

AP5  
Rear Cavalry Plan

**PLANS DESIGNED TO THE  
2018 NORTH CAROLINA STATE  
RESIDENTIAL BUILDING CODE**

MEAN ROOF HEIGHT: 19'-9"      HEIGHT TO RIDGE: 27'-5"

CLIMATE ZONE	ZONE 3A	ZONE 4A	ZONE 5A
PENETRATION U-FACTOR	0.35	0.35	0.35
SKYLIGHT U-FACTOR	0.55	0.55	0.55
GLAZED PENETRATION SHGC	0.30	0.30	0.30
CEILING R-VALUE	38 or 30ci	38 or 30ci	38 or 30ci
WALL R-VALUE	15	15	19
FLOOR R-VALUE	19	19	30
BASMENT WALL R-VALUE	5/13	10/13	10/13
** SLAB R-VALUE	0	10	10
CRAWL SPACE WALL R-VALUE	5/13	10/15	10/19

\*\* U/I/P MEANS R-10 SHEATHING INSULATION OR R-13 CAVITY INSULATION  
\*\* INSULATION DEPTH WITH STEEL WALL SLAB 2" OR TO BOTTOM OF FOUNDATION WALL  
DESIGNED FOR WIND SPEED OF 130 MPH, 3 SECOND GUST (101 FASTEST MILE EXPOSURE "B")

COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

MEAN ROOF	UP TO 30'	30'-1" TO 35'	35'-1" TO 40'	40'-1" TO 45'
ZONE 1	14.2	-15.0	14.9	-15.8
ZONE 2	14.2	-18.0	14.9	-18.9
ZONE 3	14.2	-18.0	14.9	-18.9
ZONE 4	15.5	-16.0	16.3	-16.8
ZONE 5	15.5	-20.0	16.3	-21.0

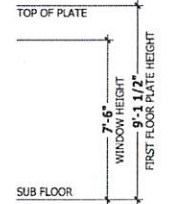
COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

MEAN ROOF	UP TO 30'	30'-1" TO 35'	35'-1" TO 40'	40'-1" TO 45'
ZONE 1	16.7	-18.0	17.5	-18.9
ZONE 2	16.7	-21.0	17.5	-22.1
ZONE 3	16.7	-21.0	17.5	-22.1
ZONE 4	18.2	-19.0	19.1	-20.0
ZONE 5	18.2	-24.0	19.1	-25.2



**FRONT ELEVATION - A**

SCALE 1/4" = 1'-0"



**ROOF VENTILATION**

**SECTION R806**  
**R806.1 Ventilation required.** Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain or snow. Ventilation openings shall have a least dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. Ventilation openings having a least dimension larger than 1/4 inch (6.4 mm) shall be provided with corrosion-resistant wire cloth screening, hardware cloth, or similar material with openings having a least dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. Openings in roof framing members shall conform to the requirements of Section R802.7.  
**R806.2 Minimum area.** The total net free ventilating area shall not be less than 1/150 of the area of the space ventilated except that reduction of the total area to 1/300 is permitted provided that at least 50 percent and not more than 80 percent of the required ventilating area is provided by ventilators located in the upper portion of the space to be ventilated at least 3 feet (914 mm) above the eave or cornice vents with the balance of the required ventilation provided by eave or cornice vents. As an alternative, the net free cross-ventilation area may be reduced to 1/300 when a Class I or II vapor retarder is installed on the warm-in-winter side of the ceiling.  
**Exceptions:**  
 1. Enclosed attic/rafter spaces requiring less than 1 square foot (0.0929 m2) of ventilation may be vented with continuous soffit ventilation only.  
 2. Enclosed attic/rafter spaces over unconditioned space may be vented with continuous soffit vent only.  
**SQUARE FOOTAGE OF ROOF TO BE VENTED = 2,477 SQ.FT.**  
**NET FREE CROSS VENTILATION NEEDED:**  
 WITHOUT 50% TO 80% OF VENTING 3'-0" ABOVE EAVE = 16.51 SQ.FT.  
 WITH 50% TO 80% OF VENTING 3'-0" ABOVE EAVE; OR WITH CLASS I OR II VAPOR RETARDER ON WARM-IN-WINTER SIDE OF CEILING = 8.26 SQ.FT.

