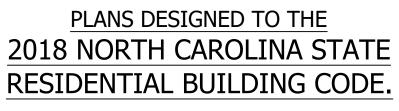
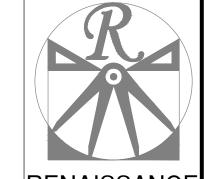
GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AND REGULATIONS.
- CONTRACTOR SHALL THOROUGHLY REVIEW ALL SHEETS IN PLAN SET AND VERIFY ALL DETAILS AND DIMENSIONS BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO RENAISSANCE RESIDENTIAL DESIGN, INC. FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
- CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.



RIDGE VENT (TYP.)





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DATE: JULY 22, 2020

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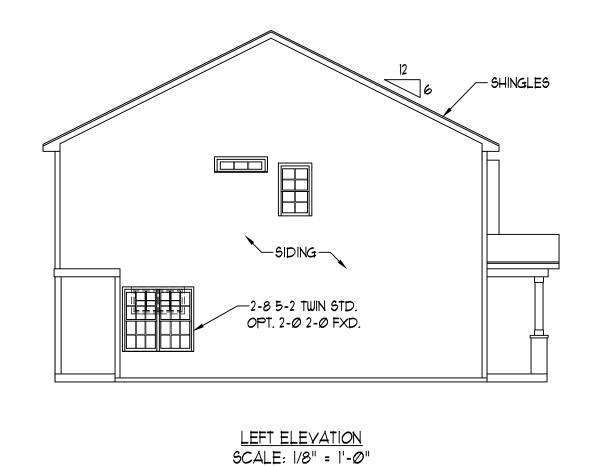
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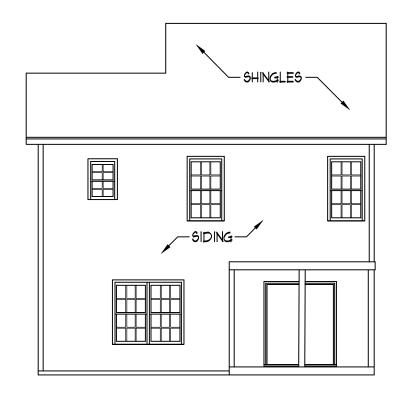
A - ELEVATIONS A-1

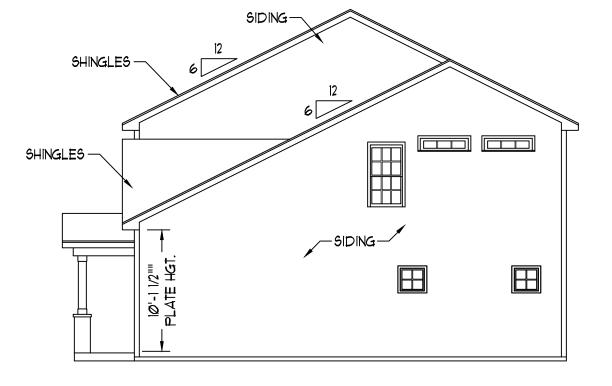


FRONT ELEVATION-A

SCALE: 1/4" = 1'-0"







REAR ELEVATION SCALE: 1/8" = 1'-0"

RIGHT ELEVATION SCALE: 1/8" = 1'-0"

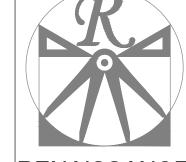
SCALE NOTE: 18x24 PRINTS ARE TO SCALE AS NOTED. 11x17 PRINTS ARE NOT TO SCALE

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DATE: JULY 22, 2020

SCALE: AS NOTED

DRAWN BY: WG ENGINEERED BY:

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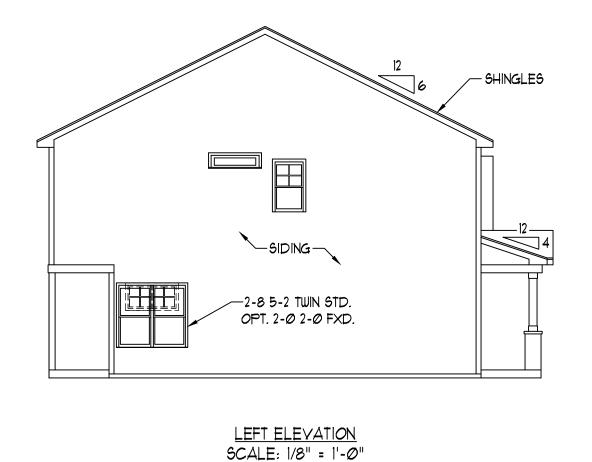
B - ELEVATIONS

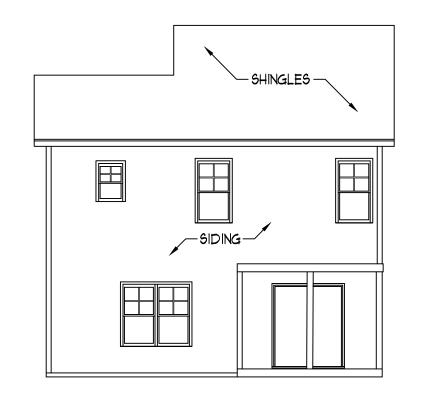
A-2



FRONT ELEVATION-B

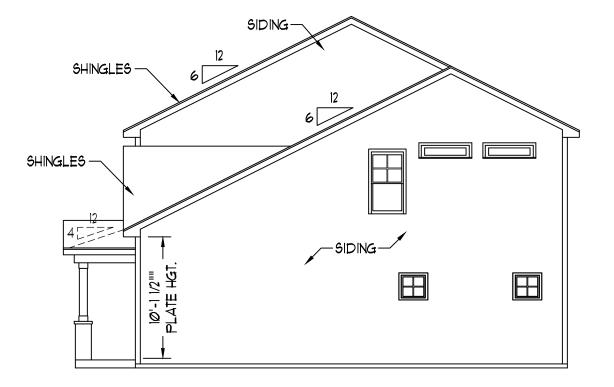
SCALE: 1/4" = 1'-0"





REAR ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION SCALE: 1/8" = 1'-0"

TO SCALE AS NOTED. 11x17 PRINTS ARE NOT TO SCALE

SCALE NOTE: 18x24 PRINTS ARE

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SCALE: 1/4" = 1'-0"

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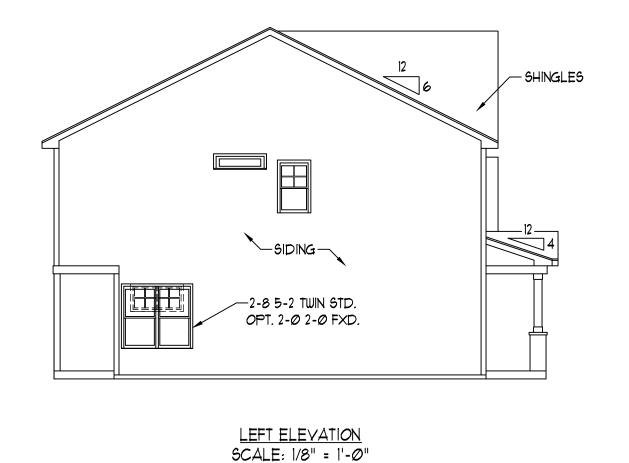
C-ELEVATIONS
A-3

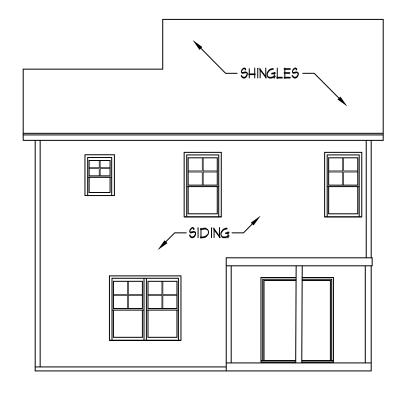
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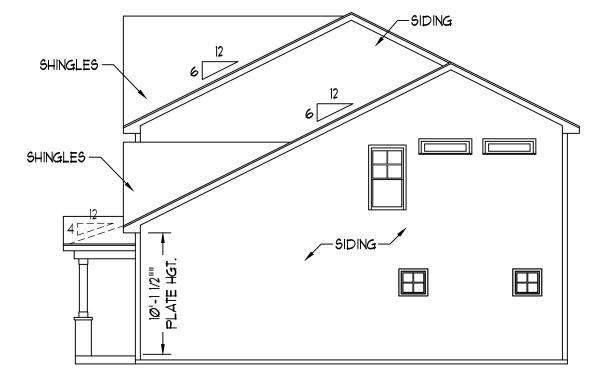


FRONT ELEVATION-C

SCALE: 1/4" = 1'-0"





