

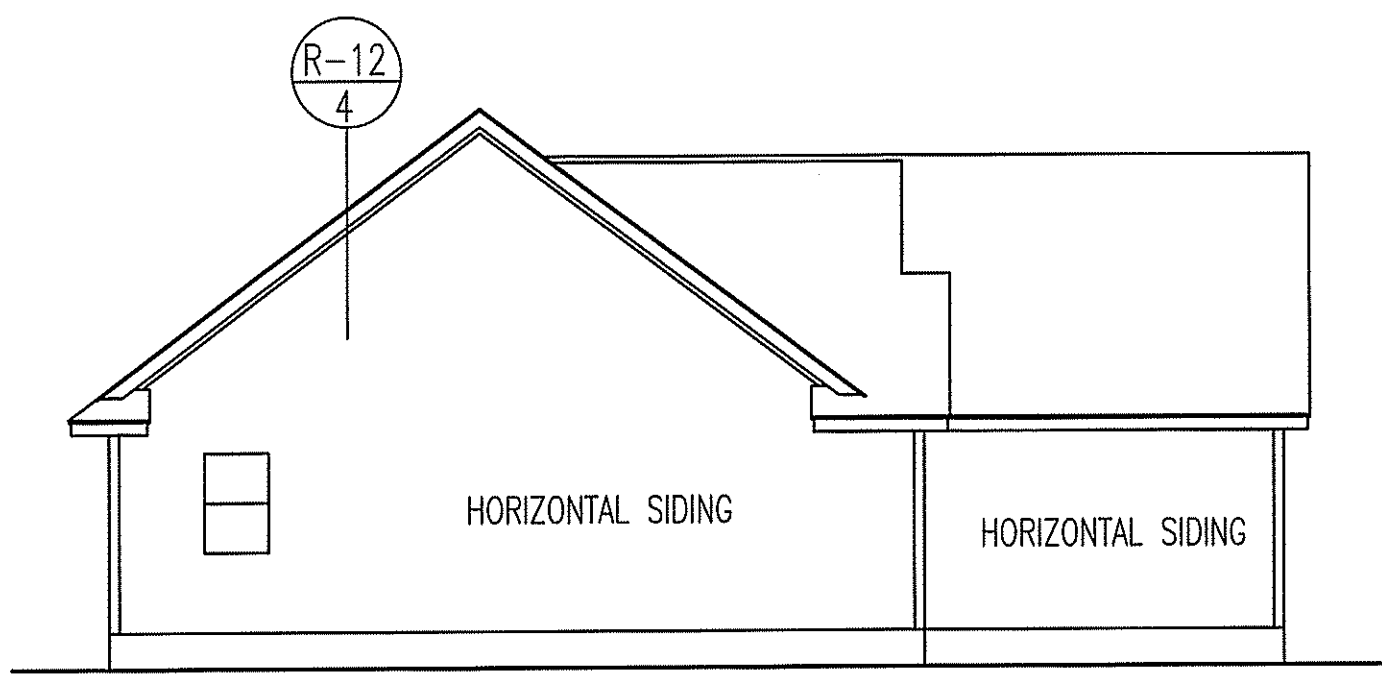
NOTICE TO CONTRACTOR  
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED  
Limited building only review  
Permit holder responsible for full compliance with the code