**GUARD RAIL NOTES**

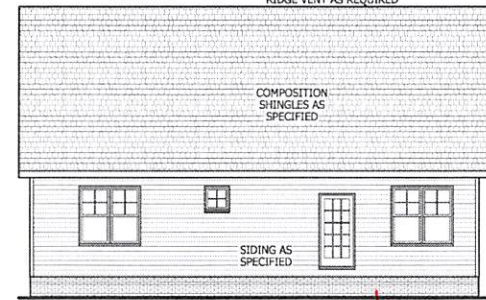
**SECTION R312**  
**R312.1 Where required.** Guards shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.  
**R312.2 Height.** Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) high measured vertically above the adjacent walking surface, adjacent fixed seating or the line connecting the leading edges of the treads.  
**Exceptions:**  
 1. Guards on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.  
 2. Where the top of the guard also serves as a handrail on the open sides of stairs, the top of the guard shall not be less than 34 inches (864 mm) and not more than 38 inches (965 mm) measured vertically from a line connecting the leading edges of the treads.  
**R312.3 Opening limitations.** Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches (102 mm) in diameter.  
**Exceptions:**  
 1. The triangular openings at the open side of a stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter.  
 2. Guards on the open sides of stairs shall not have openings which allow passage of a sphere 4 3/8 inches (111 mm) in diameter.



**LEFT SIDE ELEVATION**

SCALE 1/8" = 1'-0"

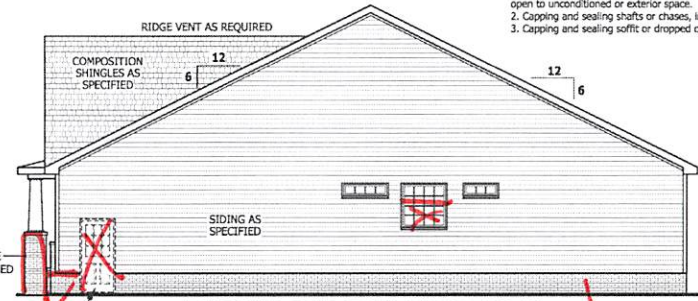
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**REAR ELEVATION**

SCALE 1/8" = 1'-0"

PAGE



**RIGHT SIDE ELEVATION**

SCALE 1/8" = 1'-0"

PAGE

**SQUARE FOOTAGE**

HEATED	
FIRST FLOOR	1791 SQ.FT.
TOTAL	1791 SQ.FT.
HEATED OPTIONAL	
CAROLINA ROOM	148 SQ.FT.
TOTAL	148 SQ.FT.
UNHEATED	
FRONT PORCH	188 SQ.FT.
GARAGE	469 SQ.FT.
TOTAL	657 SQ.FT.
UNHEATED OPTIONAL	
SCREENED PORCH	160 SQ.FT.
SCREENED GARAGE	108 SQ.FT.
TOTAL	292 SQ.FT.

**AIR LEAKAGE**

SCREENED PORCH	160 SQ.FT.
SCREENED GARAGE	108 SQ.FT.
TOTAL	292 SQ.FT.

**Section N1102.1 Thermal envelope.** The building thermal envelope shall be durably sealed with an air barrier system to limit infiltration. The sealing methods between dissimilar materials shall allow for differential expansion and contraction. For all homes, where present, the following shall be caulked, gasketed, weather stripped or otherwise sealed with an air barrier material or solid material consistent with Appendix E 2.4 of this code:  
 1. Blocking and sealing floor/ceiling systems and under-knee walls open to unconditioned or exterior space.  
 2. Capping and sealing shafts or chases, including flue shafts.  
 3. Capping and sealing soffit or dropped ceiling areas.

PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTOR'S PRACTICES AND PROCEDURES. COORS AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

ELEVATION - A  
The Lauren III

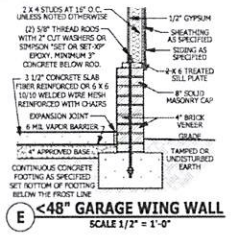
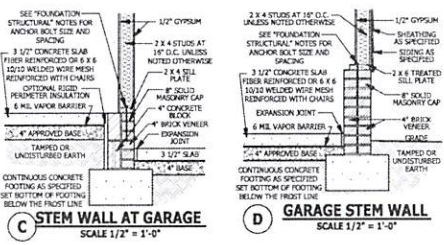
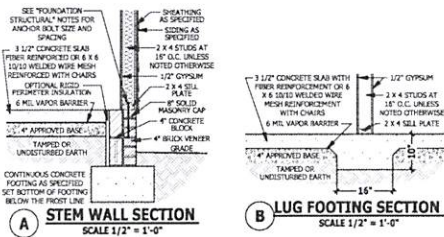
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SQUARE FOOTAGE	
HEATED	
FIRST FLOOR	1791 SQ.FT.
TOTAL	1791 SQ.FT.
HEATED OPTIONAL	
CAROLINA ROOM	148 SQ.FT.
TOTAL	148 SQ.FT.
UNHEATED	
FRONT PORCH	188 SQ.FT.
GARAGE	469 SQ.FT.
TOTAL	657 SQ.FT.
UNHEATED OPTIONAL	
SCREENED PORCH	160 SQ.FT.
SCREENED GARAGE	108 SQ.FT.
TOTAL	292 SQ.FT.

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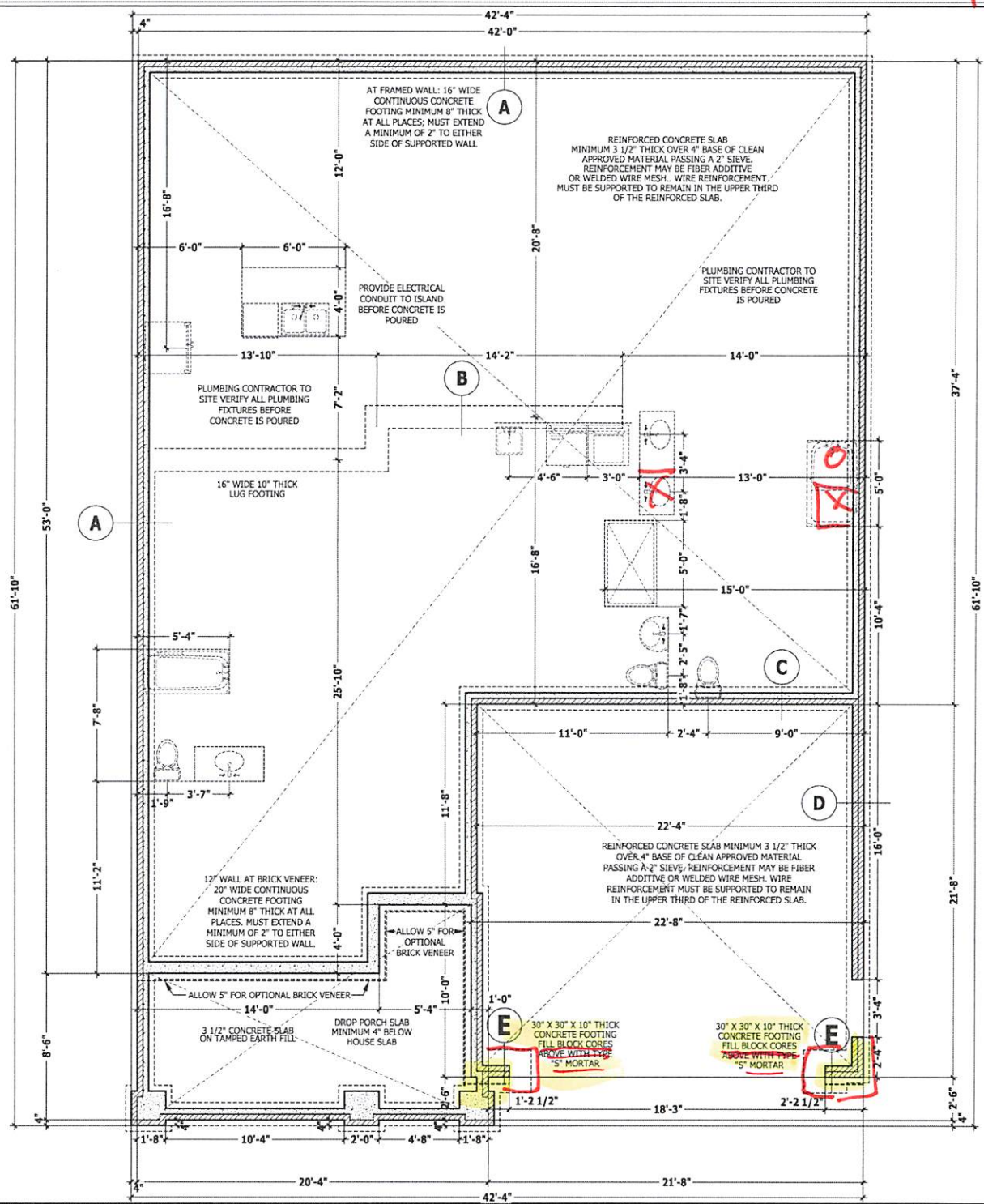
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**FOUNDATION STRUCTURAL**