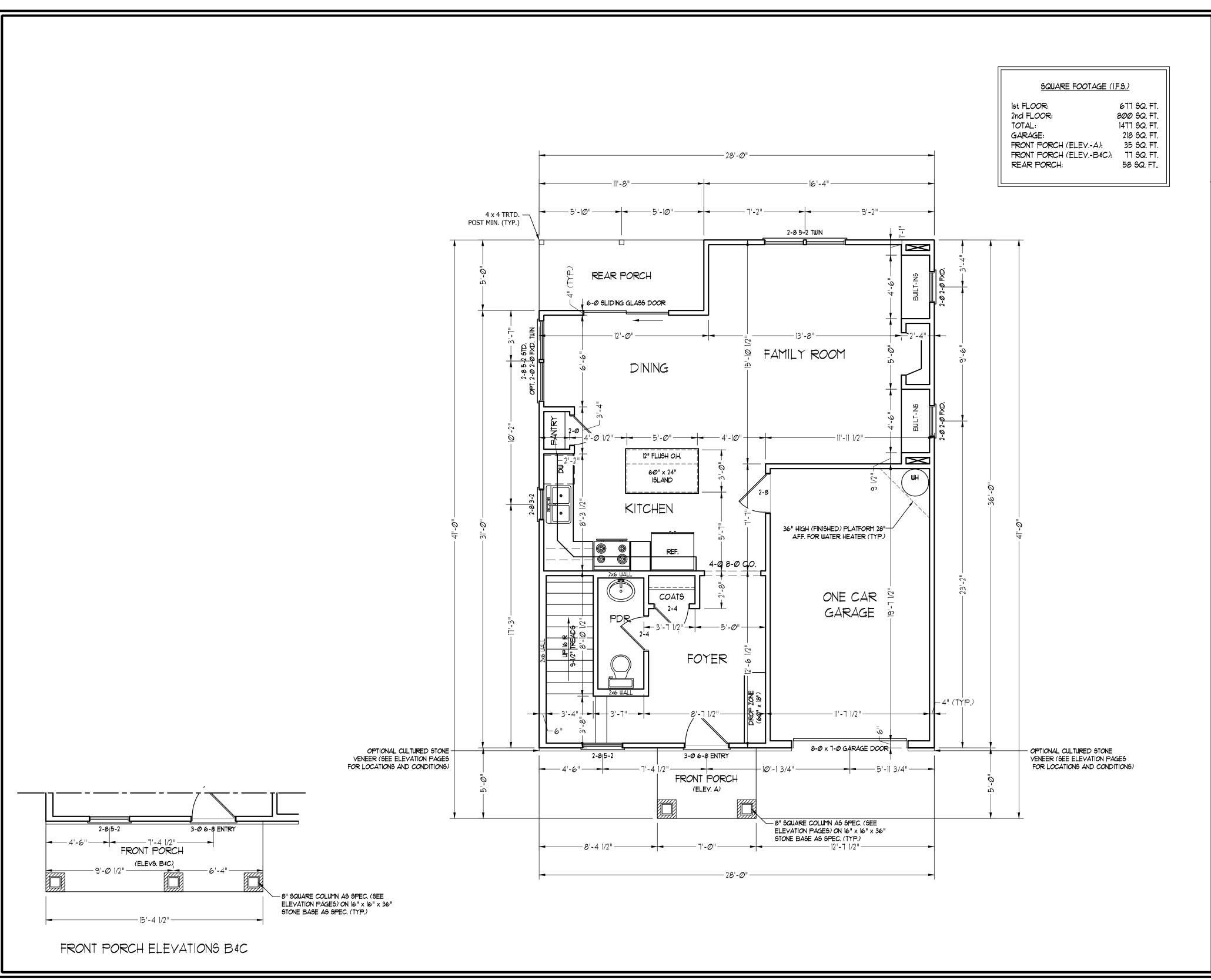


REAR ELEVATION

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE NOTE: 18x24 PRINTS ARE
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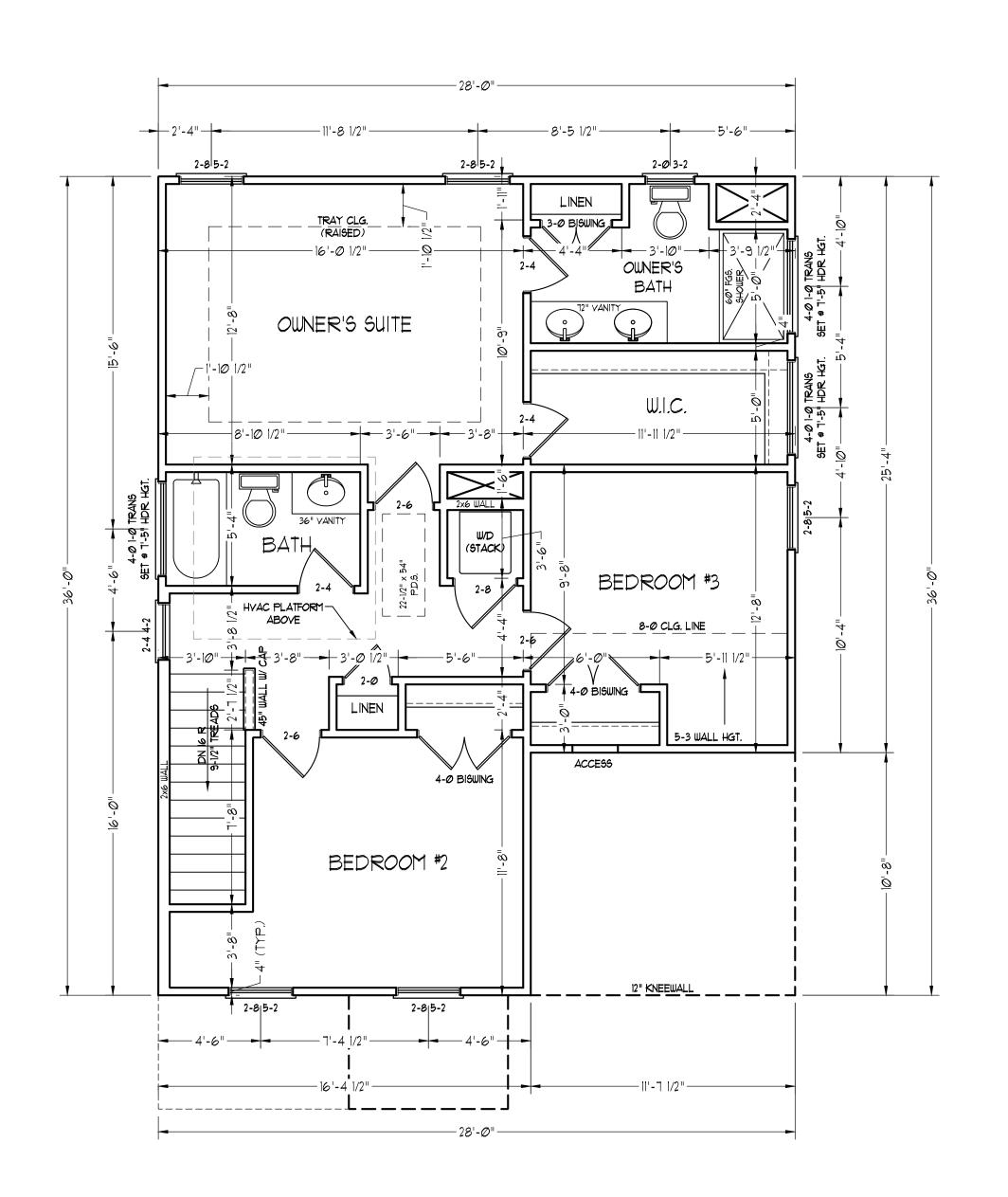
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ENGINEERED BY:

REVIEWED BY:

FIRST FLOOR PLAN

A-4





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DATE: JULY 22, 2020

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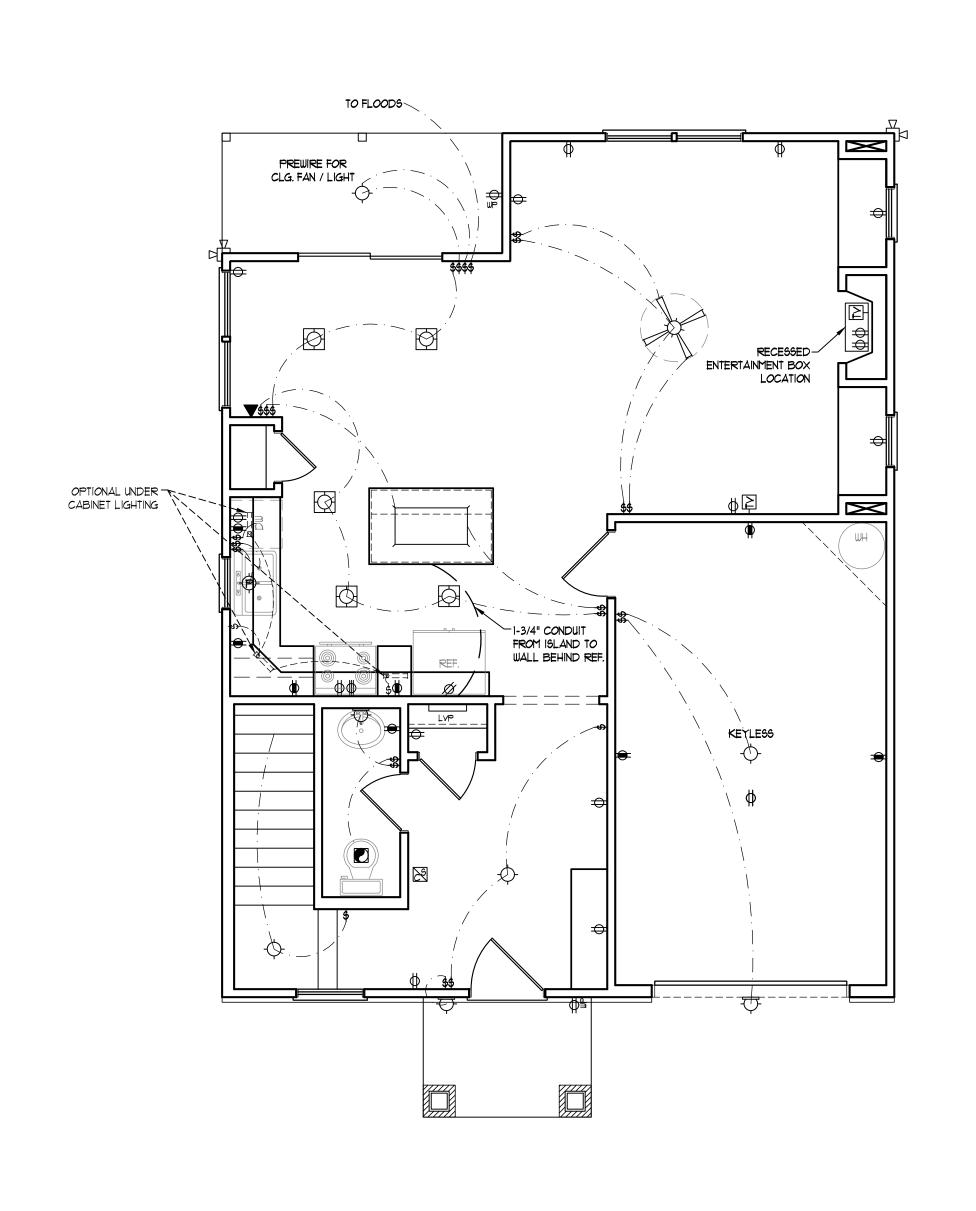
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SECOND FLOOR PLAN

A-5

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ELECTRICAL LAYOUT NOTES:

- 1.) BLOCK AND WIRE FOR ALL CELING FANS PER PLAN.
- 2.) VANITY LIGHTS TO BE SET @ 90" A.F.F. (TYP.)
- 3.) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN.
- 4.) PLACE SWITCHES 8" (MIN.) FROM ROUGH OPENINGS.

ELECTRICAL LEGEND

- ⇒ IIØ Y OUTLET
- € 110 Y GFI OUTLET
- = 110 V SWITCHED OUTLET
- BB IIØ V BASEBOARD OUTLET
- 4-PLEX
- COUNTER OR FLOOR MOUNTED
- COUNTER OR FLOOR MOUNTED 110V GFI
- ₩EATHERPROOF
- **⇒** 220 ∨ OUTLET
- 10 V DEDICATED CIRCUIT
- # 220 V DEDICATED CIRCUIT
- PH SPECIAL PURPOSE (240 V, ETC.)
- WALL MOUNT LIGHT
- -P- PENDANT LIGHT
- RECESSED CAN LIGHT
- MINI CAN LIGHT
- EYEBALL LIGHT

FLUORESCENT LIGHT

undercabinet light

FLOOD LIGHT

SWITCH \$D DIMMER SWITCH

▲ TELEPHONE

△ DATA

TELEPHONE AND DATA

TV- TV CONNECTION

TV/ DATA

CD- CONDUIT FOR COMPONENT WIRING

SPEAKER

110 V SMOKE/ CM DETECTOR

SD 110 Y SMOKE DETECTOR

EXHAUST FAN

LOW VOLTAGE PANEL ALARM PANEL







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WEAVER HOMES CAROLINA COLL POPLAR DRIVE R

DATE: JULY 22, 2020

SCALE: 1/4" = 1'-0"

DRAWN BY: WG ENGINEERED BY:

FIRST FLOOR ELECTRICAL

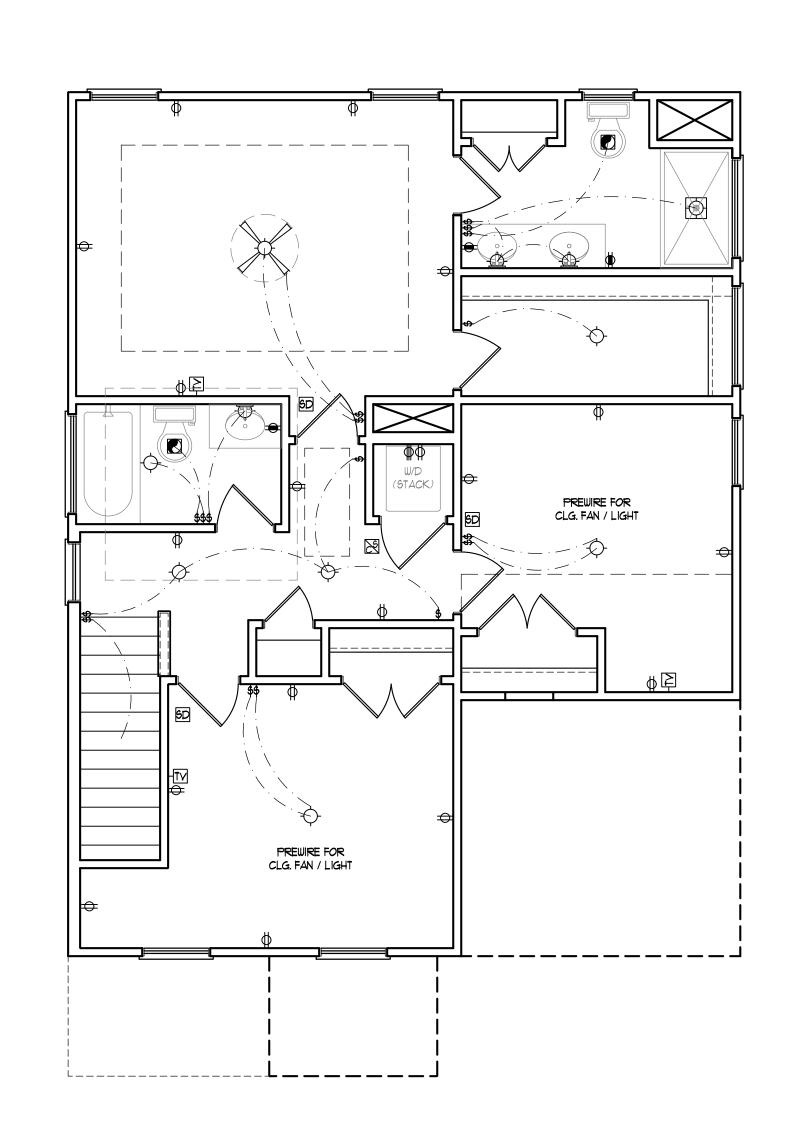
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PLAN