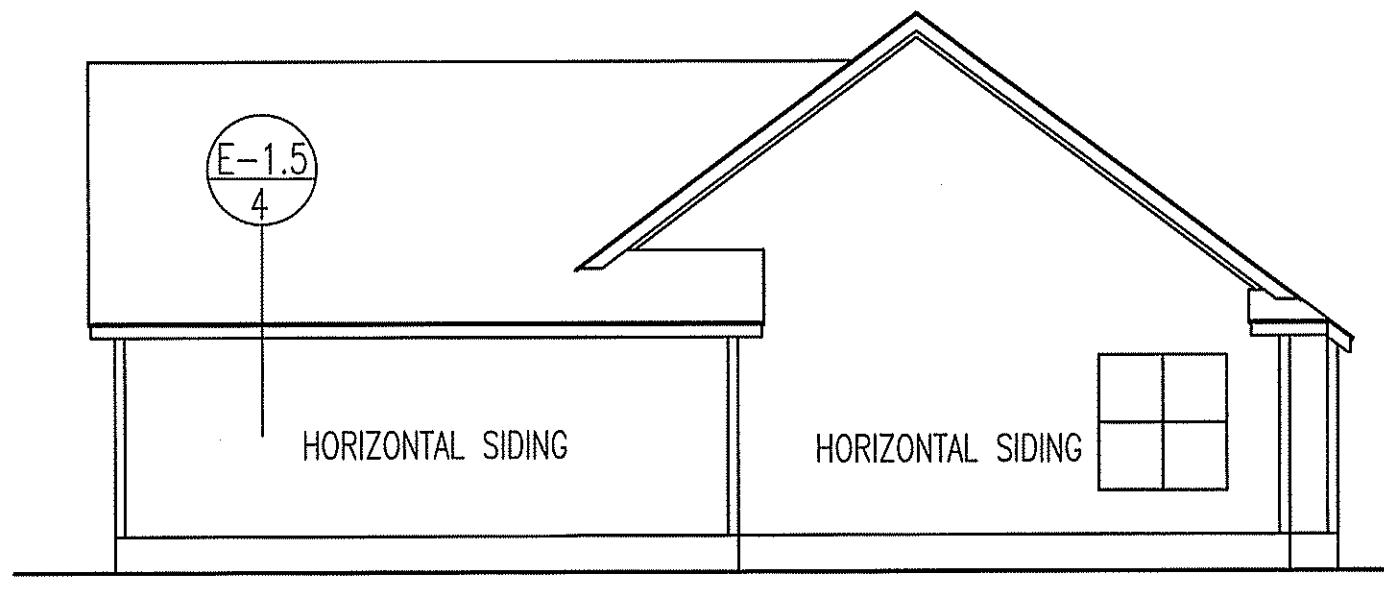
07/15/2020



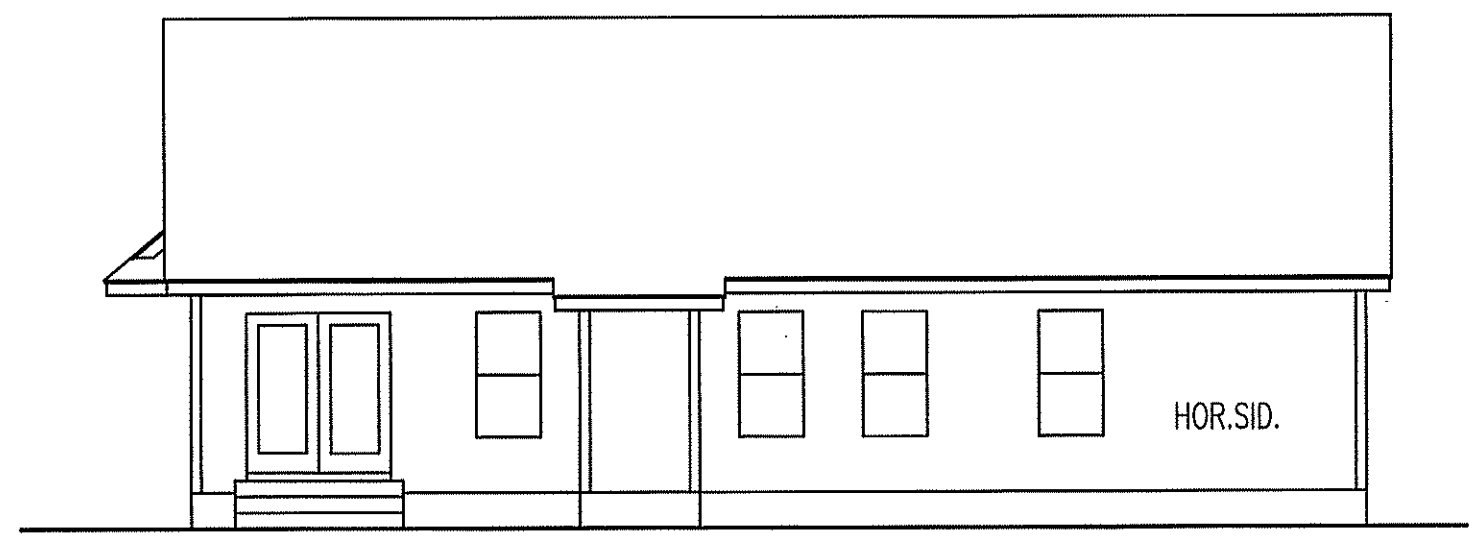

FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION



RIGHT ELEVATION



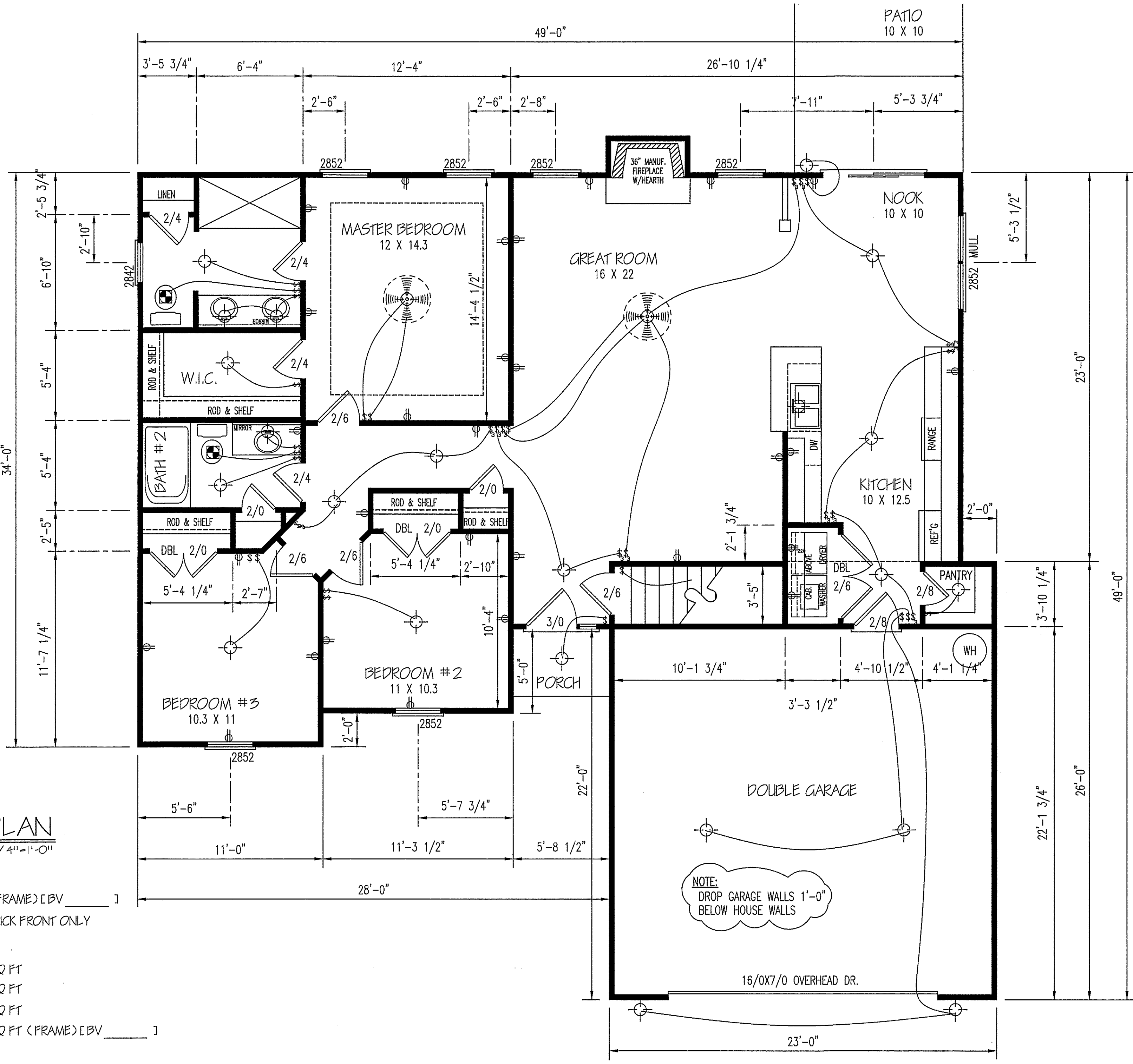
REAR ELEVATION  
SCALE: 1/8" = 1'-0"

**T M DESIGNS**  
RESIDENTIAL PLANS BY TINA MCFADDEN  
(910) 354-4736 TMDESIGNS2016@GMAIL.COM

EXCLUSIVE RESIDENCE DESIGN FOR:  
**WELTONS**  
NAME: Stanton - Rev. LOT:

© 2017. COPYRIGHT ALL RIGHTS RESERVED  
T M DESIGNS WILL NOT BE LIABLE FOR ANY ERRORS NOT BROUGHT TO THEIR ATTENTION PRIOR TO THE START OF CONSTRUCTION. WHILE EVERY EFFORT WAS MADE IN THE PREPARATION OF THESE DRAWINGS AND DIMENSIONS TO AVOID ERRORS THE OWNER AND/OR BUILDER SHALL VERIFY ALL DIMENSIONS, DETAILS, LOCAL AND STATE CODES.  
I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2012 INTERNATIONAL BUILDING CODES  
THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT, NOT TO BE REUSED

PLAN NUMBER RG14-A01		
1	GARAGE	F R
DATE: 5/19/17		



**FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**HEATED AREA**  
 1433 SQ FT (FRAME) [BV \_\_\_\_\_ ]  
 \_\_\_\_\_ SQ FT BRICK FRONT ONLY

**OTHER AREAS**  
 GARAGE 506 SQ FT  
 P.PORCH 23 SQ FT  
 R.PATIO 100 SQ FT  
 BONUS RM. 339 SQ FT (FRAME) [BV \_\_\_\_\_ ]

