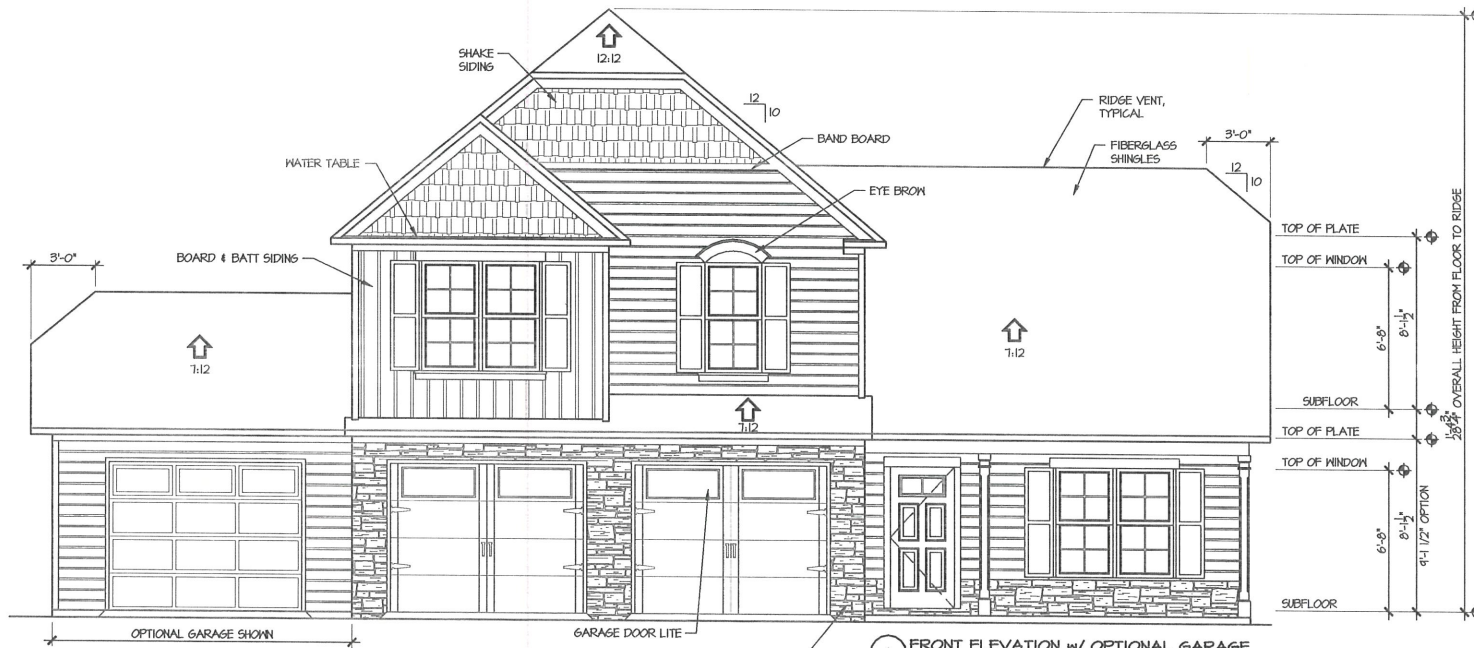


2 LEFT ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION W/ OPTIONAL GARAGE
1/4" = 1'-0"

NOTICE TO CONTRACTOR
All conditions must comply with current NC Building Codes and applicable code amendments and variances.

APPROVED
Contract Building Only -
Residential Addition -
Full Compliance with the code

07/22/2020

Boyer

Harnett COUNTY
NORTH CAROLINA

SPACE DATA

FIRST FLOOR, HEATED:	1220 SF
SECOND FLOOR, HTD:	1160 SF
FRONT PORCH:	101 SF
REAR PORCH OPTION:	144 SF
GARAGE:	549 SF
GARAGE, SINGLE OPTION:	280 SF

ATTIC VENT CALC'S.

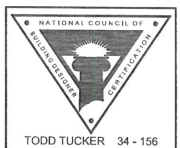
ATTIC AREA: 1111 SF.

GABLE VENTS: N/A

RIDGE VENTS: 61 LF. / 7.6 SF. (48%)

SOFFIT VENT: 124 LF. / 8.0 SF. (52%)

RATIO: $\frac{15.6}{1111} = \frac{1}{114}$



THE INFORMATION IN THESE CONSTRUCTION DOCUMENTS IS FOR THE EXCLUSIVE USE OF THE CLIENT IN CONNECTION WITH THE PROJECT DESCRIBED IN THE DOCUMENTS. THE CLIENT HAS AGREED TO COMPENSATE THE ARCHITECT FOR THE SERVICES PROVIDED BY THE ARCHITECT AND TO HOLD THE ARCHITECT HARMLESS FROM ALL OTHER PERSONS FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY THE CLIENT IN CONNECTION WITH THE PROJECT. THE CLIENT SHALL HOLD THE ARCHITECT HARMLESS FROM ALL OTHER PERSONS FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY THE CLIENT IN CONNECTION WITH THE PROJECT. THE CLIENT SHALL HOLD THE ARCHITECT HARMLESS FROM ALL OTHER PERSONS FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY THE CLIENT IN CONNECTION WITH THE PROJECT.