FRONT PORCH ELEVATIONS B&C

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- I.) BLOCK AND WIRE FOR ALL CELING FANS PER PLAN.
- 2.) VANITY LIGHTS TO BE SET 9 90" AFF. (TYP.)
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- ₩ IIØ V GFI OUTLET
- → IIØ V SWITCHED OUTLET
- BB IIØ V BASEBOARD OUTLET
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- COUNTER OR FLOOR MOUNTED
- COUNTER OR FLOOR MOUNTED 110V GFI
- ₩EATHERPROOF
- **⇒** 22*0* ∨ *O*UTLET
- Ø 110 V DEDICATED CIRCUIT
- # 220 V DEDICATED CIRCUIT
- ●H SPECIAL PURPOSE (240 V, ETC.)
- WALL MOUNT LIGHT
- -CEILING MOUNT LIGHT
- -P- PENDANT LIGHT
- RECESSED CAN LIGHT
- MINI CAN LIGHT
- EYEBALL LIGHT

FLUORESCENT LIGHT

UNDERCABINET LIGHT

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FLOOD LIGHT

SWITCH

\$D DIMMER SWITCH

▲ TELEPHONE

△ DATA

TELEPHONE AND DATA

TV- TY CONNECTION

TV/ DATA

CD- CONDUIT FOR COMPONENT WIRING

SP SPEAKER

IIØ Y SMOKE/ CO DETECTOR

5D 110 Y SMOKE DETECTOR

EXHAUST FAN

LOW VOLTAGE PANEL

ALARM PANEL





.ING FAN W/ LIGHT



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REV.:

SCALE: 1/4" = 1'-0"

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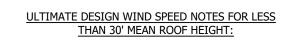
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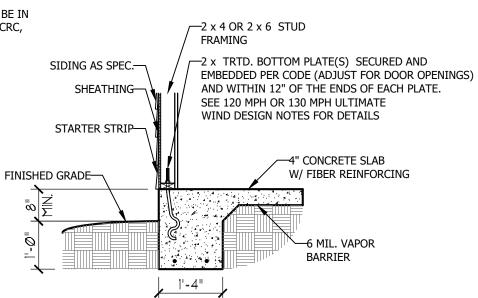
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PLAN

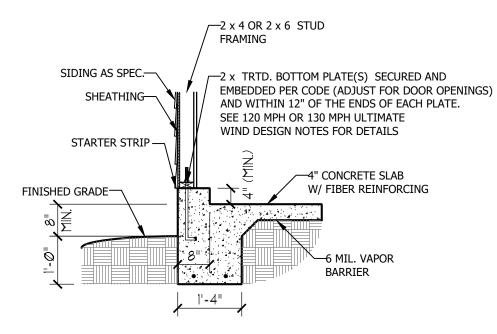
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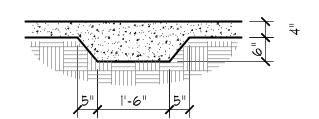
- 1. STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
- 2. FOR 120 MPH WIND ZONES INSTALL 1/2" ANCHOR BOLTS 6'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 7" INTO CONCRETE OR 15" INTO MASONRY. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
- 3. FOR 130 MPH WIND ZONES INSTALL 1/2" ANCHOR BOLTS 4'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 7" INTO CONCRETE OR 15" INTO MASONRY. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
- 4. MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
- EXTERIOR WALLS DESIGNED FOR 120 OR 130 MPH WINDS.
- 6. INSTALL 7/16" OSB SHEATHING ON ALL EXTERIOR WALLS OF ALL STORIES IN ACCORDANCE WITH SECTION R602.10.3 OF THE NCRC, 2018 EDITION.
- 7. ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NCRC, 2018 EDITION.



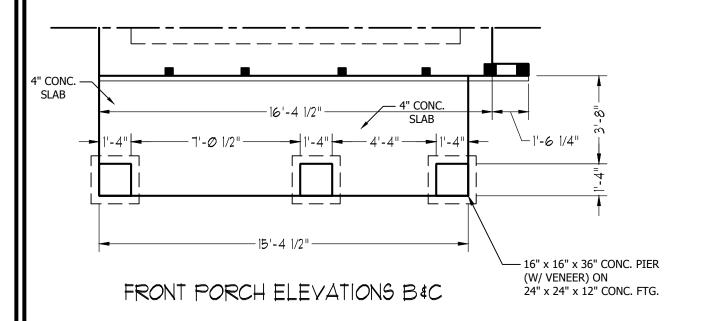
TYPICAL SLAB DETAIL

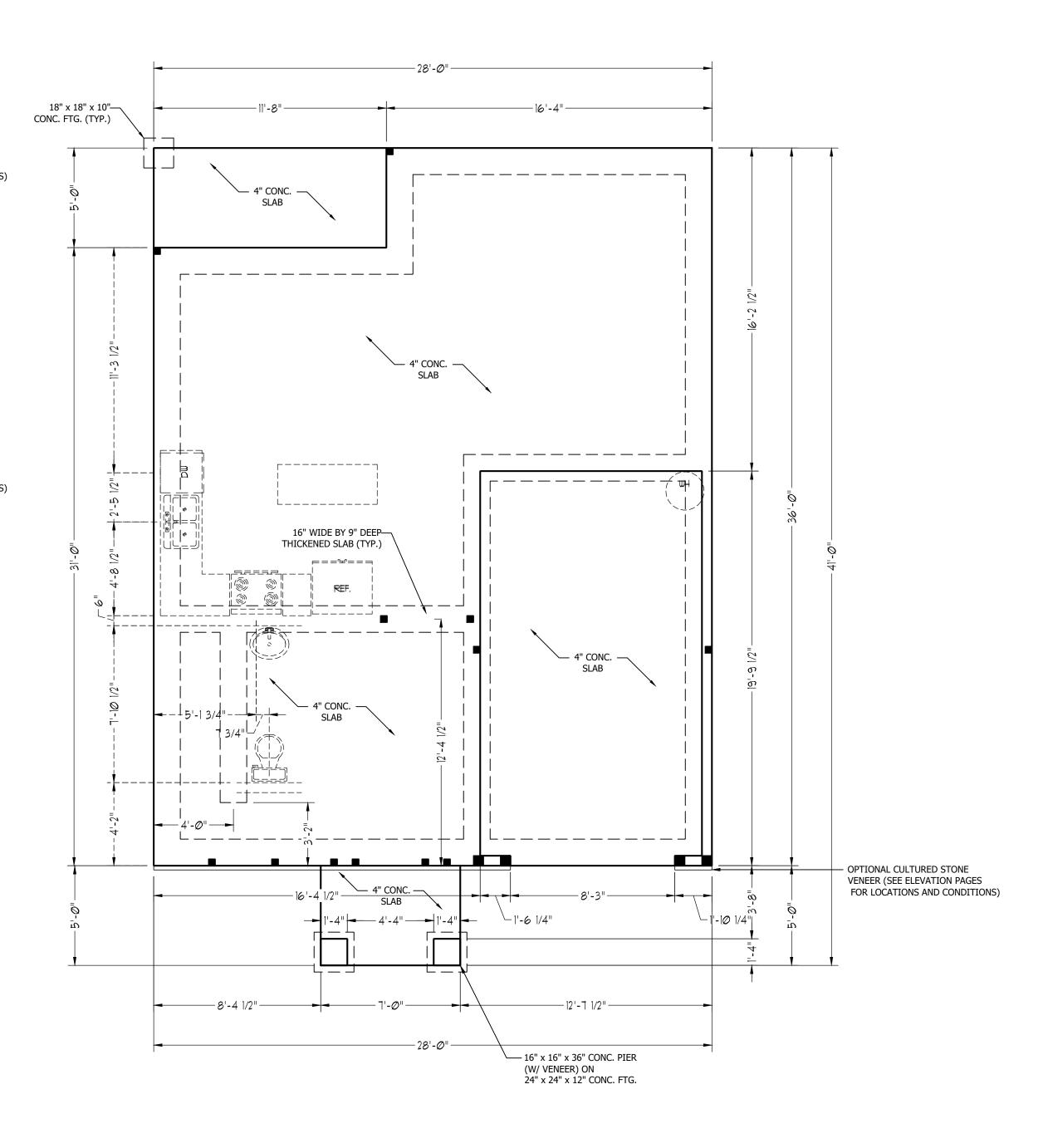


GARAGE CURB DETAIL



THICKENED SLAB DETAIL







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CAROLINA COLLECTIO
POPLAR DRIVE RIGHT

DATE: JULY 22, 2020

SCALE: 1/4" = 1'-0"

DRAWN BY: WG

ENGINEERED BY:

REVIEWED BY:

MONO SLAB

FOUNDATION PLAN

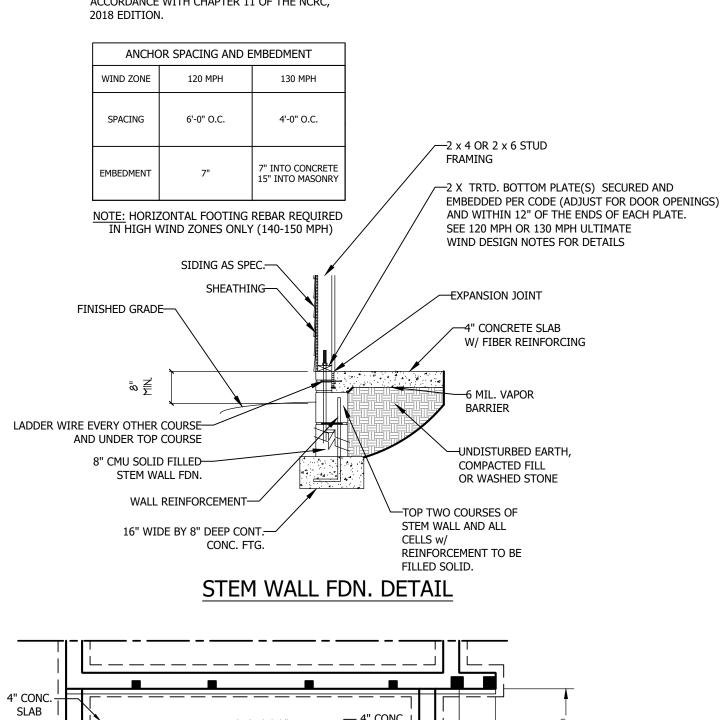
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| MASONRY STEM WALL SPECIFICATIONS | | | | | | | |
|----------------------------------|---------------------------------------|---------------------------------------|---------------------------------------|---------------------------------------|--|--|--|
| WALL HEIGHT | | MASONRY WALL TYPE | | | | | |
| (FEET) | 8" CMU | 4" BRICK AND 4" CMU | 4" BRICK AND 8" CMU | 12" CMU | | | |
| 2' OR LESS | UNGROUTED | GROUT SOLID | UNGROUTED | UNGROUTED | | | |
| 3' | UNGROUTED | GROUT SOLID | UNGROUTED | UNGROUTED | | | |
| 4' | GROUT SOLID | GROUT SOLID w/ #4 REBAR @ 48" O.C. | GROUT SOLID | GROUT SOLID w/ #4 REBAR @ 64" O.C. | | | |
| 5' | GROUT SOLID w/ #4 REBAR @ 36" O.C. | N/A | GROUT SOLID w/ #4 REBAR @ 36" O.C. | GROUT SOLID w/ #4 REBAR @ 64" O.C. | | | |
| 6' | GROUT SOLID w/ #4 REBAR @ 24" O.C. | N/A | GROUT SOLID w/ #4 REBAR @ 24" O.C. | GROUT SOLID w/ #4 REBAR @ 64" O.C. | | | |
| 7' OR MORE | | ENGINEERED BASED | ON SITE CONDITIONS | | | | |

ULTIMATE DESIGN WIND SPEED NOTES FOR LESS THAN 30' MEAN ROOF HEIGHT:

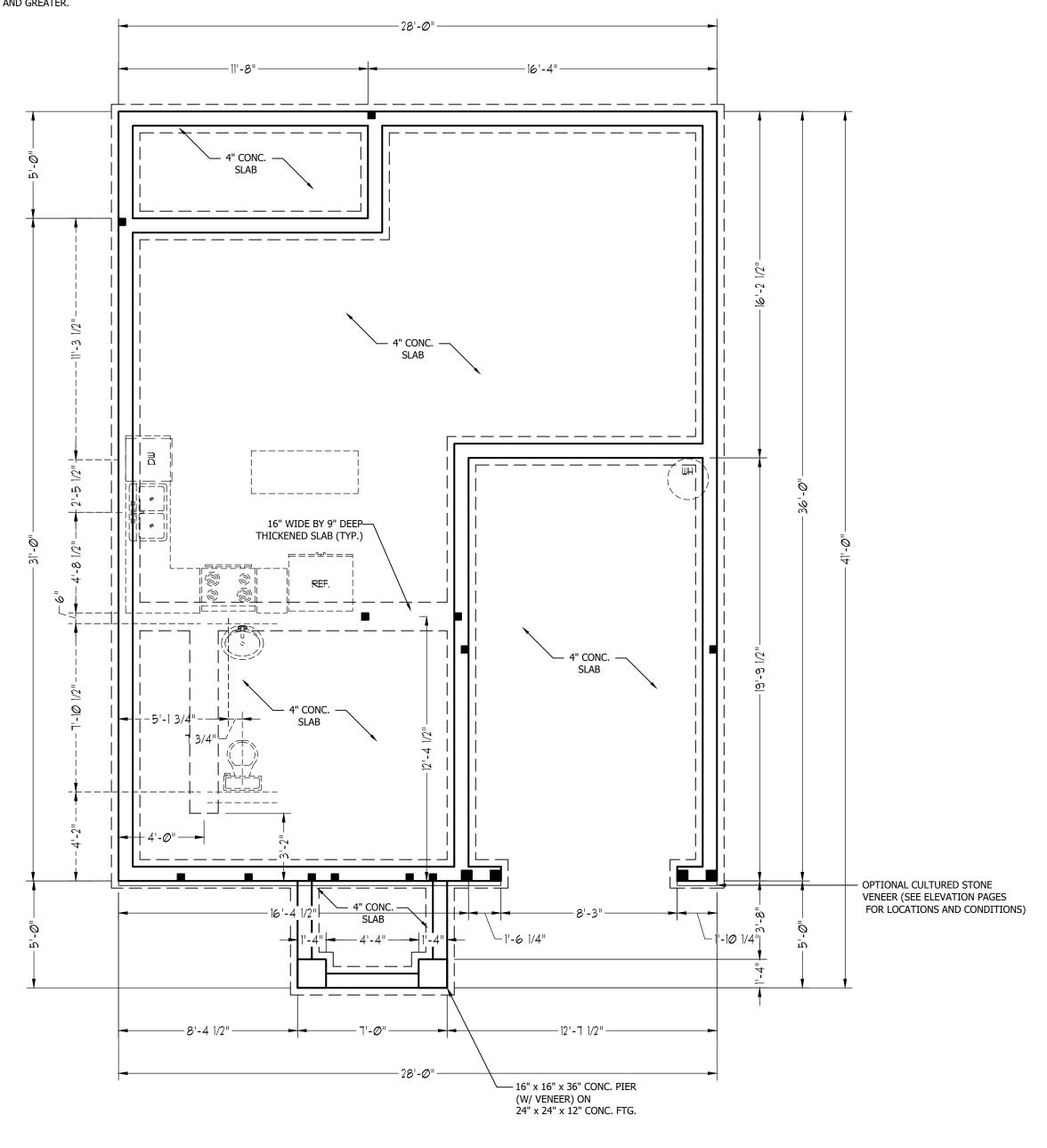
- 1. STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
- 2. FOR 120 MPH WIND ZONES INSTALL 1/2" ANCHOR BOLTS 6'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 7" INTO CONCRETE OR 15" INTO MASONRY. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
- 3. FOR 130 MPH WIND ZONES INSTALL 1/2" ANCHOR BOLTS 4'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 7" INTO CONCRETE OR 15" INTO MASONRY. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
- 4. MEAN ROOF HEIGHT IS LESS THAN 30 FEET. 5. EXTERIOR WALLS DESIGNED FOR 120 OR 130 MPH
- 6. INSTALL 7/16" OSB SHEATHING ON ALL EXTERIOR WALLS OF ALL STORIES IN ACCORDANCE WITH SECTION R602.10.3 OF THE NCRC, 2018 EDITION.
- 7. ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NCRC,



- 16" x 16" x 36" CONC. PIER (W/ VENEER) ON 24" x 24" x 12" CONC. FTG.

STRUCTURAL NOTES:

- 1. TABLE ABOVE APPLIES TO HOUSE FOUNDATION ONLY. TABLE DOES NOT APPLY TO GARAGE FOUNDATION NOT COMMON TO HOUSE.
- 2. TIE MULTIPLE WYTHES TOGETHER WITH LADDER WIRE @ 16" O.C. VERTICALLY.
- 3. WALL HGT. IS MEASURED FROM TOP OF FOOTING TO TOP OF WALL. 4. PREP SLAB PER R506.2.1 AND R505.2.2 BASE AND EXCEPTION OF THE 2018 NCRC
- 5. MINIMUM 24" LAP SPLICE LENGTH.
- 6. BACKFILL OF CLEAN #57/ #67 WASHED STONE IS PERMITTED.
- 7. BACKFILL OF WELL DRAINED SAND-GRAVEL MIXTURE SOILS (45 PSF/FT BELOW GRADE) CLASSIFIED AS GROUP 1 ACCORDING TO UNIFIED SOILS CLASSIFICATION SYSTEM IN ACCORDANCE WITH <u>TABLE R405.1</u> OF THE 2018 NCRC ARE ALLOWABLE.
- 8. LOCATE REBAR IN CENTER OF FOUNDATION WALL.
- 9. WHERE REQUIRED, FILL BLOCK SOLID WITH TYPE "S" MORTAR OR 3000 PSI GROUT. USE OF "LOW LIFT GROUTING" METHOD REQUIRED WHEN FILLING WALLS WITH GROUT AT HEIGHTS OF 5' AND GREATER.





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DATE: JULY 22, 2020

REV.:

SCALE: 1/4" = 1'-0" DRAWN BY: WG

ENGINEERED BY:

REVIEWED BY:

STEMWALL SLAB FOUNDATION PLAN

S-1

C:\Users\Wade\Documents\Projects\Westan-Weaver\Poplar_GR_7-22-20.dwg, 7/24/2020 6:37:51 AM

FRONT PORCH ELEVATIONS B&C

STRUCTURAL NOTES:

- 1. ALL FRAMING LUMBER TO BE #2 SPF (UNO). ALL TREATED LUMBER TO BE #2 SYP (UNO.)
- 2. INSTALL AN EXTRA OR DOUBLE JOIST UNDER WALLS
- PARALLEL TO FLOOR JOISTS.

 3. SQUARES REPRESENT POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION.
- 4. SHADED PIERS TO BE FILLED SOLID.
- 5. INSTALL LADDER WIRE @ 16" O.C. TO SECURE MULTIPLE WYTHE FOUNDATION WALLS TOGETHER.

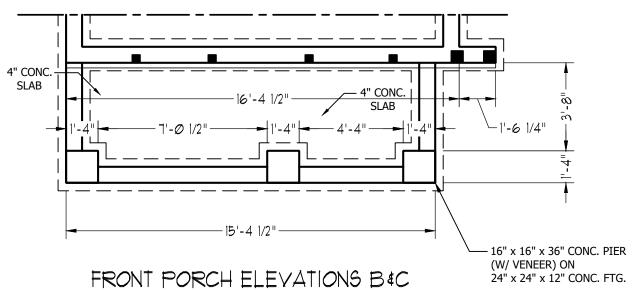
ULTIMATE DESIGN WIND SPEED NOTES FOR LESS THAN 30' MEAN ROOF HEIGHT:

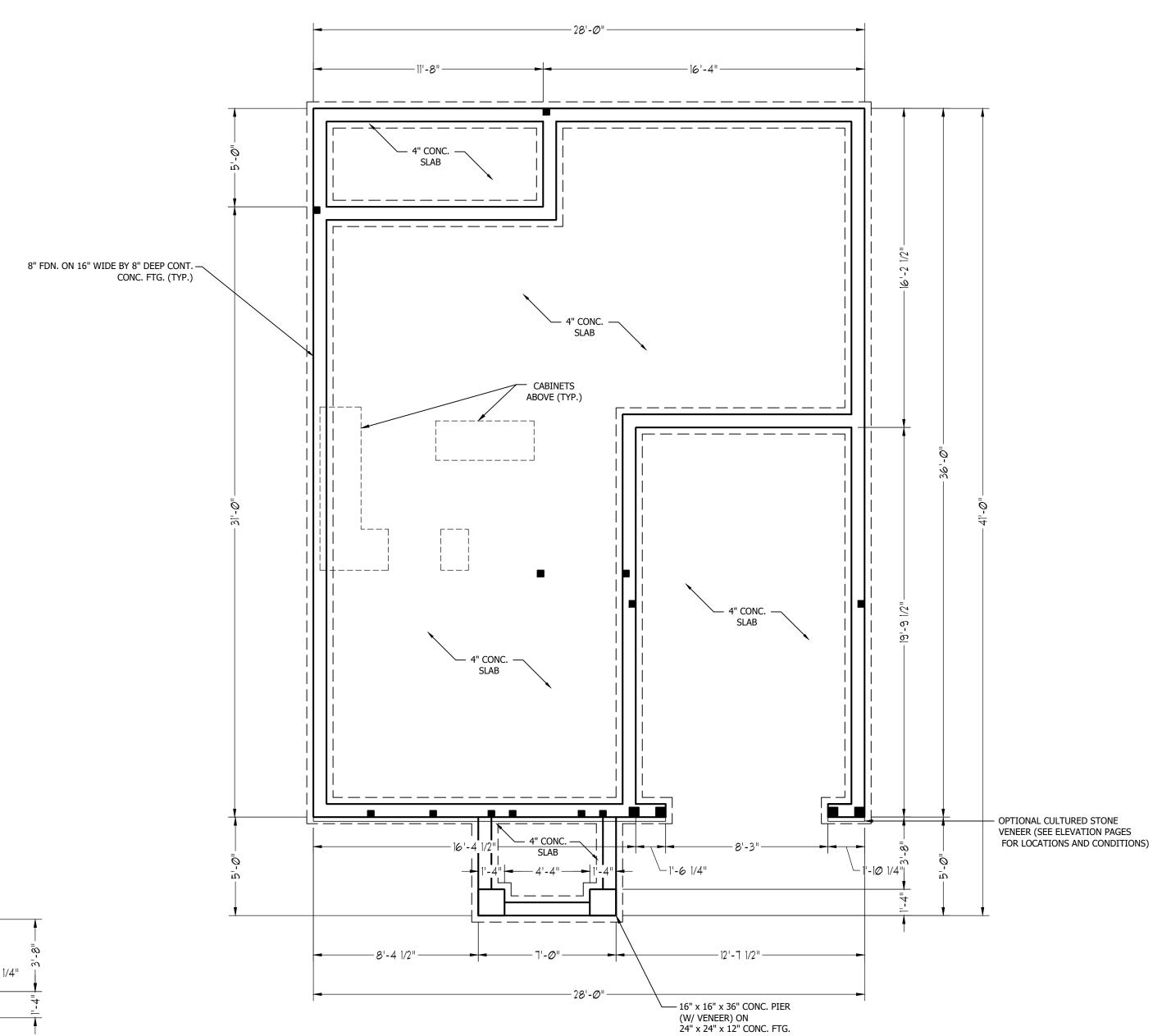
- 1. STRUCTURAL DESIGN PER NORTH CAROLINA
- RESIDENTIAL CODE, 2018 EDITION.

 2. FOR 120 MPH WIND ZONES INSTALL 1/2" ANCHOR BOLTS 6'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 7" INTO CONCRETE OR 15" INTO MASONRY. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
- 3. FOR 130 MPH WIND ZONES INSTALL 1/2" ANCHOR BOLTS 4'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 7" INTO CONCRETE OR 15" INTO MASONRY. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
- 4. MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
- 5. EXTERIOR WALLS DESIGNED FOR 120 OR 130 MPH WINDS.
- 6. INSTALL 7/16" OSB SHEATHING ON ALL EXTERIOR WALLS OF ALL STORIES IN ACCORDANCE WITH SECTION R602.10.3 OF THE NCRC, 2018 EDITION.
- 7. ENERGY EFFICIENCY COMPLIANCÉ AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NCRC, 2018 EDITION.

FOUNDATION VENTILATION CALCULATION

720 SQ. FT. OF CRAWL SPACE DIVIDED BY 1500 EQUALS 0.5 SQ. FT. OF NET FREE AREA REQUIRED. INSTALL 6 MIL POLY TO COVER ENTIRE CRAWL SPACE. LOCATE VENTS WITHIN 3'-0" OF EACH CORNER OF THE BUILDING TO PROVIDE CROSS-VENTILATION.