**TM DESIGNS**  
 RESIDENTIAL PLANS BY TINA MCFADDEN  
 (910) 354-4736 TMDISIGNS2016@GMAIL.COM

EXCLUSIVE RESIDENCE DESIGN FOR:  
**WELTONS**

NAME: Stanton - Rev. LOT: \_\_\_\_\_

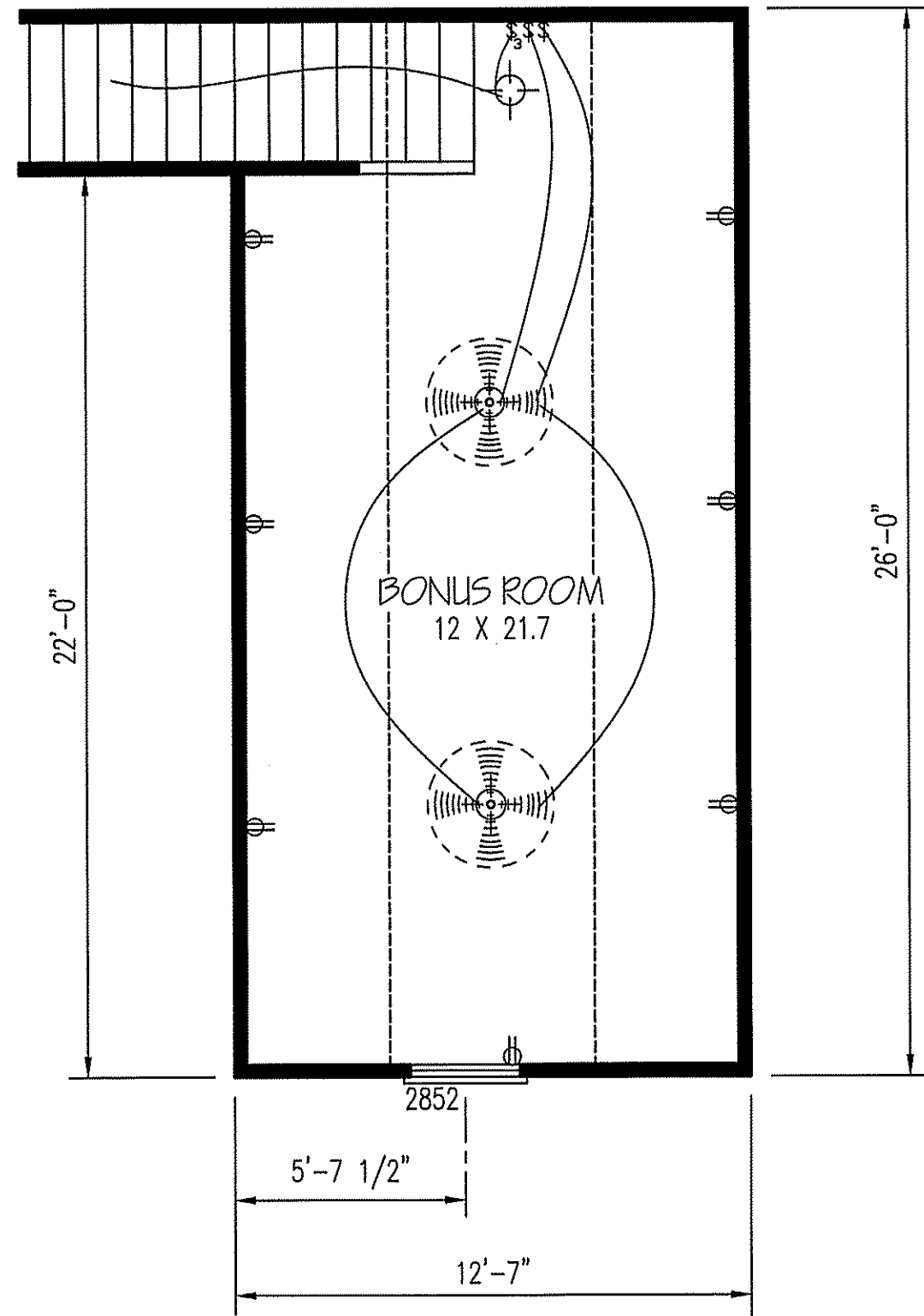
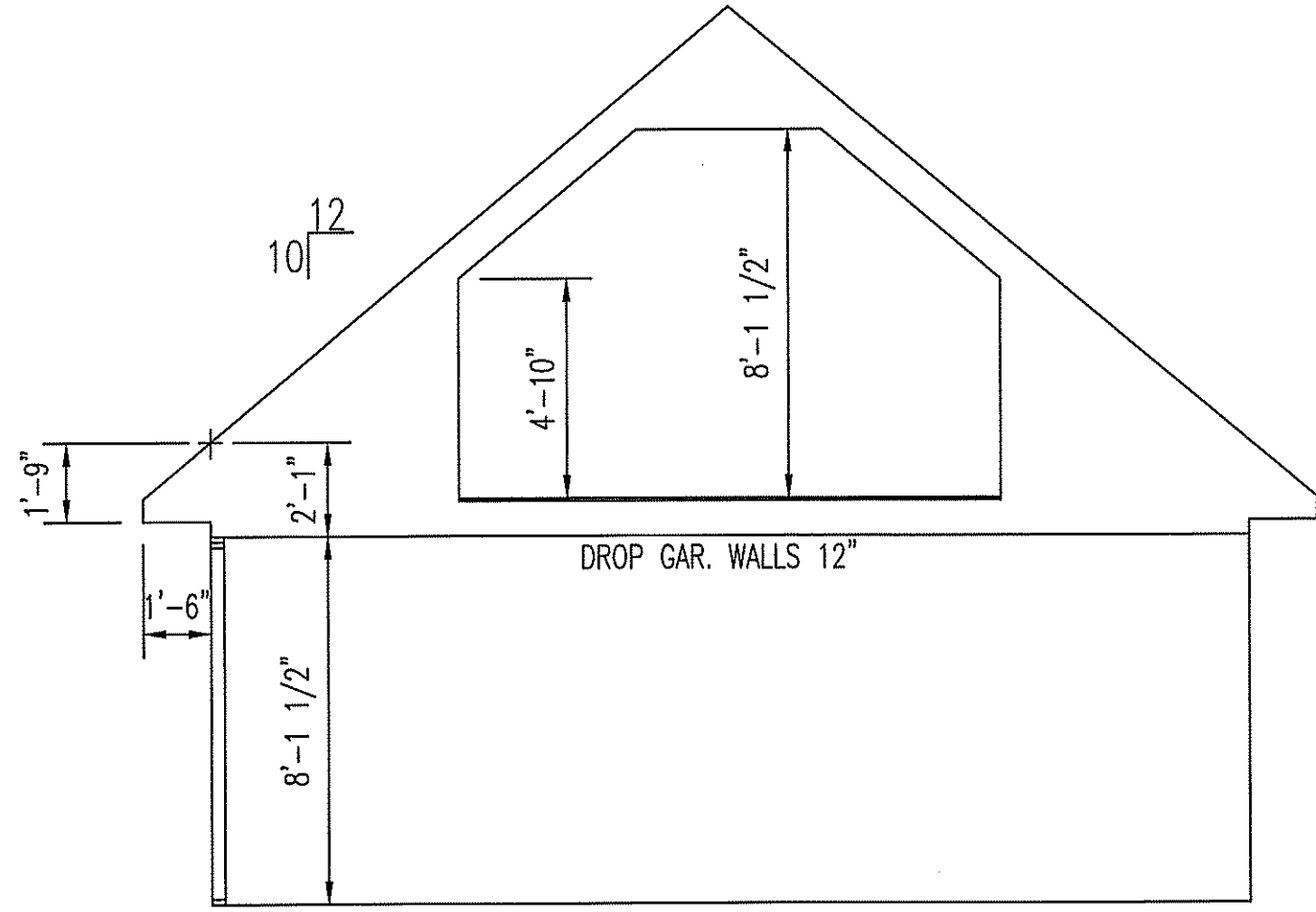
© 2017. COPYRIGHT ALL RIGHTS RESERVED  
 TM DESIGNS WILL NOT BE LIABLE FOR ANY ERRORS NOT BROUGHT TO THEIR ATTENTION PRIOR TO THE START OF CONSTRUCTION. WHILE EVERY EFFORT WAS MADE IN THE PREPARATION OF THESE DRAWINGS AND DIMENSIONS TO AVOID ERRORS THE OWNER AND/OR BUILDER SHALL VERIFY ALL DIMENSIONS, DETAILS, LOCAL AND STATE CODES.

I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2012 INTERNATIONAL BUILDING CODES

THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT, NOT TO BE REUSED

PLAN NUMBER  
 RG14-A01

2 GARAGE F R  
 DATE: 5/19/17



**TM DESIGNS**  
 RESIDENTIAL PLANS BY TINA MCFADDEN  
 (910) 354-4736 TMDESIGNS2016@GMAIL.COM

EXCLUSIVE RESIDENCE DESIGN FOR:  
**WELTONS**

NAME: Stanton - Rev. LOT:

© 2017. COPYRIGHT ALL RIGHTS RESERVED

TM DESIGNS WILL NOT BE LIABLE FOR ANY ERRORS NOT BROUGHT TO THEIR ATTENTION PRIOR TO THE START OF CONSTRUCTION. WHILE EVERY EFFORT WAS MADE IN THE PREPARATION OF THESE DRAWINGS AND DIMENSIONS TO AVOID ERRORS THE OWNER AND/OR BUILDER SHALL VERIFY ALL DIMENSIONS, DETAILS, LOCAL AND STATE CODES.

I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2012 INTERNATIONAL BUILDING CODES