Caviness Land

ELEVATIONS

SHEET TITLE:

SCALE:
AS NOTED

DATE:
NOVEMBER 2012

PLAN NO:
CL 2344

SHEET NO:
A-1

CAROLINA RESIDENTIAL
DESIGN GROUP, LLC
Professional Architects
American Institute of Building Design
Certified Professional Building Design
TODD LUCKER, AIA, AIA, CPBD
910-497-9729

AMERICAN INSTITUTE OF BUILDING DESIGN
AIBD
NATIONAL BOARD OF PROFESSIONAL BUILDING DESIGNERS

NATIONAL COUNCIL OF
BUILDING DESIGNERS
TODD LUCKER 34 - 156

BE ADVISED: IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

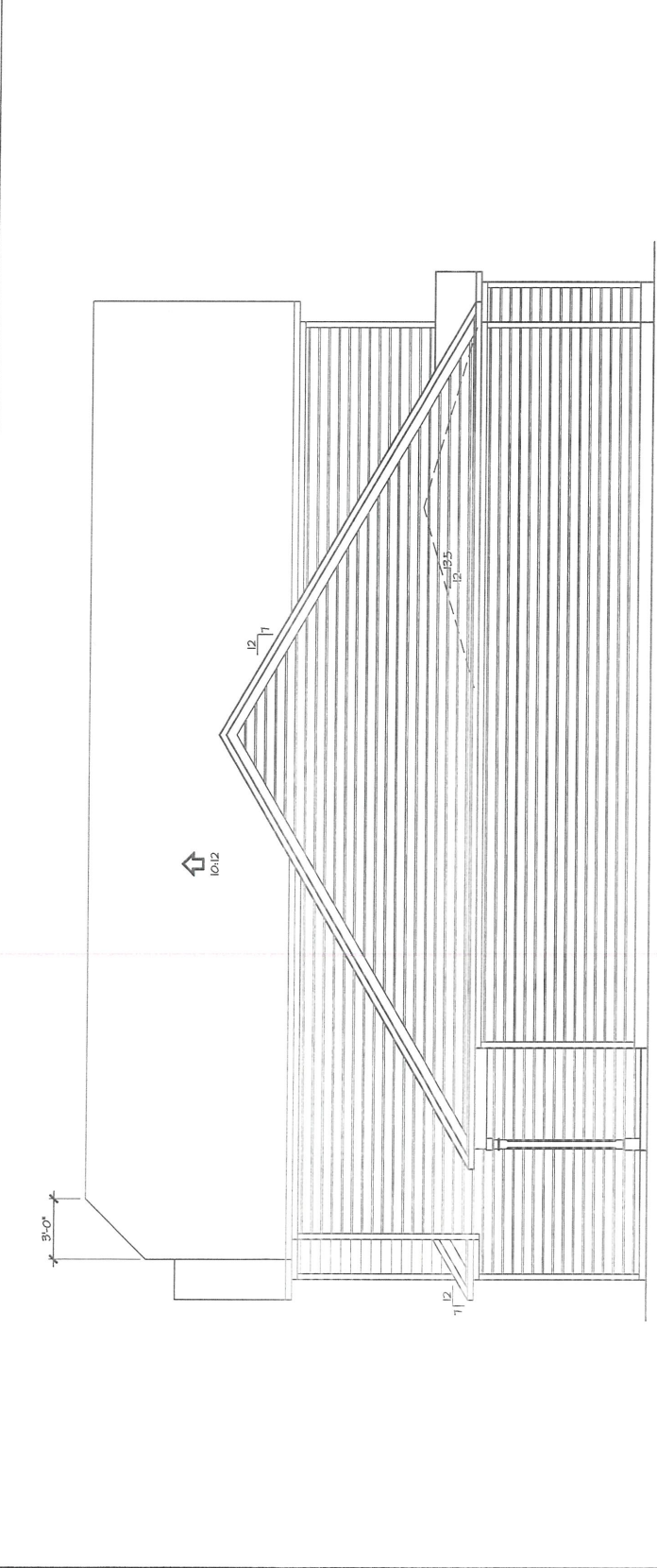
Caviness
Land
ELEVATIONS
SHEET TITLE

SCALE: 1/4" = 1'-0"

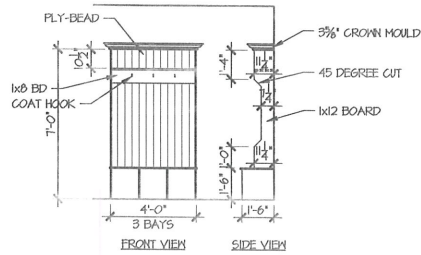
DATE: NOVEMBER 2012

PLAN NO. CL 2344

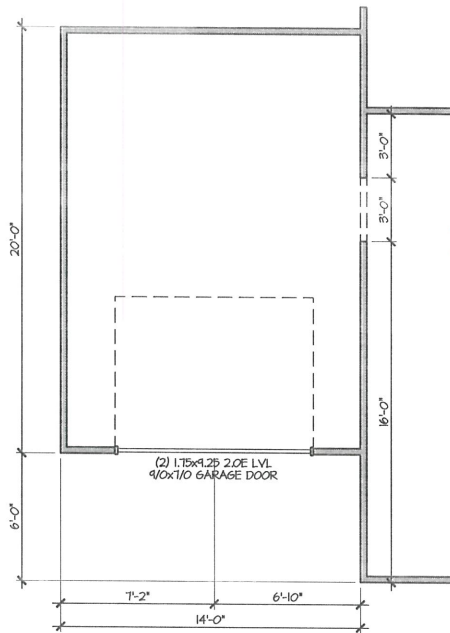
SHEET NO. A.2



Plumbing drop



A COAT STATION
1/4" = 1'-0"