115 to 130 mph wind zone (1 1/2 to 2 1/2 story)  
**CONTINUOUS FOOTING:** 16" wide and 8" thick minimum. 20" wide minimum at brick veneer. Must extend 2" to either side of supported wall.  
**GIRDERS:** (3) 2 X 10 girder unless noted otherwise.  
**PIERS:** 16" X 16" piers with 8" solid masonry cap on 30" X 30" X 10" concrete footing with maximum pier height of 64" with hollow masonry and 160" with solid masonry.  
**POINT LOADS:** ■ designates significant point load and should have solid blocking to pier, girder or foundation wall.  
**115 and 120 MPH ANCHORS BOLTS:** 1/2" diameter anchor bolts embedded minimum 7", maximum 6'-0" on center, within 12" of plate ends, and minimum two anchor bolts per plate.  
**130 MPH ANCHORS BOLTS:** 1/2" diameter anchor bolts embedded minimum 15", maximum 4'-0" on center, within 12" of plate ends, and minimum two anchor bolts per plate.  
**CONCRETE:** Concrete shall have a minimum 28 day strength of 3000 psi and a maximum 5" slump. Air entrained per table 402.2. All concrete shall be in accordance with ACI standards. All samples for pumping shall be taken from the exit end of the pump.  
**SOILS:** Allowable soil bearing pressure assumed to be 2000 PSF. The contractor must contact a geotechnical engineer and a structural engineer if unsatisfactory subsurface conditions are encountered. The surface area adjacent to the foundation wall shall be provided with adequate drainage, and shall be graded so as to drain surface water away from foundation walls.

**STEM WALL SLAB PLAN**  
SCALE 1/4" = 1'-0"



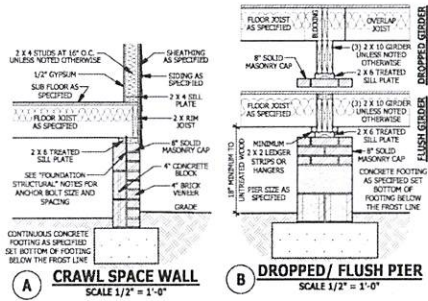
PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTOR'S PRACTICES AND PROCEDURES. CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE, AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

**STEM WALL SLAB PLAN**  
**The Lauren III**

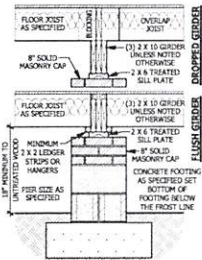
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P.O. Box 102, Wake Forest, NC 27388 919-554-0180 Fax 919-554-4149

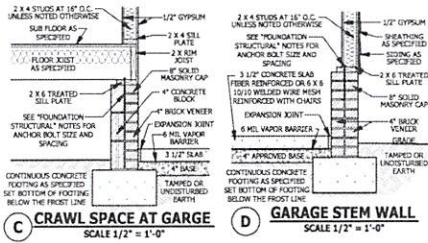
SQUARE FOOTAGE	
HEATED FIRST FLOOR	1791 SQ. FT.
TOTAL	1791 SQ. FT.
HEATED OPTIONAL CAROLINA ROOM	148 SQ. FT.
TOTAL	1939 SQ. FT.
UNHEATED FRONT PORCH	188 SQ. FT.
GARAGE	482 SQ. FT.
TOTAL	2421 SQ. FT.
UNHEATED OPTIONAL SCREENED PORCH	166 SQ. FT.
TRUCK OR RATED THIRD GARAGE	262 SQ. FT.
TOTAL	2687 SQ. FT.