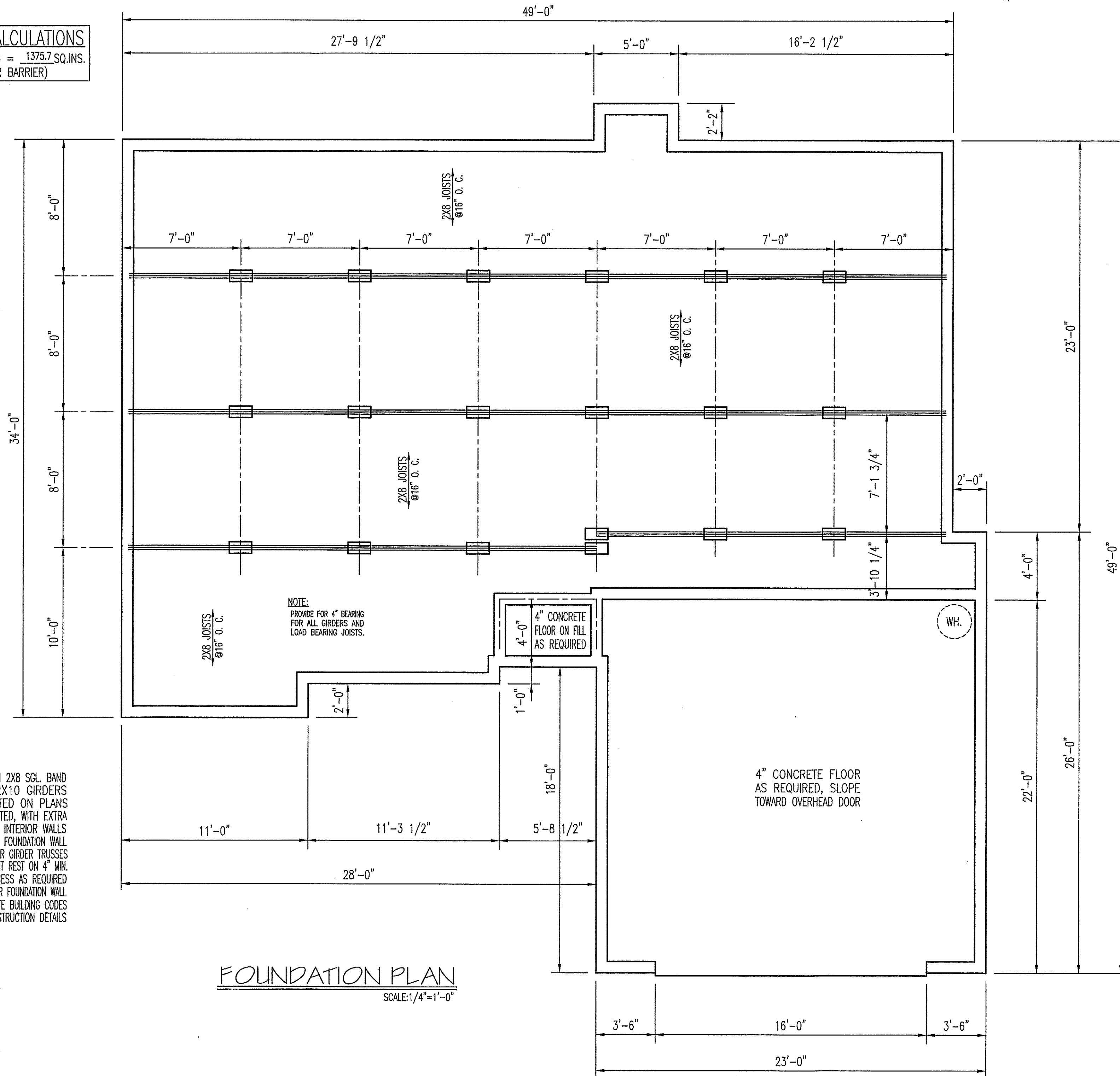
THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT. NOT TO BE REUSED

PLAN NUMBER  
 RG14-A01

**2** GARAGE F R  
 DATE: 5/19/17

**FOUNDATION VENTILATION CALCULATIONS**

1433 SQ.FT. AREA (CRAWL SPACE) X .96 = 1375.7 SQ.INS.  
(MAY BE REDUCE BY 50% WITH VAPOR BARRIER)



**NOTES:**

USE 2X4 TREATED MUD SILL WITH 2X8 SGL. BAND  
USE DOUBLE OR TRIPLE 2X10 GIRDERS  
W/2X2 LEDGERS AS NOTED ON PLANS  
JOISTS ARE 2X8 SPACED AS NOTED, WITH EXTRA  
JOISTS UNDER ALL PARALLEL INTERIOR WALLS  
PROVIDE CONTINUOUS BEARING FROM FOUNDATION WALL  
OR PIER SUPPORTS TO BEAMS OR GIRDER TRUSSES  
GIRDERS AND BEARING JOIST MUST REST ON 4" MIN.  
PROVIDE FOUNDATION VENTS & ACCESS AS REQUIRED  
HOLD ALL PIERS 1/2" BELOW EXTERIOR FOUNDATION WALL  
TREAT SOIL AS PER LOCAL AND STATE BUILDING CODES  
SEE APPROPRIATE SHEET FOR CONSTRUCTION DETAILS

**FOUNDATION PLAN**

SCALE: 1/4"=1'-0"

**TM DESIGNS**  
RESIDENTIAL PLANS BY TINA MCFADDEN  
(910) 354-4736 TMDESIGNS2016@GMAIL.COM

EXCLUSIVE RESIDENCE DESIGN FOR:  
**WELLONS**

LOT:

NAME: Stanton - Rev.

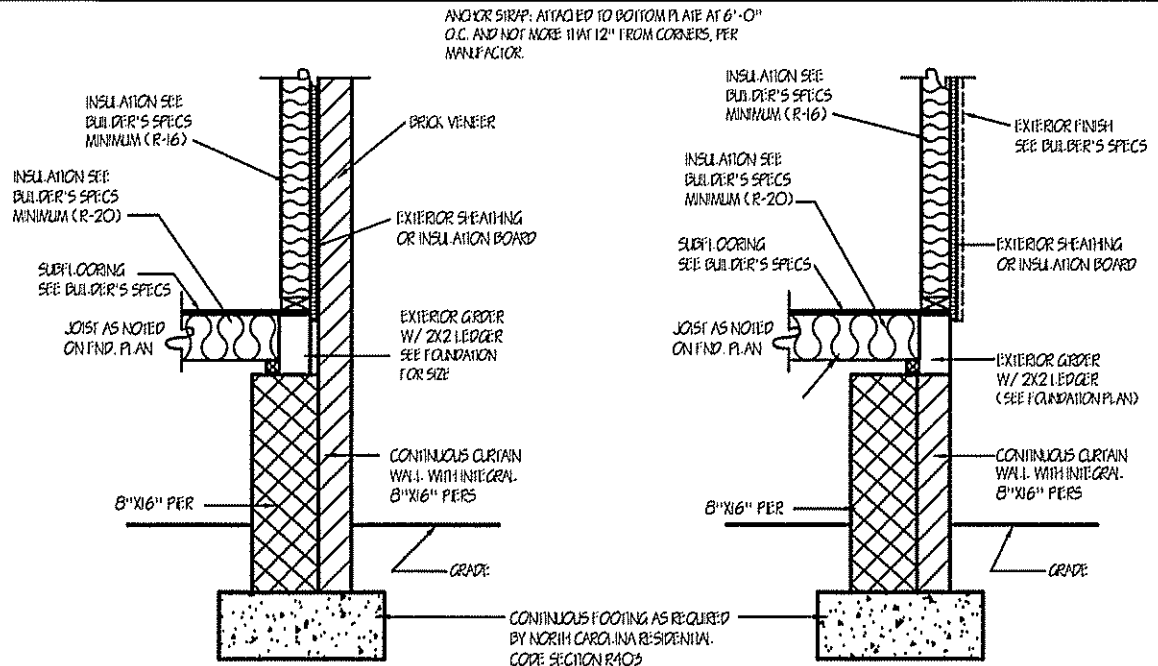
© 2017. COPYRIGHT ALL RIGHTS RESERVED  
TM DESIGNS WILL NOT BE LIABLE FOR  
ANY ERRORS NOT BROUGHT TO THEIR  
ATTENTION PRIOR TO THE START OF  
CONSTRUCTION. WHILE EVERY EFFORT  
WAS MADE IN THE PREPARATION OF  
THESE DRAWINGS AND DIMENSIONS TO  
AVOID ERRORS THE OWNER AND/OR  
BUILDER SHALL VERIFY ALL DIMENSIONS,  
DETAILS, LOCAL AND STATE CODES.