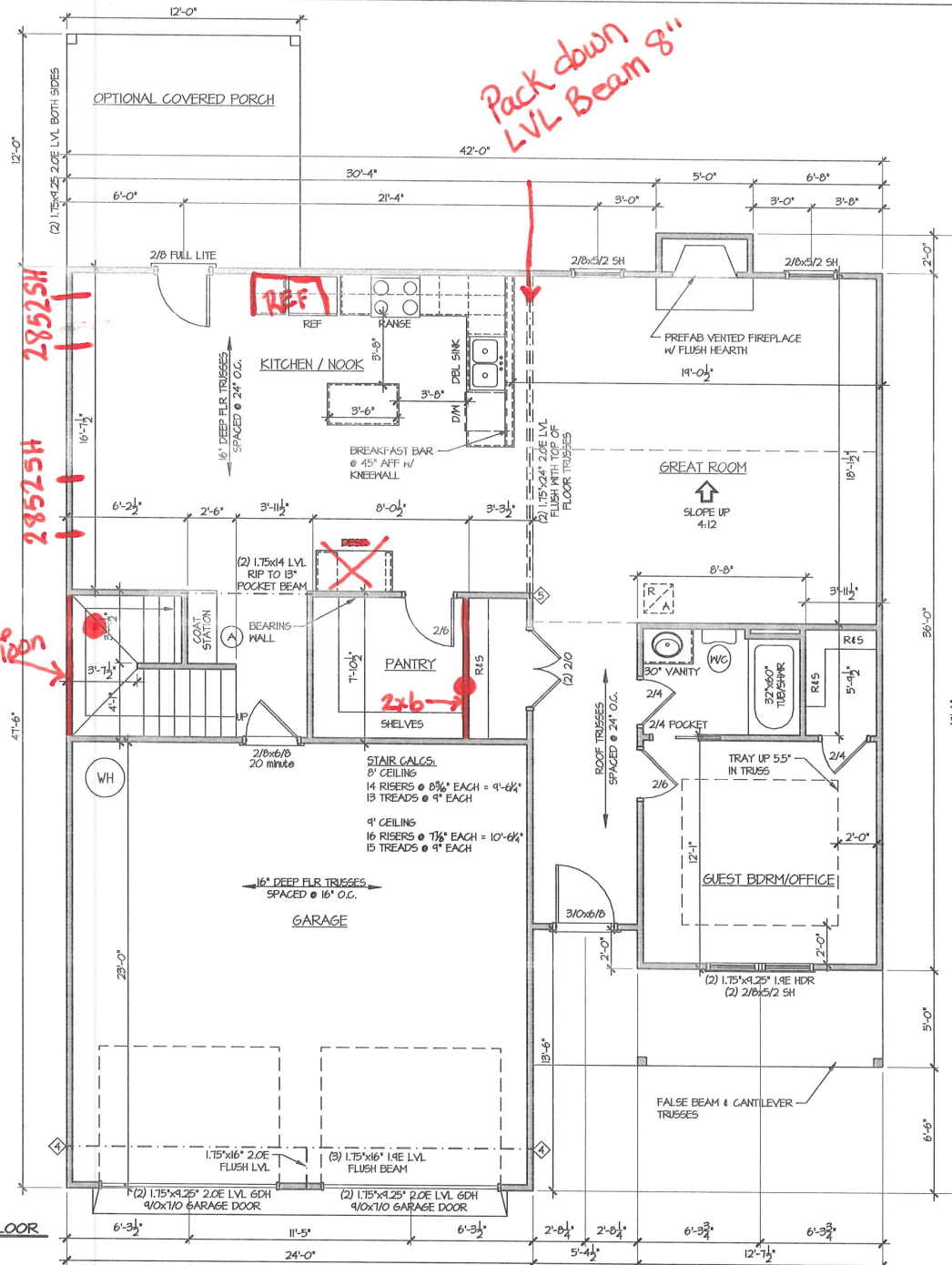


2 THIRD CAR GARAGE OPTION
1/4" = 1'-0"

GENERAL NOTE:
ALL 2x4 WALLS DRAWN AS 3 1/2"
ALL 2x6 WALLS DRAWN AS 5 1/2"
ALL EXTERIOR DIMENSIONS INCLUDE WALL SHEATHING
ALL WALLS ARE 2x4 WALLS UNLESS OTHERWISE NOTED
IN LOAD-BEARING WALLS:
ALL OPENINGS, WINDOW & DOOR HEADERS TO BE
(2) 2x10 SYP #2 & (1) STUD ON EACH SIDE UNLESS NOTED OTHERWISE

◇ SYMBOL FOR REQUIRED STUDS FOR BEAM ABOVE

1 FIRST FLOOR
1/4" = 1'-0"



Pack down LVL Beam 8"

2x6 Ballion

REF

DEBR

2x6

THE INFORMATION IN THESE CONSTRUCTION DOCUMENTS IS FOR THE EXCLUSIVE USE OF THE CLIENT IN CONNECTION WITH THE PROJECT DESCRIBED IN THE SCHEDULES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF THE RECORDS OF THE BUILDING. THE CLIENT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE RECORDS OF THE BUILDING. THE CLIENT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE RECORDS OF THE BUILDING. THE CLIENT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE RECORDS OF THE BUILDING.

