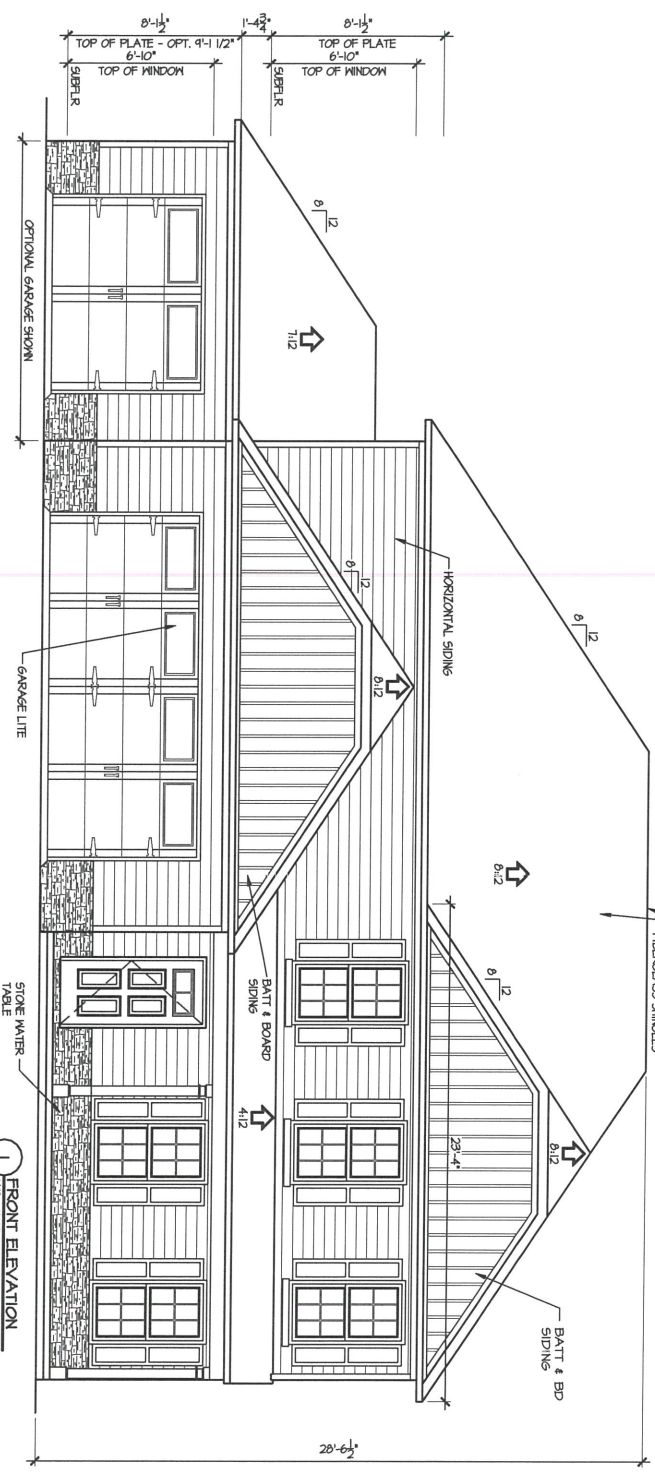


NOTICE TO CONTRACTOR
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

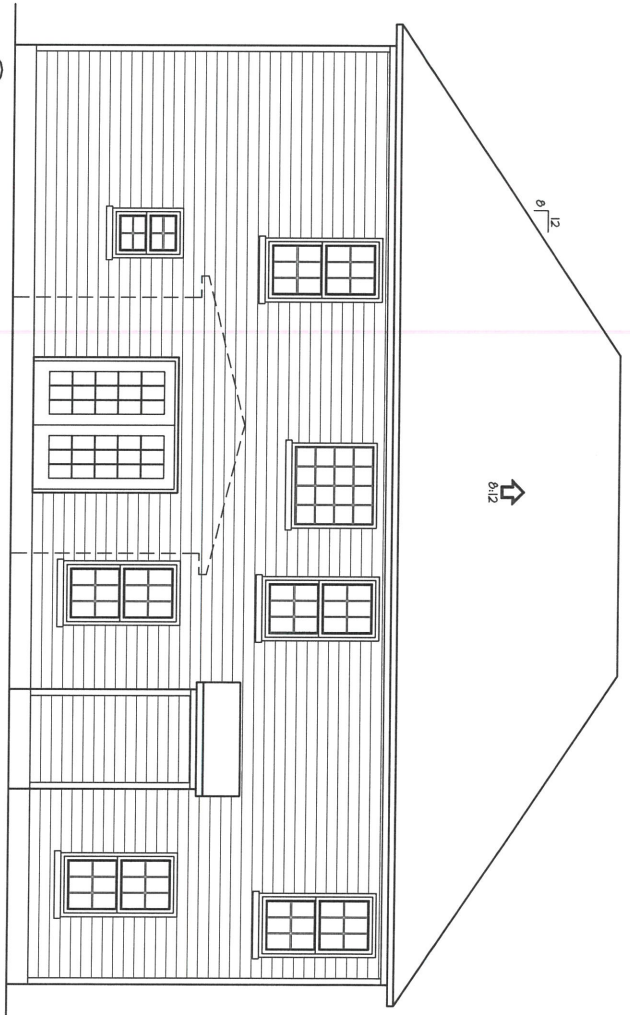
APPROVED
Limited building only review
Permit holder responsible for full compliance with the code

07/21/2020





2 REAR ELEVATION
1/4" = 1'-0"



ATTIC VENT CALC'S.