I HEREBY CERTIFY THAT THIS DRAWING  
MEETS LOCAL CODES, 2012  
INTERNATIONAL BUILDING CODES

THIS IS FOR THE CONSTRUCTION  
OF ONE HOUSE ON A SINGLE  
LOT, NOT TO BE REUSED

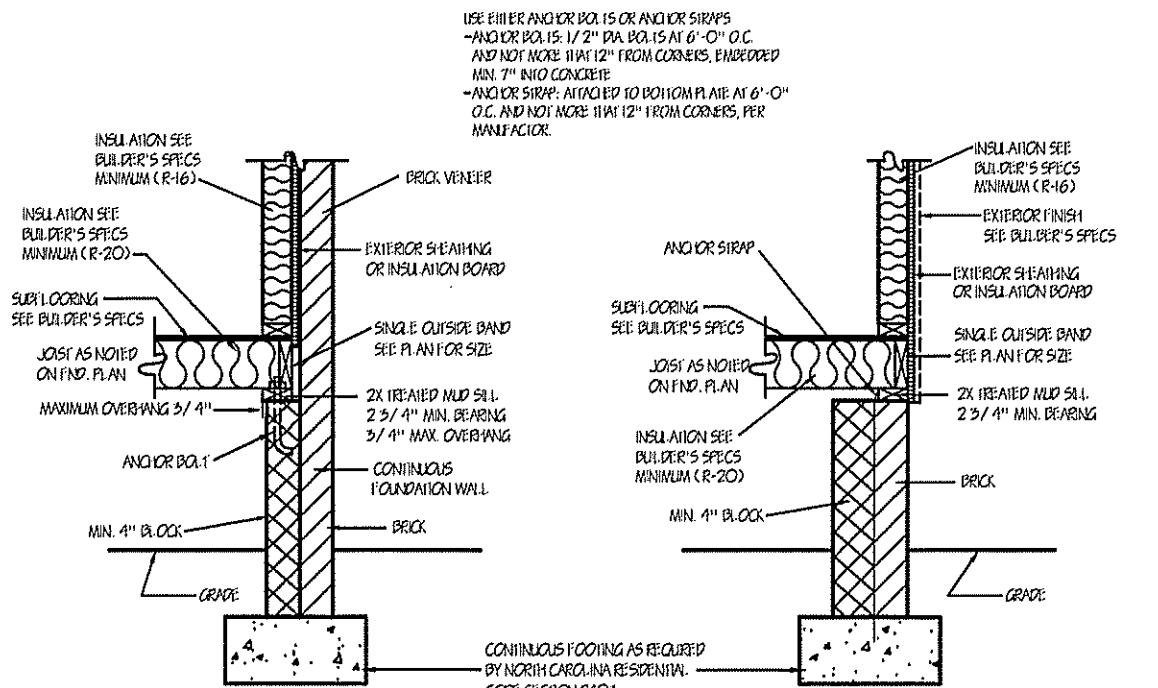
PLAN NUMBER  
RG14-A01

**3** GARAGE F R  
DATE: 5/19/17



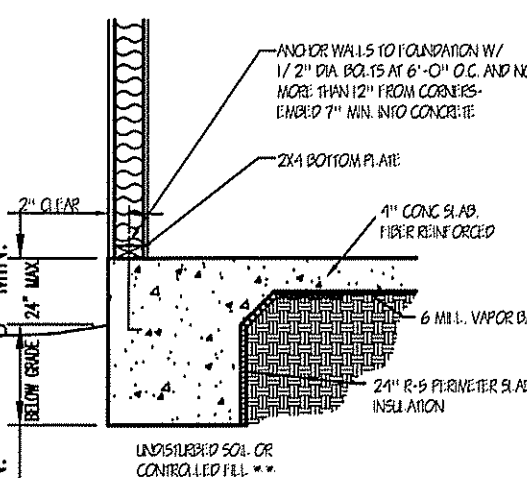
TYPICAL PIER & CURTAIN WALL (FOR EXTERIOR WALL WITH BV)

TYPICAL PIER & CURTAIN WALL (FOR EXTERIOR WALL WITH SIDING)

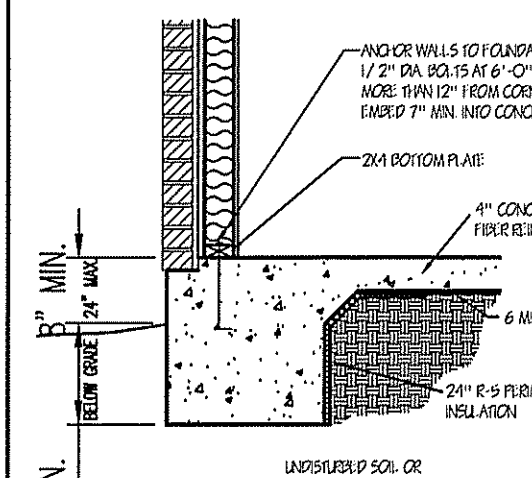


CONTINUOUS SOLID FOUNDATION WALL

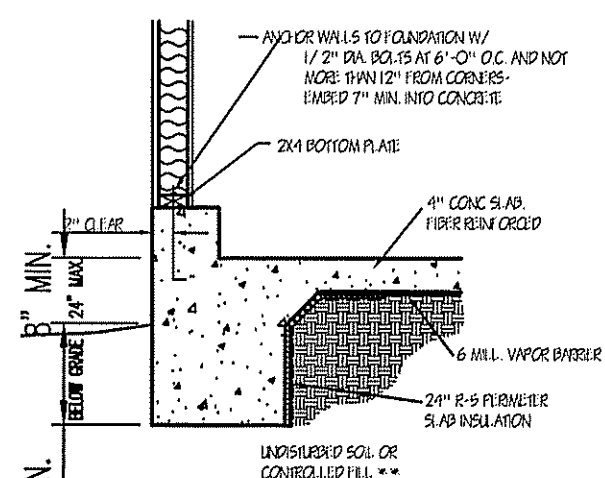
CONTINUOUS SOLID FOUNDATION WALL



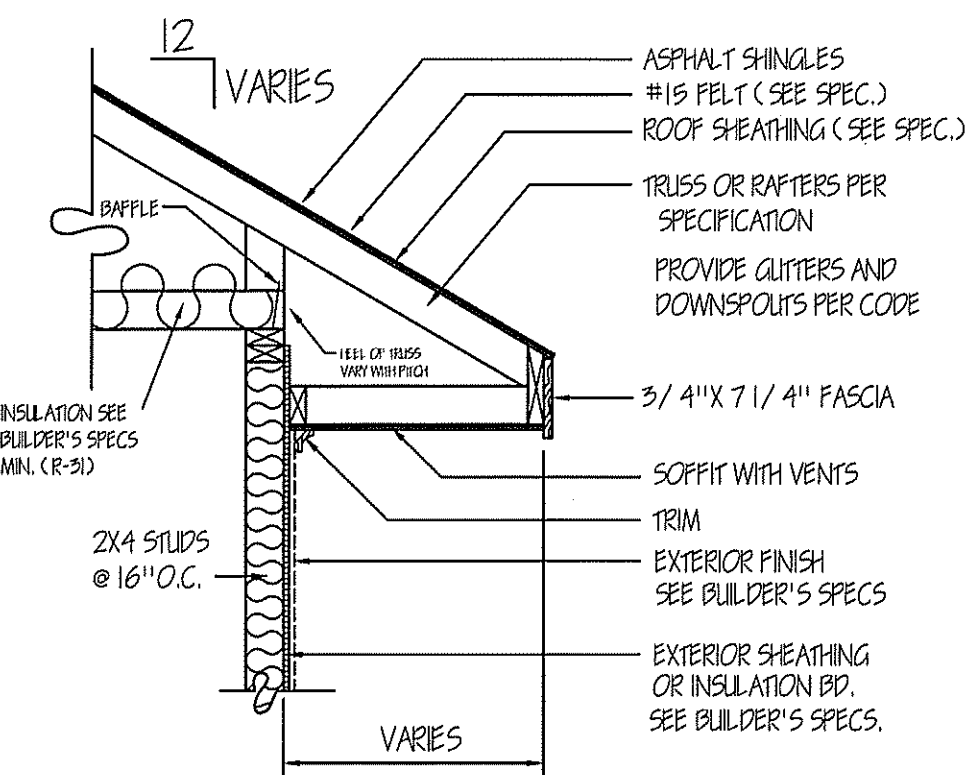
TYPICAL EXTERIOR SECTION (FRAME)