Caviness Land

SHEET TITLE: **FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

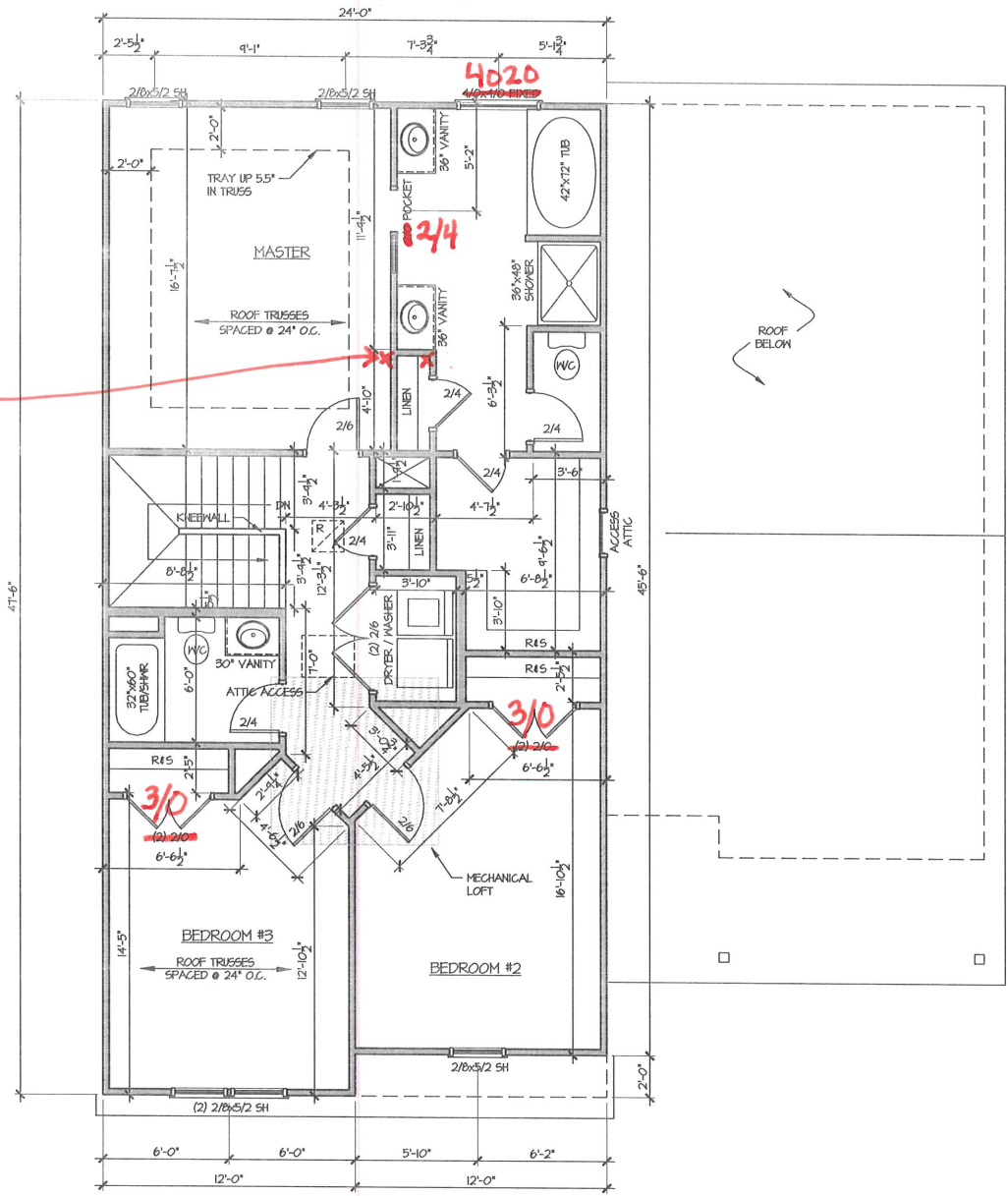
DATE: NOVEMBER 2012

PLAN NO: CL 2344

SHEET NO: **A-4**

D:\Autodesk Projects 2015\My Projects\CAVINESS LAND\2400 4 BDRM\CL 2344 GL 10-16-18.dwg, 10/16/2018 10:58:06 AM, 1:1

22 1/2"
inside to
outside



GENERAL NOTE:
ALL 2x4 WALLS DRAWN AS 3 1/2"
ALL 2x6 WALLS DRAWN AS 5 1/2"

ALL EXTERIOR DIMENSIONS INCLUDE
WALL SHEATHING

ALL WALLS ARE 2x4 WALLS UNLESS OTHERWISE NOTED

IN LOAD-BEARING WALLS:
ALL OPENINGS, WINDOW & DOOR HEADERS TO BE
(2) 2x10 SYP #2 & (1) STUD ON EACH SIDE
UNLESS NOTED OTHERWISE

