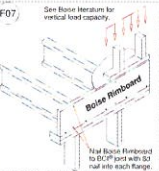
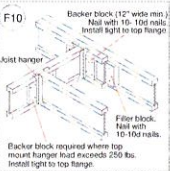
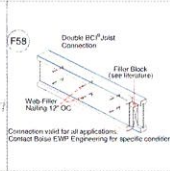
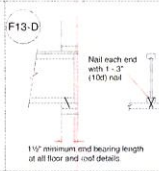
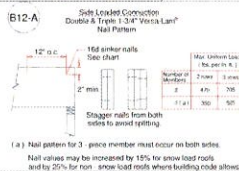
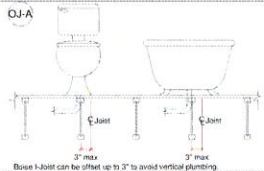


#### Connector Summary

PlotID	Qty	Manuf	Product	Flange
H2	2	Simpson	IUS 2.37/14	None

#### Products

PlotID	Length	Product	Plies	Net Qty
J1	40' 0"	14" BCI@ 4500s-1.8	1	2
J2	40' 0"	14" BCI@ 4500s-1.8	1	1
J3	14' 0"	14" BCI@ 4500s-1.8	1	2
J4	11' 0"	14" BCI@ 4500s-1.8	1	3
J5	40' 0"	14" BCI@ 6000s-1.8	1	1
J6	40' 0"	14" BCI@ 6000s-1.8	1	1
J7	40' 0"	14" BCI@ 6000s-1.8	1	6
J8	21' 0"	14" BCI@ 6000s-1.8	1	9
J9	21' 0"	14" BCI@ 6000s-1.8	1	2
BM2-2	20' 0"	1-3/4" x 11-7/8" VERSA-LAM@ 2.0 3100 SP	2	2
BM1-2	12' 0"	1-3/4" x 11-7/8" VERSA-LAM@ 2.0 3100 SP	2	2
BM3-2	10' 0"	1-3/4" x 14" VERSA-LAM@ 2.0 3100 SP	2	4
BM4	6' 0"	1-3/4" x 14" VERSA-LAM@ 2.0 3100 SP	1	1
Rim1	12' 0"	1" x 14" BC RIM BOARD OSB	1	14



Cav-Land Development  
CL 3067 CP GOR  
Plan CL-3067  
w/CP (GR)