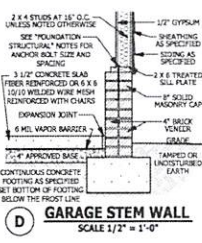
**A CRAWL SPACE WALL**  
SCALE 1/2" = 1'-0"



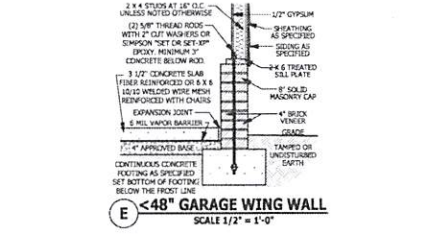
**B DROPPED/ FLUSH PIER**  
SCALE 1/2" = 1'-0"



**C CRAWL SPACE AT GARAGE**  
SCALE 1/2" = 1'-0"



**D GARAGE STEM WALL**  
SCALE 1/2" = 1'-0"



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**WALL VENTED CRAWL SPACES**

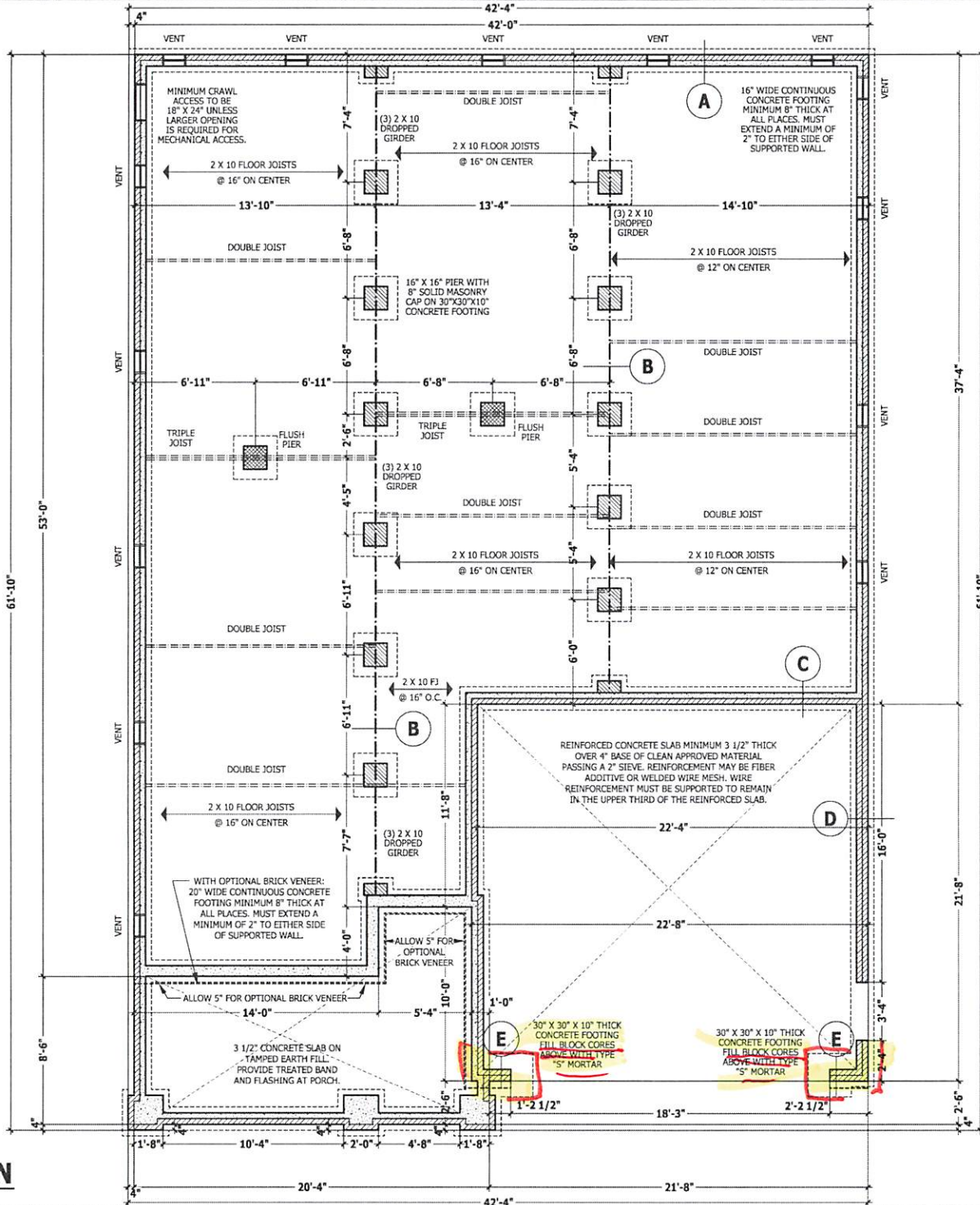
**UNDER-FLOOR SPACE (SECTION R408)**  
 SQUARE FOOTAGE OF FOUNDATION TO BE VENTED = 1,704 SQ. FT.  
 WITHOUT CROSS VENTILATION AREA OF VENTING NEEDED = 11.36 SQ. FT.  
 WITH CROSS VENTILATION AREA OF VENTING NEEDED = 1.136 SQ. FT.  
 NOTE: NUMBER OF VENTS NEEDED WILL VARY DEPENDING ON VENTS  
 USED AND CROSS VENTILATION.