◊ SYMBOL FOR REQUIRED STUDS FOR BEAM ABOVE



THE INFORMATION IN THESE CONSTRUCTION DOCUMENTS IS FOR THE EXCLUSIVE USE OF THE CLIENT IN CONNECTION WITH THE PROJECT DESCRIBED HEREIN. IT IS THE CLIENT'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

Caviness Land

SHEET TITLE:
SECOND FLOOR PLAN

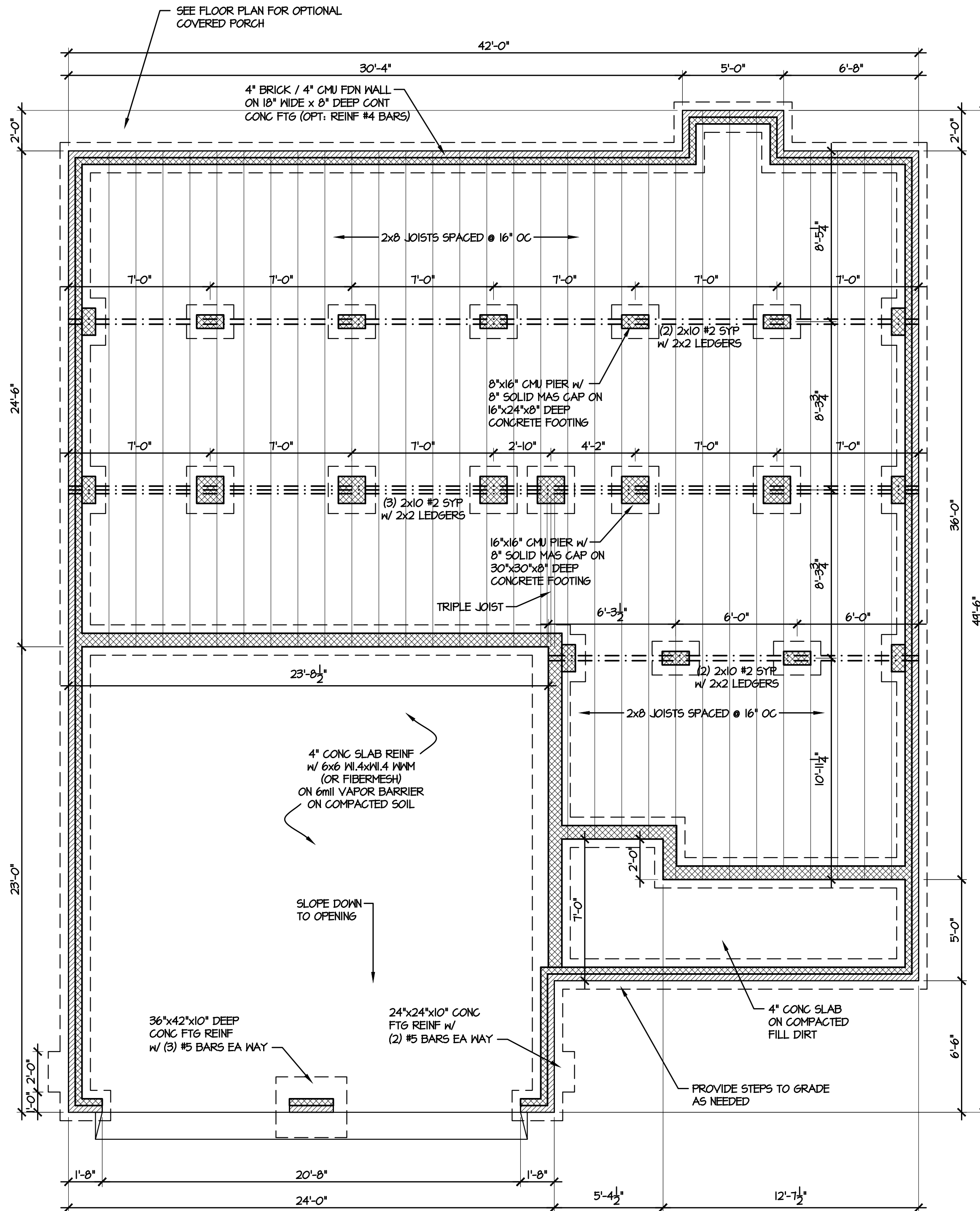
SCALE:
1/4" = 1'-0"

DATE:
NOVEMBER 2012

PLAN NO:
CL 2344

SHEET NO:
A-5

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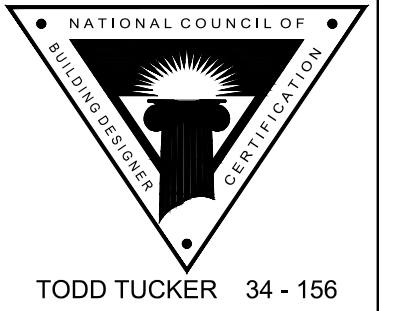


VENTILATION NOTES:
 CRAWL SPACE AREA: 1045 S.F.
 1500 S.F. PER 1 S.F. VENTS = 0.70 S.F.
 REQUIRED VENTS W/ V.B. + ONE VENT WITHIN 3' OF EA. CORNER = 3 VENTS

FOUNDATION PLAN NOTES:

1. DOUBLE JOISTS UNDER ALL PARTITIONS
2. SILL TO BE PRESSURE TREATED
3. MAINTAIN MIN 12" BELOW GIRDERS & 18" BELOW JOISTS TO GRADE OR AS REQUIRED FOR MECHANICAL EQUIPMENT
4. PROVIDE VAPOR BARRIER AT CRAWL SPACE
5. FOUNDATION VENTS TO BE 8" H x 16" W, W/ 50 SQ. IN. MIN. FREE VENT AREA
6. CRAWL SPACE ACCESS TO BE 22" x 36" MIN CLEAR OPENING (FIELD LOCATE)
7. NOT USED
8. ANCHOR BOLTS @ 6'-0" O.C. AND 1'-0" FROM EACH CORNER (EMBED 8" MIN. IN SOLID GROUT)
9. GC TO REVIEW TRUSS SHOP DRAWINGS & NOTIFY DESIGNER IF REQUIRED POINT LOAD PIERS OR BEARING WALLS ARE ADDED TO FOUNDATION PLAN
10. NOT USED

FOUNDATION NOTES:
 ALL REINFORCING AND CONCRETE MESH OPTIONAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE SOIL SUITABILITY. (UNLESS REINF REQ'D BY LOCAL CODE)



THE INFORMATION IN THESE CONSTRUCTION DOCUMENTS IS FOR THE EXCLUSIVE USE OF THE CLIENT IN CONNECTION WITH THE BUILDING DESIGNATED IN THE DOCUMENTS. THE DESIGNER HAS ATTEMPTED TO ESTABLISH AN ACCURATE SET OF CONSTRUCTION DOCUMENTS OF THE BUILDING BASED UPON THE CLIENT'S REQUIREMENTS AND THE LOCAL GOVERNING CODES. IF THE CLIENT DESIGNS OR BECOMES AWARE OF ANY ERROR OR DEFECT IN THE PROJECT OR NON-COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS, PROMPT WRITTEN NOTICE SHALL BE GIVEN BY THE CLIENT TO THE DESIGNER. THE CLIENT SHALL HOLD HARMLESS THE DESIGNER FROM ALL ERRORS AND OMISSIONS PERTAINING TO THE DOCUMENTS RELATED TO THE PROJECT AND OTHER RELATED WORK AS REPRESENTED BY THE DESIGNER TO THE CLIENT.

Caviness Land

SHEET TITLE: **CRAWL SPACE PLAN**

SCALE: 1/4" = 1'-0"

DATE: NOVEMBER 2012

PLAN NO: CL 2344

SHEET NO: **A-3**

General Notes:

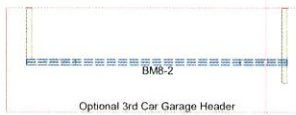
- 1.) "READ" Boise Installation Guide before installation of products.
- 2.) All I-Joist, LVL beams, and Rim Board must be field cut to length.
- 3.) Contractor must verify and approve the material list.
- 4.) I-Joist may be moved 3" out of its own o.c. spacing, up to 19.2" o.c., to allow for plumbing drops.
- 5.) This layout, is a placement plan and, was designed in accordance with the original design of the structure (unless otherwise noted). See original plans for additional structural notes.
- 6.) Ceramic tile floors should be supported per APA standards. Additional joists may be required.
- 7.) HVAC & PLUMBER, "Review" Boise Installation Guide (Joist Hole Location & Sizing) Chart "BEFORE" cutting the I-joist product.
- 8.) "Blocking", are Random Length I-joist, Labeled as such.

Connector Summary				
PlotID	Qty	Manuf	Product	Flange
H1	1	Simpson	HUS 1.81/10	None
H2	2	Simpson	IUS 1.81/14	None
H3	4	Simpson	IUS 2.06/14	None
H4	1	Simpson	MIU 3.56/14	None

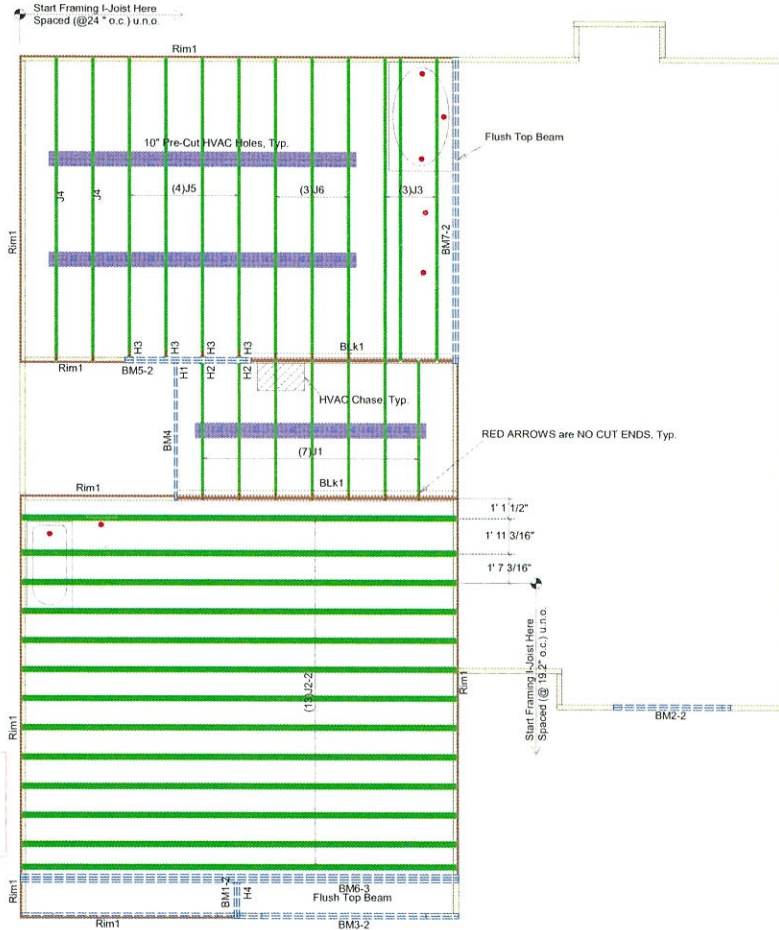
Optional 3rd Car Garage Header				
PlotID	Length	Product	Plies	Net Qty
BM8-2	16' 0"	1-3/4" x 9-1/4" VERSA-LAM@ 2.0 3100 SP	2	2