ATTIC AREA:	1276 SF.	N/A
GABLE VENTS:	621 LF. / 8 SF. (628)	
RIDGE VENTS:	76 LF. / 5 SF. (288)	
SOFFIT VENT:		
RATIO:	$\frac{1276}{48} = 26.58$	

SPACE DATA


FIRST FLOOR HEATED:	1026 SF
SECOND FLOOR HEATED:	1276 SF
FRONT PORCH:	153 SF
GARAGE:	480 SF
THIRD CAR GARAGE OPT:	280 SF


CL 2302B

ELEVATIONS

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Fax: 910-339-6333

TODD TUCKER 34-156





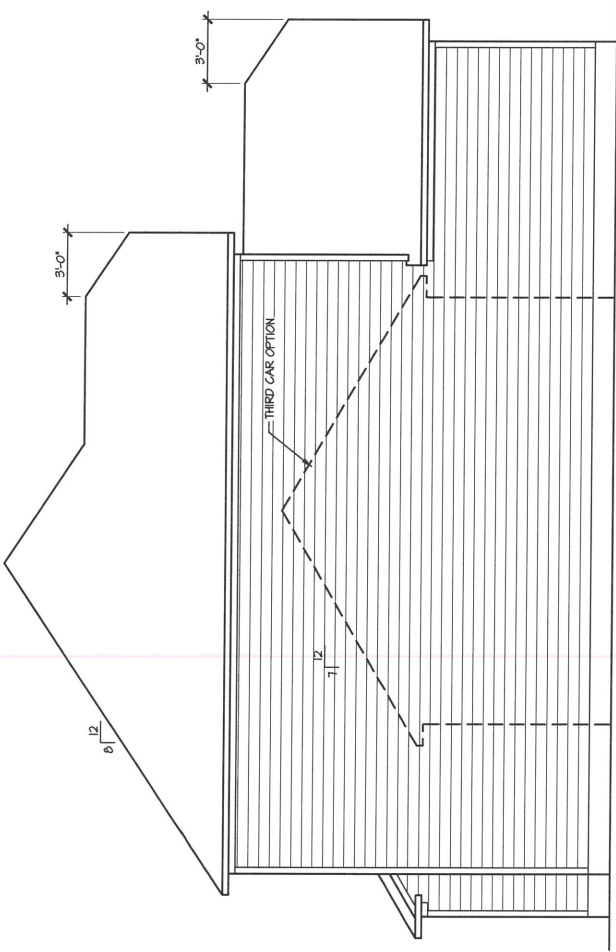
SHEET NO.
1

LOT NO.

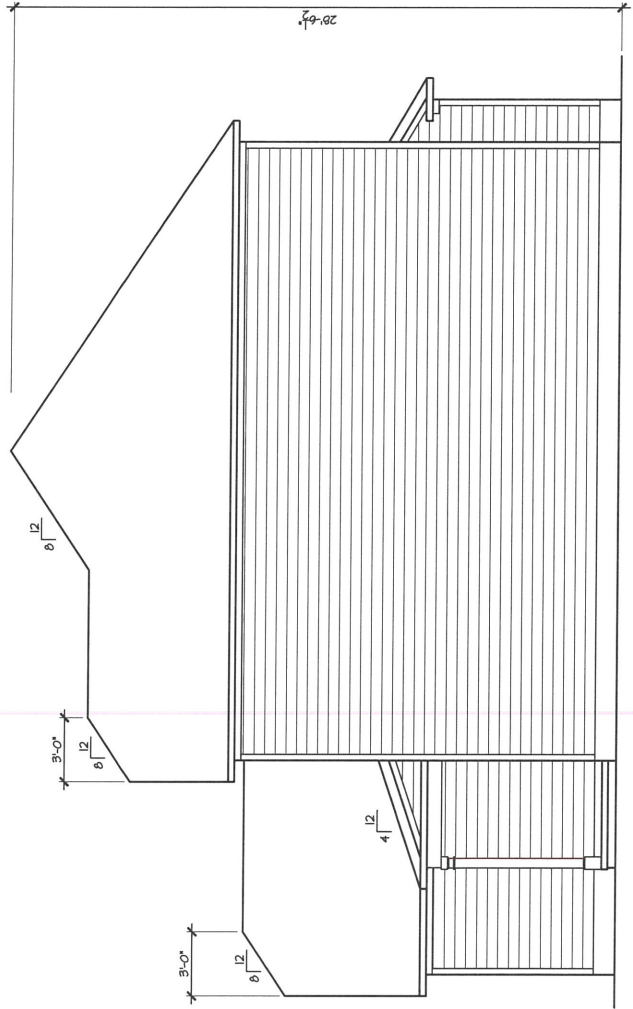
PLAN:
CL 2302 B

DATE:
APRIL 2020

SCALE:
1/4" = 1'-0"



2 LEFT ELEVATION
1/4" = 1'-0"



1 RIGHT ELEVATION
1/4" = 1'-0"

GENERAL NOTE:
 ALL 2x4 WALLS DRAWN AS 3/4"
 ALL 2x6 WALLS DRAWN AS 5/8"

