

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AND REGULATIONS.
2. CONTRACTOR SHALL THOROUGHLY REVIEW ALL SHEETS IN PLAN SET AND VERIFY ALL DETAILS AND DIMENSIONS BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO RENAISSANCE RESIDENTIAL DESIGN, INC. FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED PRIOR TO CONSTRUCTION.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
4. CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.

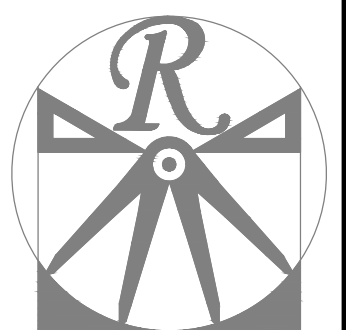
NOTICE TO CONTRACTOR
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED
Limited building only review
Permit holder responsible for full compliance with the code

08/10/2020




**PLANS DESIGNED TO THE
2018 NORTH CAROLINA STATE
RESIDENTIAL BUILDING CODE.**



RENAISSANCE

RESIDENTIAL DESIGN, INC.
RALEIGH, NC 27612
(919) 648-4128
WWW.RRDCAROLINA.COM

The art of transforming your vision into reality.

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

WEAVER HOMES

350 Waggoner Drive • Fayetteville, NC 28303
910.690.2100 • 800.802.2190
www.weaver-homes.com

PRICE PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND HOUSE ONLY. ALL DIMENSIONS WILL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF WEAVER HOMES. NO USE, REPRODUCTION, OR DISTRIBUTION OF THESE PLANS IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF WEAVER HOMES. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2020 WEAVER HOMES

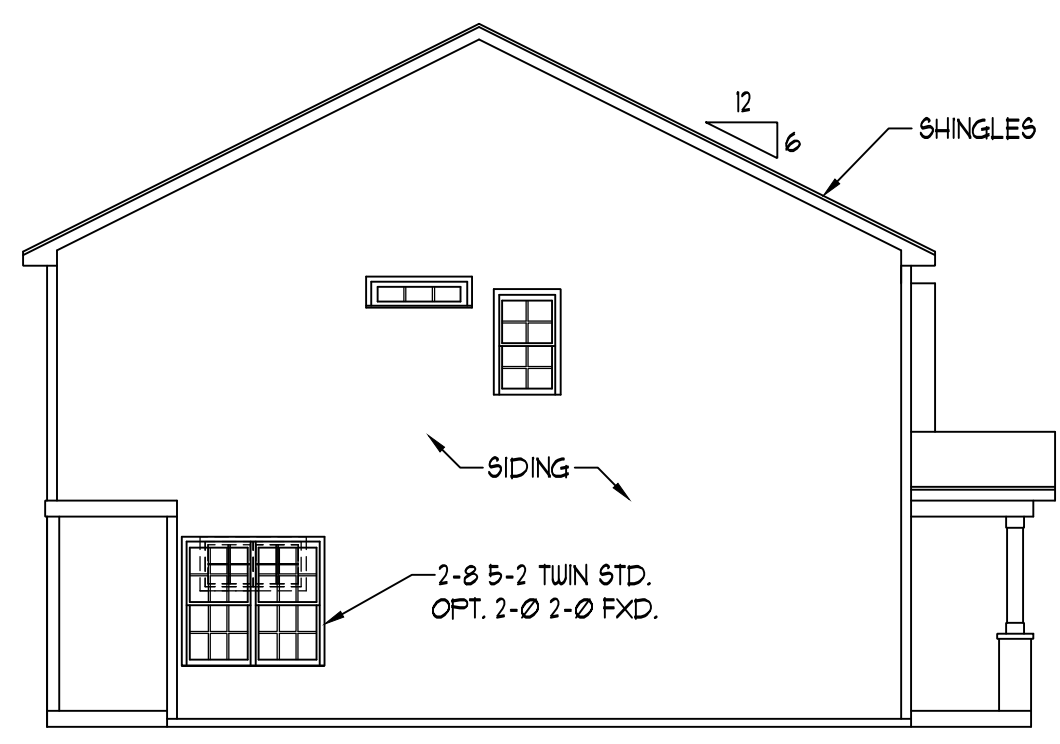
**WEAVER HOMES
CAROLINA COLLECTION
POPLAR DRIVE RIGHT**

DATE: JULY 22, 2020
REV.:
SCALE: AS NOTED
DRAWN BY: WG
ENGINEERED BY:
REVIEWED BY:

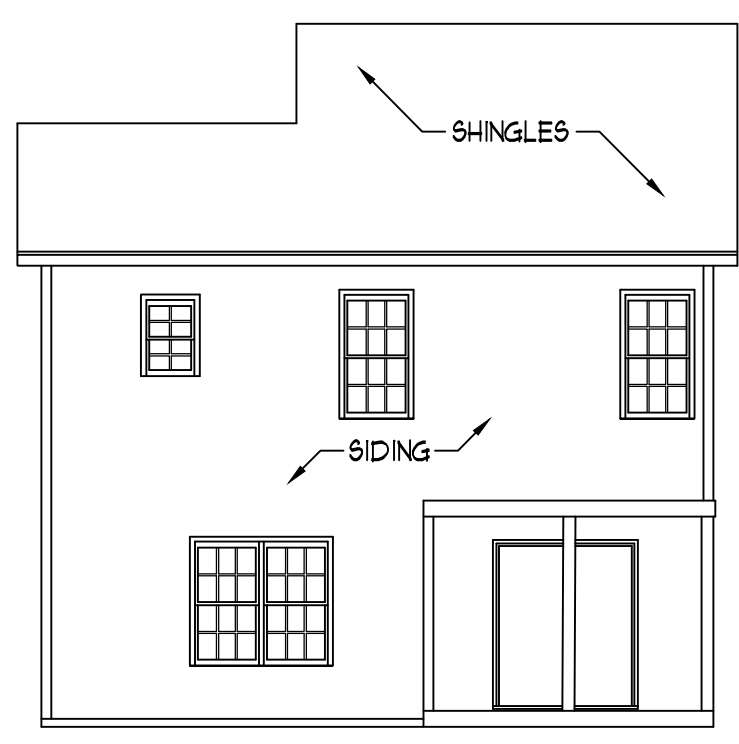
A - ELEVATIONS
A-1



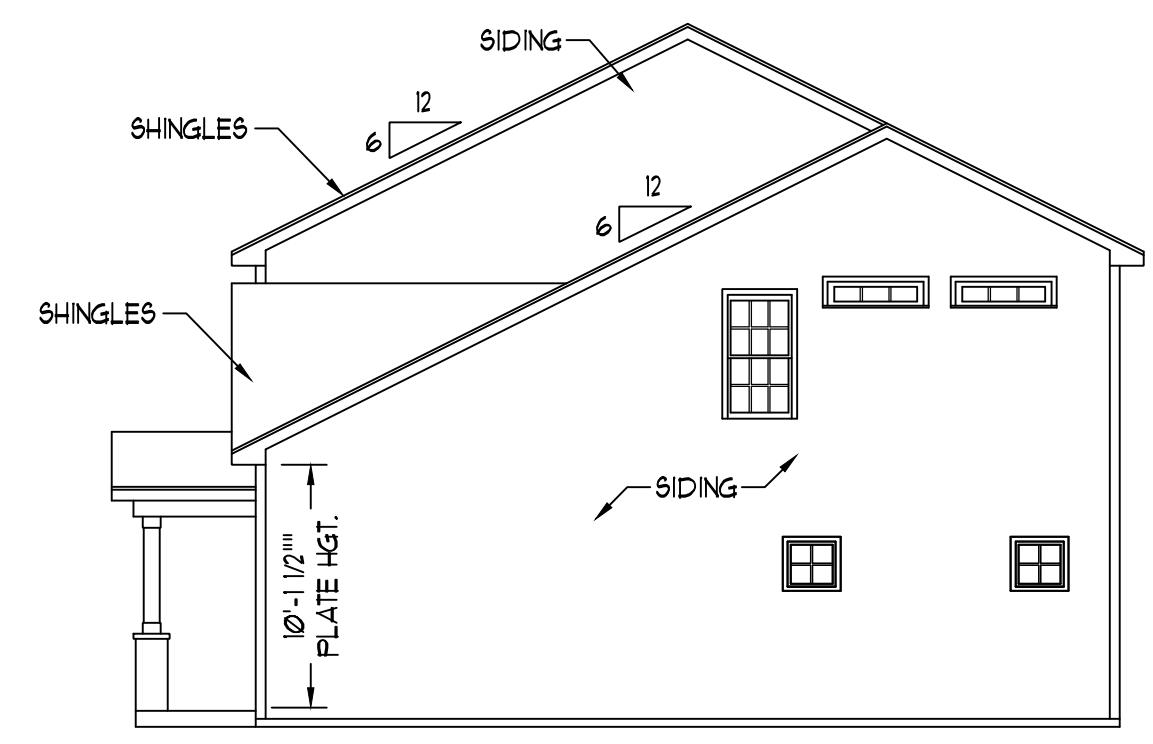
FRONT ELEVATION-A
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



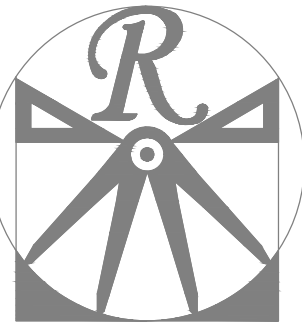
RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

SCALE NOTE: 18x24 PRINTS ARE TO SCALE AS NOTED.
11x17 PRINTS ARE NOT TO SCALE

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AND REGULATIONS.
2. CONTRACTOR SHALL THOROUGHLY REVIEW ALL SHEETS IN PLAN SET AND VERIFY ALL DETAILS AND DIMENSIONS BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO RENAISSANCE RESIDENTIAL DESIGN, INC. FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED PRIOR TO CONSTRUCTION.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
4. CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.

PLANS DESIGNED TO THE
**2018 NORTH CAROLINA STATE
 RESIDENTIAL BUILDING CODE.**



RENAISSANCE

RESIDENTIAL DESIGN, INC.
 RALEIGH, NC 27612
 (919) 648-4128
 WWW.RRDCAROLINA.COM

The art of transforming your vision into reality.

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

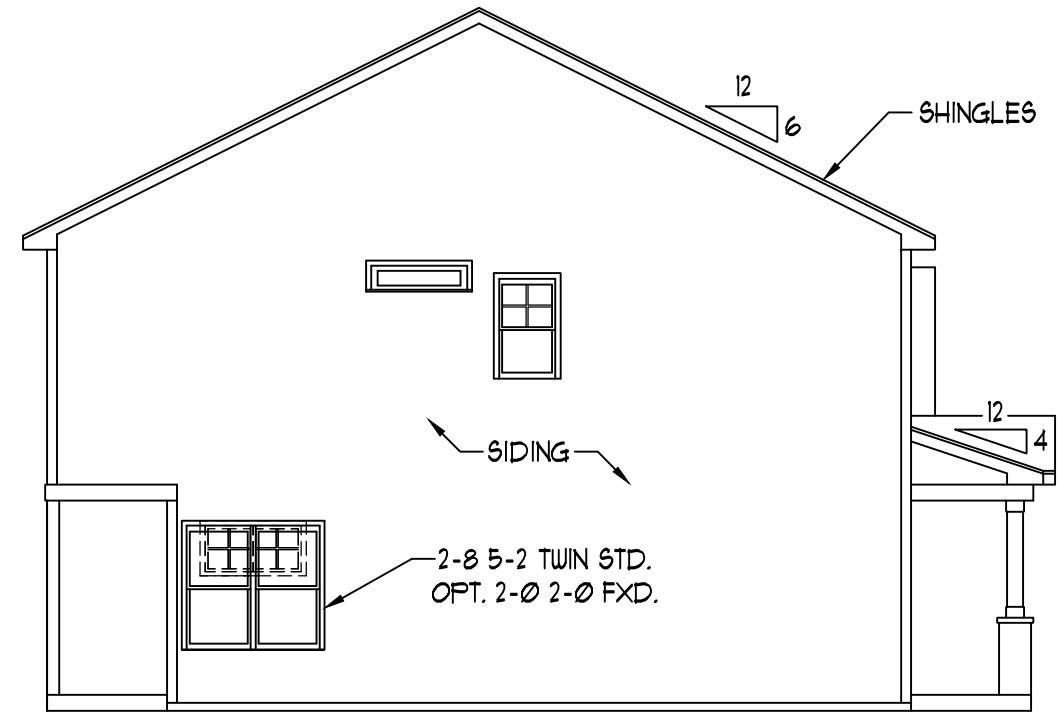
RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

WEAVER
HOMES
 350 Waggoner Drive • Fayetteville, NC 28303
 910.690.2190 • 800.802.2190
 www.weaver-homes.com

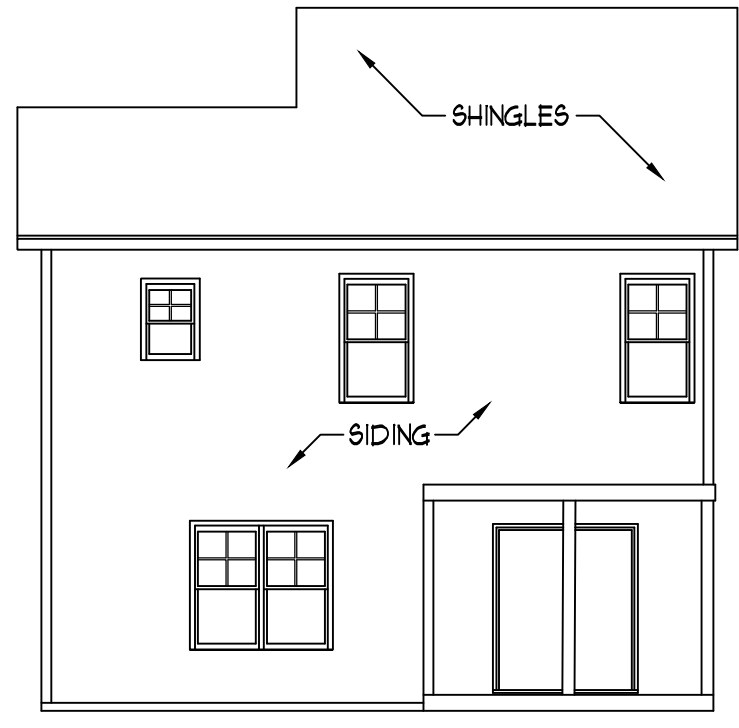
PRICE PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND HOUSE ONLY WILL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF WEAVER HOMES. NO USE, REPRODUCTION, PHOTOCOPYING, RECORDING, OR ANY INFORMATION IS PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2020 WEAVER HOMES



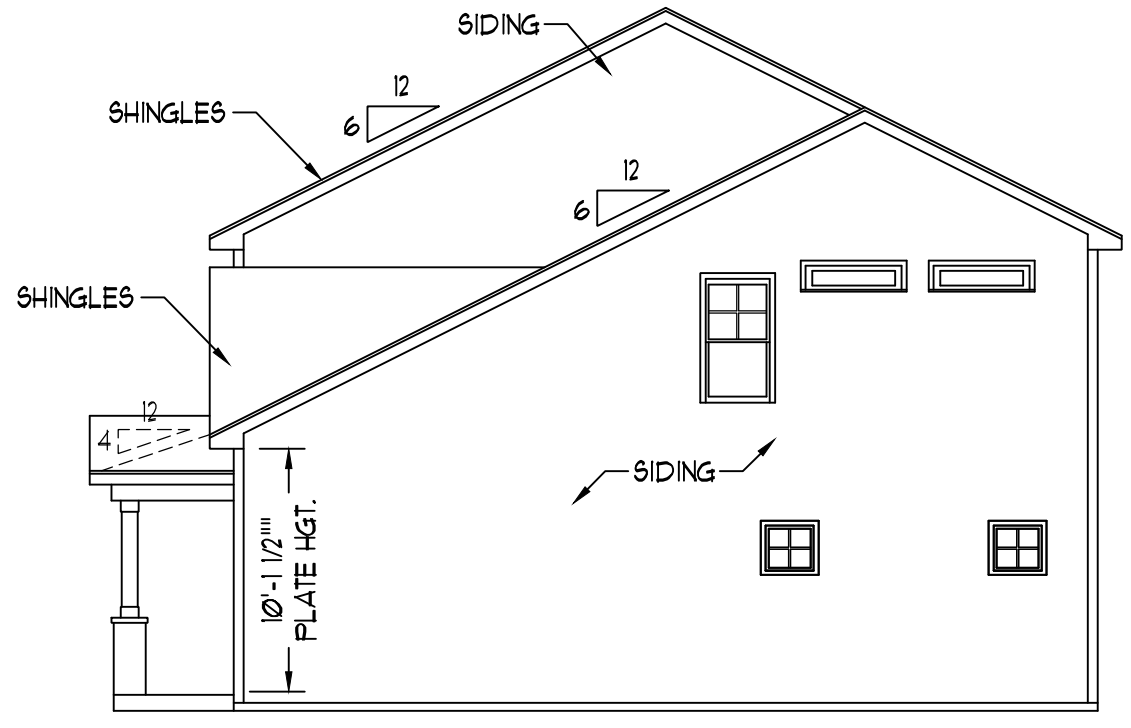
FRONT ELEVATION-B
 SCALE: 1/4" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"

SCALE NOTE: 18x24 PRINTS ARE TO SCALE AS NOTED.
 11x17 PRINTS ARE NOT TO SCALE

WEAVER HOMES
 CAROLINA COLLECTION
 POPLAR DRIVE RIGHT

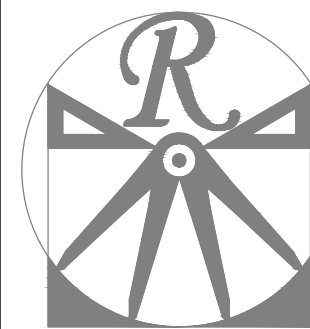
DATE: JULY 22, 2020
 REV.:
 SCALE: AS NOTED
 DRAWN BY: WG
 ENGINEERED BY:
 REVIEWED BY:

B - ELEVATIONS
A-2

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AND REGULATIONS.
2. CONTRACTOR SHALL THOROUGHLY REVIEW ALL SHEETS IN PLAN SET AND VERIFY ALL DETAILS AND DIMENSIONS BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO RENAISSANCE RESIDENTIAL DESIGN, INC. FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED PRIOR TO CONSTRUCTION.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
4. CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.