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OON TANNS ARE SUBJECT TO CHANGE WITHOUT NOTICE.

ARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND

ARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF

EON LOT WILL BE DETERMINED BY THE SITE PLAN AND

PLAN. FLOOR PLANS AND ELEVATION RENDERINGS ARE

CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED.

WEAVER HOMES
CAROLINA COLLECTION
POPLAR DRIVE RIGHT

DATE: JULY 22, 2020

REV.:

SCALE: 1/4" = 1'-0"

DRAWN BY: WG

ENGINEERED BY:

REVIEWED BY:

CRAWL FOUNDATION PLAN

S-1

STRUCTURAL NOTES:

- 1. ALL FRAMING LUMBER TO BE SPF #2 (UNO). ALL TREATED LUMBER TO BE SYP #2
- 2. ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).
- 3. INSTALL AN EXTRA JOIST UNDER WALLS PARALLEL TO FLOOR JOISTS
- 4. WINDOW AND DOOR HEADERS TO BE SUPPORTED w/ (1) JACK STUD AND (1) KING STUD EA. END (UNO.). SEE TABLE R602.7.5 FOR ADDITIONAL KING STUD REQUIREMENTS.
- 5. SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO.)
- 6. ALL 4 X 4 POSTS SHALL BE ANCHORED TO SLABS W/ SIMPSON ABU44 POST BASES (OR EQUAL) AND 6 X 6 POSTS W/ ABU66 POST BASES (OR EQUAL) (UNO). ALL 4 X 4 AND 6 X 6 POSTS TO BE INSTALLED WITH 700 LB CAPACITY UPLIFT CONNECTORS AT TOP (UNO.)
- 7. FOR FIBERGLASS, ALUMINUM, OR COLUMN ENG. BY OTHERS, SECURE TO SLAB W/
 (2) METAL ANGLES USING 2" CONC. SCREWS. FASTEN ANGLES TO COLUMNS W/
 1/4" THROUGH BOLTS W/ NUTS AND WASHERS. LOCATE ANGLES ON OPPOSITE
 SIDES OF COLUMN. THROUGH BOLTS MUST BE INSTALLED PRIOR TO SETTING
 COLUMN.

BRACE WALL PANEL NOTES:

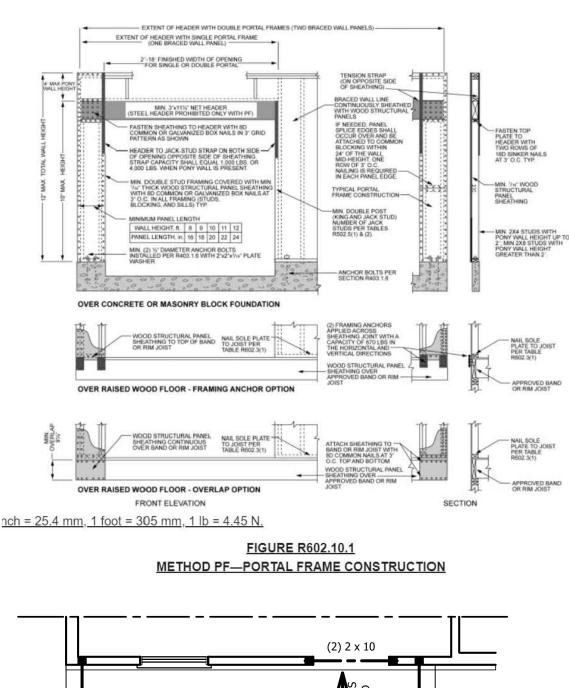
EXTERIOR WALLS: ALL EXTERIOR WALLS TO BE SHEALTHED WITH CS-WSP OR CS-SFB IN ACCORDANCE WITH SECTION R602.10.3 UNLESS NOTED OTHERWISE.

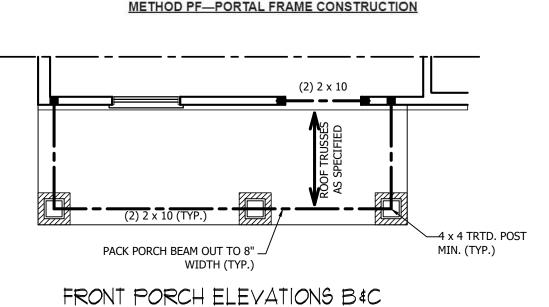
REQUIRED LENGTH OF BRACING: REQUIRED BRACE WALL LENGTH FOR EACH SIDE OF THE CIRCUMSCRIBED RECTANGLE ARE INTERPOLATED PER TABLE R602.10.3. METHODS CS-WSP AND CS-SFB CONTRIBUTE THIER ACTUAL LENGTH. METHOD GB CONTRIBUTES 0.5 ITS ACTUAL LENGTH. METHOD PF CONTRIBUTES 1.5 TIMES ITS ACTUAL LENGTH.

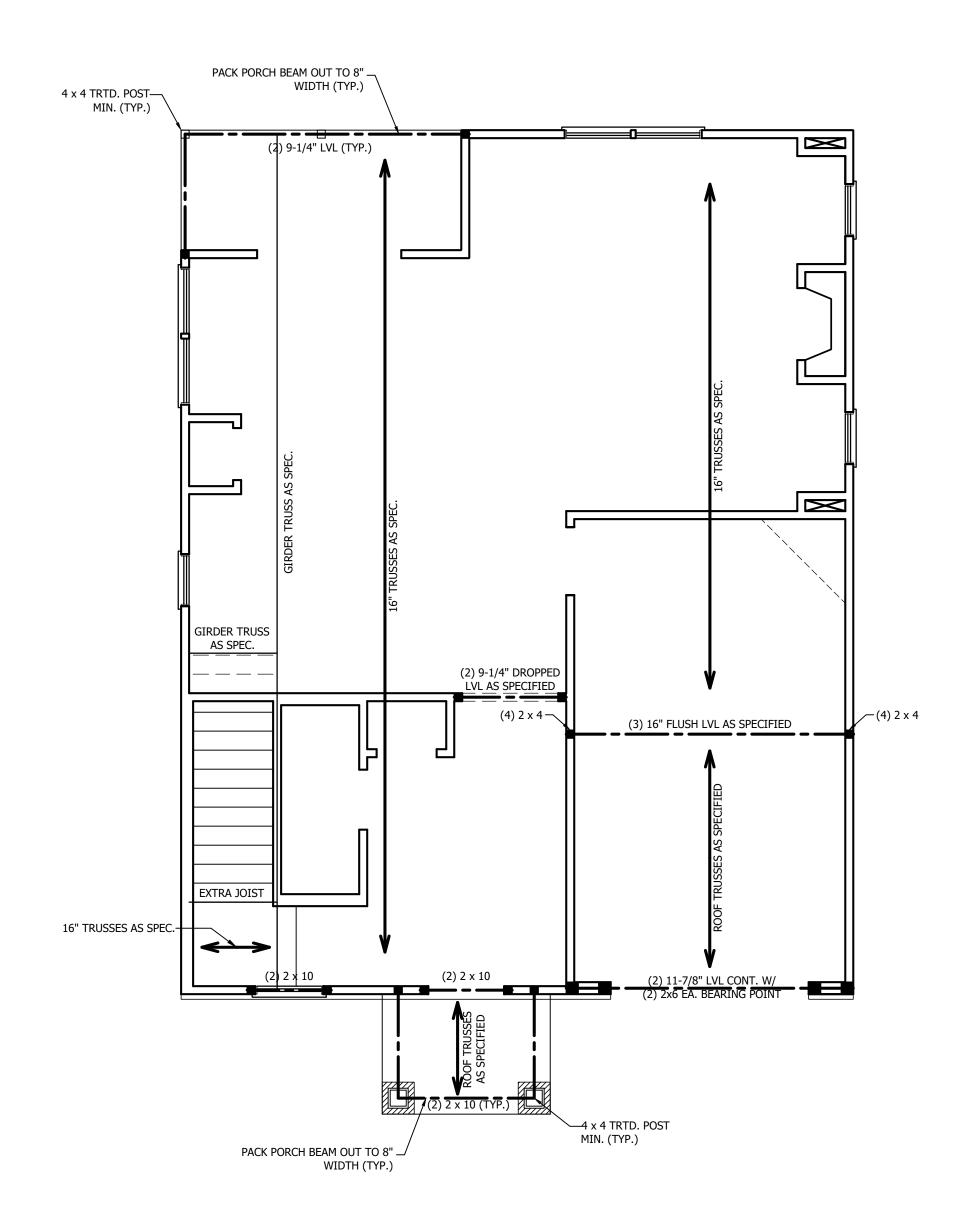
GYPSUM: ALL INTERIOR SIDES OF EXTERIOR WALLS AND BOTH SIDES OF INTERIOR WALLS TO HAVE 1/2" GYPSUM INSTALLED. WHEN NOT USING METHOD GB GYPSUM TO BE FASTENED PER TABLE R702.3.5. METHOD GB TO BE FASTENED PER TABLE R602.10.1.

HD: 800 LBS HOLD DOWN DEVICE FASTENED TO THE EDGE OF THE BRACE WALL PANEL NEAREST TO THE CORNER

METHODS: PER TABLE R602.10.1









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DATE: JULY 22, 2020

REV.:

SCALE: 1/4" = 1'-0"

DRAWN BY: WG

ENGINEERED BY:
REVIEWED BY:

SECOND FLOOR FRAMING PLAN

S-2

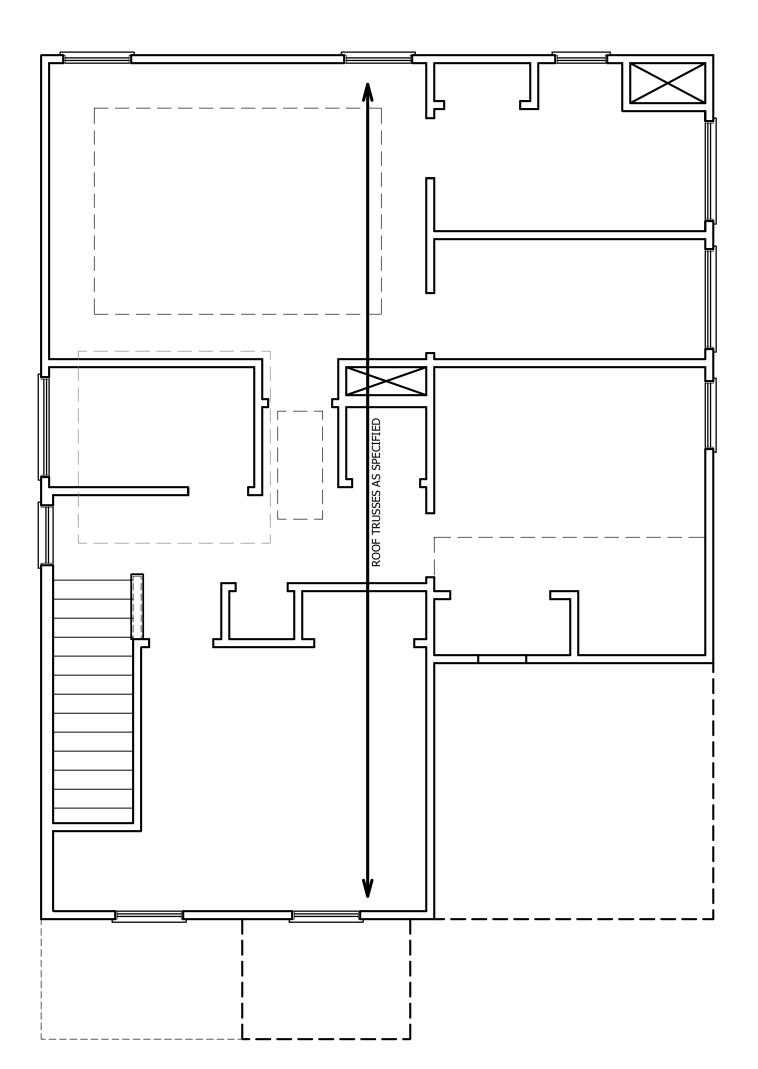
TABLE R602.7.5 MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

| HEADER SPAN (FEET) | MAXIMUM STUD SPACING (INCHES) (PER TABLE R602.3(5) | | | | |
|-----------------------|---|----|--|--|--|
| () | 16 | 24 | | | |
| UP TO 3' | 1 | 1 | | | |
| 4' | 2 | 1 | | | |
| 8' | 3 | 2 | | | |
| 12' | 5 | 3 | | | |
| 16' | 6 | 4 | | | |

STRUCTURAL NOTES:

- 1. ALL FRAMING LUMBER TO BE SPF #2 (UNO). ALL TREATED LUMBER TO BE SYP #2 (UNO.)
- 2. ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO).
- 3. WINDOW AND DOOR HEADERS TO BE SUPPORTED w/ (1) JACK STUD AND (1) KING STUD EA. END (UNO.). SEE TABLE R602.7.5 FOR ADDITIONAL KING STUD REQUIREMENTS.
- 4. SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO.)