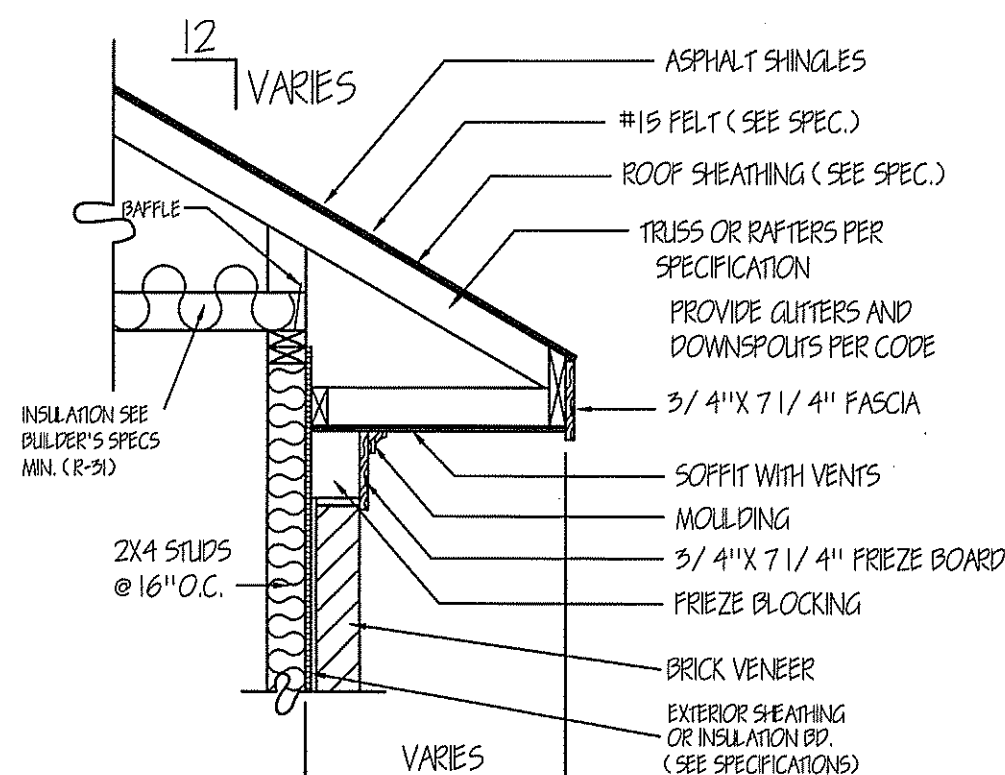
TYPICAL EXTERIOR SECTION (BRICK)



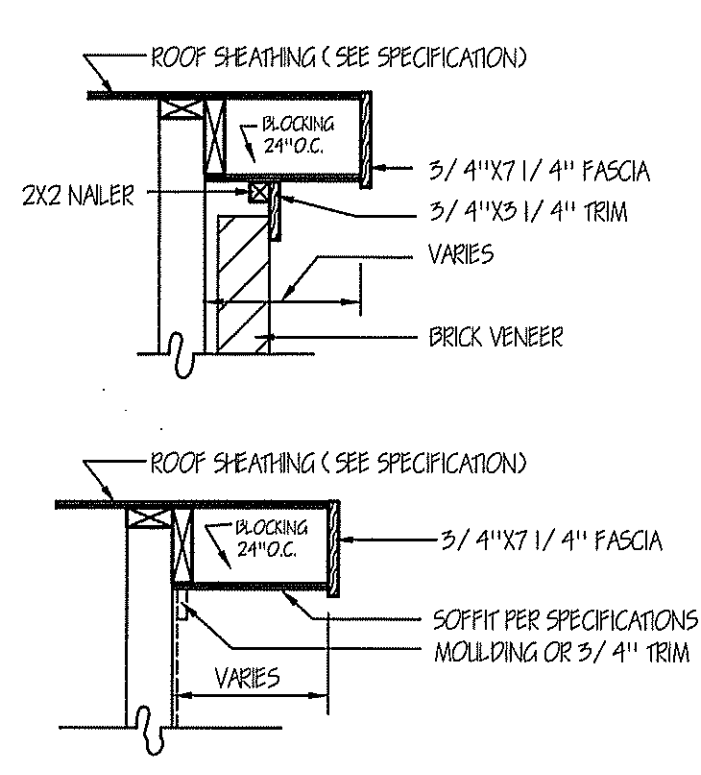
EXTERIOR SECTION AT GARAGE



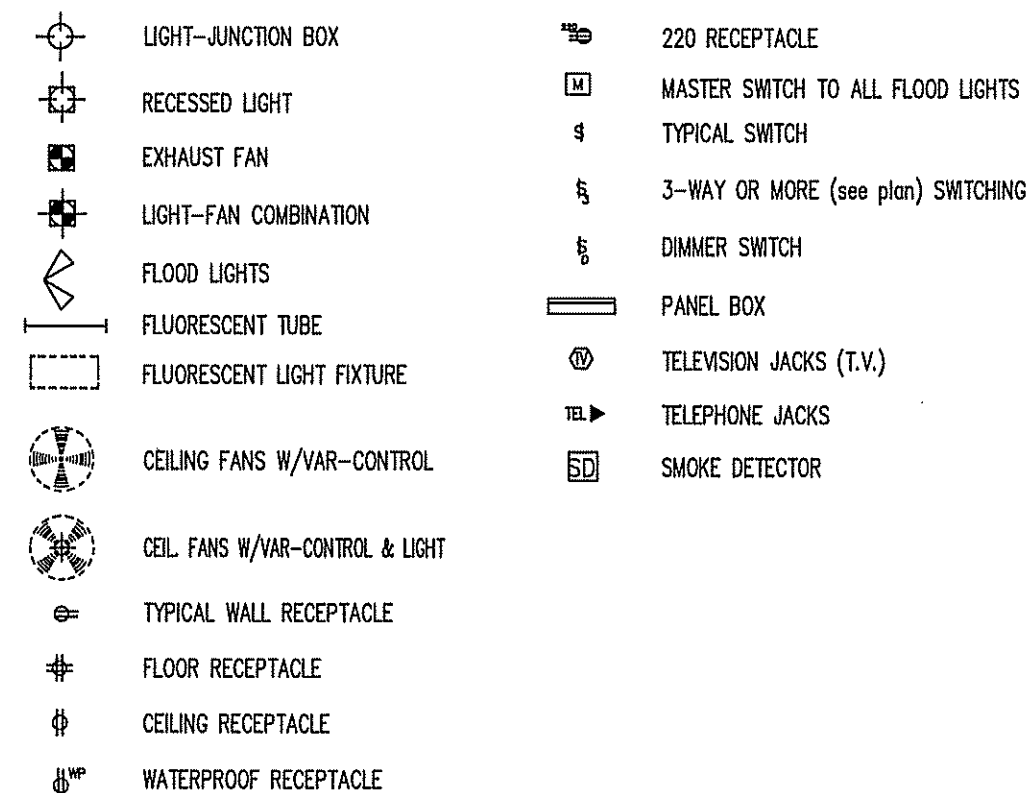
SIDING



BRICK VENEER



RAKE DETAIL FOR GABLE ENDS



ELECTRICAL LEGEND

\*\*\* NOTE: SWITCHED RECEPTACLES ARE HALF HOT AND HALF SWITCHED

PIER AND FOOTING SIZES FOR SUPPORT OF GIRDERS

AREA <sup>2</sup>	ONE STORY		TWO STORY		TWO & ONE HALF STORY	
	PIER <sup>3,4</sup>	FOOTING	PIER <sup>3,4</sup>	FOOTING	PIER <sup>3,4</sup>	FOOTING
50	8" X 16"	16" X 24" X 8"	8" X 16"	16" X 30" X 8"	8" X 16"	16" X 30" X 8"
100	8" X 16"	16" X 24" X 8"	8" X 16"	24" X 24" X 10"	16" X 16"	30" X 30" X 10"
150	8" X 16"	24" X 24" X 8"	16" X 16"	32" X 32" X 10"	16" X 16"	36" X 36" X 10"
200	8" X 16"	28" X 28" X 10"	16" X 16"	36" X 36" X 10"	16" X 16"	47" X 44" X 12"
250	-	-	16" X 16"	40" X 40" X 12"	16" X 24"	48" X 48" X 12"
300	-	-	16" X 16"	44" X 44" X 12"	16" X 24"	54" X 54" X 12"

1. PIER SIZES ARE BASED ON HOLLOW CMU CAPPED WITH 4" OF SOLID MASONRY FOR 1 (ONE) STORY AND 8" OF SOLID MASONRY FOR 2 (TWO) AND 1-1/2 STORY HOUSES. MORTAR SHALL BE TYPE 5.

2. FOOTING SIZES ARE BASED ON 2000 PSI ALLOWABLE SOIL BEARING AND 2500 PSI CONCRETE.

3. CENTER OF PIERS SHALL BEAR IN THE MIDDLE 1/3 OF THE FOOTING, AND GIRDERS SHALL CENTER IN THE MIDDLE 1/3 OF THE PIERS, EXCEPT EXTERIOR GIRDERS. FOOTING SHALL BE FULL THICKNESS OVER THE ENTIRE AREA OF THE FOOTING.