PLANS DESIGNED TO THE
**2018 NORTH CAROLINA STATE
 RESIDENTIAL BUILDING CODE.**



RENAISSANCE

RESIDENTIAL DESIGN, INC.
 RALEIGH, NC 27612
 (919) 648-4128
 WWW.RRDCAROLINA.COM

The art of transforming your vision into reality.

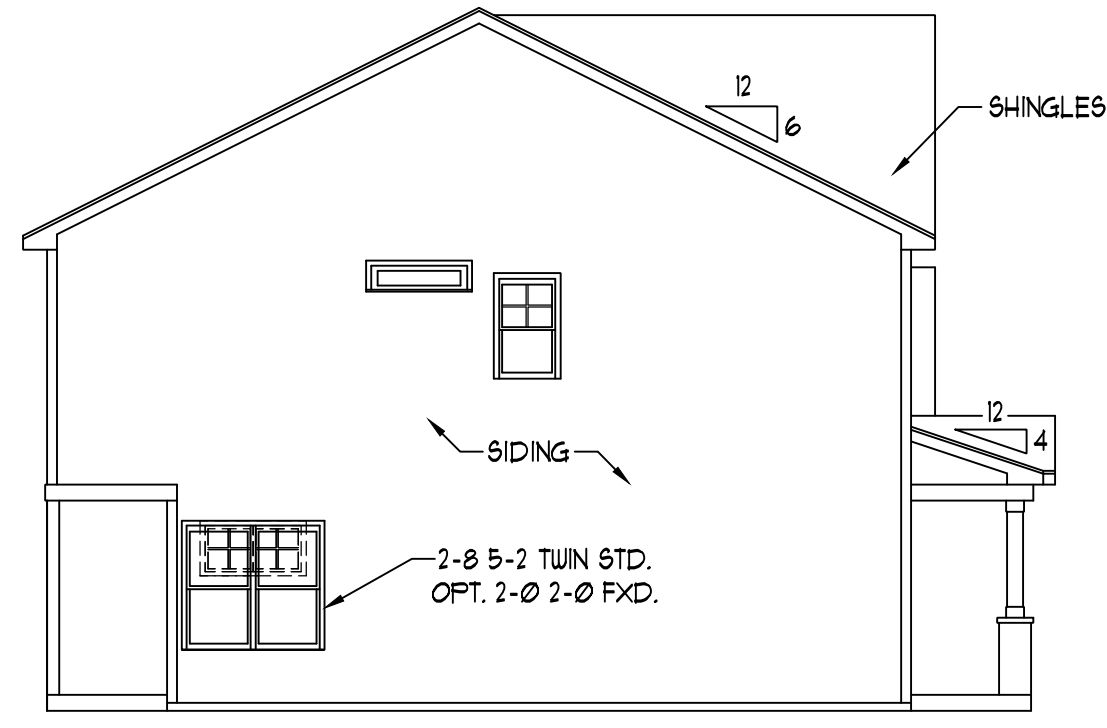
RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY. RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

**WEAVER
 HOMES**
 350 Waggoner Drive • Fayetteville, NC 28303
 910.690.2100 • 800.802.2190
 www.weaver-homes.com

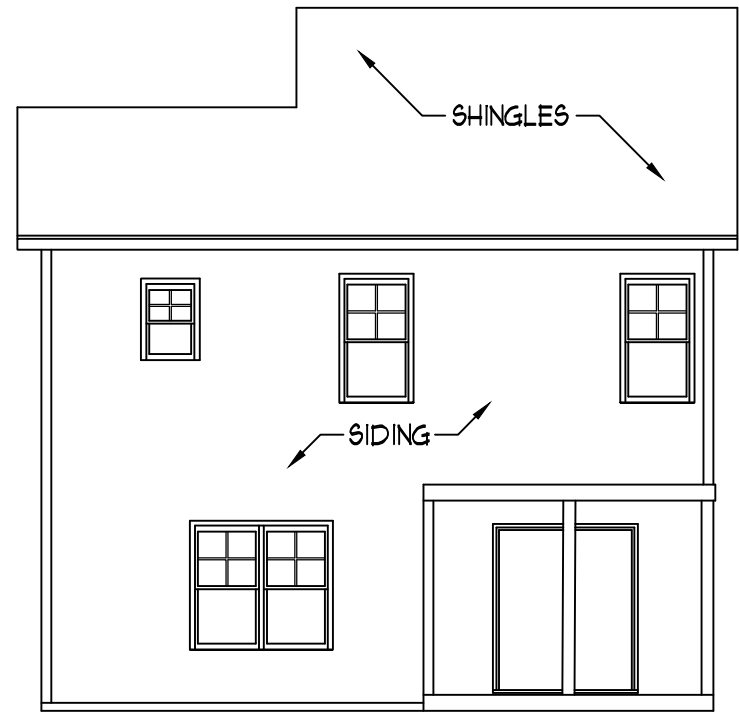
PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND HOUSE QUALITY WILL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF WEAVER HOMES. NO USE, REPRODUCTION, PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2020 WEAVER HOMES



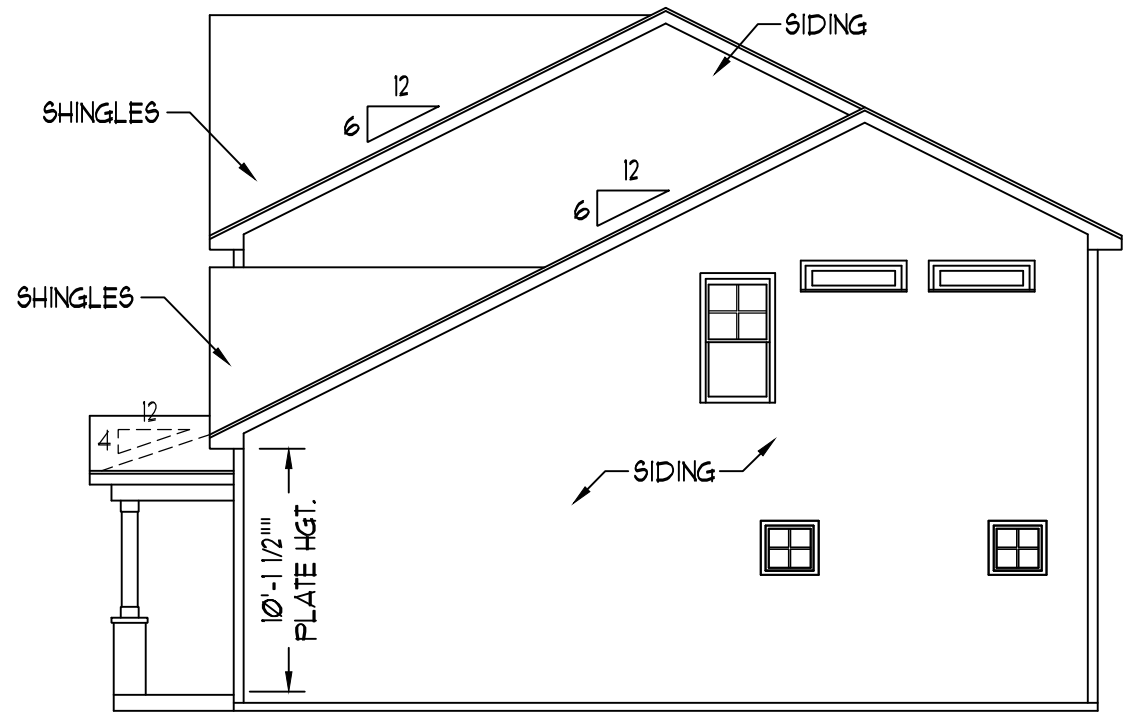
FRONT ELEVATION-C
 SCALE: 1/4" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"



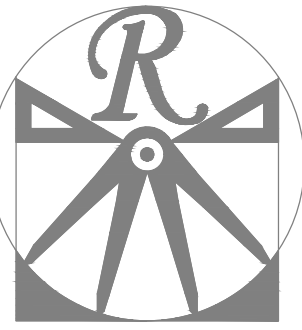
RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"

SCALE NOTE: 18x24 PRINTS ARE TO SCALE AS NOTED.
 11x17 PRINTS ARE NOT TO SCALE

WEAVER HOMES
 CAROLINA COLLECTION
 POPLAR DRIVE RIGHT

DATE: JULY 22, 2020
 REV.:
 SCALE: 1/4" = 1'-0"
 DRAWN BY: WG
 ENGINEERED BY:
 REVIEWED BY:

C - ELEVATIONS
A-3



RENAISSANCE

RESIDENTIAL DESIGN, INC.
RALEIGH, NC 27612
(919) 648-4128

WWW.RRDCAROLINA.COM
The art of transforming your vision into reality.

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

WEAVER HOMES
350 Waggoner Drive • Fayetteville, NC 28303
910.690.2190 • 800.802.2190
www.weaver-homes.com

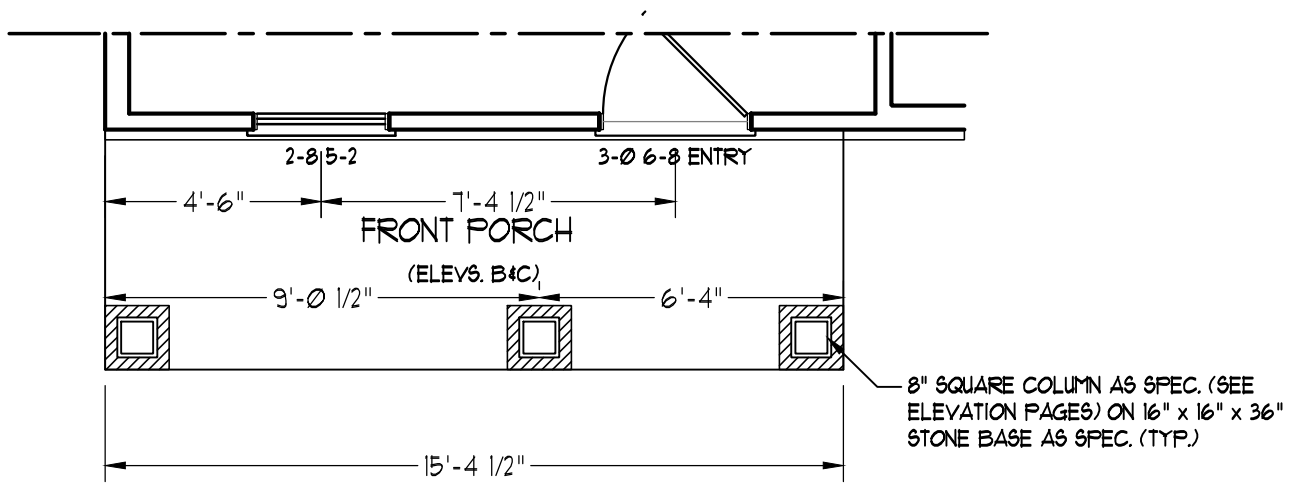
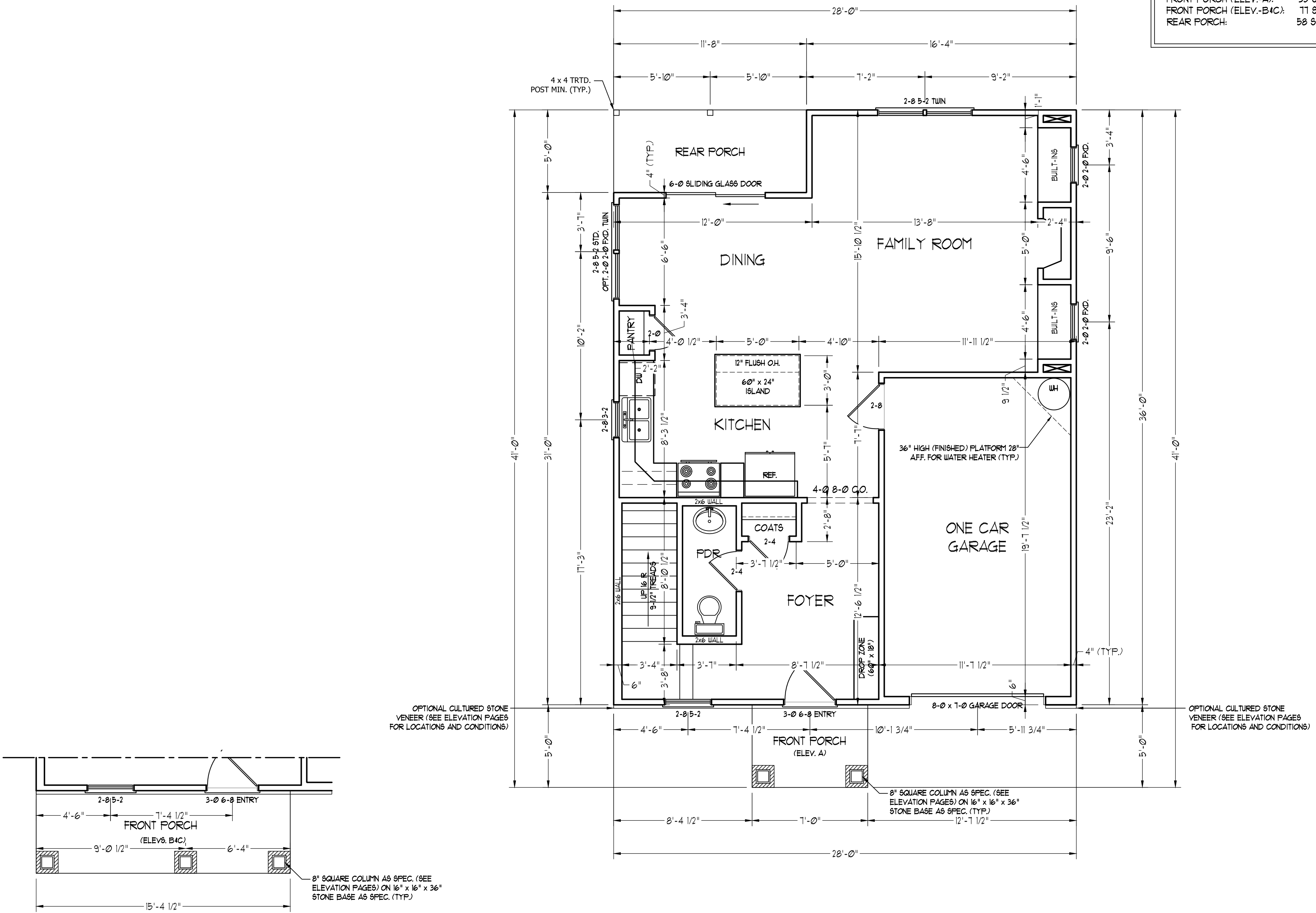
PRICE PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND HOUSE QUALITY WILL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF WEAVER HOMES. NO USE, REPRODUCTION, PHOTOCOPYING, OR ANY MANNER OF INFORMATION IS PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2020 WEAVER HOMES

WEAVER HOMES CAROLINA COLLECTION POPLAR DRIVE RIGHT

DATE: JULY 22, 2020
REV.:
SCALE: 1/4" = 1'-0"
DRAWN BY: WG
ENGINEERED BY:
REVIEWED BY:

FIRST FLOOR PLAN
A-4

SQUARE FOOTAGE (I.F.S.)	
1st FLOOR:	6711 SQ. FT.
2nd FLOOR:	800 SQ. FT.
TOTAL:	14711 SQ. FT.
GARAGE:	218 SQ. FT.
FRONT PORCH (ELEV.-A):	35 SQ. FT.
FRONT PORCH (ELEV.-B&C):	11 SQ. FT.
REAR PORCH:	58 SQ. FT.



FRONT PORCH ELEVATIONS B&C



RENAISSANCE

RESIDENTIAL DESIGN, INC.

RALEIGH, NC 27612

(919) 648-4128

WWW.RRDCAROLINA.COM

The art of transforming your vision into reality.

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

WEAVER HOMES
350 Waggoner Drive • Fayetteville, NC 28303
910.690.2100 • 800.892.2190
www.weaver-homes.com

PRICE PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND HOUSE QUALITY WILL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF WEAVER HOMES. NO USE IN REPRODUCTION, PHOTOCOPYING, OR ANY MANNER THAT MAY BE PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2020 WEAVER HOMES

WEAVER HOMES CAROLINA COLLECTION POPLAR DRIVE RIGHT

DATE: JULY 22, 2020

REV.:

SCALE: 1/4" = 1'-0"

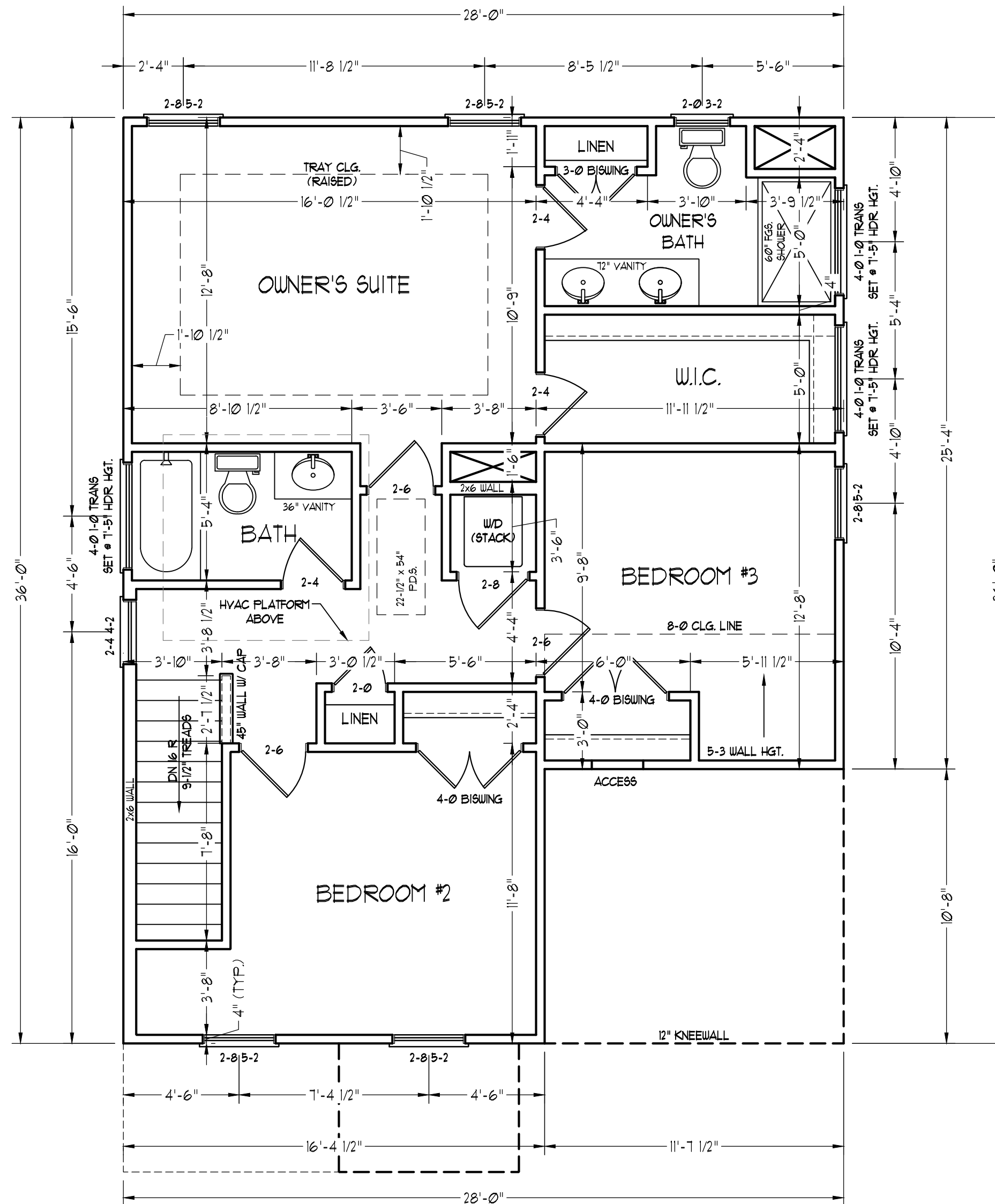
DRAWN BY: WG

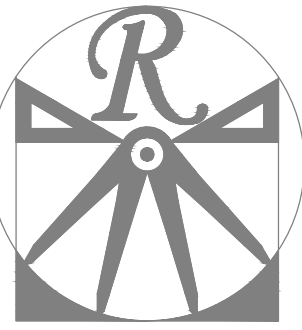
ENGINEERED BY:

REVIEWED BY:

SECOND FLOOR
PLAN

A-5





RENAISSANCE

RESIDENTIAL DESIGN, INC.