ALL EXTERIOR DIMENSIONS INCLUDE
 WALL SHEATHING

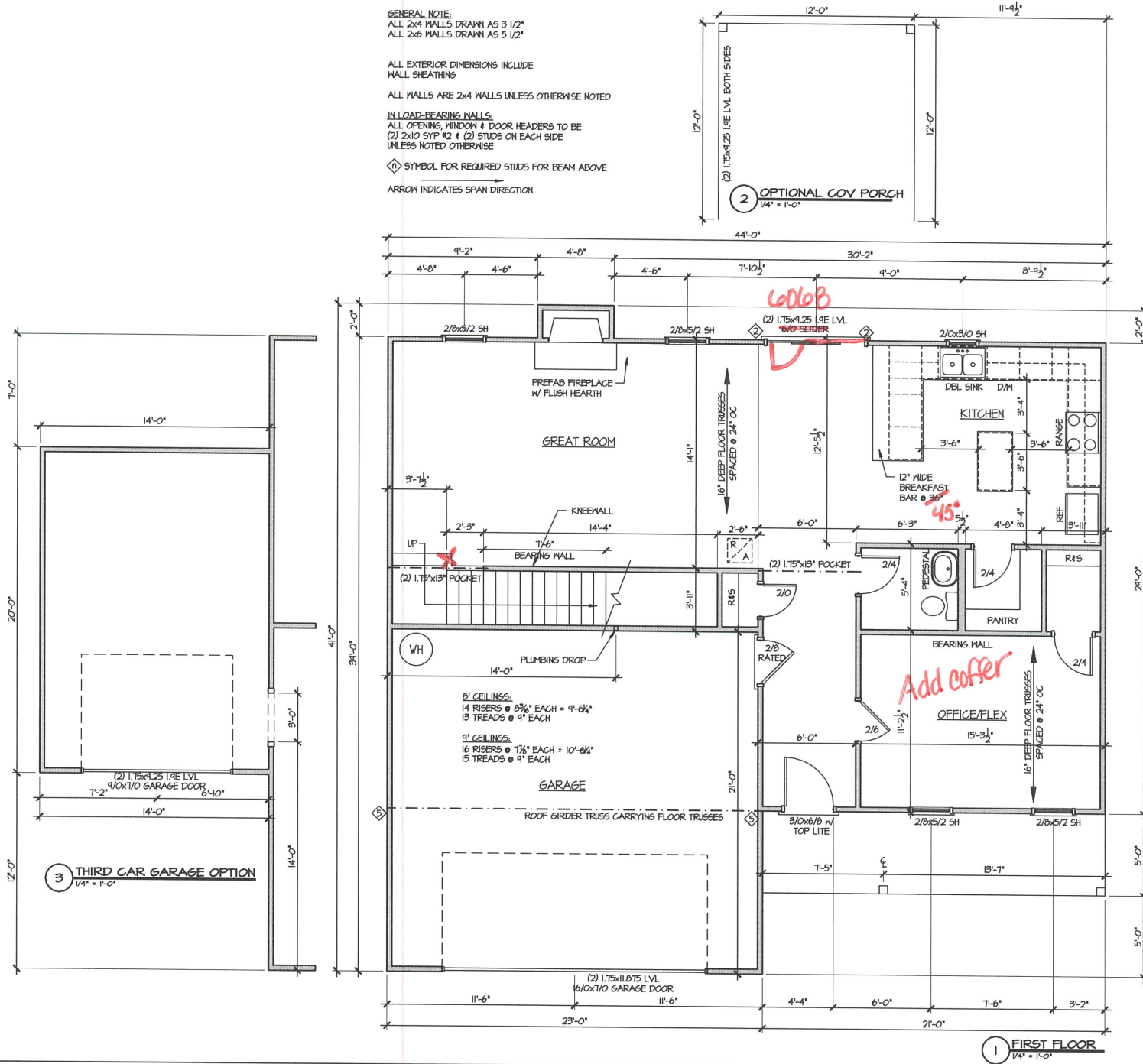
ALL WALLS ARE 2x4 WALLS UNLESS OTHERWISE NOTED

IN LOAD-BEARING WALLS:

ALL OPENINGS, WINDOW & DOOR HEADERS TO BE
 (2) 2x10 SYP #2 & (2) STUDS ON EACH SIDE
 UNLESS NOTED OTHERWISE

◇ SYMBOL FOR REQUIRED STUDS FOR BEAM ABOVE

ARROW INDICATES SPAN DIRECTION

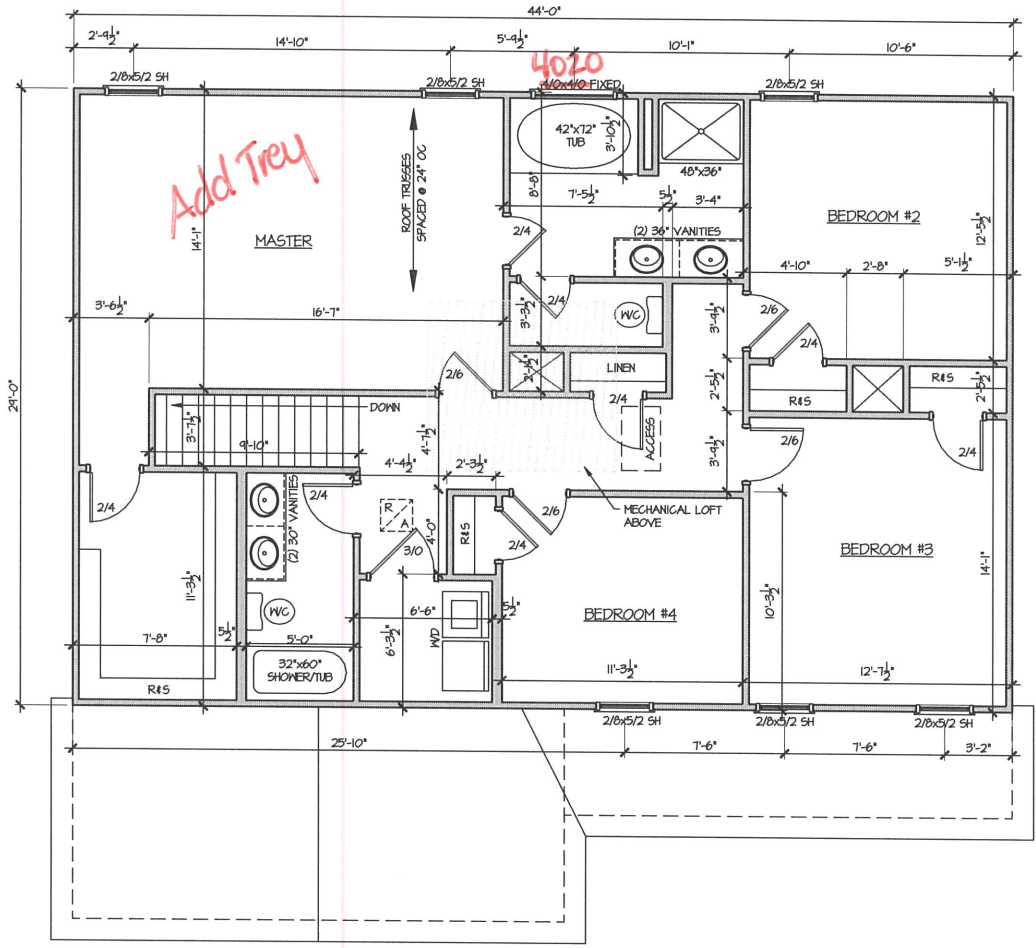


TODD TUCKER 34-156
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 Fayetteville, NC 28305
 Office: 910-339-6330
 Fax: 910-339-6333

CL 2302**b**
 FIRST FLOOR PLAN

SCALE:
 1/4" = 1'-0"
 DATE:
 APRIL 2020
 PLAN:
 CL 2302**B**
 LOT NO.