DSP - DOUBLE STUD POCKET TSP - TRIPLE STUD POCKET





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WEAVER HOMES CAROLINA COLLECTION POPLAR DRIVE RIGHT

DATE: JULY 22, 2020

REV.:

SCALE: 1/4" = 1'-0"

DRAWN BY: WG

ENGINEERED BY:

REVIEWED BY:

ATTIC FLOOR FRAMING PLAN

S-3

STRUCTURAL NOTES:

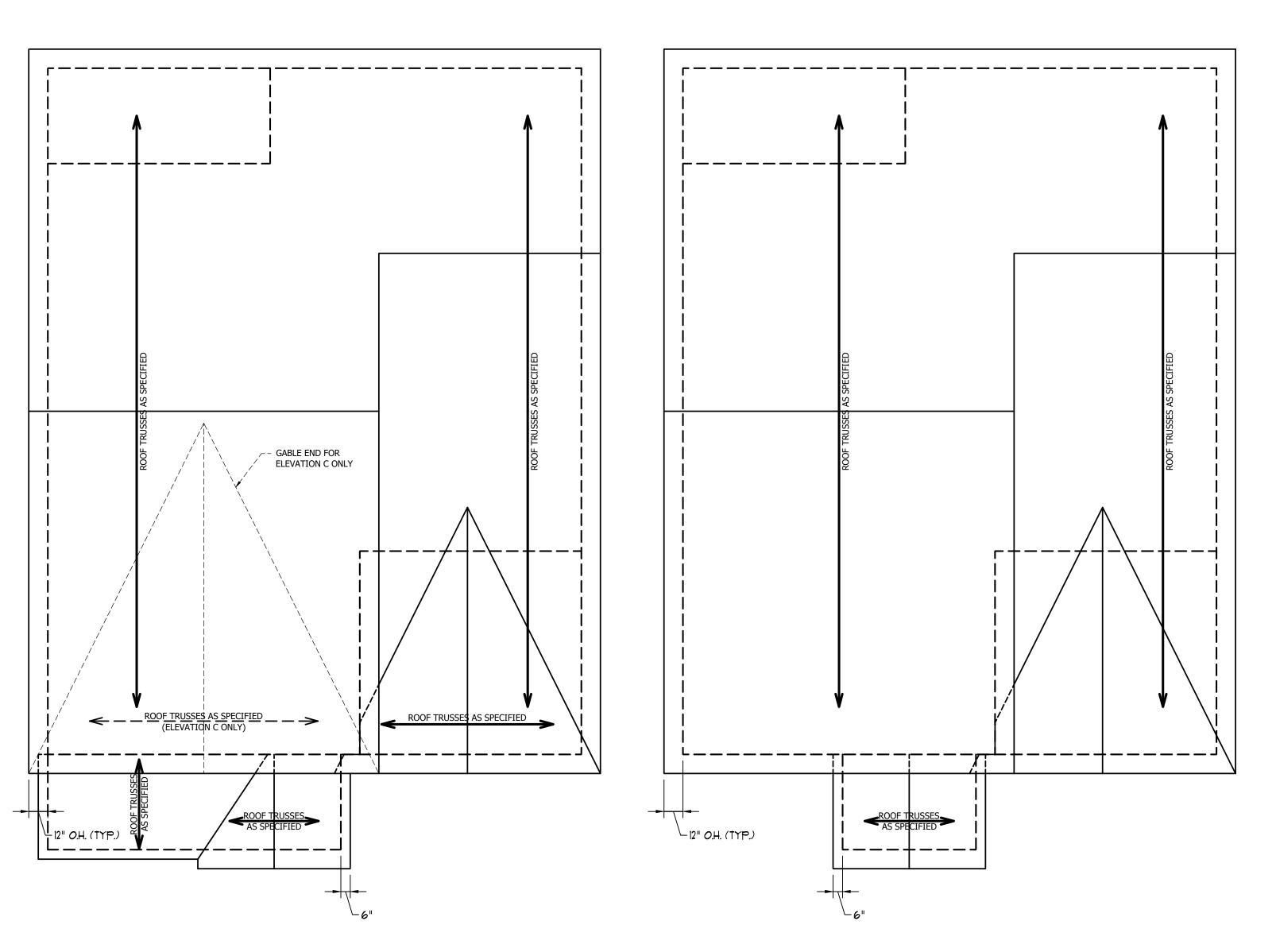
- 1. ALL FRAMING LUMBER TO BE #2 SPF (UNO).
- 2. HIP SPLICES ARE TO BE SPACED A MIN. OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS @ 16" O.C. (TYP.)
- 3. STICK FRAME OVER-FRAMED ROOF SECTIONS W/ 2 x 8 RIDGES, 2 x 6 RAFTERS @ 16" O.C. AND FLAT 2 x 10 VALLEYS OR USE VALLEY TRUSSES.
- 4. FASTEN FLAT VALLEYS TO RAFTERS OR TRUSSES WITH SIMPSON H2.5A HURRICANE TIES @ 32" O.C. MAX. PASS HURRICANE TIES THROUGH NOTCH IN ROOF SHEATHING. EACH RAFTER IS TO BE FASTENED TO THE FLAT VALLEY WITH A MIN. OF (6) 12d TOE NAILS.
- 5. REFER TO SECTION R802.11 OF THE 2018 NCRC FOR REQUIRED UPLIFT RESISTANCE AT RAFTERS AND TRUSSES.

ATTIC VENT CALCULATION:

1218 SQ. FT. OF ATTIC DIVIDED BY 150 REQUIRES 8.1 SQ. FT. OF NET FREE VENTILATING AREA (MIN.).

ATTIC VENT CALCULATION:

1180 SQ. FT. OF ATTIC DIVIDED BY 150 REQUIRES 7.9 SQ. FT. OF NET FREE VENTILATING AREA (MIN.).



ELEVATION B&C



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DATE: JULY 22, 2020

REV.:

SCALE: 1/4" = 1'-0"

DRAWN BY: WG

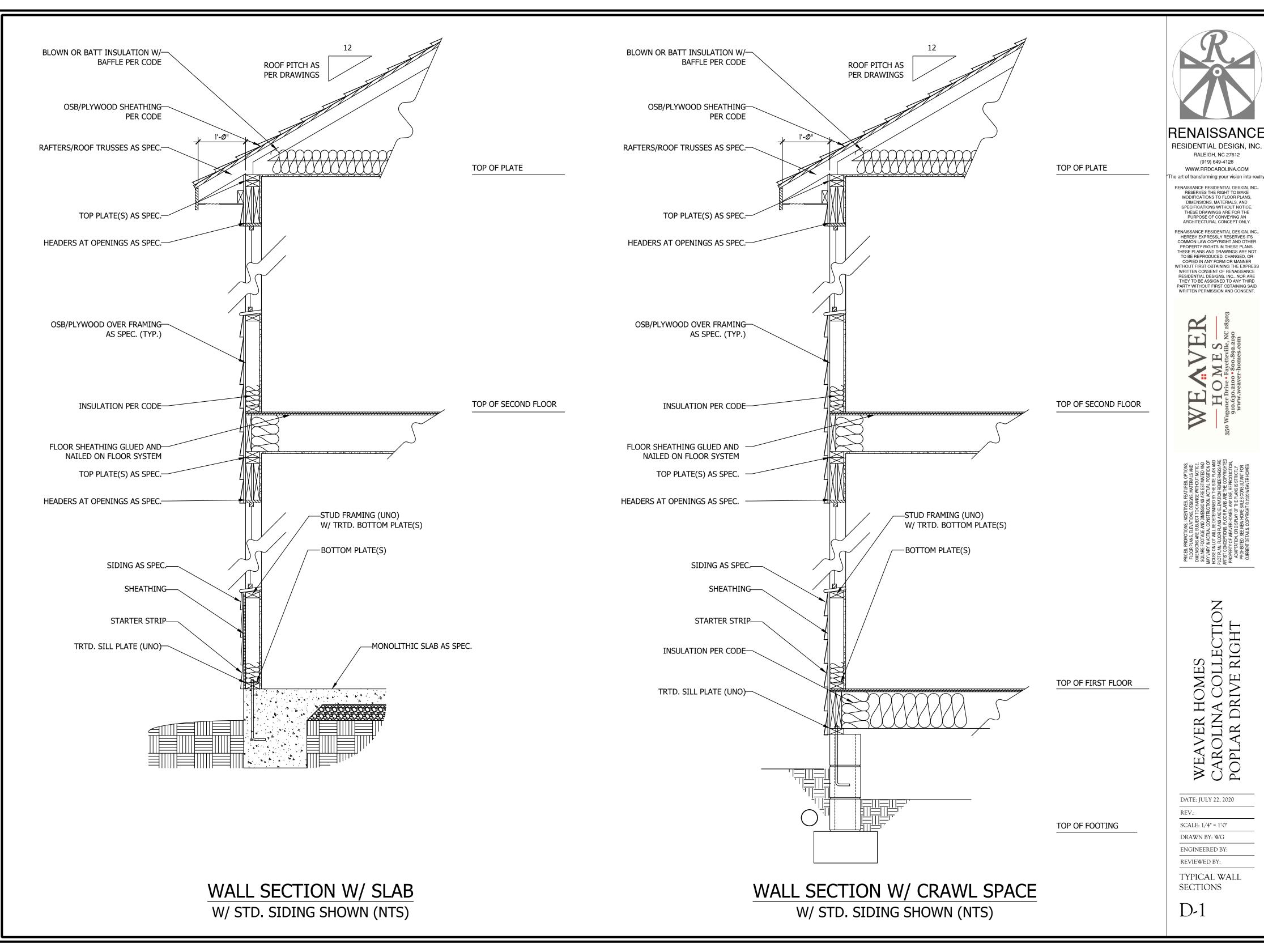
ENGINEERED BY:

REVIEWED BY:

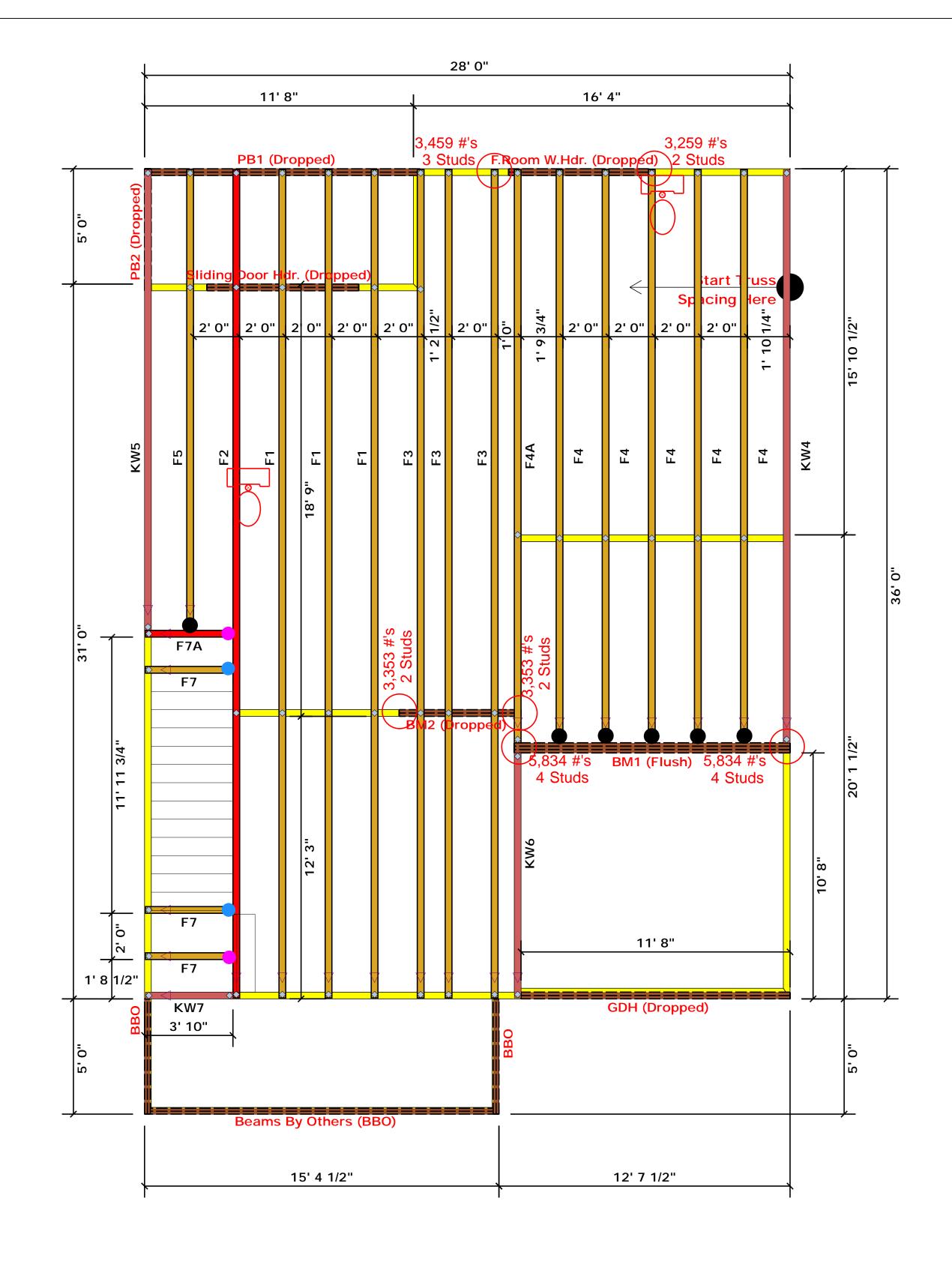
ROOF PLANS

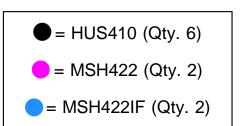
S-4

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LOAD CHART FOR JACK STUDS (0455 001 4445 88025() 4 (6))

> 2550 1 5100 2

7650 3

10200 4 12750 5

15300 6

6600 2

10200 3

13600 4

17000 5

JOB #

Truss Placement Plan SCALE: NTS

▲ = Denotes Left End of Truss
(Reference Engineered Truss Drawing)

| | | Products | | |
|-----------------------------|--------|-----------------------------|-------|---------|
| PlotID | Length | Product | Plies | Net Qty |
| PB1 (Dropped) | 12' 0" | 1-3/4"x 9-1/4" LVL Kerto-S | 2 | 2 |
| F.Room W.Hdr. (Dropped) | 7' 0" | 1-3/4"x 9-1/4" LVL Kerto-S | 2 | 2 |
| Sliding Door Hdr. (Dropped) | 7' 0" | 1-3/4"x 9-1/4" LVL Kerto-S | 2 | 2 |
| BM2 (Dropped) | 6' 0" | 1-3/4"x 9-1/4" LVL Kerto-S | 2 | 2 |
| PB2 (Dropped) | 6' 0" | 1-3/4"x 9-1/4" LVL Kerto-S | 2 | 2 |
| GDH (Dropped) | 12' 0" | 1-3/4"x 11-7/8" LVL Kerto-S | 2 | 2 |
| BM1 (Flush) | 12' 0" | 1-3/4"x 16" LVL Kerto-S | 3 | 3 |

J0720-3443

-- Denotes Reaction Greater than 3,000 lbs.

Reaction / # of Studs

Christine Shivy

Christine Shivy

All Truss Reactions are Less

than 3,000 lbs. Unless Noted Otherwise.

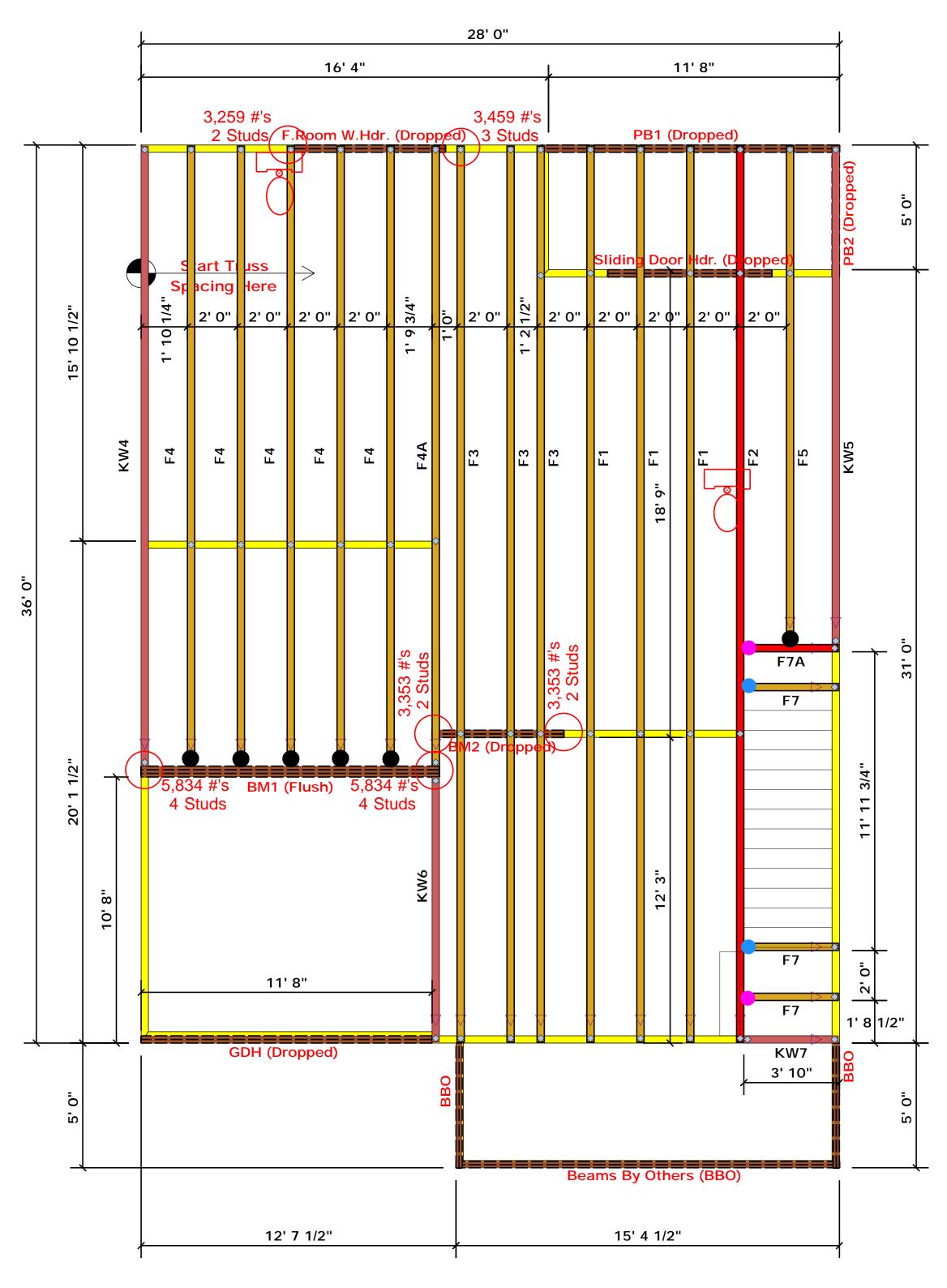
| | BUILDER | Weaver Development | CITY / CO. Harnett Co. / Harnett | | THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design a sheets for each truss design identified on the placement drawing. The building designer |
|-----------|-----------|--------------------|----------------------------------|--------------------|--|
| 54059 | JOB NAME | Lot 2 Roberts Road | ADDRESS | Lot 2 Roberts Road | is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCSI-B1 and BCSI-B3 provided with the truss delivery package |
| (O) R(Y H | PLAN | Poplar Elev. B | MODEL | Floor | or online @ sbcindustry.com Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables |
| 2 | SEAL DATE | Seal Date | DATE REV. | / / | (derived from the prescriptive Code requirements) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those |
| 5 | QUOTE # | Quote # | DRAWN BY | Christine Shivy | specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#. |

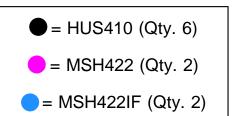
Lenny Norris

SALES REP.



Reilly Road Industrial Park Fayetteville, N.C. 28309 Phone: (910) 864-8787 Fax: (910) 864-4444





Truss Placement Plan SCALE: NTS

▲ = Denotes Left End of Truss
(Reference Engineered Truss Drawing)

| | | Products | | |
|-----------------------------|--------|-----------------------------|-------|---------|
| PlotID | Length | Product | Plies | Net Qty |
| PB1 (Dropped) | 12' 0" | 1-3/4"x 9-1/4" LVL Kerto-S | 2 | 2 |
| F.Room W.Hdr. (Dropped) | 7' 0" | 1-3/4"x 9-1/4" LVL Kerto-S | 2 | 2 |
| Sliding Door Hdr. (Dropped) | 7' 0" | 1-3/4"x 9-1/4" LVL Kerto-S | 2 | 2 |
| BM2 (Dropped) | 6' 0" | 1-3/4"x 9-1/4" LVL Kerto-S | 2 | 2 |
| PB2 (Dropped) | 6' 0" | 1-3/4"x 9-1/4" LVL Kerto-S | 2 | 2 |
| GDH (Dropped) | 12' 0" | 1-3/4"x 11-7/8" LVL Kerto-S | 2 | 2 |
| BM1 (Flush) | 12' 0" | 1-3/4"x 16" LVL Kerto-S | 3 | 3 |

than 3,000 lbs. Unless Noted Otherwise.

-- Denotes Reaction Greater than 3,000 lbs

All Truss Reactions are Less

-- Denotes Reaction Greater than 3,000 lbs.
Reaction / # of Studs

| NUM | | ASED ON LABLES FIJACK STUDG R | Содина | CO @ CA CNO OF | |
|-------------------------|--------------------------------|----------------------------------|----------------------------------|-------------------------|--------------------------------|
| | | PEAGER/6 | 1306 | | |
| OND REACTION (OT 3U) | SEC DISTURS FOR CONTAINANCE | MOTEUR PROPERTY. | NEQ 15 STUDS FOR CIPAN HEADER | END REACTION (UP 10) | REQ'D STUDS FOR ATMY HEADER |
| 1700 | 1 | 2550 | 1 | 3400 | 1 |
| 3400 | 2 | 5100 | 2 | 6600 | 2 |
| 5100 | 3 | 7650 | 3 | 10200 | 3 |
| 6800 | 4 | 10200 | 4 | 13600 | 4 |
| 8500 | 5 | 12750 | 5 | 17000 | 5 |
| 10200 | á | 15300 | 6 | | |
| 11900 | 7 | | | | |

| | ı | 2 0 1-3/4 x 10 LVL Neito-3 3 | 3 | | |
|---|-----------|------------------------------|------------|-----------------------|--|
| | | | | | |
| | BUILDER | Weaver Development | CITY / CO. | Harnett Co. / Harnett | THIS These the builties |
| | JOB NAME | Lot 2 Roberts Road | ADDRESS | Lot 2 Roberts Road | is resp the ove walls, regard |
| | PLAN | Poplar Elev. B | MODEL | Floor | or onli Bearin prescr |
| | SEAL DATE | Seal Date | DATE REV. | / / | founda than 3 be reta |
| | QUOTE # | Quote # | DRAWN BY | Christine Shivy | specif retaine |
| - | JOB # | J0720-3443 | SALES REP. | Lenny Norris | Sig |