RALEIGH, NC 27612

(919) 648-4128

WWW.RRDCAROLINA.COM

The art of transforming your vision into reality.

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

WEAVER
HOMES
350 Waggoner Drive • Fayetteville, NC 28303
910.630.2190 • 800.802.2190
www.weaver-homes.com

PRICE PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND HOUSE ONLY WILL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF WEAVER HOMES. NO REPRODUCTION, DISTRIBUTION, OR SALE OF THESE DRAWINGS IS PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2020 WEAVER HOMES

WEAVER HOMES
CAROLINA COLLECTION
POPLAR DRIVE RIGHT

DATE: JULY 22, 2020
REV.:
SCALE: 1/4" = 1'-0"
DRAWN BY: WG
ENGINEERED BY:
REVIEWED BY:

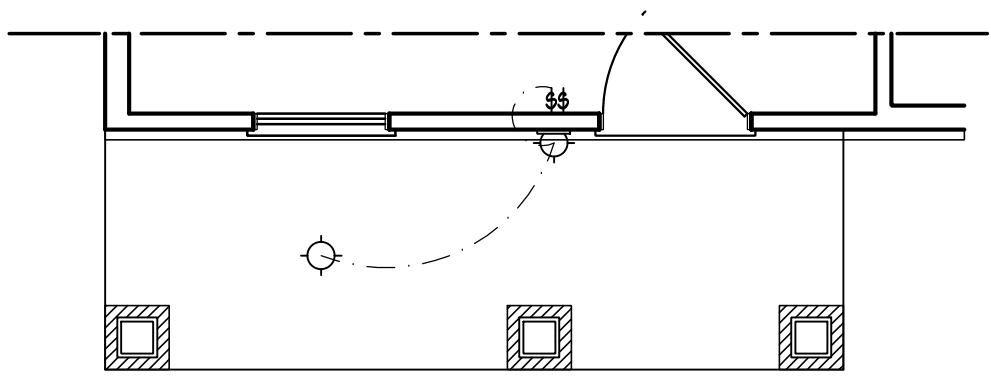
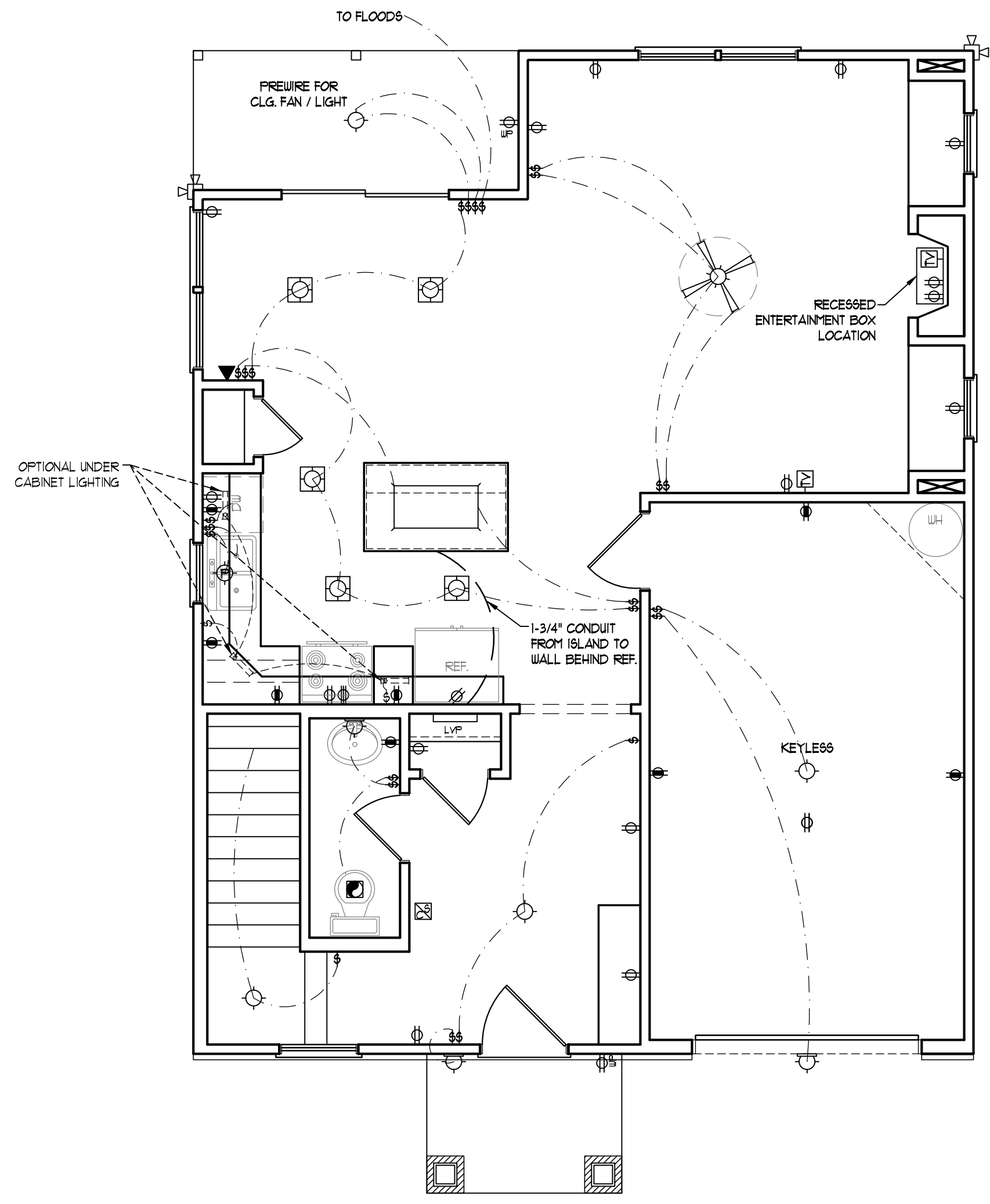
FIRST FLOOR
ELECTRICAL
PLAN

E-1

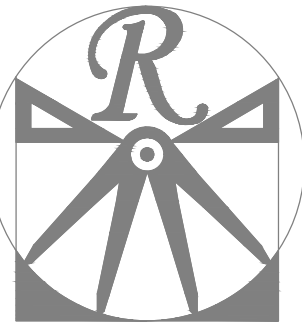
- ELECTRICAL LAYOUT NOTES:**
- 1.) BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN.
 - 2.) VANITY LIGHTS TO BE SET @ 90" AFF. (TYP.)
 - 3.) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN.
 - 4.) PLACE SWITCHES 8" (MIN) FROM ROUGH OPENINGS.

ELECTRICAL LEGEND

- ⊕ 110 V OUTLET
- ⊕ 110 V GFI OUTLET
- ⊕ 110 V SWITCHED OUTLET
- BB ⊕ 110 V BASEBOARD OUTLET
- ⊕ 4-FLEX
- ⊕ COUNTER OR FLOOR MOUNTED
- ⊕ COUNTER OR FLOOR MOUNTED 110V GFI
- ⊕ WEATHERPROOF
- ⊕ 220 V OUTLET
- ⊕ 110 V DEDICATED CIRCUIT
- ⊕ 220 V DEDICATED CIRCUIT
- ⊕ SPECIAL PURPOSE (240 V, ETC.)
- ⊕ WALL MOUNT LIGHT
- ⊕ CEILING MOUNT LIGHT
- ⊕ PENDANT LIGHT
- ⊕ RECESSED CAN LIGHT
- ⊕ MINI CAN LIGHT
- ⊕ EYEBALL LIGHT
- ⊕ FLUORESCENT LIGHT
- ⊕ UNDERCABINET LIGHT
- ⊕ FLOOD LIGHT
- ⊕ SWITCH
- ⊕ DIMMER SWITCH
- ⊕ TELEPHONE
- ⊕ DATA
- ⊕ TELEPHONE AND DATA
- ⊕ TV CONNECTION
- ⊕ TV/ DATA
- ⊕ CONDUIT FOR COMPONENT WIRING
- ⊕ SPEAKER
- ⊕ 110 V SMOKE/ CH DETECTOR
- ⊕ 110 V SMOKE DETECTOR
- ⊕ EXHAUST FAN
- LVP LOW VOLTAGE PANEL
- ALARM ALARM PANEL
- ⊕ CEILING FAN
- ⊕ CEILING FAN W/ LIGHT



FRONT PORCH ELEVATIONS B&C



RENAISSANCE

RESIDENTIAL DESIGN, INC.

RALEIGH, NC 27612

(919) 648-4128

WWW.RRDCAROLINA.COM

The art of transforming your vision into reality.

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

WEAVER HOMES
350 Wagoner Drive • Fayetteville, NC 28303
910.690.2190 • 800.802.2190
www.weaver-homes.com

PRICE PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND HOUSE ONLY. ALL WILL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF WEAVER HOMES. ALL RIGHTS ARE RESERVED. PROHIBITED: SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2020 WEAVER HOMES

WEAVER HOMES
CAROLINA COLLECTION
POPLAR DRIVE RIGHT

DATE: JULY 22, 2020
REV.:
SCALE: 1/4" = 1'-0"
DRAWN BY: WG
ENGINEERED BY:
REVIEWED BY:

SECOND FLOOR
ELCTRICAL
PLAN

E-2

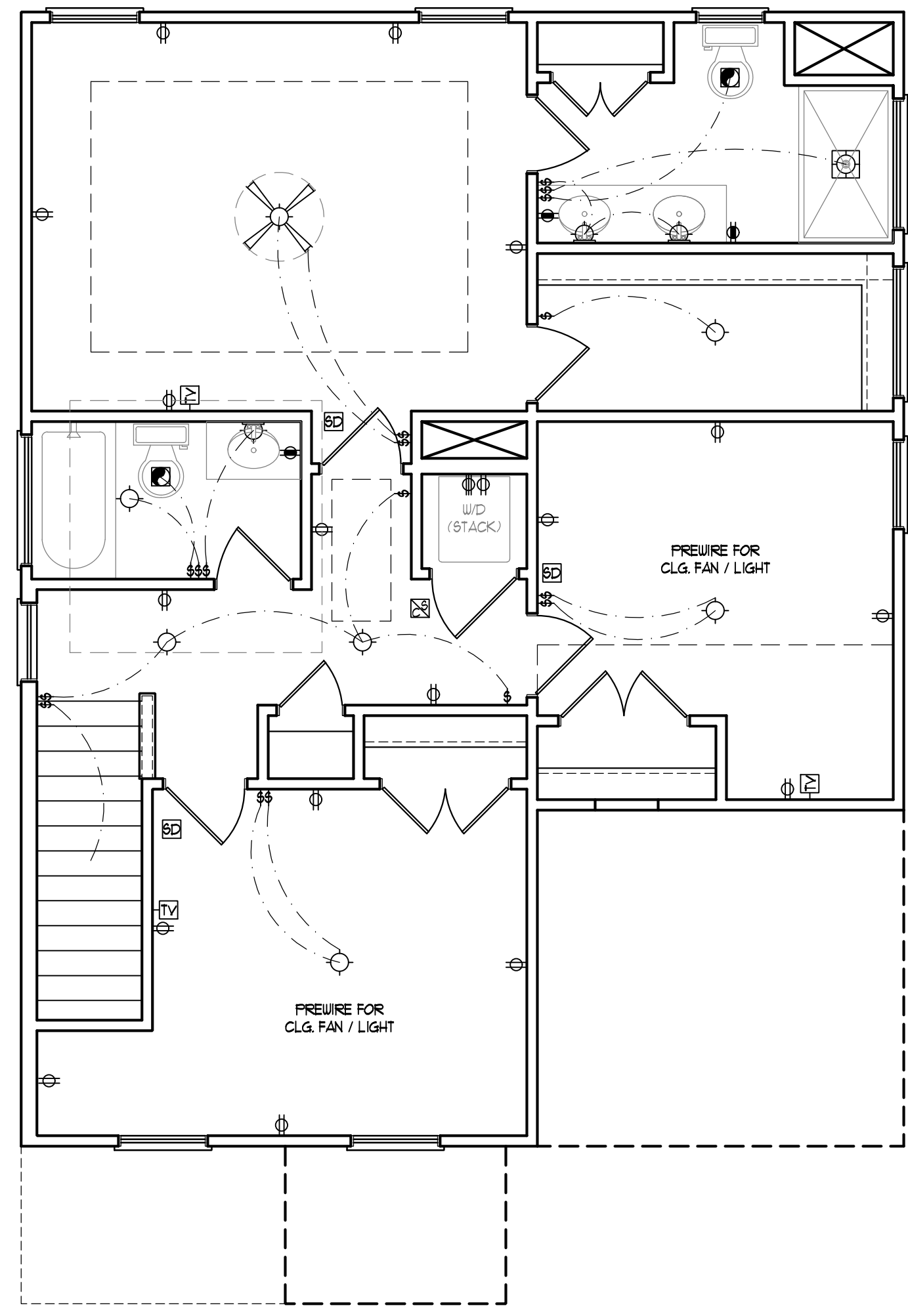
ELECTRICAL LAYOUT NOTES:

- 1.) BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN.
- 2.) VANITY LIGHTS TO BE SET @ 90" AFF. (TYP.)
- 3.) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN.
- 4.) PLACE SWITCHES 8" (MIN.) FROM ROUGH OPENINGS.

ELECTRICAL LEGEND

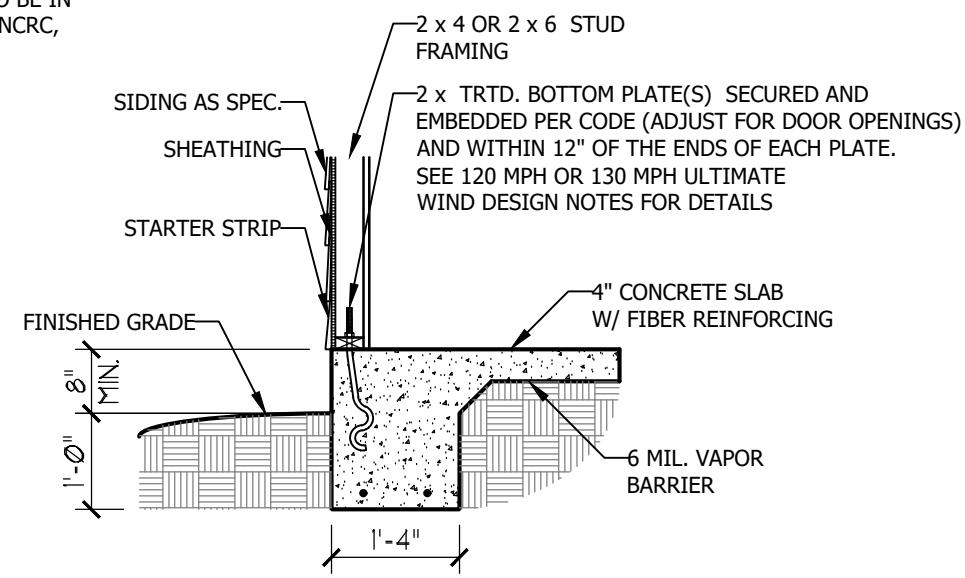
- 110 V OUTLET
- 110 V GFI OUTLET
- 110 V SWITCHED OUTLET
- 110 V BASEBOARD OUTLET
- 4-FLEX
- COUNTER OR FLOOR MOUNTED
- COUNTER OR FLOOR MOUNTED 110V GFI
- WEATHERPROOF
- 220 V OUTLET
- 110 V DEDICATED CIRCUIT
- 220 V DEDICATED CIRCUIT
- SPECIAL PURPOSE (240 V, ETC.)
- WALL MOUNT LIGHT
- CEILING MOUNT LIGHT
- PENDANT LIGHT
- RECESSED CAN LIGHT
- MINI CAN LIGHT
- EYEBALL LIGHT
- FLUORESCENT LIGHT
- UNDERCABINET LIGHT
- FLOOD LIGHT
- SWITCH
- DIMMER SWITCH
- TELEPHONE
- DATA
- TELEPHONE AND DATA
- TV CONNECTION
- TV/ DATA
- CONDUIT FOR COMPONENT WIRING
- SPEAKER
- 110 V SMOKE/ CO DETECTOR
- 110 V SMOKE DETECTOR
- EXHAUST FAN
- LOW VOLTAGE PANEL
- ALARM PANEL

- CEILING FAN
- CEILING FAN W/ LIGHT

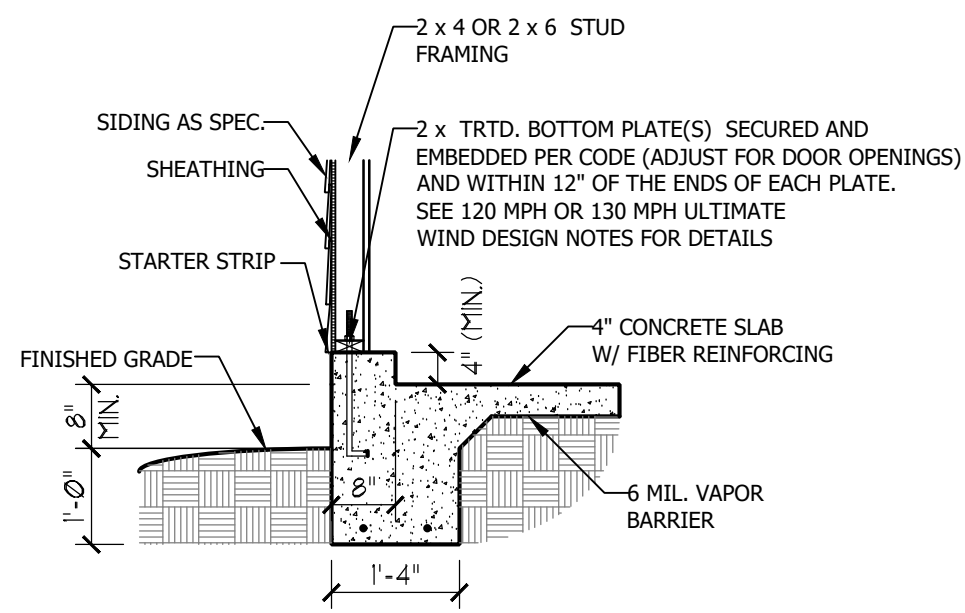


ULTIMATE DESIGN WIND SPEED NOTES FOR LESS THAN 30' MEAN ROOF HEIGHT:

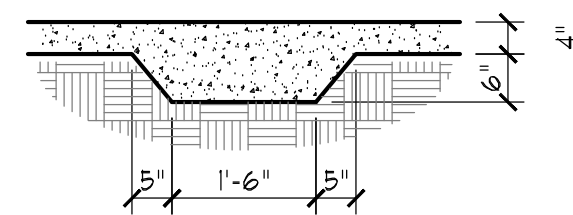
1. STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
2. FOR 120 MPH WIND ZONES INSTALL 1/2" ANCHOR BOLTS 6'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 7" INTO CONCRETE OR 15" INTO MASONRY. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
3. FOR 130 MPH WIND ZONES INSTALL 1/2" ANCHOR BOLTS 4'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 7" INTO CONCRETE OR 15" INTO MASONRY. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
4. MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
5. EXTERIOR WALLS DESIGNED FOR 120 OR 130 MPH WINDS.
6. INSTALL 7/16" OSB SHEATHING ON ALL EXTERIOR WALLS OF ALL STORIES IN ACCORDANCE WITH SECTION R602.10.3 OF THE NCR, 2018 EDITION.
7. ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NCR, 2018 EDITION.