SHEET NO.
4



TODD TUCKER 34 - 156

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CL 2302**B**
 SECOND FLOOR PLAN

SCALE:
 1/4" = 1'-0"

DATE:
 APRIL 2020

PLAN:
 CL 2302 **B**

LOT NO.:

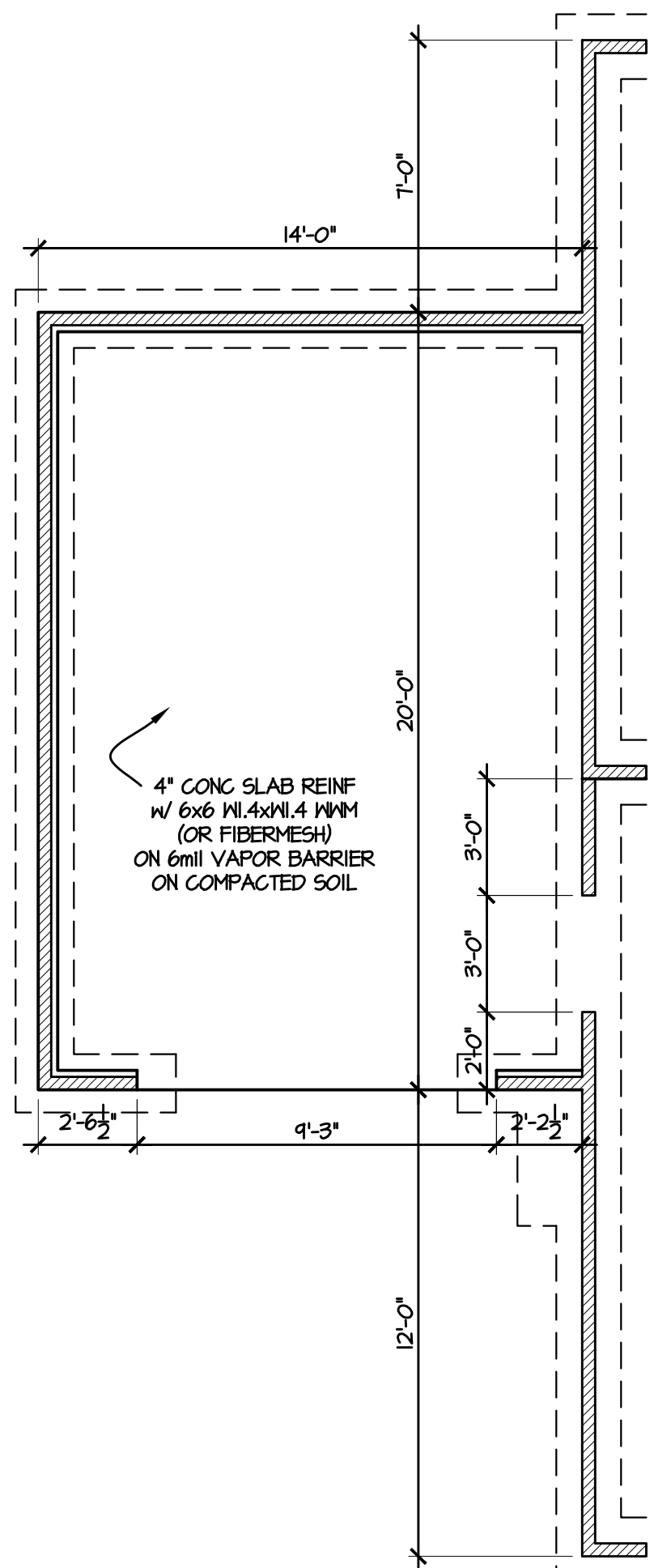
SHEET NO.
5

- FOUNDATION PLAN NOTES:**
1. DOUBLE JOISTS UNDER ALL PARTITIONS
 2. SILL TO BE P.T. WOOD 2x6
 3. MAINTAIN MIN 12" BELOW GIRDERS
 4. 18" BELOW JOISTS TO GRADE OR AS REQUIRED FOR MECHANICAL EQUIPMENT
 5. PROVIDE VAPOR BARRIER AT CRAWL SPACE
 6. FOUNDATION VENTS TO BE 8"HT.x16"WD. W/ 50 SQ. IN. MIN. FREE VENT AREA
 7. CRAWL SPACE ACCESS TO BE 22"x36" MIN CLEAR OPENING (FIELD LOCATE)
 8. GIRDERS TO BE FLUSH FRAMED (SIZE AS NOTED ON PLAN)
 9. ANCHOR BOLTS @ 6'-0" O.C. AND 1'-0" FROM EACH CORNER (EMBED 8" MIN. IN SOLID GROUT)
 10. GC TO REVIEW TRUSS SHOP DRAWINGS & NOTIFY DESIGNER IF REQUIRED POINT LOAD PIERS OR BEARING WALLS ARE ADDED TO FOUNDATION PLAN
 10. FRAMING SPANS BASED ON #2 5YF

VENTILATION NOTES:

CRAWL SPACE AREA: 845 S.F.
 1500 S.F. PER 1 S.F. VENTS = 0.6 S.F.
 REQUIRED VENTS W/ V.B. + ONE VENT WITHIN 3' OF EA. CORNER = 3 VENTS