4. PIER SIZES GIVEN ARE MINIMUM. FOR HEIGHT/THICKNESS LIMITATIONS SEE SECTION 606.5

5. AREA AT FIRST LEVEL SUPPORTED BY PIER AND FOOTING (SQ. FT.)

MINIMUM FOOTING THICKNESS IS 6" FOR 1 STORY, 8" FOR 1-1/2, 2, 2-1/2 STORY AND 10" FOR 3 STORY

MINIMUM WIDTH OF CONCRETE, PRECAST OR MASONRY FOOTINGS (INCHES)

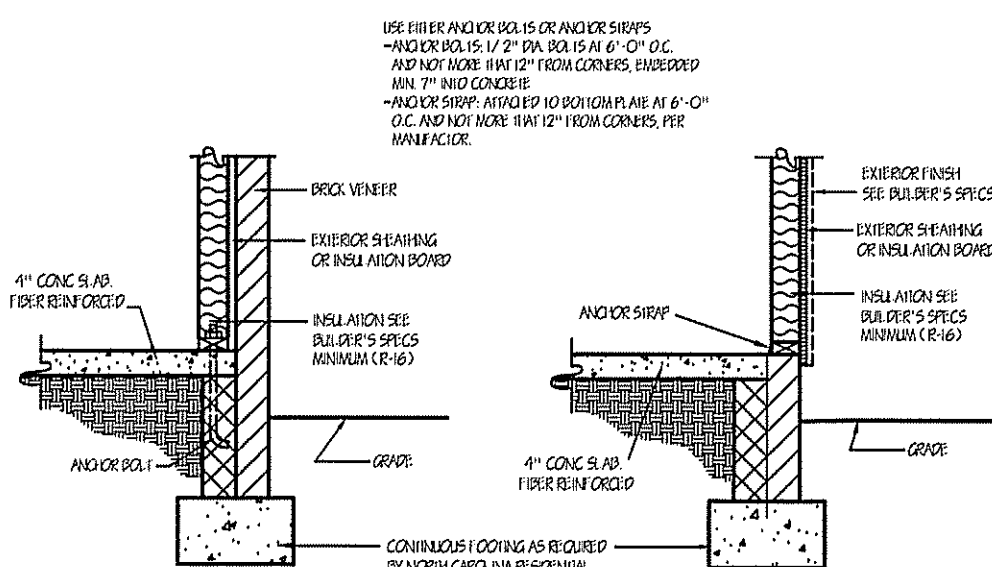
	LOAD BEARING VALUE OF SOIL (psf)			
	1,500	2,000	3,000	4,000
CONVENTIONAL LIGHT-FRAME CONSTRUCTION	12	12	12	12
1 STORY	12	12	12	12
2 STORY	15	15	12	12
3 STORY	23	17	12	12
4-INCH BRICK VENEER OVER LIGHT FRAME OR 8-INCH HOLLOW CONCRETE MASONRY	12	12	12	12
1 STORY	12	12	12	12
2 STORY	15	15	12	12
3 STORY	24	16	12	12
8-INCH SOLID OR FULLY GROUTED MASONRY	16	16	12	12
1 STORY	16	16	12	12
2 STORY	22	21	14	12
3 STORY	49	32	21	16

NOTES:

FOUNDATION DETAILS SHOWN ARE BASED ON ASSUMED SOIL BEARING CAPACITY OF 2500 PSF. LOCAL SITE CONDITIONS MUST BE INVESTIGATED. ALL FOOTINGS TO BE LOCATED BELOW FROST DEPTH.

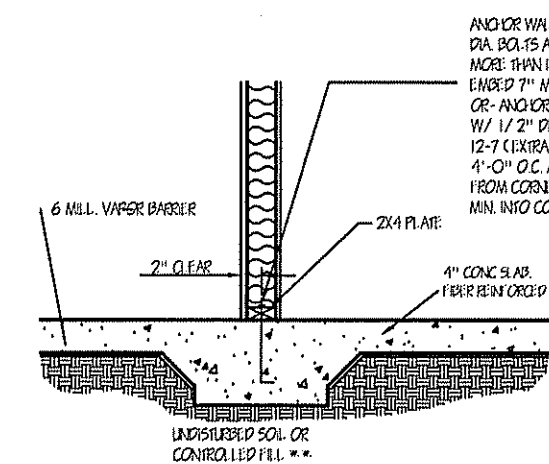
ANCHOR BOLTS

THE WOOD SOLE PLATE AT EXTERIOR WALLS SHALL BE ANCHORED TO THE FOUNDATION WITH ANCHOR BOLTS SPACED A MAXIMUM OF 6 FEET ON CENTER AND NOT MORE THAN 12 INCHES FROM THE CORNER. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE SECTION. BOLTS SHALL BE AT LEAST 1/2 INCH IN DIAMETER AND SHALL EXTEND A MINIMUM OF 7 INCHES INTO MASONRY OR CONCRETE. INTERIOR BEARING WALL SOLE PLATES ON SLAB FOUNDATIONS SHALL BE POSITIVELY ANCHORED WITH APPROVED FASTENERS. A NUT AND WASHER SHALL BE TIGHTENED ON EACH BOLT TO THE PLATE.