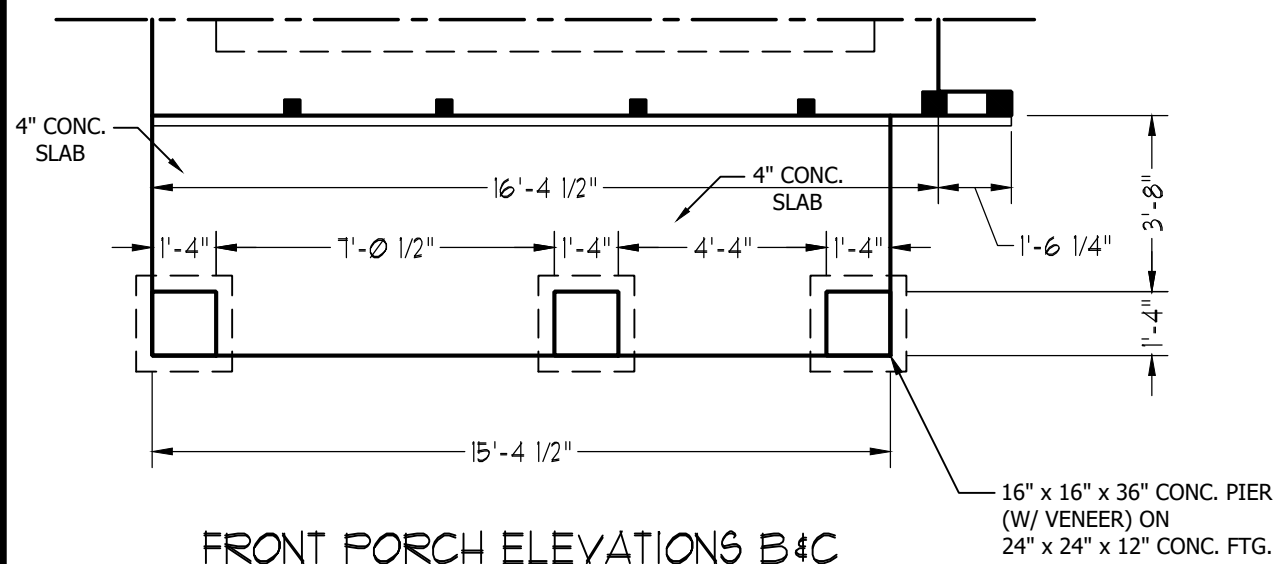
TYPICAL SLAB DETAIL



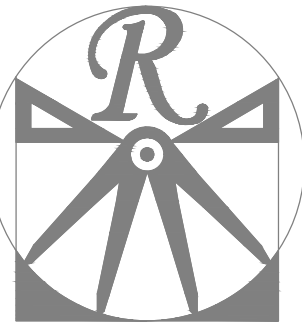
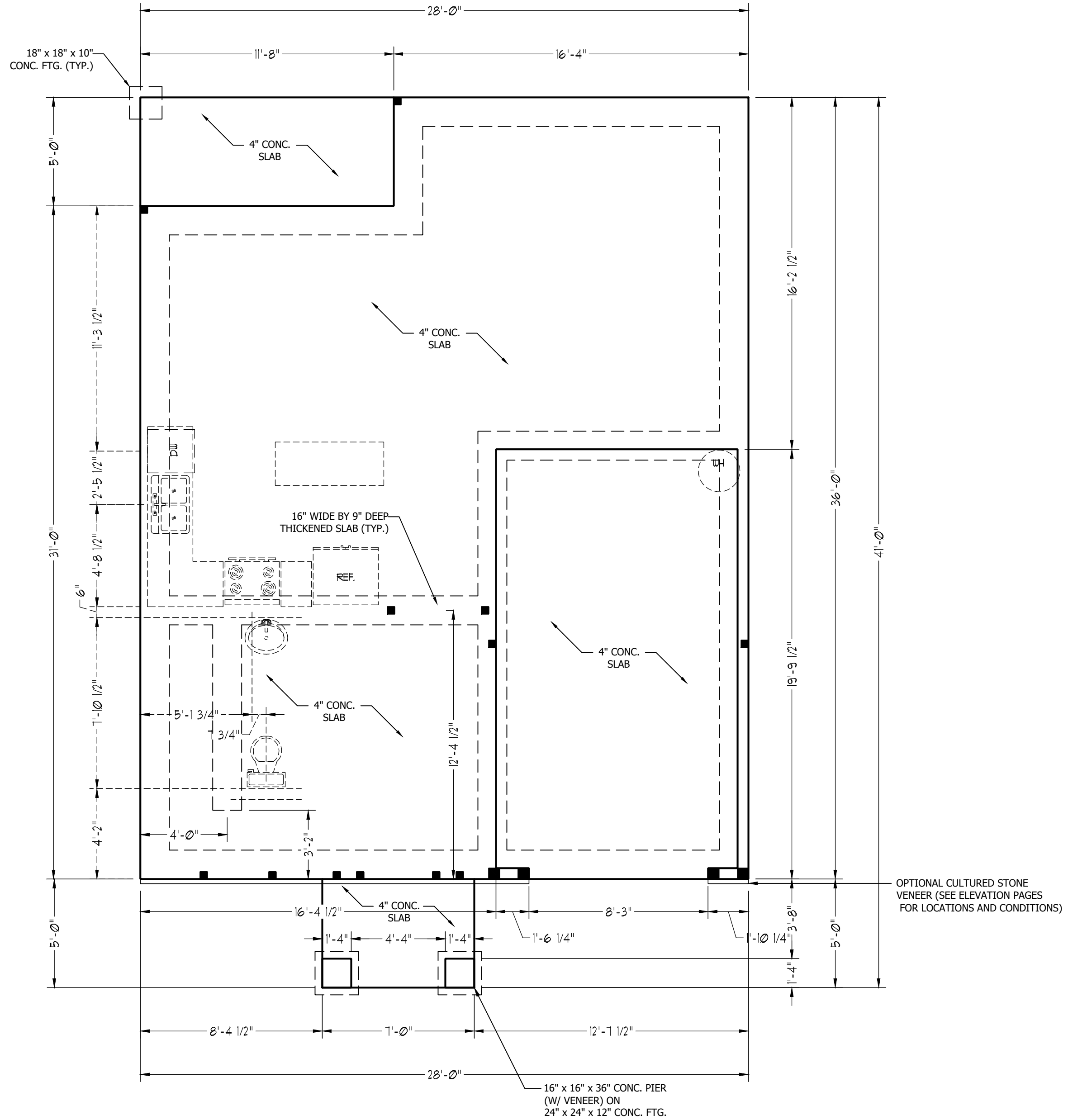
GARAGE CURB DETAIL



THICKENED SLAB DETAIL



FRONT PORCH ELEVATIONS B&C



RENAISSANCE
RESIDENTIAL DESIGN, INC.

RALEIGH, NC 27612
(919) 648-4128
WWW.RRDCAROLINA.COM

The art of transforming your vision into reality.

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

WEAVER HOMES
350 Waggoner Drive • Fayetteville, NC 28303
910.690.2190 • 800.892.2190
www.weaver-homes.com

PRICE PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND HOUSE QUALITY WILL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF WEAVER HOMES. NO USE, REPRODUCTION, PHOTOCOPYING, OR ANY MANNER OF INFORMATION IS PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2020 WEAVER HOMES

WEAVER HOMES
CAROLINA COLLECTION
POPLAR DRIVE RIGHT

DATE: JULY 22, 2020

REV.:

SCALE: 1/4" = 1'-0"

DRAWN BY: WG

ENGINEERED BY:

REVIEWED BY:

MONO SLAB
FOUNDATION
PLAN

S-1

STRUCTURAL NOTES:

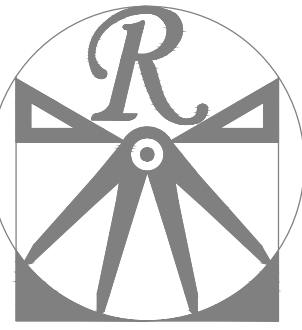
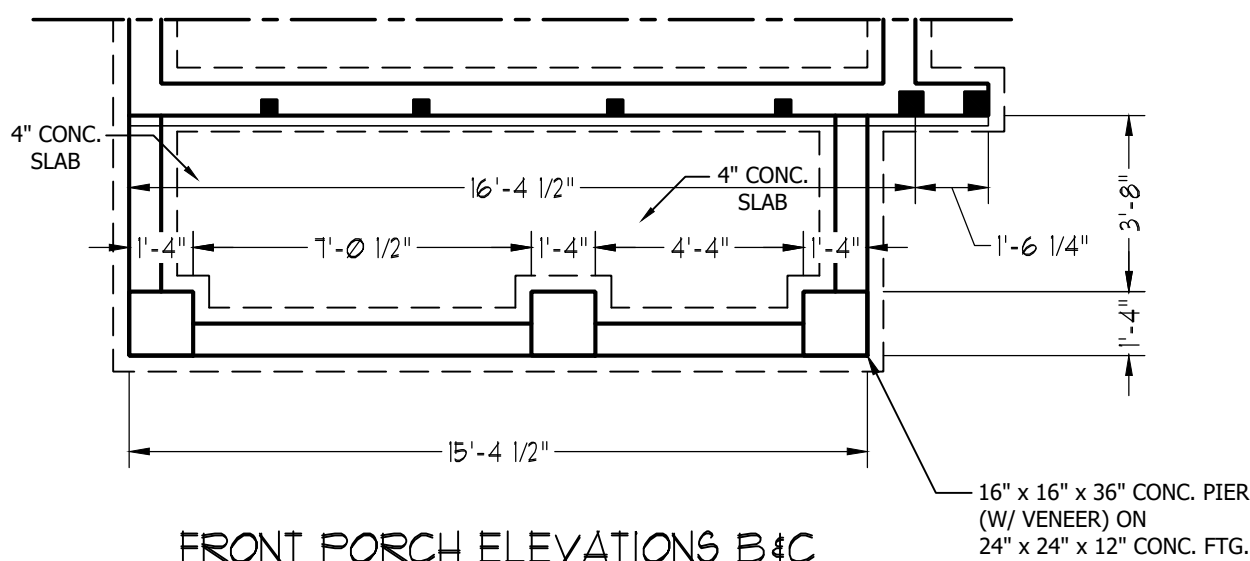
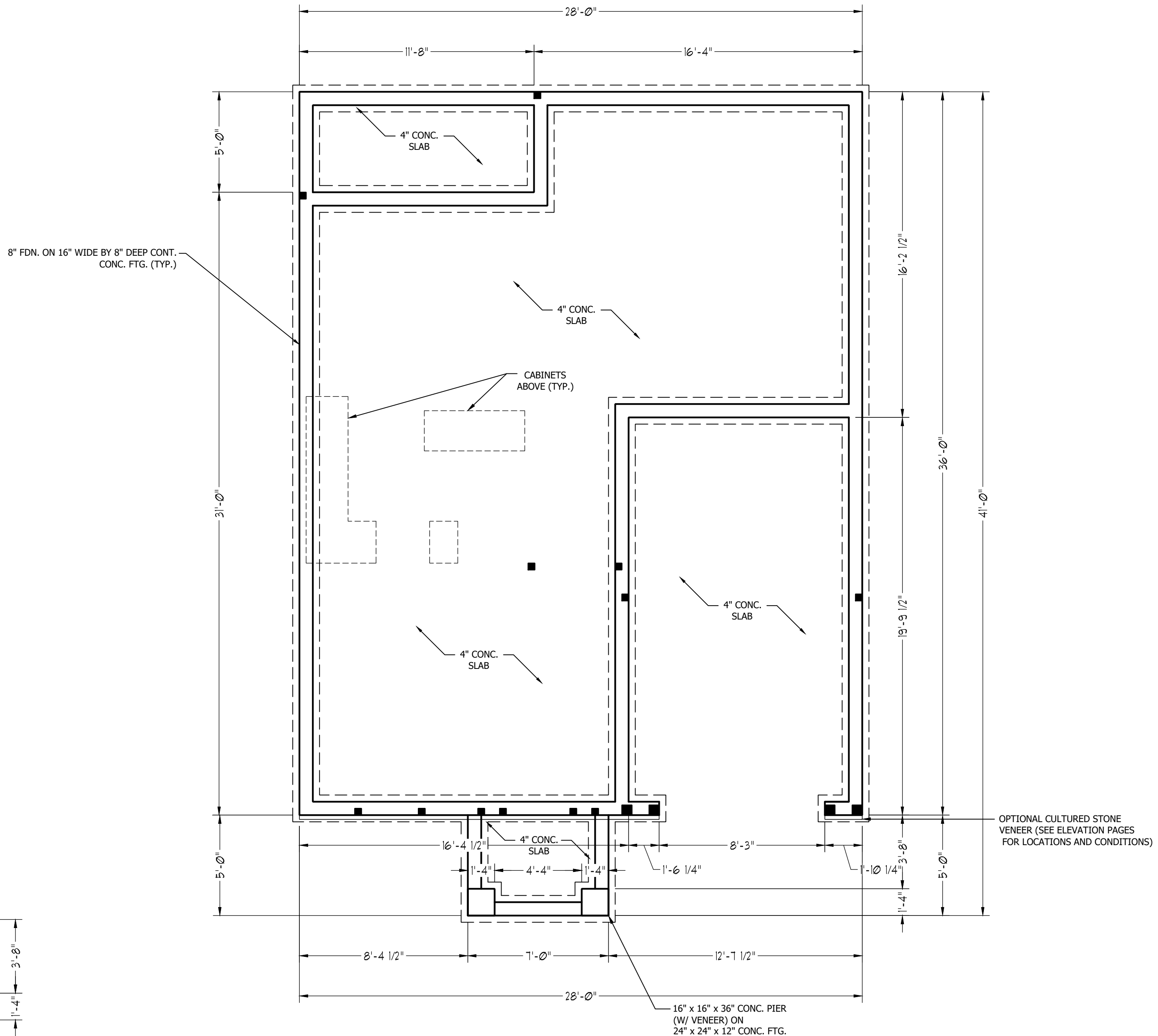
1. ALL FRAMING LUMBER TO BE #2 SPF (UNO). ALL TREATED LUMBER TO BE #2 SYP (UNO.)
2. INSTALL AN EXTRA OR DOUBLE JOIST UNDER WALLS PARALLEL TO FLOOR JOISTS.
3. SQUARES REPRESENT POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION.
4. SHADED PIERS TO BE FILLED SOLID.
5. INSTALL LADDER WIRE @ 16" O.C. TO SECURE MULTIPLE WYTHE FOUNDATION WALLS TOGETHER.

ULTIMATE DESIGN WIND SPEED NOTES FOR LESS THAN 30' MEAN ROOF HEIGHT:

1. STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
2. FOR 120 MPH WIND ZONES INSTALL 1/2" ANCHOR BOLTS 6'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 7" INTO CONCRETE OR 15" INTO MASONRY. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
3. FOR 130 MPH WIND ZONES INSTALL 1/2" ANCHOR BOLTS 4'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 7" INTO CONCRETE OR 15" INTO MASONRY. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
4. MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
5. EXTERIOR WALLS DESIGNED FOR 120 OR 130 MPH WINDS.
6. INSTALL 7/16" OSB SHEATHING ON ALL EXTERIOR WALLS OF ALL STORIES IN ACCORDANCE WITH SECTION R602.10.3 OF THE NCRC, 2018 EDITION.
7. ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NCRC, 2018 EDITION.

FOUNDATION VENTILATION CALCULATION

720 SQ. FT. OF CRAWL SPACE DIVIDED BY 1500 EQUALS 0.5 SQ. FT. OF NET FREE AREA REQUIRED. INSTALL 6 MIL POLY TO COVER ENTIRE CRAWL SPACE. LOCATE VENTS WITHIN 3'-0" OF EACH CORNER OF THE BUILDING TO PROVIDE CROSS-VENTILATION.