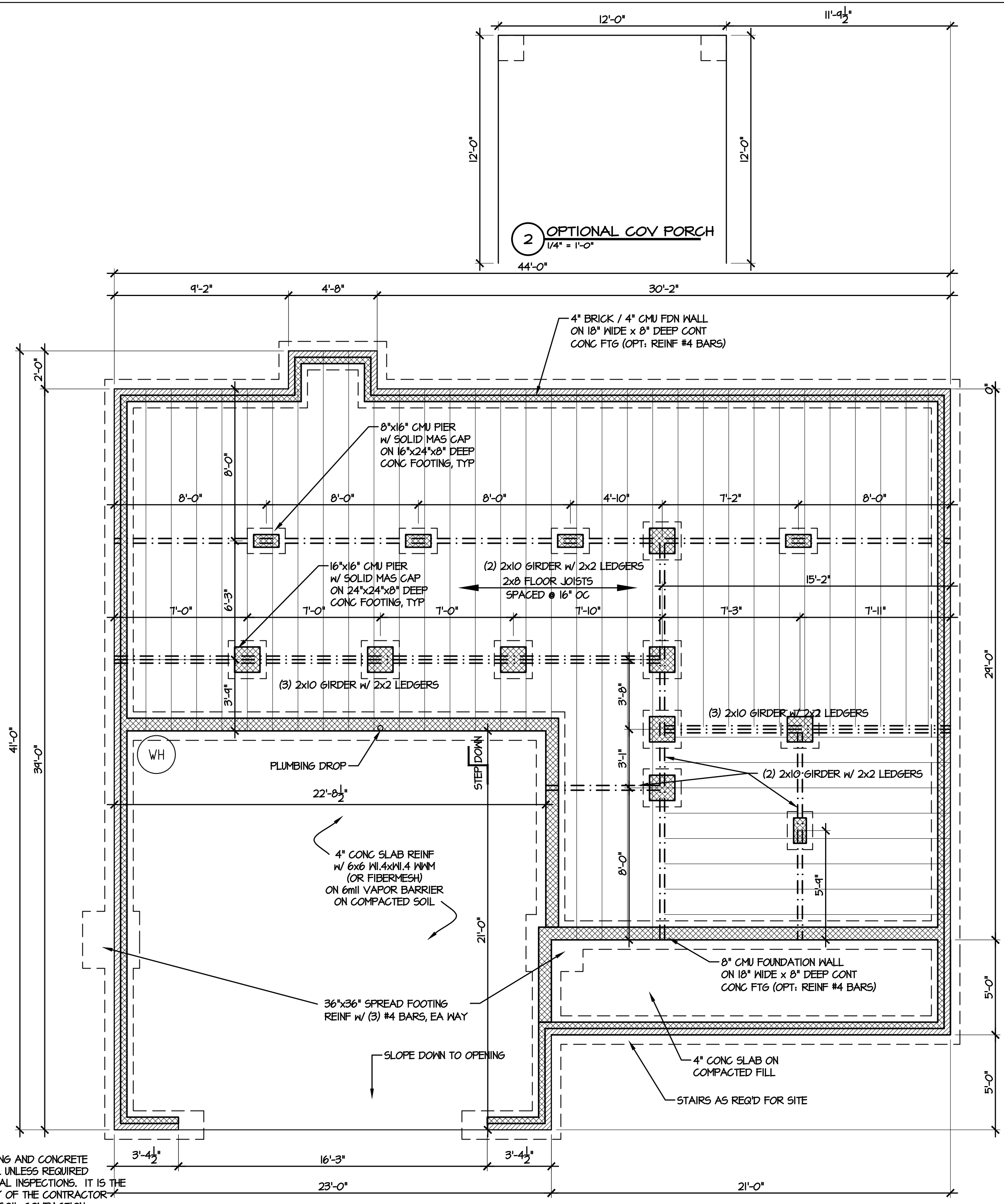
2 OPTIONAL COV PORCH
 1/4" = 1'-0"



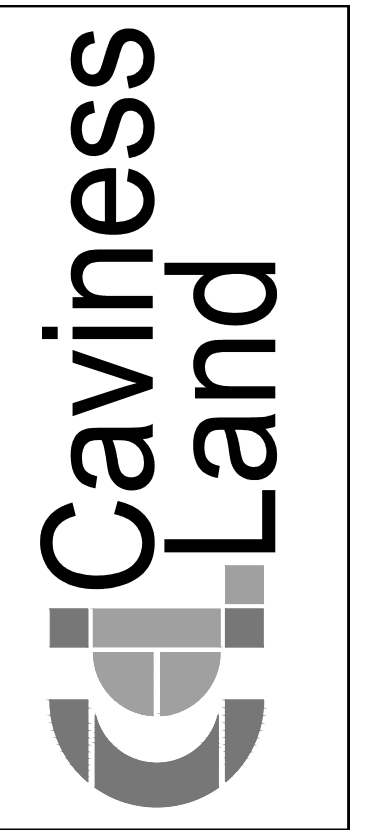
3 THIRD CAR GARAGE OPTION
 1/4" = 1'-0"

ALL REINFORCING AND CONCRETE MESH OPTIONAL UNLESS REQUIRED BY CODES/LOCAL INSPECTIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE SOIL COMPACTION SUITABILITY.

2 OPTIONAL COV PORCH
 1/4" = 1'-0"



1 CRAWL SPACE PLAN
 1/4" = 1'-0"



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 Fax: 910-339-6333

CL 2302
FOUNDATION PLAN

SCALE:
 1/4" = 1'-0"

DATE:
 APRIL 2020

PLAN:
 CL 2302

LOT NO:

SHEET NO:

General Notes:

- 1.) "READ" Boise Installation Guide before installation of products.
- 2.) All, I-Joist, LVL beams, and Rim Board must be field cut to length.
- 3.) Contractor must verify and approve the material list.
- 4.) I-Joist may be moved 3" out of its own o.c. spacing, up to 19.2" o.c., to allow for plumbing drops.
- 5.) This layout, is a placement plan and, was designed in accordance with the original design of the structure (unless otherwise noted). See original plans for additional structural notes.
- 6.) Ceramic tile floors should be supported per APA standards. Additional joists may be required.
- 7.) HVAC & PLUMBER, "Review" Boise Installation Guide (Joist Hole Location & Sizing) Chart "BEFORE" cutting the I-joist product.
- 8.) "Blocking", are Random Length I-joist, Labeled as such.

We Recommend Locating Plumbing Drops & Moving Joist Accordingly Before Installation