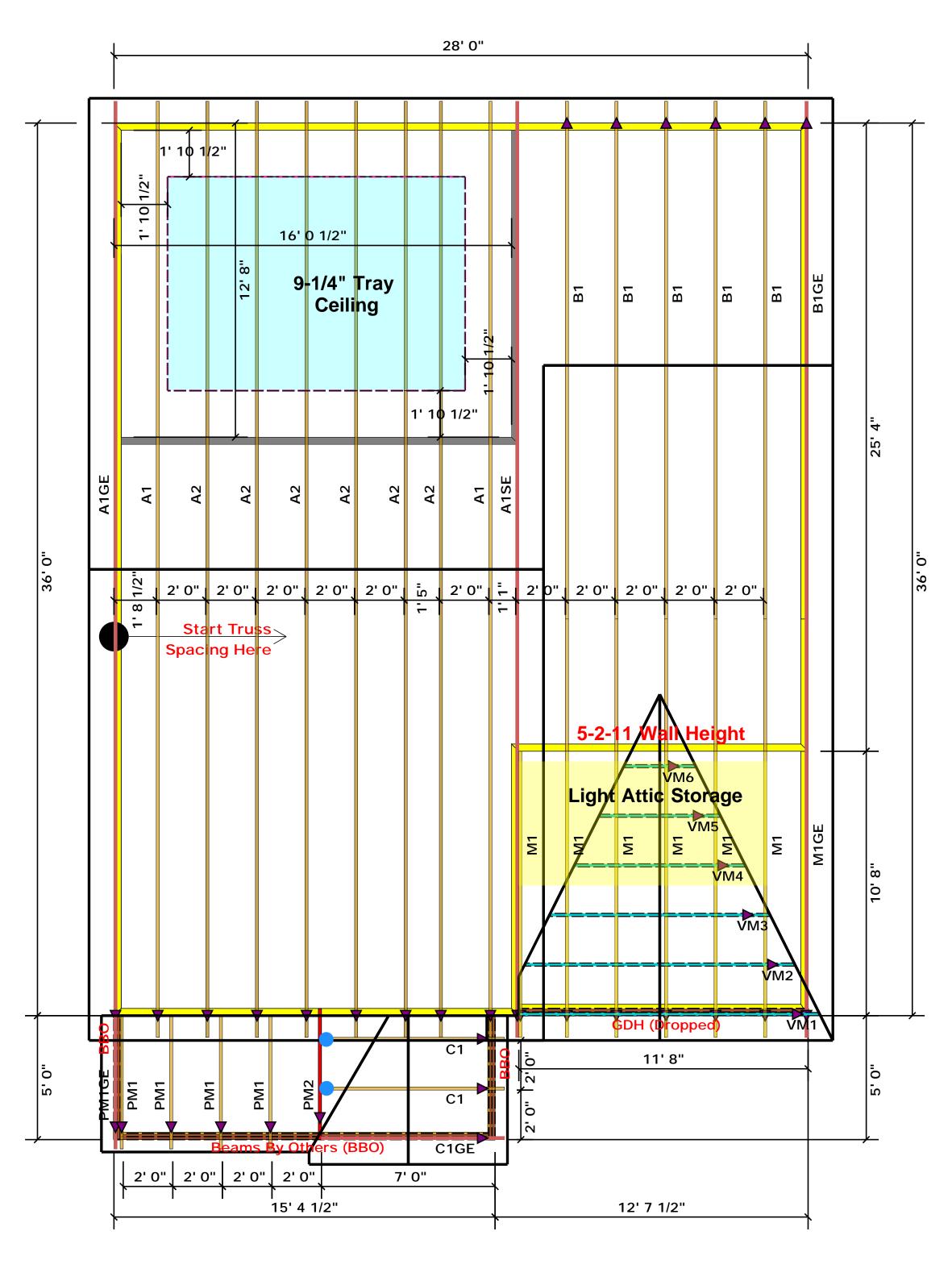


Christine Shivy

Christine Shivy

ROOF & FLOOR
TRUSSES & BEAMS
Reilly Road Industrial Park

Reilly Road Industrial Park Fayetteville, N.C. 28309 Phone: (910) 864-8787 Fax: (910) 864-4444



Truss Placement Plan SCALE: NTS

= JUS24 (Qty. 2)

▲ = Denotes Left End of Truss (Reference Engineered Truss Drawing)

All Truss Reactions are Less than 3,000 lbs. Unless Noted Otherwise.



-- Denotes Reaction Greater than 3,000 lbs. Reaction / # of Studs

| LO. | AD 6 | HAI | RT FO | RЈ | ACK. | STUD | 5 |
|----------------------|-----------------|-------|----------------------|----------------------|------|------------------------|-----------------------------------|
| | | | N LABLES | | | | |
| NI. | MILL C | e and | eritudo a Peadern | | | with an extension | |
| N N N | DS FOR | | 2 E p | 7,055 FOR - FABER | | S S | 55 F08 94559 |
| END 85ACT (OT 50) | 6Q paru ⊜RNH | | OL ATO | 150 B STU | | ENB & ACTOC (OF TO) | REQ'D STUDS FOR (4) RIY HEADER |
| 1700 | 1 | | 2550 | 1 | | 3400 | 1 |
| 3400 | 2 | | 5100 | 2 | | 6800 | 2 |
| 5100 | 3 | | 7650 | 3 | | 10200 | 3 |
| 0086 | 4 | | 10200 | 4 | | 13600 | 4 |
| 8500 | 5 | | 12750 | 5 | | 17000 | 5 |
| 10200 | á | | 15300 | 6 | | | |
| 11900 | 7 | | | | | | |
| 3600 | 8 | | | | | | |
| 15300 | 9 | | | | | | |

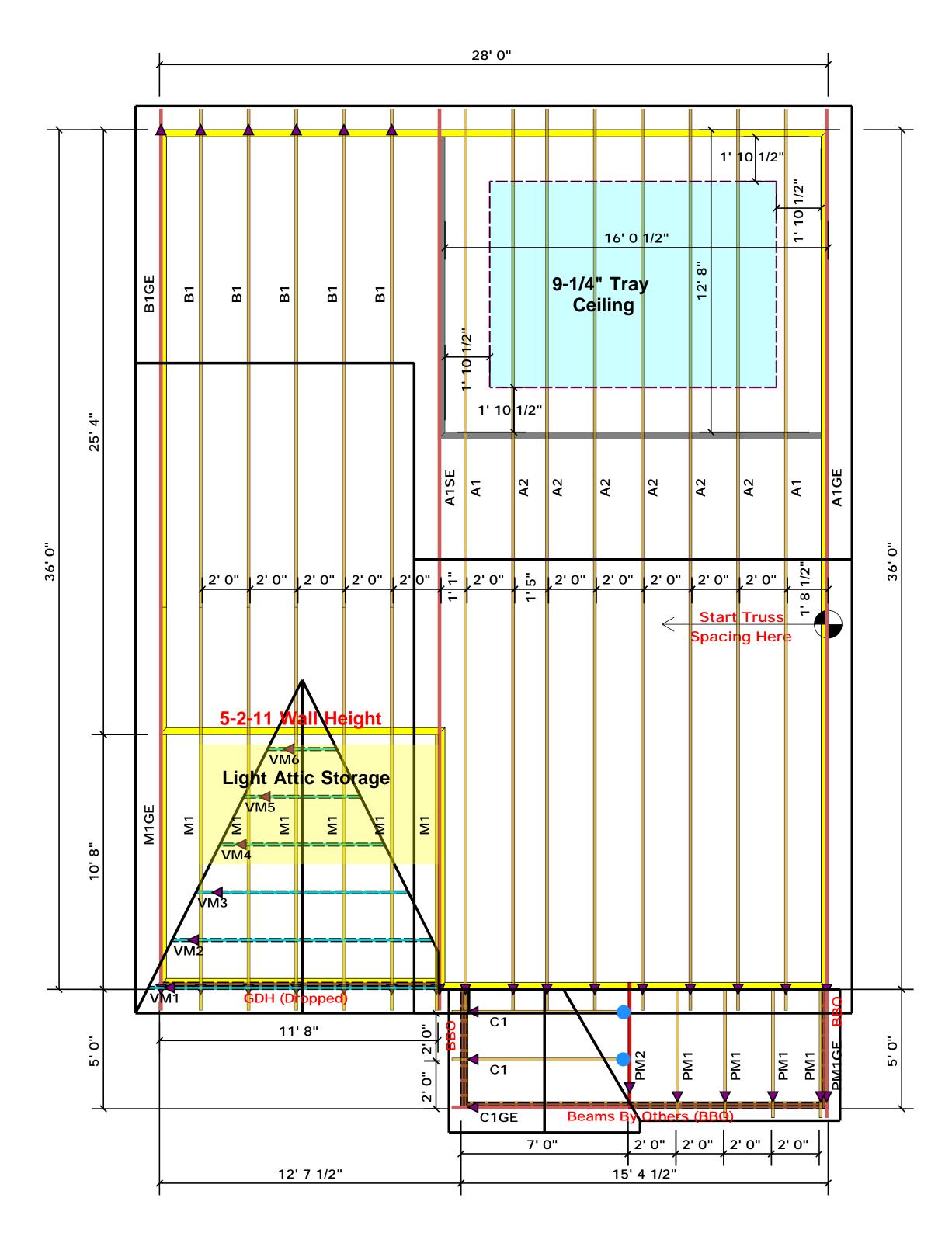
| | BUILDER | Weaver Development | CITY / CO. | Harnett Co. / Harnett | THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components the building designer at the specification of the building designer sheets for each truss design identified on the placement drawin |
|-------------|-----------|--------------------|------------|-----------------------|--|
| -500 | JOB NAME | Lot 2 Roberts Road | ADDRESS | Lot 2 Roberts Road | is responsible for temporary and permanent bracing of the roof the overall structure. The design of the truss support structure walls, and columns is the responsibility of the building designe regarding bracing, consult BCSI-B1 and BCSI-B3 provided with |
| to the term | PLAN | Poplar Elev. B | MODEL | Roof | or online @ sbcindustry.com Bearing reactions less than or equal to 3000# are deemed prescriptive Code requirements. The contractor shall refe |
| | SEAL DATE | Seal Date | DATE REV. | / / | (derived from the prescriptive Code requirements) to der foundation size and number of wood studs required to su than 3000# but not greater than 15000#. A registered desi be retained to design the support system for any reaction |
| | QUOTE # | Quote # | DRAWN BY | Christine Shivy | specified in the attached Tables. A registered design prof retained to design the support system for all reactions the Christine Sh |
| _ | JOB # | J0720-3442 | SALES REP. | Lenny Norris | Christine Shi |
| | - | | | | _ |



Christine Shivy



Fayetteville, N.C. 28309 Phone: (910) 864-8787 Fax: (910) 864-4444



Truss Placement Plan SCALE: NTS

= JUS24 (Qty. 2)

▲= Denotes Left End of Truss (Reference Engineered Truss Drawing)

All Truss Reactions are Less than 3,000 lbs. Unless Noted Otherwise.



-- Denotes Reaction Greater than 3,000 lbs.
Reaction / # of Studs

| LO. | AD (| CHAI | RT FO | RJ | ACK. | STUD | 5 | |
|-------------------------|---------------------------------|--------|-------------------------|--------------------------------|----------|-------------------------|----------------------------------|---|
| | m | ASEB 3 | N LABLES | s R502 | 5(1) 4 (| ь)) | | l |
| No | MPCS C | # JAC | CSTUDG A | | | A EMB OF | | ŀ |
| | | | PEADER/ | 91.70001 -01 | | | et. | ı |
| END REACTION (OT PU) | SEC DISTURS FOR CONVINCABLES | | SND PEACTION (DF 91) | 105 STUDS FOR CIPAN - EMBER | | END REACTION (UP TO) | REQ'D STUDS FOR (4) MY HEADER | |
| 1700 | 1 | | 2550 | 1 | | 3400 | 1 | ŀ |
| 3400 | 2 | | 5100 | 2 | | 6600 | 2 | l |
| 5100 | 3 | | 7650 | 3 | | 10200 | 3 | l |
| 6800 | 4 | | 10200 | 4 | | 13600 | 4 | ŀ |
| 8500 | 5 | | 12750 | 5 | | 17000 | 5 | l |
| 10200 | 6 | | 15300 | 6 | | | | I |
| 11900 | 7 | | | | | | | ŀ |
| 13600 | 8 | | | | | | | ı |
| 15200 | | | | | | | | ı |

| | BUILDER | Weaver Development | CITY / CO. | Harnett Co. / Harnett | THIS IS These true the building |
|---|-----------|--------------------|------------|-----------------------|--|
| | JOB NAME | Lot 2 Roberts Road | ADDRESS | Lot 2 Roberts Road | is respons the overall walls, and regarding |
| | PLAN | Poplar Elev. B | MODEL | Roof | Bearing represcripti |
| | SEAL DATE | Seal Date | DATE REV. | / / | (derived foundation than 3000 be retained |
| | QUOTE # | Quote # | DRAWN BY | Christine Shivy | specified retained t |
| - | JOB # | J0720-3442 | SALES REP. | Lenny Norris | Signat |



Christine Shivy
Christine Shivy

mply with the he attached Tables he the minimum treations greater of essional shall exceeds those

| Reilly Road Industrial Park |
|-----------------------------|
| Fayetteville, N.C. 28309 |
| Phone: (910) 864-8787 |
| Fax: (910) 864-4444 |