RENAISSANCE

RESIDENTIAL DESIGN, INC.

RALEIGH, NC 27612

(919) 648-4128

WWW.RRDNCAROLINA.COM

The art of transforming your vision into reality.

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

WEAVER HOMES
 350 Waggoner Drive • Fayetteville, NC 28303
 910.690.2100 • 800.802.2190
 www.weaver-homes.com

PRICE PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND HOUSE QUALITY WILL BE DETERMINED BY THE SITE PLAN AND LOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF WEAVER HOMES. NO USE, REPRODUCTION, OR DISTRIBUTION OF THESE PLANS OR ANY PART THEREOF IS PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2020 WEAVER HOMES

WEAVER HOMES
 CAROLINA COLLECTION
 POPLAR DRIVE RIGHT

DATE: JULY 22, 2020

REV.:

SCALE: 1/4" = 1'-0"

DRAWN BY: WG

ENGINEERED BY:

REVIEWED BY:

CRAWL
 FOUNDATION
 PLAN

S-1

STRUCTURAL NOTES:

1. ALL FRAMING LUMBER TO BE SPF #2 (UNO). ALL TREATED LUMBER TO BE SYP #2 (UNO.)
2. ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).
3. INSTALL AN EXTRA JOIST UNDER WALLS PARALLEL TO FLOOR JOISTS
4. WINDOW AND DOOR HEADERS TO BE SUPPORTED W/ (1) JACK STUD AND (1) KING STUD EA. END (UNO.). SEE TABLE R602.7.5 FOR ADDITIONAL KING STUD REQUIREMENTS.
5. SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO.)
6. ALL 4 X 4 POSTS SHALL BE ANCHORED TO SLABS W/ SIMPSON ABU44 POST BASES (OR EQUAL) AND 6 X 6 POSTS W/ ABU66 POST BASES (OR EQUAL) (UNO). ALL 4 X 4 AND 6 X 6 POSTS TO BE INSTALLED WITH 700 LB CAPACITY UPLIFT CONNECTORS AT TOP (UNO.)
7. FOR FIBERGLASS, ALUMINUM, OR COLUMN ENG. BY OTHERS, SECURE TO SLAB W/ (2) METAL ANGLES USING 2" CONC. SCREWS. FASTEN ANGLES TO COLUMNS W/ 1/4" THROUGH BOLTS W/ NUTS AND WASHERS. LOCATE ANGLES ON OPPOSITE SIDES OF COLUMN. THROUGH BOLTS MUST BE INSTALLED PRIOR TO SETTING COLUMN.

BRACE WALL PANEL NOTES:

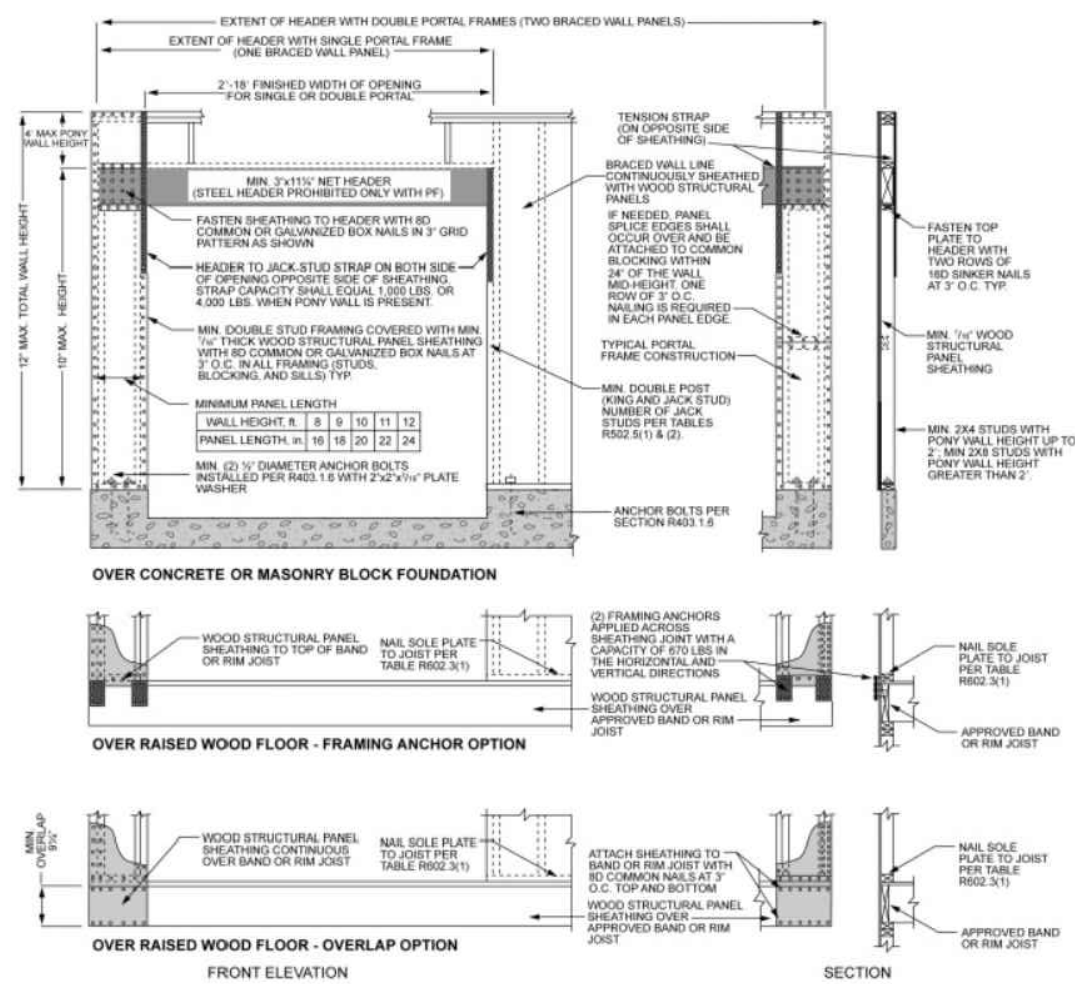
EXTERIOR WALLS: ALL EXTERIOR WALLS TO BE SHEATHED WITH CS-WSP OR CS-SFB IN ACCORDANCE WITH SECTION R602.10.3 UNLESS NOTED OTHERWISE.

REQUIRED LENGTH OF BRACING: REQUIRED BRACE WALL LENGTH FOR EACH SIDE OF THE CIRCUMSCRIBED RECTANGLE ARE INTERPOLATED PER TABLE R602.10.3. METHODS CS-WSP AND CS-SFB CONTRIBUTE THEIR ACTUAL LENGTH. METHOD GB CONTRIBUTES 0.5 ITS ACTUAL LENGTH. METHOD PF CONTRIBUTES 1.5 TIMES ITS ACTUAL LENGTH.

GYPSUM: ALL INTERIOR SIDES OF EXTERIOR WALLS AND BOTH SIDES OF INTERIOR WALLS TO HAVE 1/2" GYPSUM INSTALLED. WHEN NOT USING METHOD GB GYPSUM TO BE FASTENED PER TABLE R702.3.5. METHOD GB TO BE FASTENED PER TABLE R602.10.1.

HD: 800 LBS HOLD DOWN DEVICE FASTENED TO THE EDGE OF THE BRACE WALL PANEL NEAREST TO THE CORNER

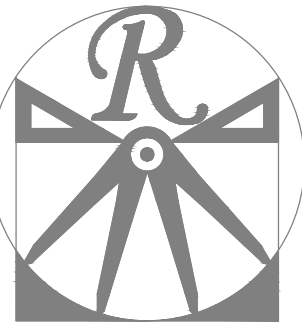
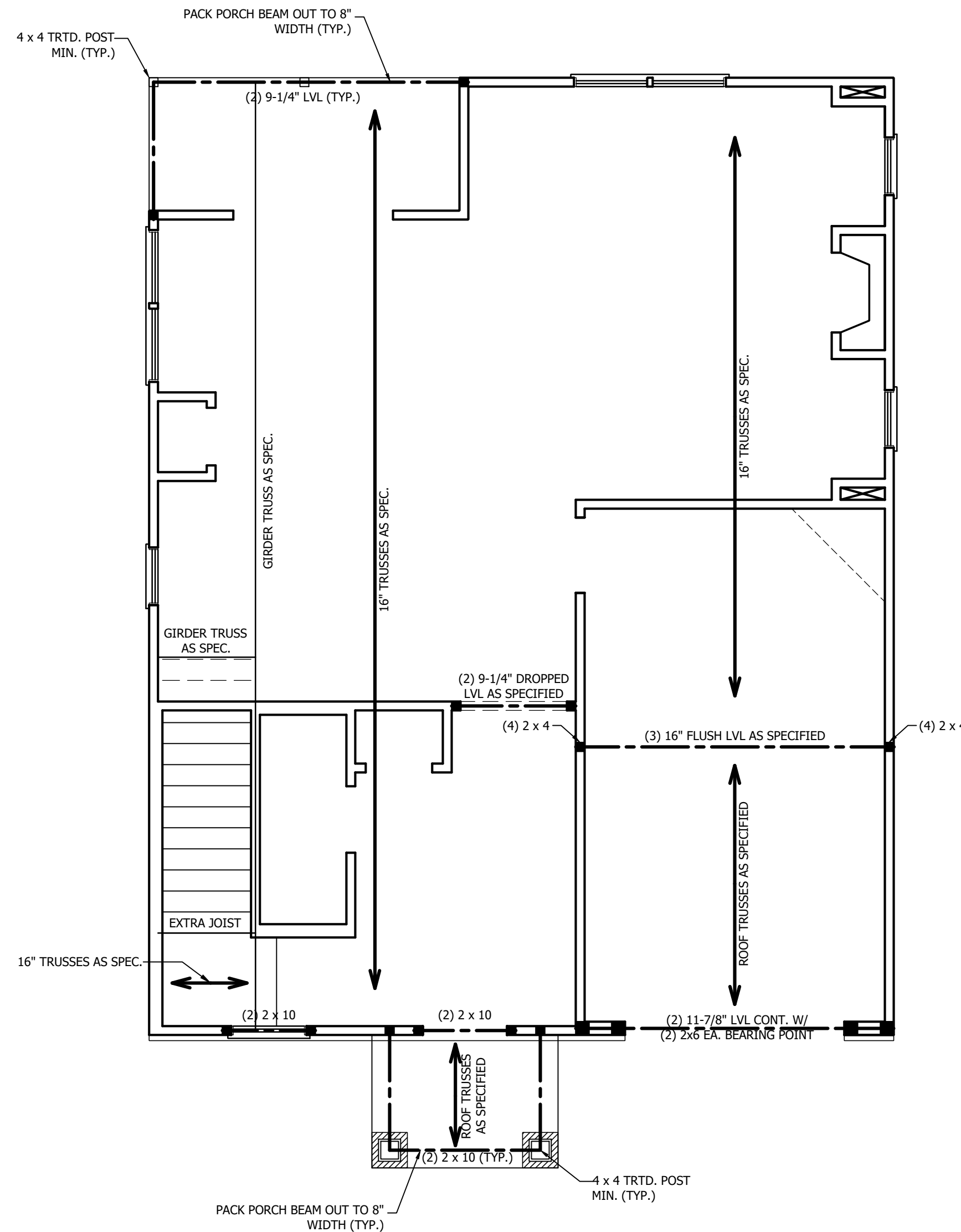
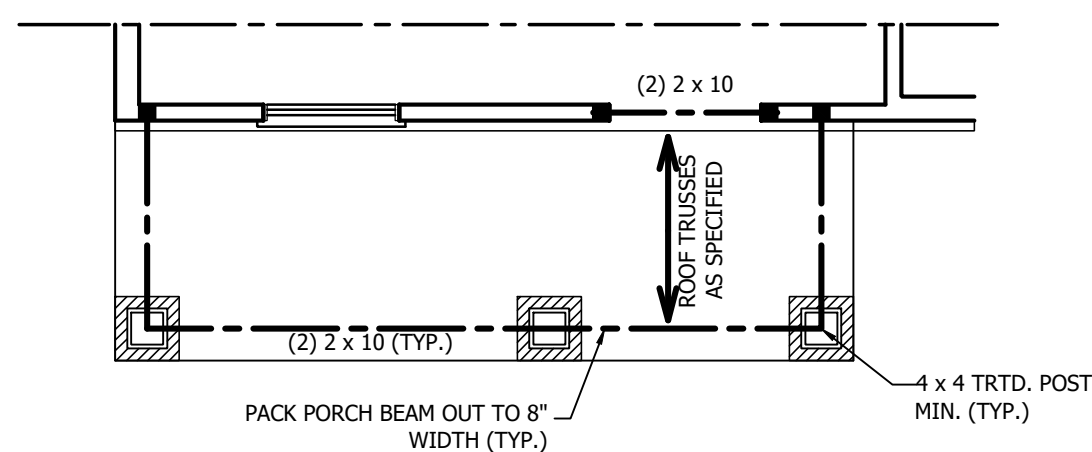
METHODS: PER TABLE R602.10.1



inch = 25.4 mm, 1 foot = 305 mm, 1 lb = 4.45 N.

FIGURE R602.10.1

METHOD PF—PORTAL FRAME CONSTRUCTION



RENAISSANCE
RESIDENTIAL DESIGN, INC.

RALEIGH, NC 27612
(919) 648-4128
WWW.RRD-CAROLINA.COM

The art of transforming your vision into reality.

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

WEAVER HOMES
350 Waggoner Drive • Fayetteville, NC 28303
910.690.2190 • 800.802.2190
www.weaver-homes.com

PLEASE PROMPTLY NOTIFY US OF ANY CHANGES, REVISIONS, OR CORRECTIONS TO THESE PLANS. DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND HOUSE QUALITY WILL BE DETERMINED BY THE SITE PLAN AND ARCHITECT'S CONCEPTIONS. FLOOR PLANS AND ELEVATION RENDERINGS ARE PROPERTY OF WEAVER HOMES. NO USE, REPRODUCTION, OR DISTRIBUTION OF THESE PLANS IS PERMITTED WITHOUT THE WRITTEN CONSENT OF WEAVER HOMES. COPYRIGHT © 2020 WEAVER HOMES

WEAVER HOMES
CAROLINA COLLECTION
POPLAR DRIVE RIGHT

DATE: JULY 22, 2020
REV.:
SCALE: 1/4" = 1'-0"
DRAWN BY: WG
ENGINEERED BY:
REVIEWED BY:

SECOND FLOOR
FRAMING PLAN
S-2

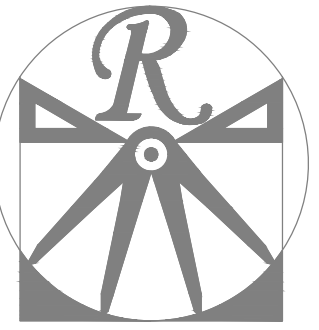
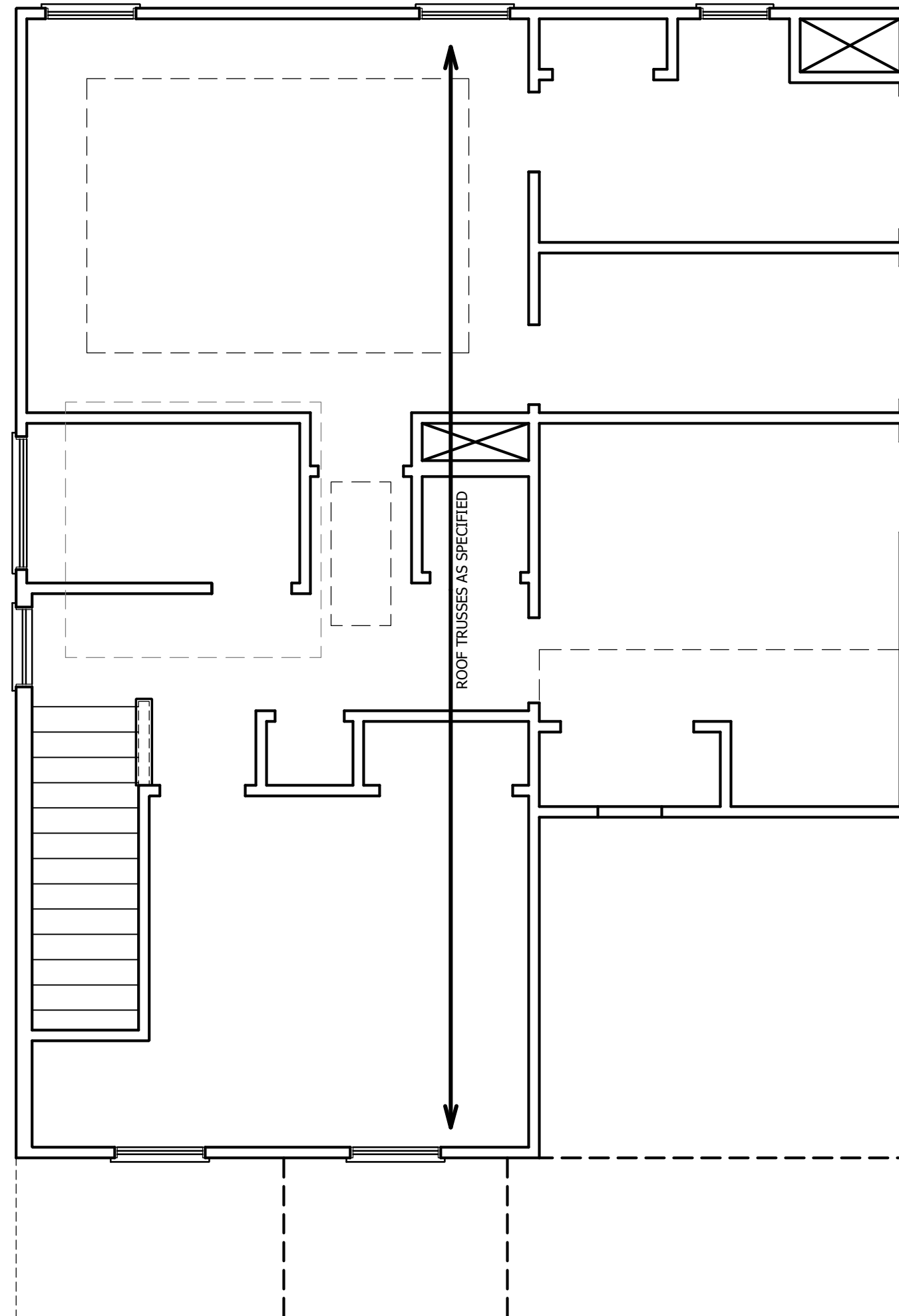
TABLE R602.7.5
MINIMUM NUMBER OF FULL HEIGHT STUDS
AT EACH END OF HEADERS IN EXTERIOR WALLS

HEADER SPAN (FEET)	MAXIMUM STUD SPACING (INCHES) (PER TABLE R602.3(5))	
	16	24
UP TO 3'	1	1
4'	2	1
8'	3	2
12'	5	3
16'	6	4

STRUCTURAL NOTES:

1. ALL FRAMING LUMBER TO BE SPF #2 (UNO). ALL TREATED LUMBER TO BE SYP #2 (UNO).
2. ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).
3. WINDOW AND DOOR HEADERS TO BE SUPPORTED w/ (1) JACK STUD AND (1) KING STUD EA. END (UNO.). SEE TABLE R602.7.5 FOR ADDITIONAL KING STUD REQUIREMENTS.
4. SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO.)