Optional Covered Porch Beams				
PlotID	Length	Product	Plies	Net Qty
BM9-2	14' 0"	1-3/4" x 9-1/4" VERSA-LAM@ 2.0 3100 SP	2	4

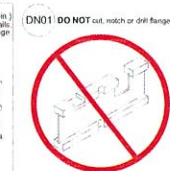
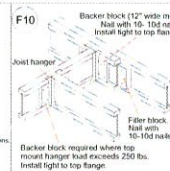
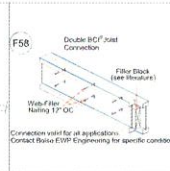
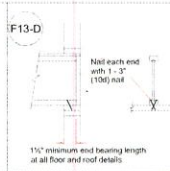
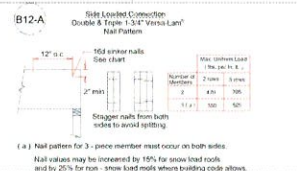
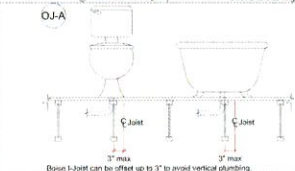
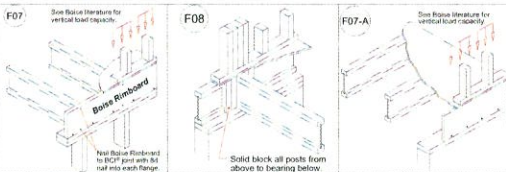
Products				
PlotID	Length	Product	Plies	Net Qty
J1	8' 0"	14" BCI@ 4500s-1.8	1	7
J2-2	24' 0"	14" BCI@ 5000s-1.8	2	26
J3	17' 0"	14" BCI@ 5000s-1.8	1	3
J4	17' 0"	14" BCI@ 5000s-1.8	1	2
J5	17' 0"	14" BCI@ 5000s-1.8	1	4
J6	17' 0"	14" BCI@ 5000s-1.8	1	3
BM1-2	2' 0"	14" BCI@ 4500s-1.8	2	2
BM2-2	8' 0"	1-3/4" x 9-1/4" VERSA-LAM@ 2.0 3100 SP	2	2
BM3-2	24' 0"	1-3/4" x 11-7/8" VERSA-LAM@ 2.0 3100 SP	2	2
BM4	8' 0"	1-3/4" x 14" VERSA-LAM@ 2.0 3100 SP	1	1
BM5-2	8' 0"	1-3/4" x 14" VERSA-LAM@ 2.0 3100 SP	2	2
BM6-3	24' 0"	1-3/4" x 16" VERSA-LAM@ 2.0 3100 SP	3	3
BM7-2	18' 0"	1-3/4" x 24" VERSA-LAM@ 2.0 3100 SP	2	2
Rim1	12' 0"	1" x 14" BC RIM BOARD OSB	1	10
BLK1	26' 0"	14" BCI@ 4500s-1.8	1	1



I-Joist Plot ID # & Length on Top of Flange



Note: Refer to current Boise Cascade Installation Guide for details not shown.



2ND FLOOR LAYOUT



Caviness Land Development
Master Plan Left
CL-2344 & Options

Scale: 1/4" = 1'-0"
Date: 6-15-17
By: L.LITTLETON
DWG:
Sheet: 1 of 1

200 Emmett Drive, Dunn, N.C. 28334 (910) 892 + 8400

GENERAL NOTES:

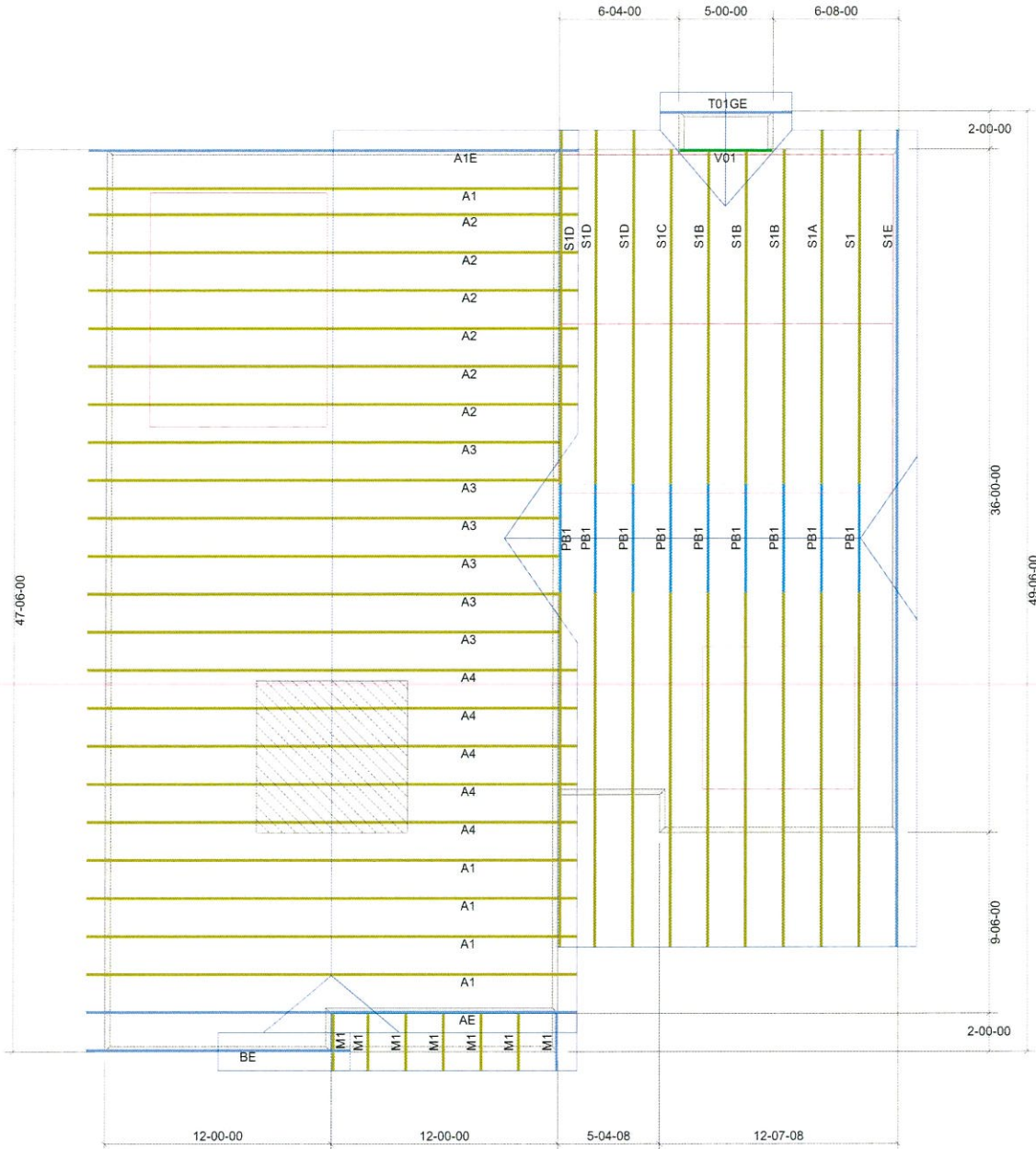
DO NOT CUT OR MODIFY TRUSSES.
 TRUSSES ARE SPACED 24" ON CENTER UNLESS NOTED OTHERWISE.
 REFER TO THE INDIVIDUAL TRUSS DESIGN DRAWINGS FOR THE LOCATION OF LATERAL BRACING AND MULTI-PLY CONNECTION REQUIREMENTS.
 PER ANSI TPI 1-2002 THE TRUSS ENGINEER IS RESPONSIBLE FOR TRUSS TO TRUSS CONNECTIONS AND TRUSS PLY TO PLY CONNECTIONS. THIS TRUSS PLACEMENT PLAN RECOMMENDS TRUSS TO BEARING CONNECTIONS AND TRUSS TO BEAM CONNECTIONS WHICH SHALL BE REVIEWED BY THE BUILDING DESIGNER. IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER TO RESOLVE ALL ROOF FORCES ADEQUATELY TO THE FOUNDATION.

Hardware List:

A	-	-	-
B	-	-	-
C	-	-	-
D	-	-	-
	-	-	-
	-	-	-
	-	-	-
	-	-	-

ORDER: **Order #**

THIS LAYOUT IS INTENDED FOR THE PURPOSE OF TRUSS LOCATION AND PLACEMENT ONLY. REFER TO THE BUILDING PLANS FOR ACTUAL BUILDING CONSTRUCTION.



DEDICATED TO QUALITY AND EXCELLENCE
 200 EMMETT ROAD
 DUNN, NORTH CAROLINA 28334
 PHONE: 910-892-8400

ROOF LOADING:
 TOP LIVE: 20 PSF
 TOP DEAD: 10 PSF
 BOTTOM DEAD: 10 PSF
 Wind Speed: 130 MPH

PROJECT	LOT Lot		
CUSTOMER	Caviness Land		
MODEL	CL-2344 CP GOL		
SCALE: N T S	DRAWN BY: User designed roof truss	P.O. NUMBER: PO #	ORDER: Order #
PRINT DATE: Approved	REV: datetime	SHIP DATE: Schd Delivery Date	