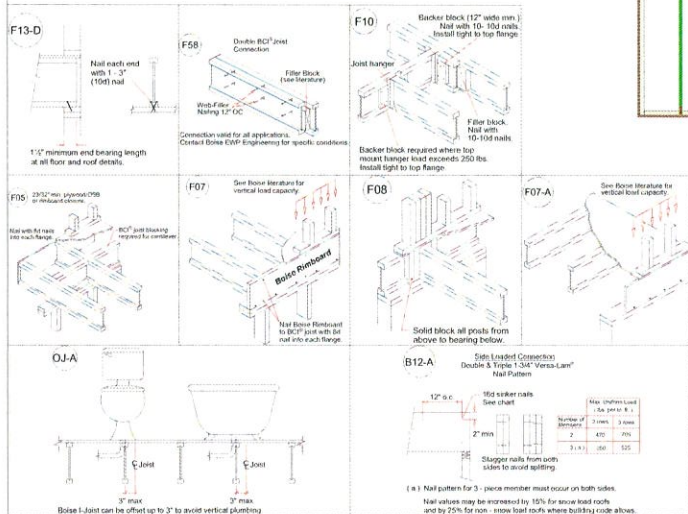
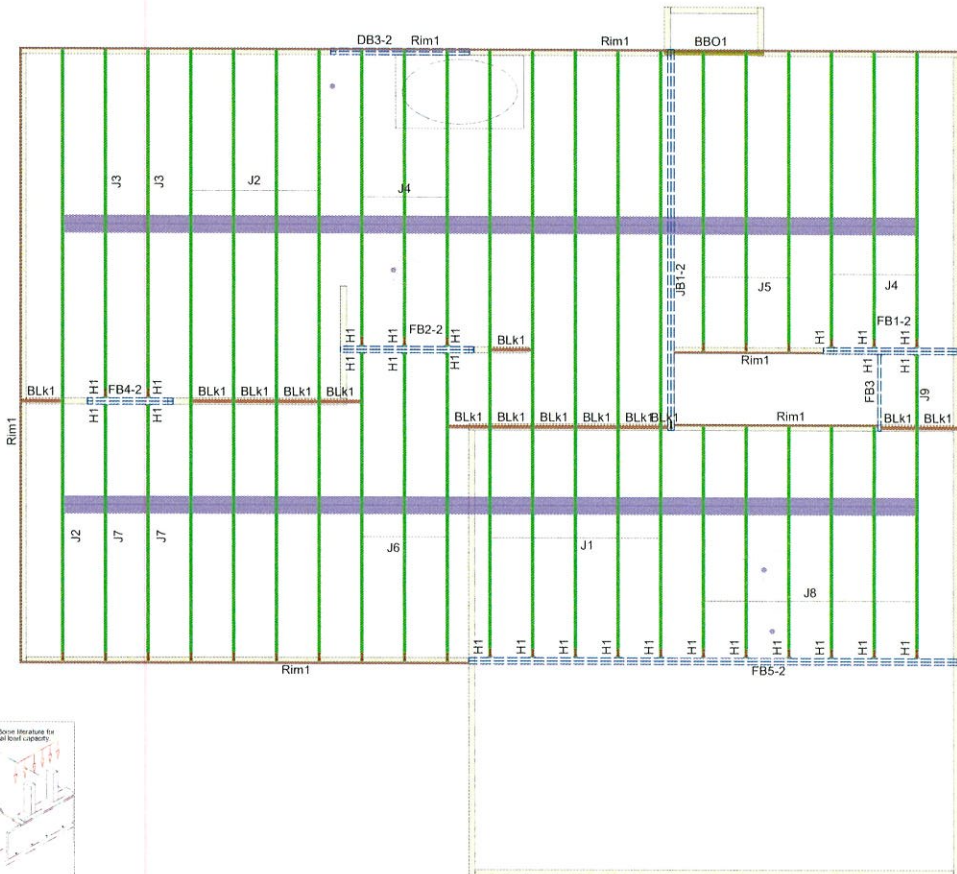
DN01 DO NOT cut, notch or drill flanges



Revisions: BY:

Products				
PlotID	Length	Product	Plies	Net Qty
J1	29' 0"	14" BCII@ 4500s-1.8	1	5
J2	29' 0"	14" BCII@ 4500s-1.8	1	5
J3	17' 0"	14" BCII@ 4500s-1.8	1	2
J4	15' 0"	14" BCII@ 4500s-1.8	1	6
J5	15' 0"	14" BCII@ 4500s-1.8	1	3
J6	15' 0"	14" BCII@ 4500s-1.8	1	3
J7	13' 0"	14" BCII@ 4500s-1.8	1	2
J8	12' 0"	14" BCII@ 4500s-1.8	1	6
J9	4' 0"	14" BCII@ 4500s-1.8	1	1
JB1-2	18' 0"	14" BCII@ 4500s-1.8	2	2
DB3-2	7' 0"	1-3/4" x 9-1/4" VERSA-LAM@ 2.0 3100 SP	2	2
FB1-2	8' 0"	1-3/4" x 14" VERSA-LAM@ 2.0 3100 SP	2	2
FB2-2	8' 0"	1-3/4" x 14" VERSA-LAM@ 2.0 3100 SP	2	2
FB3	4' 0"	1-3/4" x 14" VERSA-LAM@ 2.0 3100 SP	1	1
FB4-2	4' 0"	1-3/4" x 14" VERSA-LAM@ 2.0 3100 SP	2	2
FB5-2	23' 0"	1-3/4" x 24" VERSA-LAM@ 2.0 3100 SP	2	2
Rim1	12' 0"	1" x 14" BC RIM BOARD OSB	1	12
BLk1	26' 0"	14" BCII@ 4500s-1.8	1	1

Connector Summary			
PlotID	Qty	Manuf	Product
H1	1		IUS 1.81/14
H1	25	Simpson	IUS 1.81/14



Note: Refer to current Boise Cascade Installation Guide for details not shown.