DSP - DOUBLE STUD POCKET
TSP - TRIPLE STUD POCKET



RENAISSANCE
RESIDENTIAL DESIGN, INC.
RALEIGH, NC 27612
(919) 648-4128
WWW.RRDCAROLINA.COM

The art of transforming your vision into reality.

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

WEAVER
HOMES
350 Wagoner Drive • Fayetteville, NC 28303
910.690.2100 • 800.892.2190
www.weaver-homes.com

PRICE PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND NOT GUARANTEED. HOUSE QUALITY WILL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF WEAVER HOMES AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF WEAVER HOMES. PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2020 WEAVER HOMES

WEAVER HOMES
CAROLINA COLLECTION
POPLAR DRIVE RIGHT

DATE: JULY 22, 2020
REV.:
SCALE: 1/4" = 1'-0"
DRAWN BY: WG
ENGINEERED BY:
REVIEWED BY:

ATTIC FLOOR
FRAMING PLAN

S-3

STRUCTURAL NOTES:

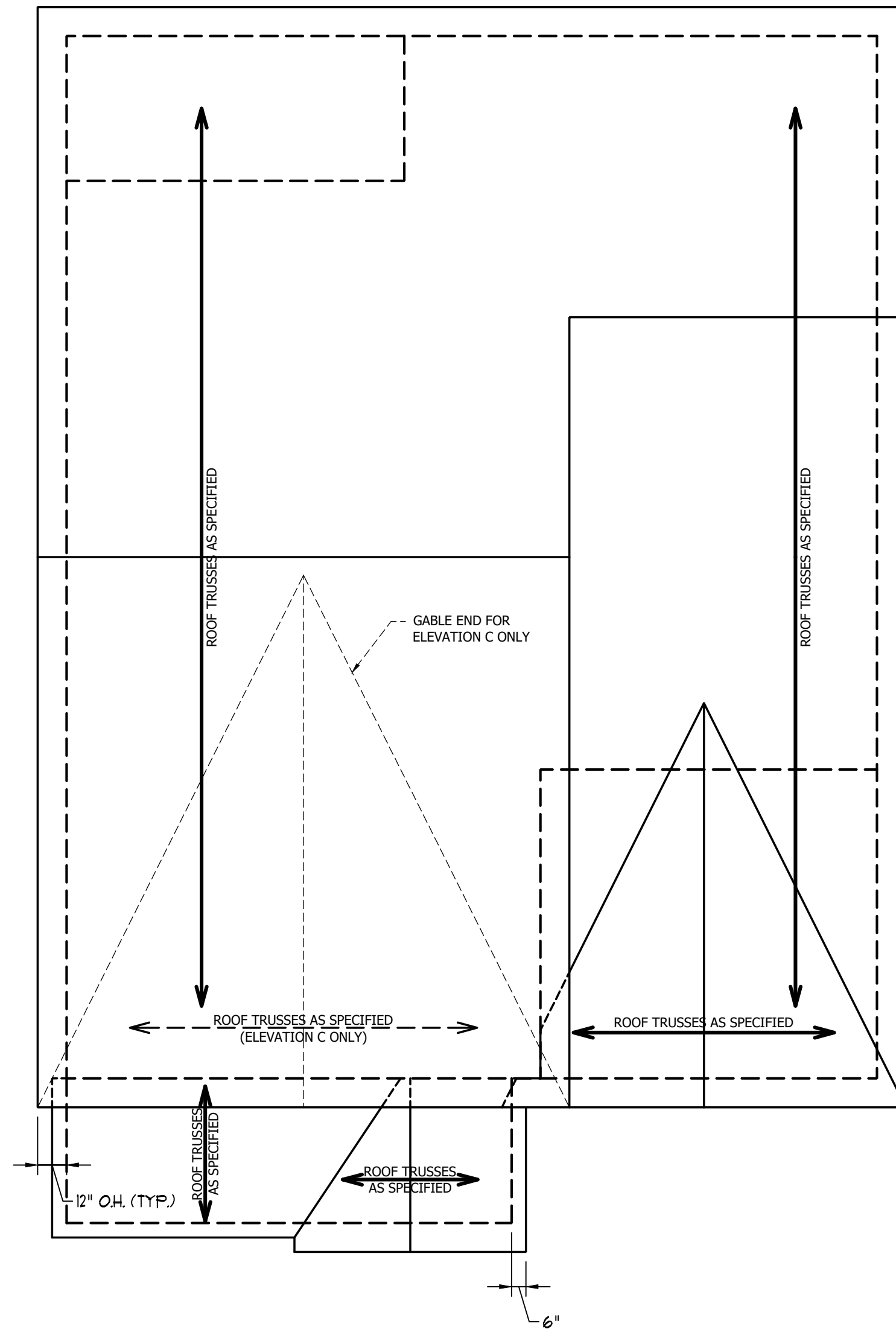
1. ALL FRAMING LUMBER TO BE #2 SPF (UNO).
2. HIP SPLICES ARE TO BE SPACED A MIN. OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS @ 16" O.C. (TYP.)
3. STICK FRAME OVER-FRAMED ROOF SECTIONS W/ 2 x 8 RIDGES, 2 x 6 RAFTERS @ 16" O.C. AND FLAT 2 x 10 VALLEYS OR USE VALLEY TRUSSES.
4. FASTEN FLAT VALLEYS TO RAFTERS OR TRUSSES WITH SIMPSON H2.5A HURRICANE TIES @ 32" O.C. MAX. PASS HURRICANE TIES THROUGH NOTCH IN ROOF SHEATHING. EACH RAFTER IS TO BE FASTENED TO THE FLAT VALLEY WITH A MIN. OF (6) 12d TOE NAILS.
5. REFER TO SECTION R802.11 OF THE 2018 NCRC FOR REQUIRED UPLIFT RESISTANCE AT RAFTERS AND TRUSSES.

ATTIC VENT CALCULATION:

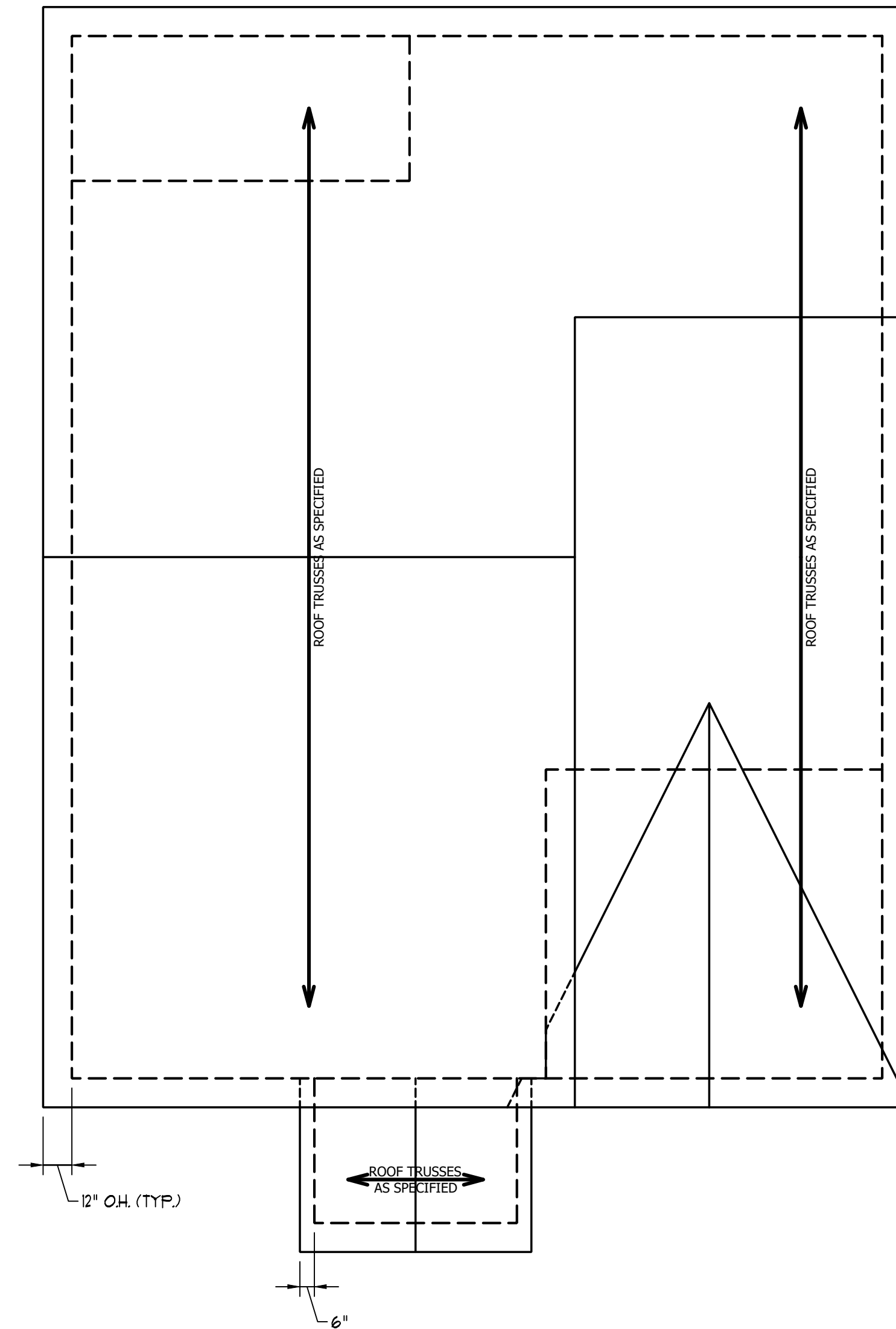
1218 SQ. FT. OF ATTIC DIVIDED BY 150 REQUIRES 8.1 SQ. FT. OF NET FREE VENTILATING AREA (MIN.).

ATTIC VENT CALCULATION:

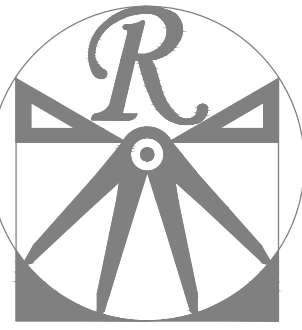
1180 SQ. FT. OF ATTIC DIVIDED BY 150 REQUIRES 7.9 SQ. FT. OF NET FREE VENTILATING AREA (MIN.).



ELEVATION B&C



ELEVATION A



RENAISSANCE
RESIDENTIAL DESIGN, INC.

RALEIGH, NC 27612
(919) 648-4128
WWW.RRDCAROLINA.COM

The art of transforming your vision into reality.

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

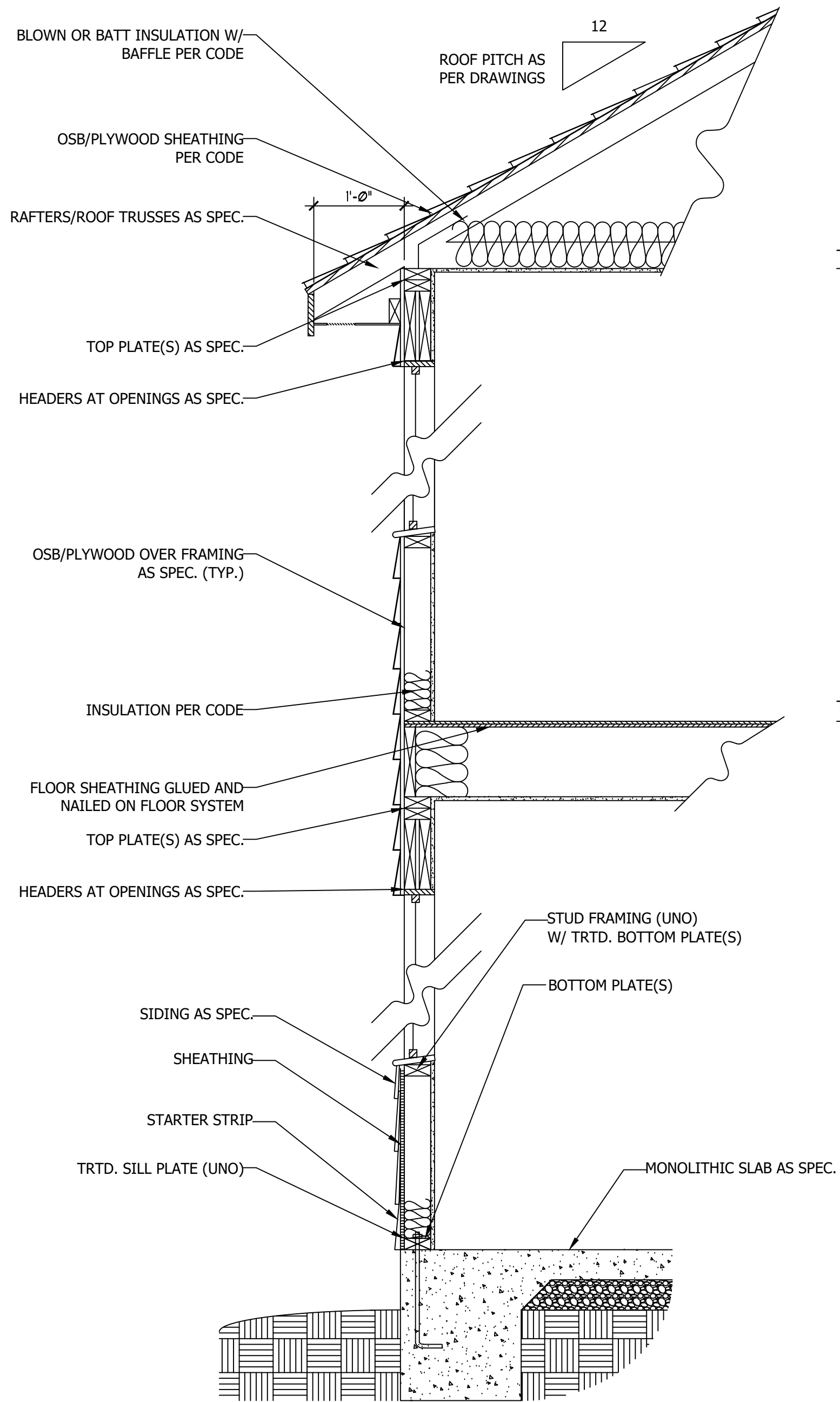
WEAVER HOMES
350 Waggoner Drive • Fayetteville, NC 28303
910.690.2190 • 800.892.2190
www.weaver-homes.com

PRICE PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND HOUSE QUALITY WILL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF WEAVER HOMES. NO USE FOR REPRODUCTION, REVISION, OR ANY OTHER PURPOSE IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF WEAVER HOMES. CURRENT DETAILS. COPYRIGHT © 2020 WEAVER HOMES

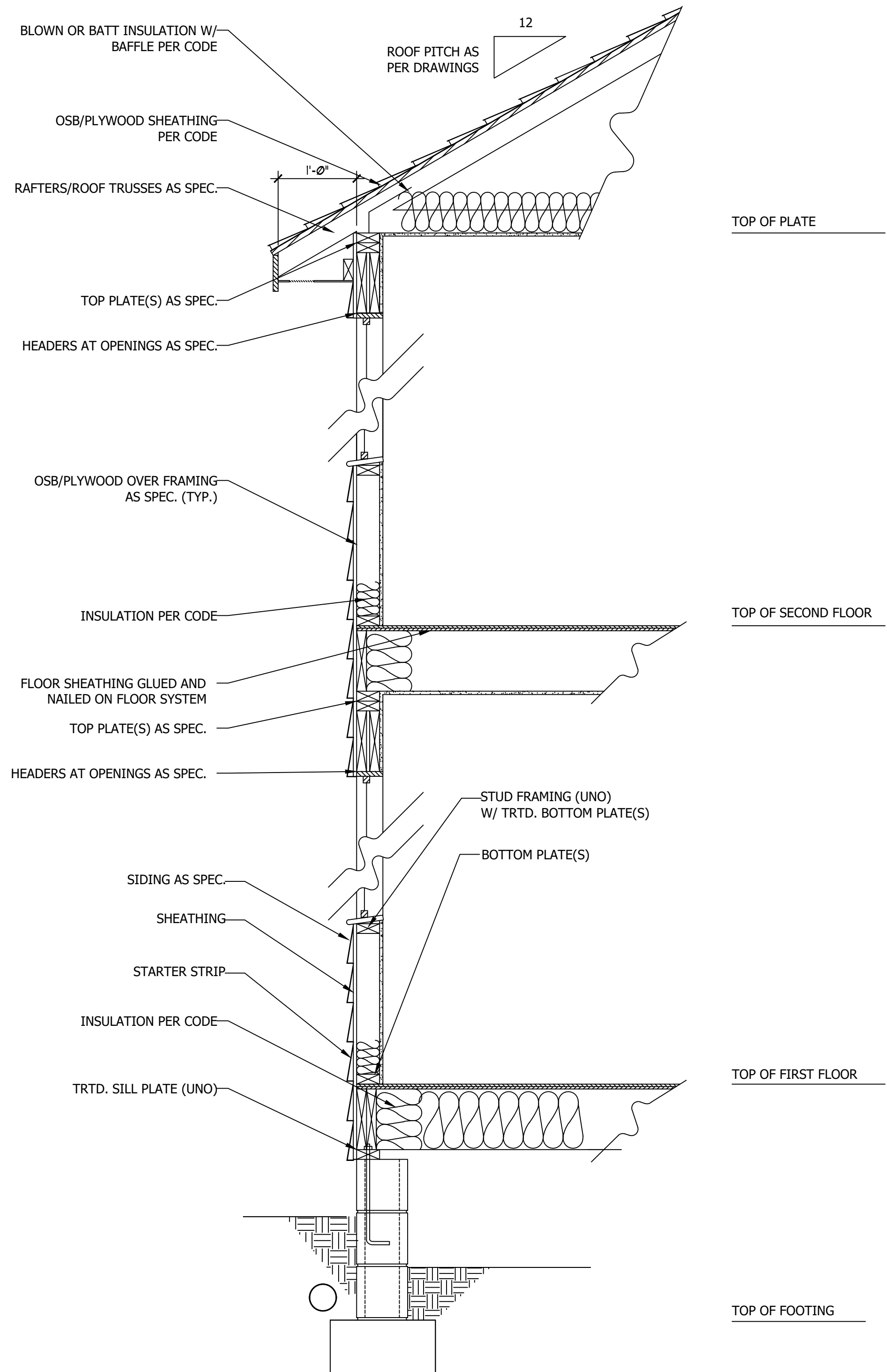
WEAVER HOMES
CAROLINA COLLECTION
POPLAR DRIVE RIGHT

DATE: JULY 22, 2020
REV.:
SCALE: 1/4" = 1'-0"
DRAWN BY: WG
ENGINEERED BY:
REVIEWED BY:

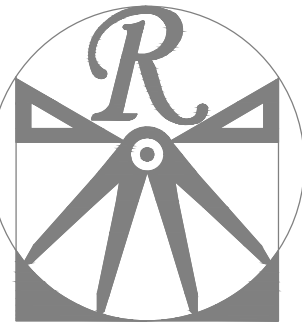
ROOF PLANS
S-4



WALL SECTION W/ SLAB
W/ STD. SIDING SHOWN (NTS)



WALL SECTION W/ CRAWL SPACE
W/ STD. SIDING SHOWN (NTS)



RENAISSANCE

RESIDENTIAL DESIGN, INC.

