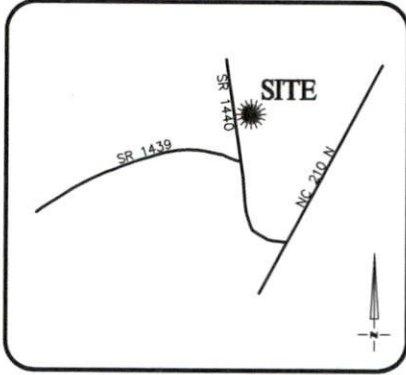


THIS IS TO CERTIFY THAT ON THE 27th DAY OF AUGUST 2020 AN ACTUAL SURVEY WAS DONE UNDER MY SUPERVISION OF THE PROPERTY SHOWN HERON, THIS MAP IS NOT INTENDED TO MEET GS 47-30 RECORDING REQUIREMENTS.



VICINITY MAP
Not To Scale

SIGNED Dean M. Rhoads
DEAN M. RHOADS, PLS (L-4679)

LEGEND

- E.I.P. EXISTING IRON PIN
- E.C.M. EXISTING CONCRETE MONUMENT
- S.I.P. SET IRON PIN
- P.D.E. PUBLIC DRAINAGE EASEMENT
- S.D.E. STORM DRAINAGE EASEMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- S.S.E. SANITARY SEWER EASEMENT
- F.P.E. FLOOD PROTECTION ELEVATION
- CLOSURE EXCEEDS 1 INCH IN 10,000'
- SETBACK LINE
- PROPERTY LINE
- ADJOINER PROPERTY LINE BY DEED OR PLAT

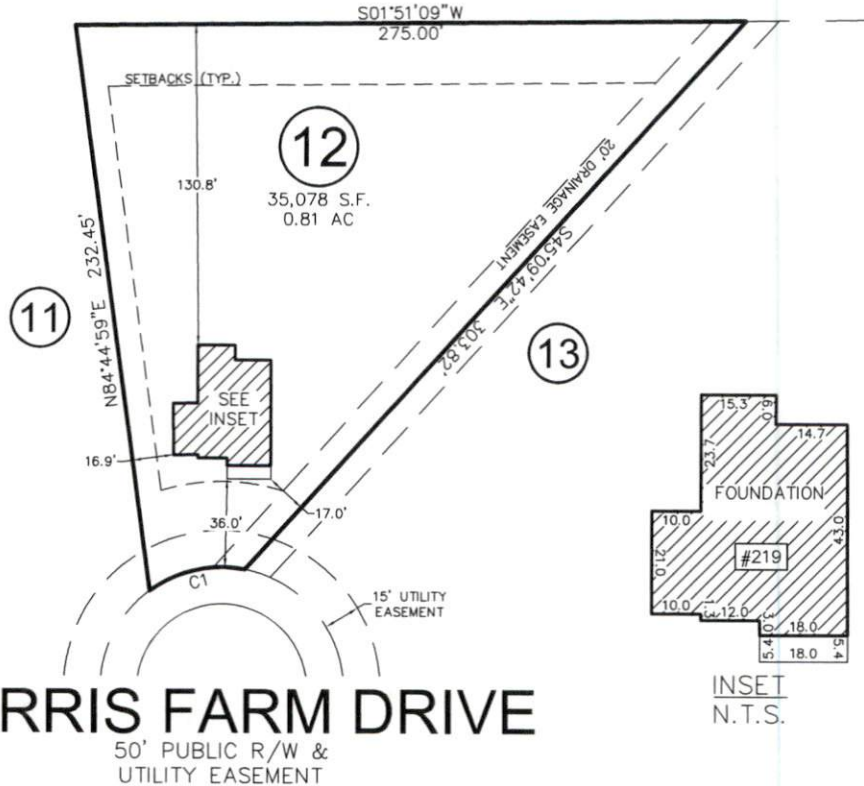


SETBACKS: (PB 2019 PG 291)

FRONT - 35'
SIDE - 10'
REAR - 25'
CORNER - 20'

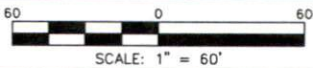
PB 2019, PG 291-293

N/F
SENER-MATTHEWS LLC
D.B. 3107, PG. 750



CURVE	RADIUS	ARC LENGTH	CH LENGTH	CH BEARING
C1	50.00	41.15	40.00	N 10°16'51" W

THIS PROPERTY MAY BE SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHT-OF-WAY, UTILITIES AND RESTRICTIVE COVENANTS WHICH MAY BE OF RECORD OR IMPLIED



RESIDENTIAL LAND SERVICES, PLLC.
1917 Evans Road
Cary, North Carolina 27513
Phone (919) 378-9316
Firm License # P-0873

FOUNDATION SURVEY

FOR
#219 NORRIS FARM DRIVE
LOT 12, NORRIS FARM SUBDIVISION
Black River Township, Harnett County, North Carolina

PROPERTY OF: TRUE HOMES

MAP BOOK 2019 PAGE 291-293 DEED REFERENCE _____

DRAWN BY: S.M.

DATE: AUGUST 27, 2020