I-Joist Plot ID # & Length on Top of Flange LAYOUT

2ND FLOOR LAYOUT



84 LUMBER
Build on what we know.



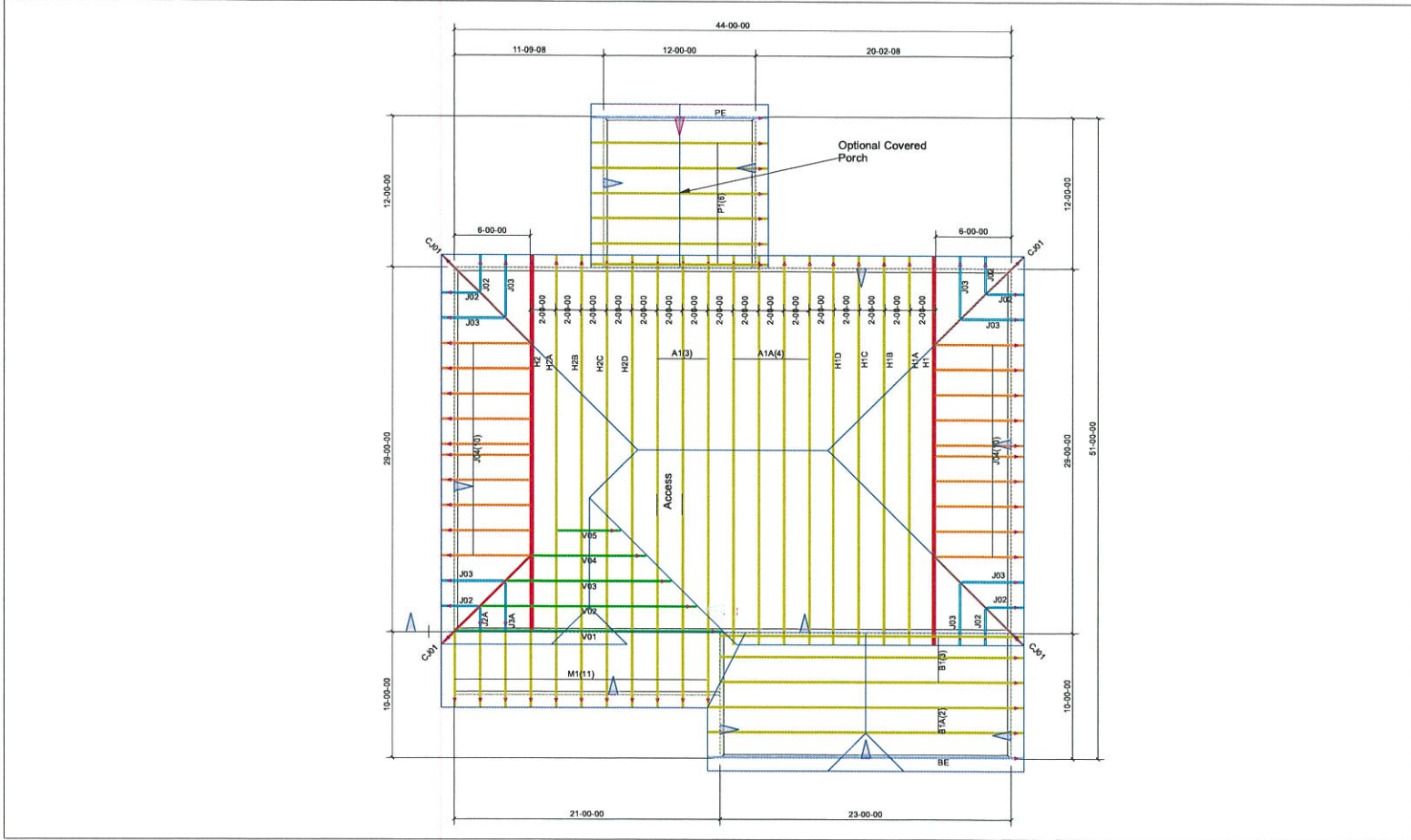
Caviness Land Development
CL - 2302 GOR

Scale: 1/4" = 1'-0"
Date: 6-8-17
By: J. Baker
DWG: 12575
Sheet: 1 of 1

200 Emmett Drive, Dunn, N.C. 28334, (910) 892 + 8400

**THIS LAYOUT IS INTENDED FOR THE PURPOSE OF TRUSS LOCATION AND PLACEMENT ONLY.
REFER TO THE BUILDING PLANS FOR ACTUAL BUILDING CONSTRUCTION.**

GENERAL NOTES:
DO NOT CUT OR MODIFY TRUSSES.
TRUSSES ARE SPACED 24" ON CENTER UNLESS NOTED OTHERWISE.
REFER TO THE INDIVIDUAL TRUSS DESIGN DRAWINGS FOR THE LOCATION OF LATERAL BRACING AND MULTI-PLY CONNECTION REQUIREMENTS.
PER ANSI TPI 1-2002 THE TRUSS ENGINEER IS RESPONSIBLE FOR TRUSS TO TRUSS CONNECTIONS AND TRUSS PLY TO PLY CONNECTIONS. THIS TRUSS PLACEMENT PLAN RECOMMENDS TRUSS TO BEARING CONNECTIONS AND TRUSS TO BEAM CONNECTIONS WHICH SHALL BE REVIEWED BY THE BUILDING DESIGNER. IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER TO RESOLVE ALL ROOF FORCES ADEQUATELY TO THE FOUNDATION.



Hardware List:		
A	4	THJA26
B	-	-
C	-	-
D	-	-
-	-	-
-	-	-
-	-	-

ROOF LOADING:
TOP LIVE: 20 PSF
TOP DEAD: 10 PSF
BOTTOM DEAD: 10 PSF
WIND SPEED: 115 MPH

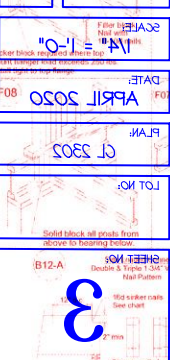
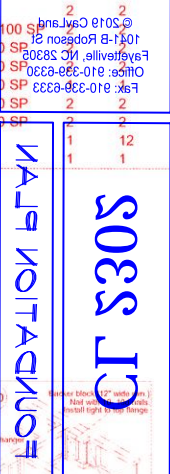
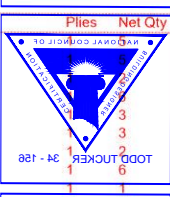
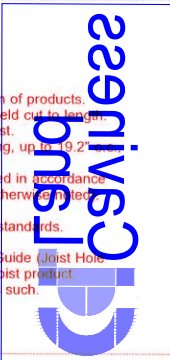


DEDICATED TO QUALITY AND EXCELLENCE
200 EMMETT ROAD
DUNN, NORTH CAROLINA 28334
PHONE: 910-892-8400

PROJECT:	-		
CUSTOMER:	Caviness Land		
MODEL:	CL2302 No CP GOR		
SCALE:	NOT TO SCALE	P.O. NUMBER: XXXXX	ORDER: 12348
DRAWN BY: RE	PRINT DATE: / /	REV: 05/24/17 14:11:18	SHIP DATE: 06/08/17