RALEIGH, NC 27612

(919) 648-4128

WWW.RRDCAROLINA.COM

The art of transforming your vision into reality.

RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

WEAVER
HOMES
350 Waggoner Drive • Fayetteville, NC 28303
910.690.2100 • 800.892.2190
www.weaver-homes.com

PRICE PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND HOUSE QUALITY WILL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF WEAVER HOMES. ALL RIGHTS ARE RESERVED. PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2020 WEAVER HOMES

WEAVER HOMES
CAROLINA COLLECTION
POPLAR DRIVE RIGHT

DATE: JULY 22, 2020

REV.:

SCALE: 1/4" = 1'-0"

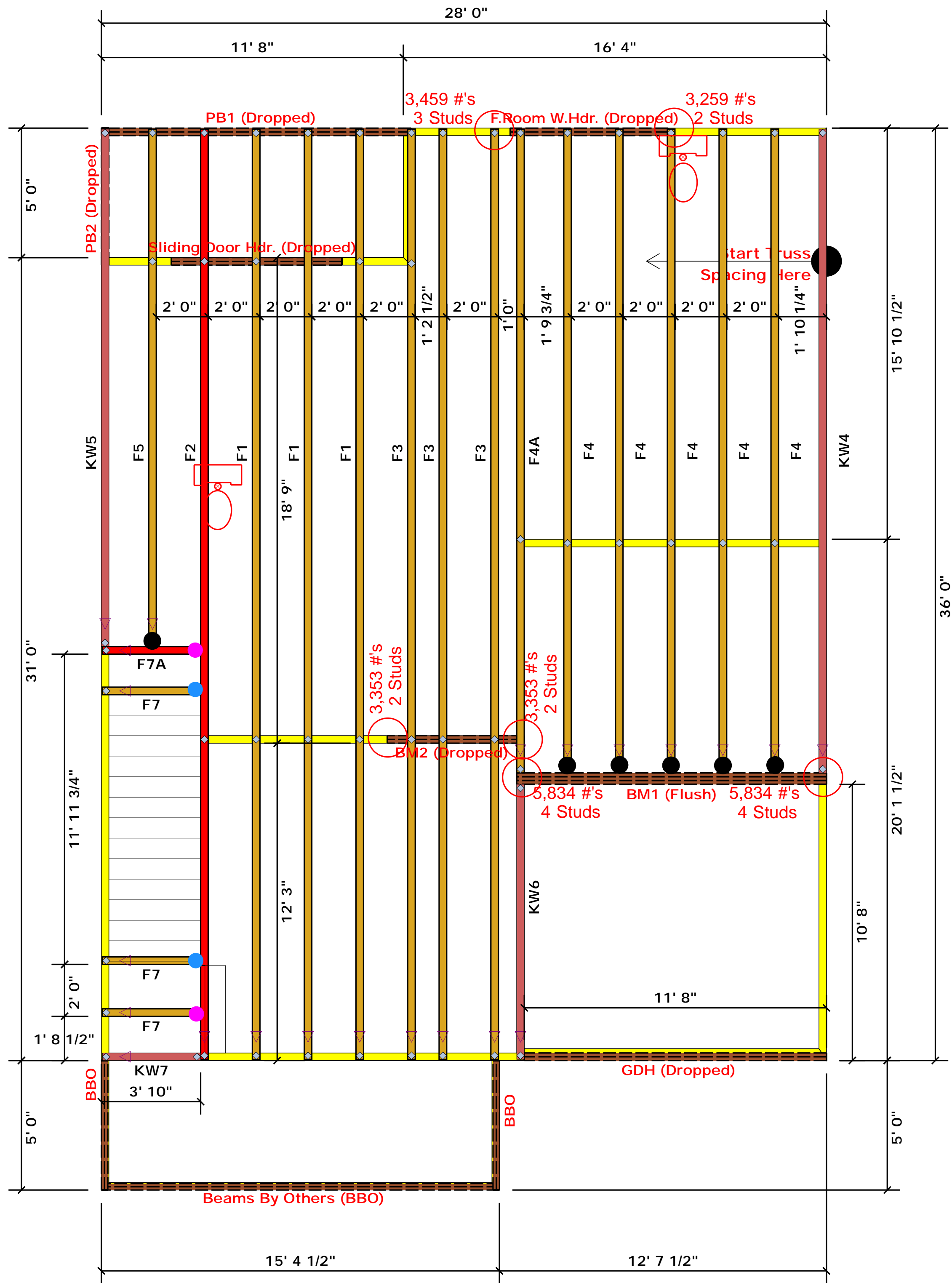
DRAWN BY: WG

ENGINEERED BY:

REVIEWED BY:

TYPICAL WALL SECTIONS

D-1



Truss Placement Plan SCALE: NTS

- = HUS410 (Qty. 6)
- = MSH422 (Qty. 2)
- = MSH422IF (Qty. 2)

▲ = Denotes Left End of Truss
(Reference Engineered Truss Drawing)

PlotID	Length	Product	Plies	Net Qty
PB1 (Dropped)	12' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2
F.Room W.Hdr. (Dropped)	7' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2
Sliding Door Hdr. (Dropped)	7' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2
BM2 (Dropped)	6' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2
PB2 (Dropped)	6' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2
GDH (Dropped)	12' 0"	1-3/4"x 11-7/8" LVL Kerto-S	2	2
BM1 (Flush)	12' 0"	1-3/4"x 16" LVL Kerto-S	3	3

All Truss Reactions are Less than 3,000 lbs. Unless Noted Otherwise.

○ -- Denotes Reaction Greater than 3,000 lbs. Reaction / # of Studs

MEMBER SIZE (UP TO)	REACT. CAP. (KIP)	MEMBER SIZE (UP TO)	REACT. CAP. (KIP)
1700	1	3400	1
1700	2	3400	2
5100	3	3400	3
6800	4	3400	4
8500	5	3400	5
10200	6	3400	6
11900	7	3400	7
13600	8	3400	8
15300	9	3400	9

BUILDER	Weaver Development	CITY / CO.	Harnett Co. / Harnett
JOB NAME	Lot 2 Roberts Road	ADDRESS	Lot 2 Roberts Road
PLAN	Poplar Elev. B	MODEL	Floor
SEAL DATE	Seal Date	DATE REV.	/ /
QUOTE #	Quote #	DRAWN BY	Christine Shivy
JOB #	J0720-3443	SALES REP.	Lenny Norris

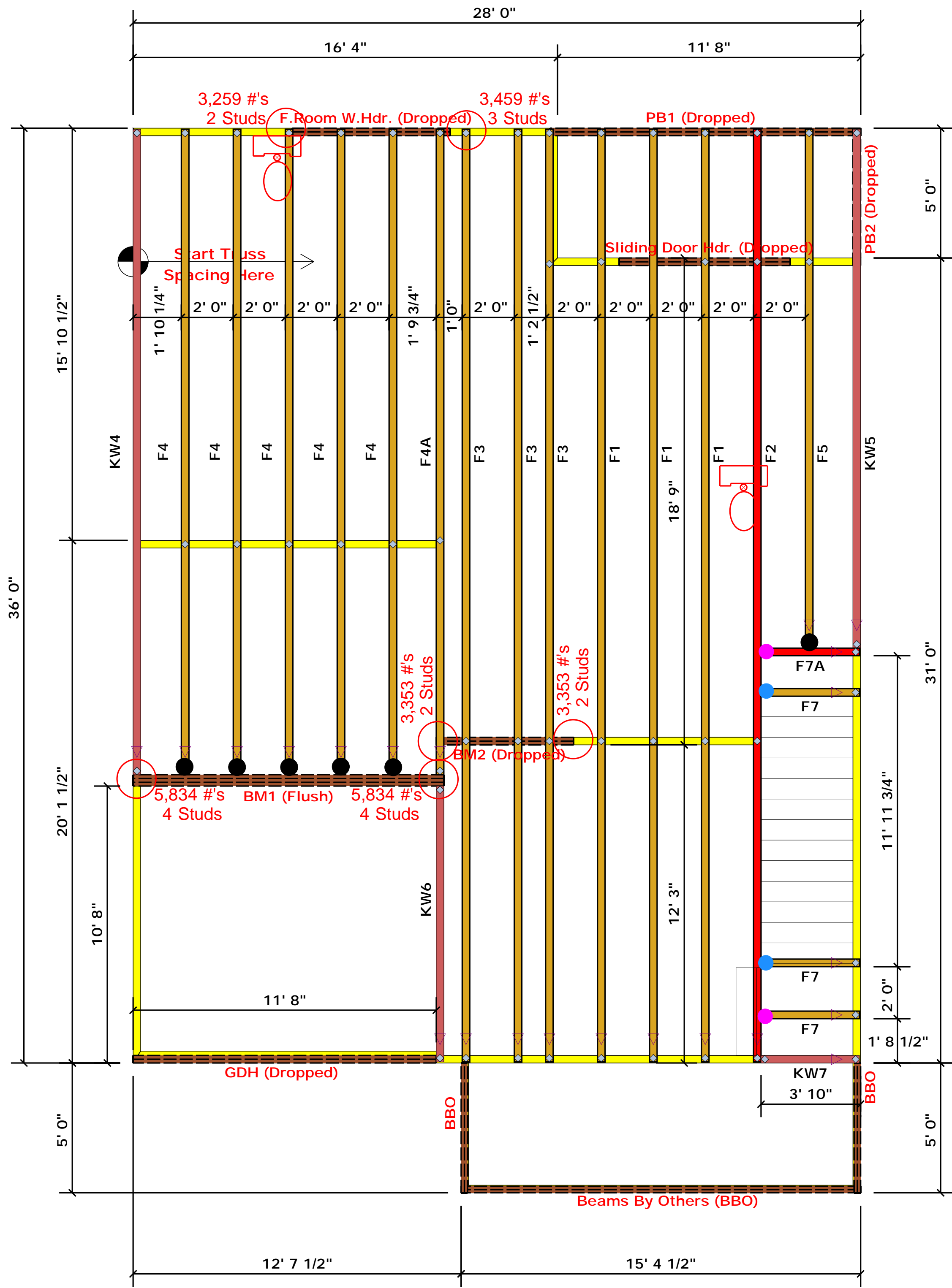
THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCSH-B1 and BCSH-B3 provided with the truss delivery package or online @ sbcindustry.com

Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables (derived from the prescriptive Code requirements) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

Signature: Christine Shivy
Christine Shivy

ROOF & FLOOR TRUSSES & BEAMS

Reilly Road Industrial Park
Fayetteville, N.C. 28309
Phone: (910) 864-8787
Fax: (910) 864-4444



Truss Placement Plan SCALE: NTS

- = HUS410 (Qty. 6)
- = MSH422 (Qty. 2)
- = MSH422IF (Qty. 2)

▲ = Denotes Left End of Truss
(Reference Engineered Truss Drawing)

PlotID	Length	Product	Plies	Net Qty
PB1 (Dropped)	12' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2
F.Room W.Hdr. (Dropped)	7' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2
Sliding Door Hdr. (Dropped)	7' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2
BM2 (Dropped)	6' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2
PB2 (Dropped)	6' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2
GDH (Dropped)	12' 0"	1-3/4"x 11-7/8" LVL Kerto-S	2	2
BM1 (Flush)	12' 0"	1-3/4"x 16" LVL Kerto-S	3	3

All Truss Reactions are Less than 3,000 lbs. Unless Noted Otherwise.

○ -- Denotes Reaction Greater than 3,000 lbs. Reaction / # of Studs

MEMBER	UP TO	DOWN TO	MEMBER	UP TO	DOWN TO
1700	1	2550	3400	1	5100
5100	2	7650	5100	2	10200
6800	3	10200	6800	3	13600
8500	4	12750	8500	4	17000
10200	5	15300	10200	5	20400
11900	6		11900	6	
13600	7		13600	7	
15300	8		15300	8	
	9			9	

BUILDER	Weaver Development	CITY / CO.	Harnett Co. / Harnett
JOB NAME	Lot 2 Roberts Road	ADDRESS	Lot 2 Roberts Road
PLAN	Poplar Elev. B	MODEL	Floor
SEAL DATE	Seal Date	DATE REV.	/ /
QUOTE #	Quote #	DRAWN BY	Christine Shivy
JOB #	J0720-3443	SALES REP.	Lenny Norris

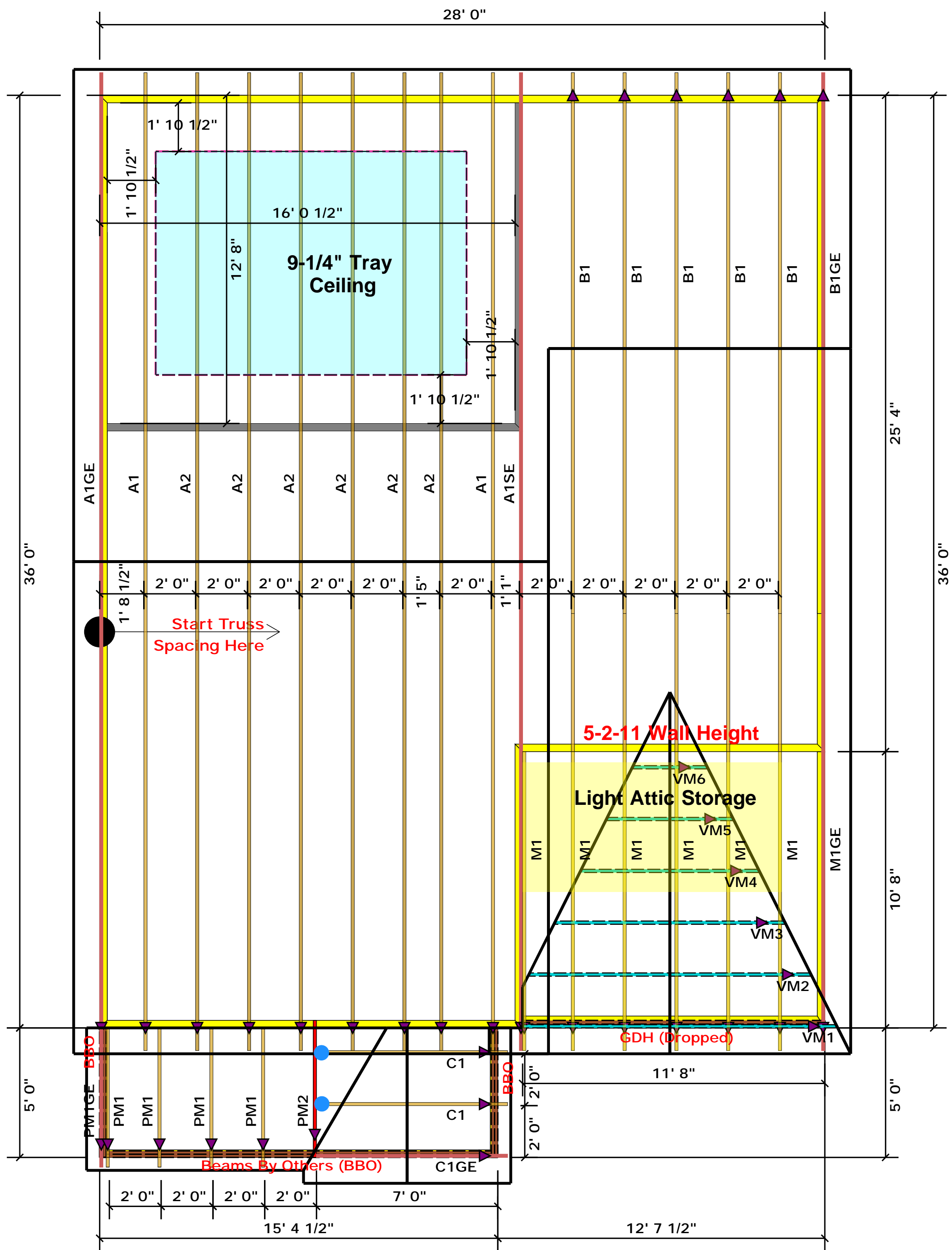
THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCSH-B1 and BCSH-B3 provided with the truss delivery package or online @ sbcindustry.com

Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables (derived from the prescriptive Code requirements) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

Signature: Christine Shivy
Christine Shivy

ROOF & FLOOR TRUSSES & BEAMS

Reilly Road Industrial Park
Fayetteville, N.C. 28309
Phone: (910) 864-8787
Fax: (910) 864-4444



Truss Placement Plan
SCALE: NTS

● = JUS24 (Qty. 2)

▲ = Denotes Left End of Truss
(Reference Engineered Truss Drawing)

All Truss Reactions are Less than 3,000 lbs. Unless Noted Otherwise.