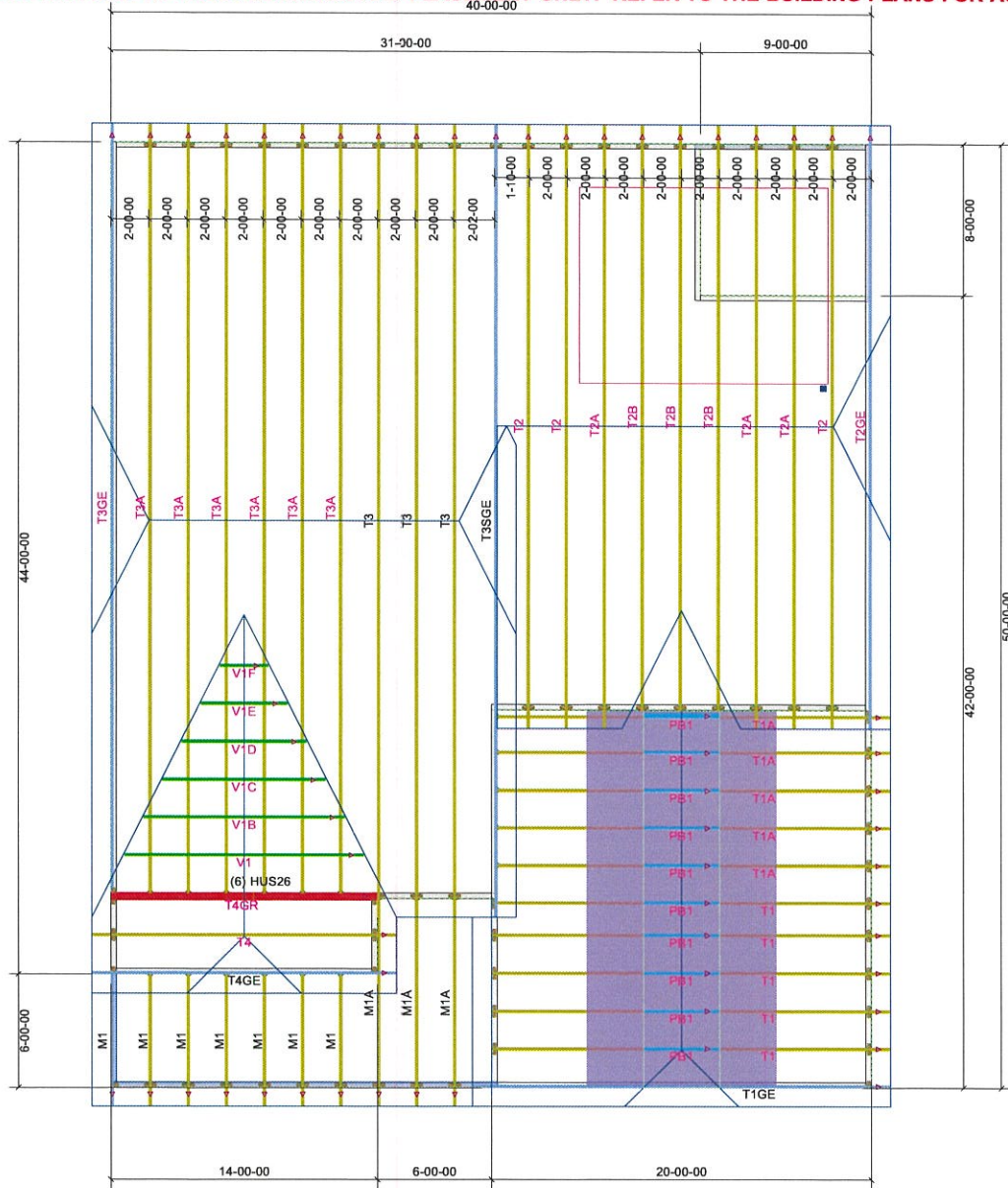
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Date: 11-7-2019  
By: CMM  
DWG:  
Sheet: 2 of 2

**Boise Cascade**

**84 LUMBER**  
Build on what we know.™

200 Emmett Drive, Dunn, N.C. 28534 (910) 892 + 8400

**THIS LAYOUT IS INTENDED FOR THE PURPOSE OF TRUSS LOCATION AND PLACEMENT ONLY. REFER TO THE BUILDING PLANS FOR ACTUAL BUILDING CONSTRUCTION.**



1st Level Roof Area 793.86	2nd Level Roof Area 1891.79
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DEDICATED TO QUALITY AND EXCELLENCE  
200 EMMETT ROAD  
DUNN, NORTH CAROLINA 28334  
PHONE: 910-892-8400

PROJECT: Caviness Land New CL 3067	CUSTOMER: Caviness Land Development	MODEL: New CL-3067	QUOTE #: 1800483	PRINT DATE: 2/28/2018	DRAWN BY: Rodney Evans	SCALE: N.T.S
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TOP LIVE LOAD: 20.0 lb/ft <sup>2</sup>
TOP DEAD LOAD: 10.0 lb/ft <sup>2</sup>
BOTTOM DEAD LOAD: 10.0 lb/ft <sup>2</sup>
WIND SPEED: 115 mph

**GENERAL NOTES:**

- DO NOT CUT OR MODIFY TRUSSES
- TRUSSES ARE SPACED 24" ON CENTER UNLESS OTHERWISE NOTED
- REFER TO THE INDIVIDUAL TRUSS DESIGN DRAWINGS FOR THE LOCATION OF LATERAL BRACING AND MULTI-PLY CONNECTION REQUIREMENTS.
- PER ANSI TPI 1-2002 THE TRUSS ENGINEER IS RESPONSIBLE FOR TRUSS TO TRUSS CONNECTIONS AND TRUSS PLY TO PLY CONNECTIONS. THIS DRAWING IS NOT TO BE USED FOR CONNECTIONS TO BEAM CONNECTIONS AND TRUSS TO BEAM CONNECTIONS WHICH SHALL BE REVIEWED BY THE BUILDING DESIGNER. IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER TO RESOLVE ALL ROOF FORCES ADEQUATELY TO THE FOUNDATION.