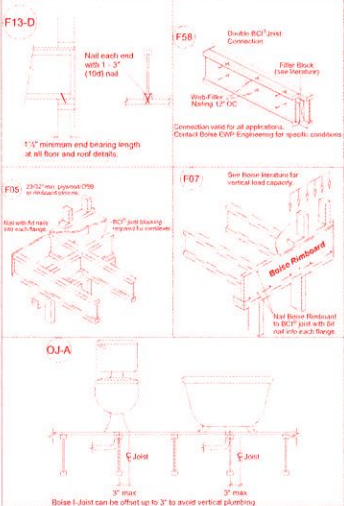
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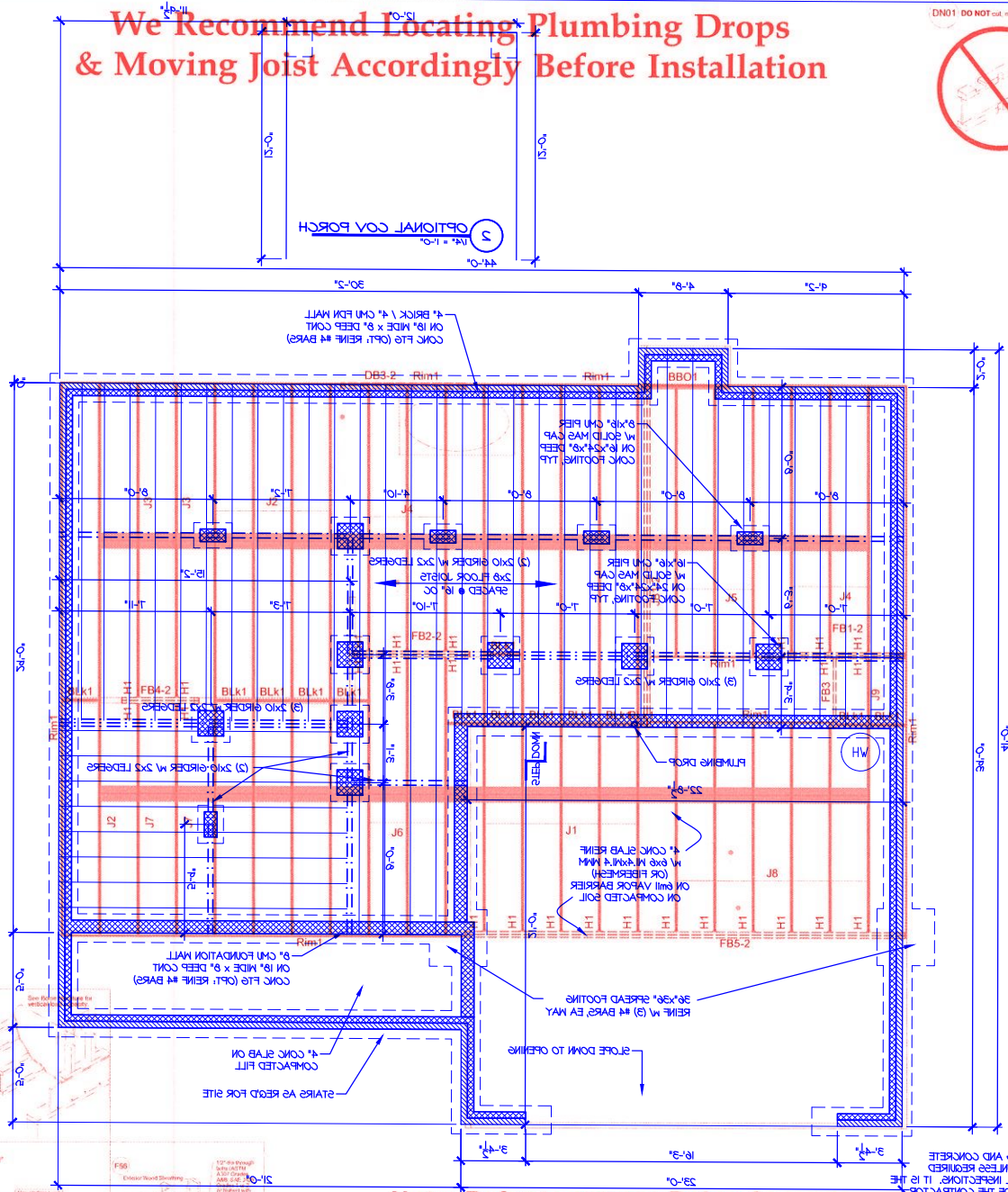


PlotID	Length	Product
J1	29' 0"	14" BCI@ 4500s-1.8
J2	29' 0"	14" BCI@ 4500s-1.8
J3	17' 0"	14" BCI@ 4500s-1.8
J4	15' 0"	14" BCI@ 4500s-1.8
J5	15' 0"	14" BCI@ 4500s-1.8
J6	15' 0"	14" BCI@ 4500s-1.8
J7	13' 0"	14" BCI@ 4500s-1.8
J8	12' 0"	14" BCI@ 4500s-1.8
J9	4' 0"	14" BCI@ 4500s-1.8
JB1-2	18' 0"	14" BCI@ 4500s-1.8
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FB5-2	23' 0"	1-3/4" x 24" VERSA-LAM@ 2.0 3100 SP
Rim1	12' 0"	1" x 14" BC RIM BOARD OSB
BLK1	26' 0"	14" BCI@ 4500s-1.8

Connector Summary			
PlotID	Qty	Manuf	Product
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H1	25	Simpson	IUS 1.81/14



We Recommend Locating Plumbing Drops & Moving Joist Accordingly Before Installation

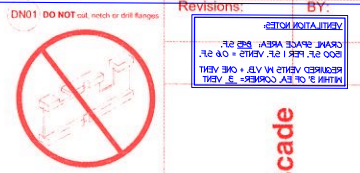


Note: Refer to current Boise Cascade Installation Guide for details not shown.

I-Joist Plot ID # & Length on Top of Flange LAYOUT

2ND FLOOR

LAYOUT



Revisions: BY: _____

Boise Cascade



14 LUMBER

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Emmett Drive, Dunn, N.C. 28334 (919) 892 + 8400

Caviness Lumber Development

CL - 2302 GOR

Scale: 1/4" = 1'-0"

Date: 10-8-8-17

ALL REINFORCING AND CONCRETE MESH OPTIONAL INTERES REQUIRED BY CODE/LOCAL INSPECTOR. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE SOIL COMPACTIBILITY.

DWG: 12575

Sheet: 1 of 1

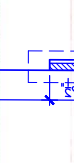
THIRD CAR GARAGE OPTION: RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE SOIL COMPACTIBILITY.



OPTIONAL COV PORCH



OPTIONAL COV PORCH



OPTIONAL COV PORCH