○ -- Denotes Reaction Greater than 3,000 lbs.
Reaction / # of Studs

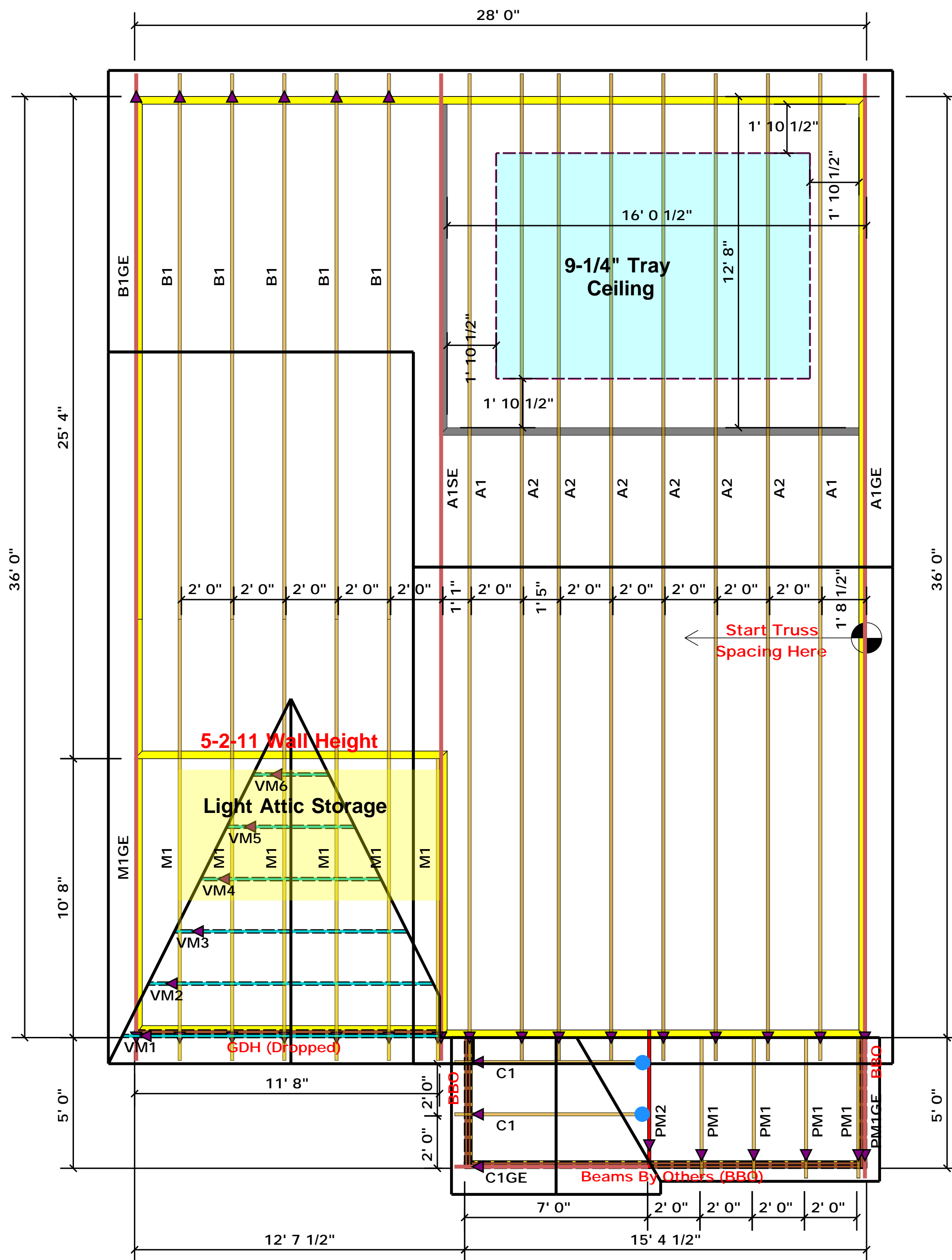
LOAD CHART FOR JACK STUDS

NO. OF STUDS	LOAD (LBS)	NO. OF STUDS	LOAD (LBS)
1	2500	1	3400
2	5100	2	6500
3	7650	3	10000
4	10200	4	13600
5	12750	5	17000
6	15300	6	
7		7	
8		8	
9		9	

BUILDER	Weaver Development	CITY / CO.	Harnett Co. / Harnett
JOB NAME	Lot 2 Roberts Road	ADDRESS	Lot 2 Roberts Road
PLAN	Poplar Elev. B	MODEL	Roof
SEAL DATE	Seal Date	DATE REV.	/ /
QUOTE #	Quote #	DRAWN BY	Christine Shivy
JOB #	J0720-3442	SALES REP.	Lenny Norris

<p><small>THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCSH-B1 and BCSH-B3 provided with the truss delivery package or online @ sbcindustry.com</small></p>	
<p><small>Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables (derived from the prescriptive Code requirements) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.</small></p>	
Signature	Christine Shivy
	Christine Shivy

ROOF & FLOOR TRUSSES & BEAMS
Reilly Road Industrial Park
Fayetteville, N.C. 28309
Phone: (910) 864-8787
Fax: (910) 864-4444



Truss Placement Plan
SCALE: NTS

● = JUS24 (Qty. 2)

▲ = Denotes Left End of Truss
(Reference Engineered Truss Drawing)

All Truss Reactions are Less than 3,000 lbs. Unless Noted Otherwise.

○ -- Denotes Reaction Greater than 3,000 lbs.
Reaction / # of Studs

LOAD CHART FOR JACK STUDS

MEMBER	SPACING	LOAD	MEMBER	SPACING	LOAD
1700	1	2550	1	3400	
3400	2	5100	2	6500	
5100	3	7650	3	10500	
6800	4	10200	4	13500	
8500	5	12750	5	17000	
10200	6	15300	6		
11900	7				
13600	8				
15300	9				

BUILDER	Weaver Development	CITY / CO.	Harnett Co. / Harnett
JOB NAME	Lot 2 Roberts Road	ADDRESS	Lot 2 Roberts Road
PLAN	Poplar Elev. B	MODEL	Roof
SEAL DATE	Seal Date	DATE REV.	/ /
QUOTE #	Quote #	DRAWN BY	Christine Shivy
JOB #	J0720-3442	SALES REP.	Lenny Norris

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCSH-B1 and BCSH-B3 provided with the truss delivery package or online @ sbcindustry.com

Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables (derived from the prescriptive Code requirements) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

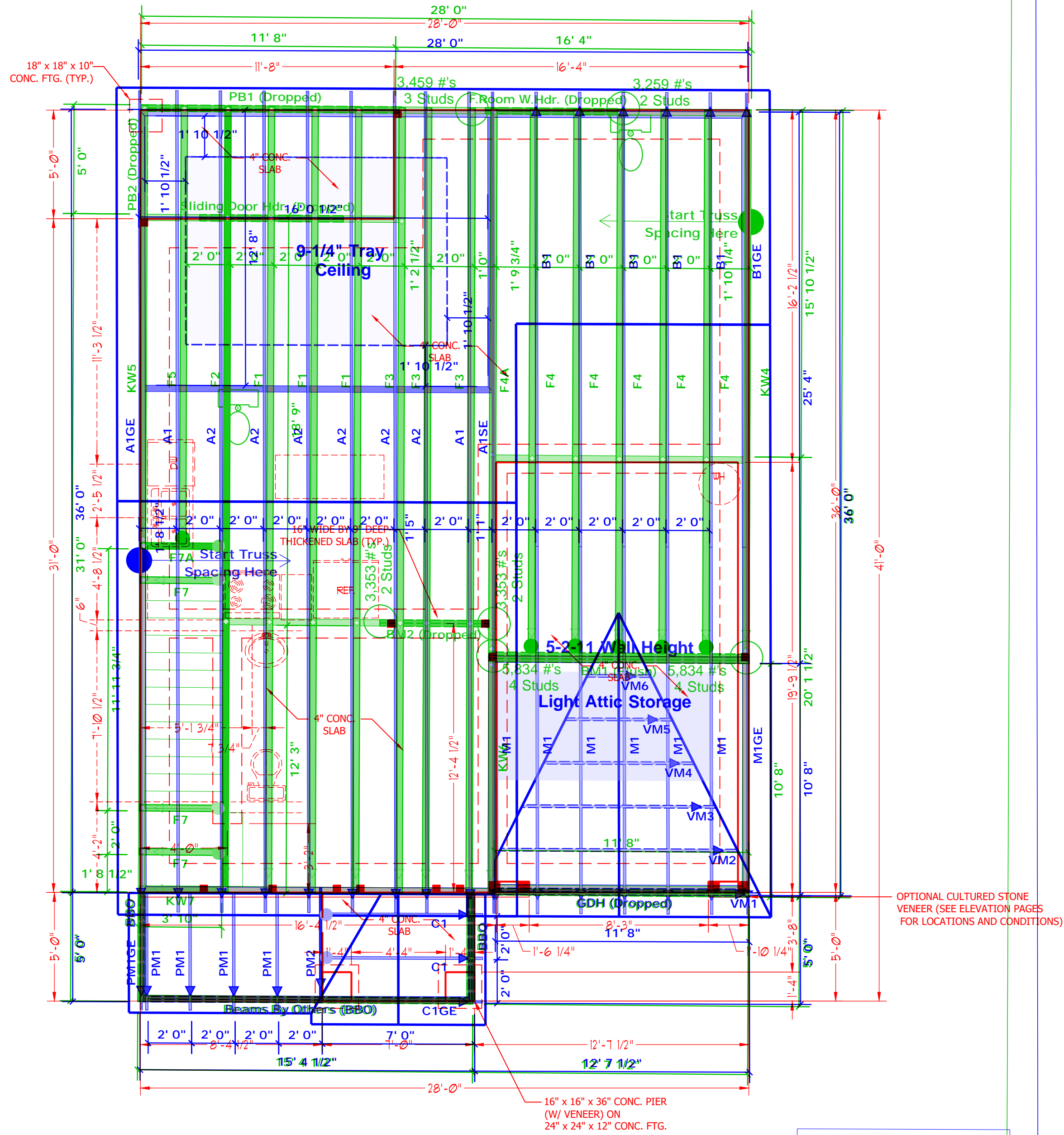
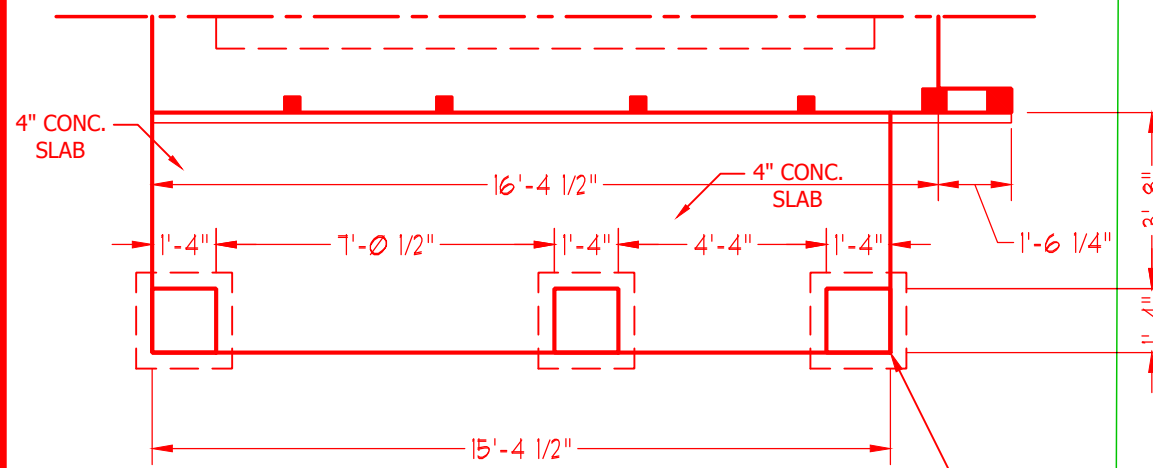
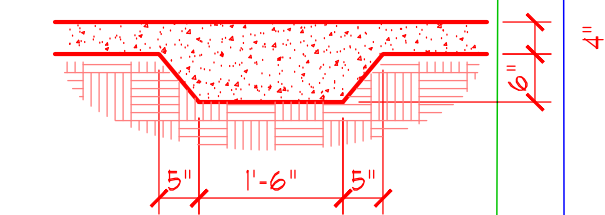
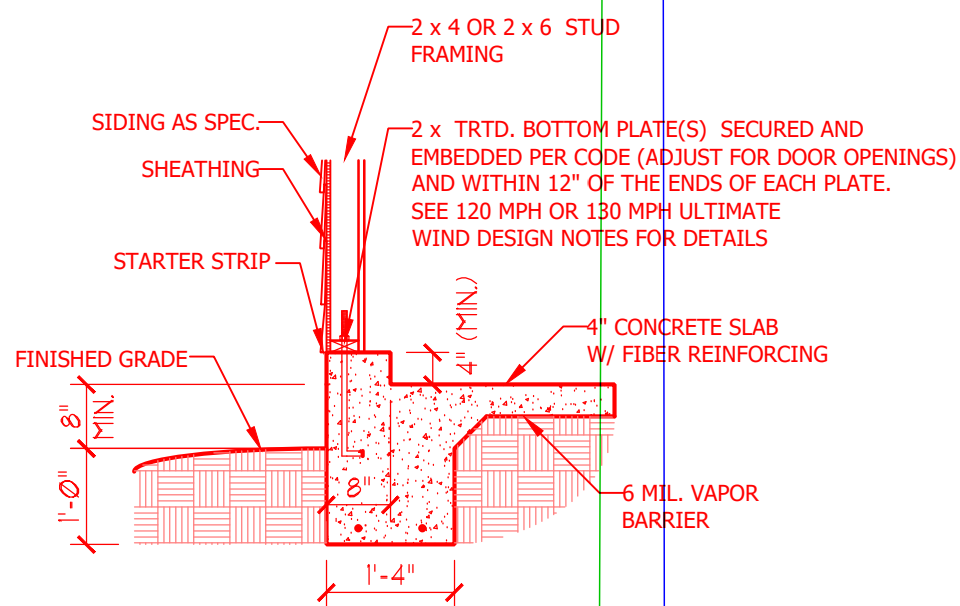
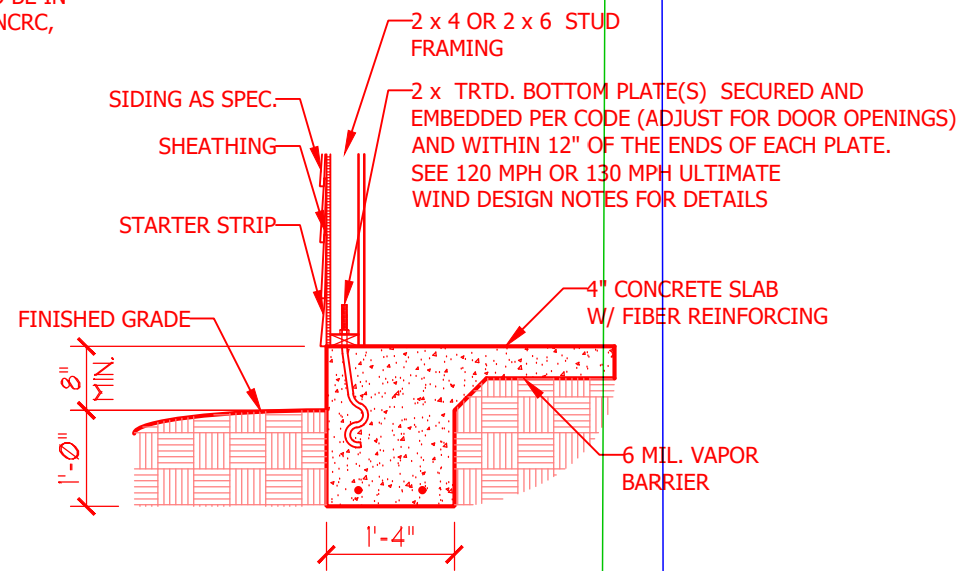
Signature: Christine Shivy
Christine Shivy

ROOF & FLOOR TRUSSES & BEAMS

Reilly Road Industrial Park
Fayetteville, N.C. 28309
Phone: (910) 864-8787
Fax: (910) 864-4444

ULTIMATE DESIGN WIND SPEED NOTES FOR LESS THAN 30' MEAN ROOF HEIGHT:

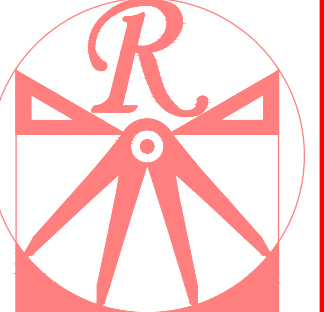
1. STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
2. FOR 120 MPH WIND ZONES INSTALL 1/2" ANCHOR BOLTS 6'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 7" INTO CONCRETE OR 15" INTO MASONRY. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
3. FOR 130 MPH WIND ZONES INSTALL 1/2" ANCHOR BOLTS 4'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 7" INTO CONCRETE OR 15" INTO MASONRY. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
4. MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
5. EXTERIOR WALLS DESIGNED FOR 120 OR 130 MPH WINDS.
6. INSTALL 7/16" OSB SHEATHING ON ALL EXTERIOR WALLS OF ALL STORIES IN ACCORDANCE WITH SECTION R602.10.3 OF THE NCR, 2018 EDITION.
7. ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NCR, 2018 EDITION.



- = HUS410 (Qty. 6)
- = MSH422 (Qty. 2)
- = MSH422IF (Qty. 2)

- = JUS24 (Qty. 2)
- ▲ = Denotes Left End of Truss (Reference Engineered Truss Drawing)
- ▲ = Denotes Left End of Truss (Reference Engineered Truss Drawing)

All Truss Reactions are Less than 3,000 lbs. Unless Noted Otherwise



RENAISSANCE
RESIDENTIAL DESIGN, INC.
RALEIGH, NC 27612
(919) 648-4128
WWW.RRDCAROLINA.COM

The art of transforming your vision into reality.
RENAISSANCE RESIDENTIAL DESIGN, INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO FLOOR PLANS, DIMENSIONS, MATERIALS, AND SPECIFICATIONS WITHOUT NOTICE. THESE DRAWINGS ARE FOR THE PURPOSE OF CONVEYING AN ARCHITECTURAL CONCEPT ONLY.
RENAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

WEAVER
HOMES
350 Waggoner Drive • Fayetteville, NC 28303
910.690.2190 • 800.802.2190
www.weaver-homes.com

PLEASE PROMPTLY NOTIFY US OF ANY CHANGES TO THESE PLANS. FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND HOUSE ONLY WILL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF WEAVER HOMES. ALL RIGHTS RESERVED. NO PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2020 WEAVER HOMES.

WEAVER HOMES
CAROLINA COLLECTION
POPLAR DRIVE RIGHT

DATE: JULY 22, 2020
REV.:
SCALE: 1/4" = 1'-0"
DRAWN BY: WG
ENGINEERED BY:
REVIEWED BY:

MONO SLAB
FOUNDATION
PLAN

S-1