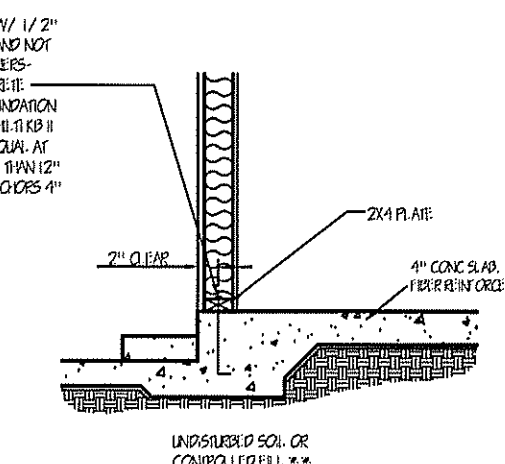


TYPICAL CONCRETE SLAB FLOOR

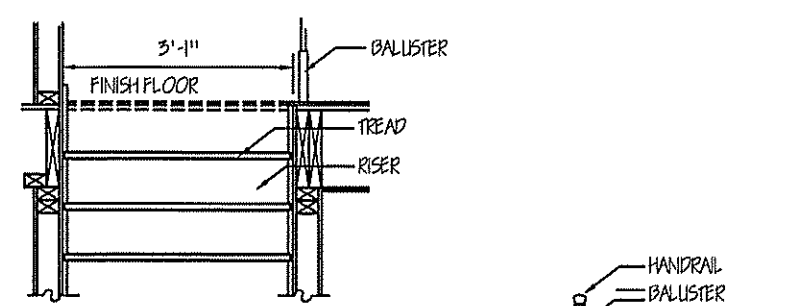
TYPICAL CONCRETE SLAB FLOOR



LOAD BEARING WALL THICKENED SLAB

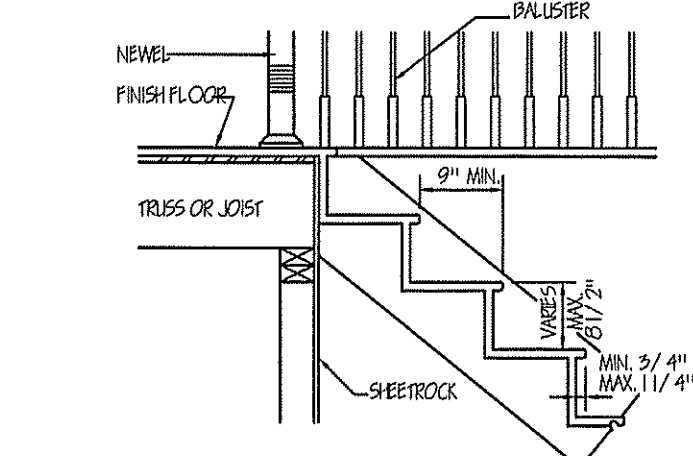


TYP. SECTION AT HOUSE/GARAGE WALL

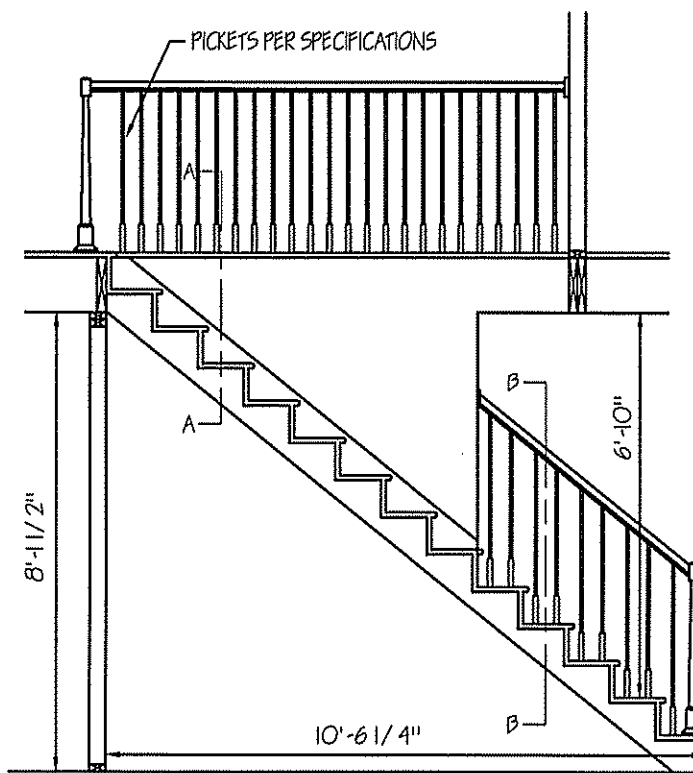


SECTION A-A

SECTION B-B



SECTION @ TOP OR LANDING



TYPICAL SECTION THRU STAIRS

TM DESIGNS  
RESIDENTIAL PLANS BY TINA MCFADDEN  
(910) 354-4736 TMDDESIGNS2016@GMAIL.COM

EXCLUSIVE RESIDENCE DESIGN FOR:  
**DETAILS**

© 2016. COPYRIGHT ALL RIGHTS RESERVED  
TM DESIGNS WILL NOT BE LIABLE FOR ANY ERRORS NOT BROUGHT TO THEIR ATTENTION PRIOR TO THE START OF CONSTRUCTION. WHILE EVERY EFFORT WAS MADE IN THE PREPARATION OF THESE DRAWINGS AND DIMENSIONS TO AVOID ERRORS THE OWNER AND/OR BUILDER SHALL VERIFY ALL DIMENSIONS, DETAILS, LOCAL AND STATE CODES.  
I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2012 INTERNATIONAL BUILDING CODES  
THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT, NOT TO BE REUSED

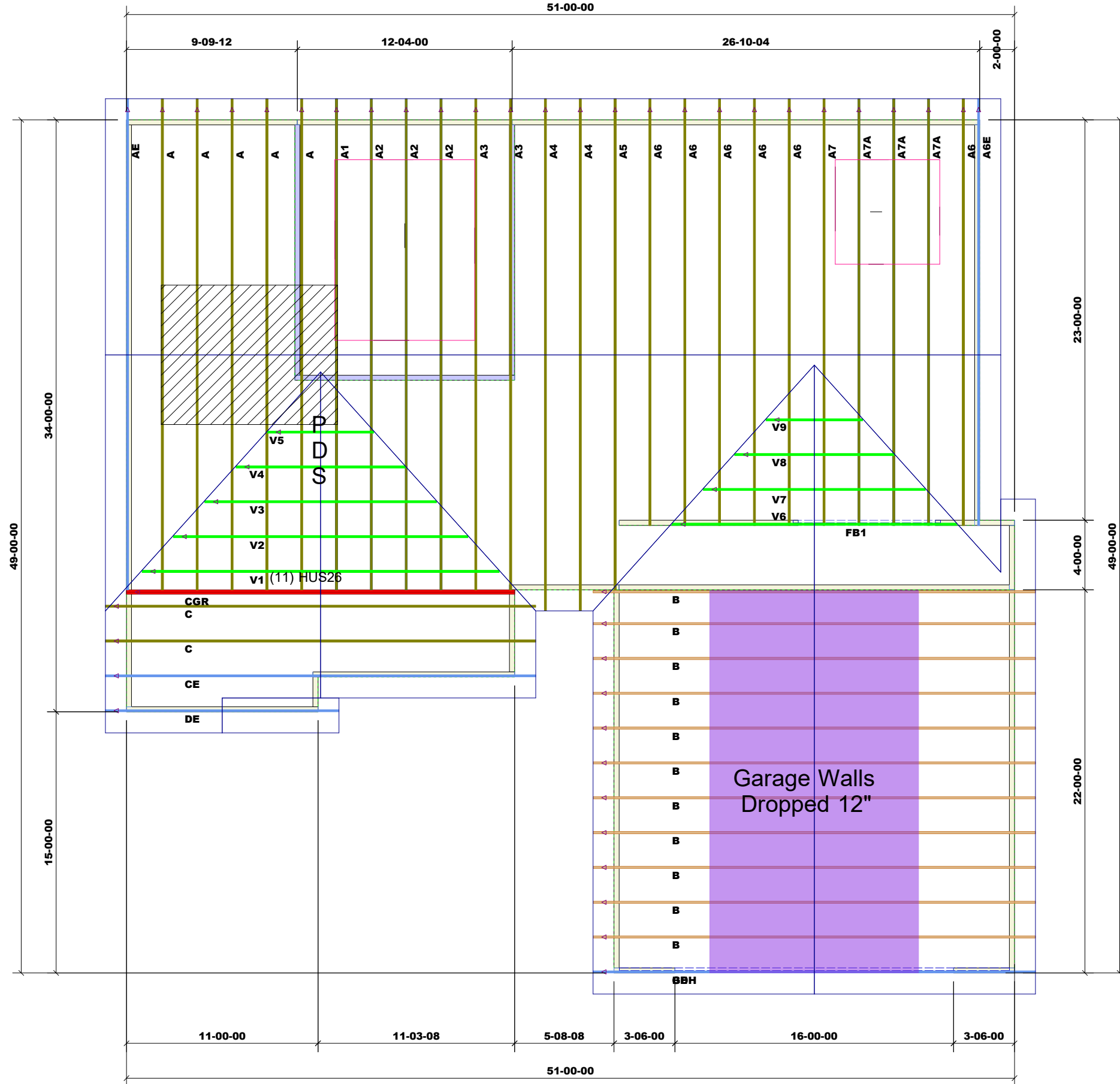
PLAN NUMBER  
**DETAILS**

DA DATE: 7/27/16

THIS LAYOUT IS INTENDED FOR THE PURPOSE OF TRUSS LOCATION AND PLACEMENT ONLY. REFER TO THE BUILDING PLANS FOR ACTUAL BUILDING CONSTRUCTION.



DEDICATED TO QUALITY AND EXCELLENCE  
200 EMMETT ROAD  
DUNN, NORTH CAROLINA 28334  
PHONE: 910-892-8400



Products					
PlotID	Length	Product	Plies	Net Qty	Fab Type
FB1	10-00-00	1-3/4" x 9-1/4" VERSA-LAM® 2.0 3100 SP	2	2	MFD
GDH	24-00-00	1-3/4" x 11-7/8" VERSA-LAM® 2.0 3100 SP	2	2	MFD

1st Level Roof Area	2nd Level Roof Area
0	0

PROJECT:	Wellons RG14-A01 Stanton		
CUSTOMER:	Wellon Homes		
MODEL:	RG14-A01 Stanton Tray Master		
QUOTE #:	2000493	PRINT DATE:	7/2/2020
		DRAWN BY:	Rodney Evans
		SCALE:	N.T.S

TOP LIVE LOAD:	20.0 lb/ft²
TOP DEAD LOAD:	10.0 lb/ft²
BOTTOM DEAD LOAD:	10.0 lb/ft²
WIND SPEED:	130 mph

GENERAL NOTES:  
 - DO NOT CUT OR MODIFY TRUSSES  
 - TRUSSES ARE SPACED 24" ON CENTER UNLESS OTHERWISE NOTED  
 - REFER TO THE INDIVIDUAL TRUSS DESIGN DRAWINGS FOR THE LOCATION OF LATERAL BRACING AND MULTI-PLY CONNECTION REQUIREMENTS.  
 - PER ANSII TPI 1-2002 THE TRUSS ENGINEER IS RESPONSIBLE FOR TRUSS TO TRUSS CONNECTIONS AND TRUSS PLY TO PLY CONNECTIONS. THIS TRUSS PLAN RECOMMENDS TRUSS TO BEARING CONNECTIONS AND TRUSS TO BEAM CONNECTIONS WHICH SHALL BE REVIEWED BY THE BUILDING DESIGNER. IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER TO RESOLVE ALL ROOF FORCES ADEQUATELY TO THE FOUNDATION.