**FOUNDATION STRUCTURAL**

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**130 MPH ANCHORS BOLTS:** 1/2" diameter anchor bolts embedded minimum 15", maximum 4'-0" on center, within 12" of plate ends, and minimum two anchor bolts per plate.  
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**SOILS:** Allowable soil bearing pressure assumed to be 2000 PSF. The contractor must contact a geotechnical engineer and a structural engineer if unsatisfactory subsurface conditions are encountered. The surface area adjacent to the foundation wall shall be provided with adequate drainage, and shall be graded so as to drain surface water away from foundation walls.

**CRAWL SPACE PLAN**

SCALE 1/4" = 1'-0"



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**CRAWL SPACE PLAN**  
**The Lauren III**

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SQUARE FOOTAGE	
HEATED	1201 SQ. FT.
FIRST FLOOR	791 SQ. FT.
HEATED OPTIONAL	146 SQ. FT.
CAROLINA ROOM	146 SQ. FT.
TOTAL	146 SQ. FT.
UNHEATED	489 SQ. FT.
FRONT PORCH	186 SQ. FT.
GARAGE	489 SQ. FT.
TOTAL	186 SQ. FT.
UNHEATED OPTIONAL	186 SQ. FT.
SCREENED PORCH	186 SQ. FT.
BACK OR PATIO	186 SQ. FT.
THIRD GARAGE	202 SQ. FT.
TOTAL	388 SQ. FT.

*Raised Height w/ space*

PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTOR PRACTICES AND PROCEDURES. CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DISBURSER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DISBURSER.

**FIRST FLOOR PLAN**  
**The Lauren III**

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SQUARE FOOTAGE	
<b>HEATED</b>	
FIRST FLOOR	1791 SQ. FT.
TOTAL	1791 SQ. FT.
<b>HEATED OPTIONAL</b>	
CAROLINA ROOM	148 SQ. FT.
TOTAL	148 SQ. FT.
<b>UNHEATED</b>	
FRONT PORCH	188 SQ. FT.
GARAGE	469 SQ. FT.
TOTAL	657 SQ. FT.
<b>UNHEATED OPTIONAL</b>	
SCREENED PORCH	160 SQ. FT.
DECK OR PATIO	108 SQ. FT.
THIRD GARAGE	292 SQ. FT.
TOTAL	560 SQ. FT.

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**DWELLING / GARAGE SEPARATION**

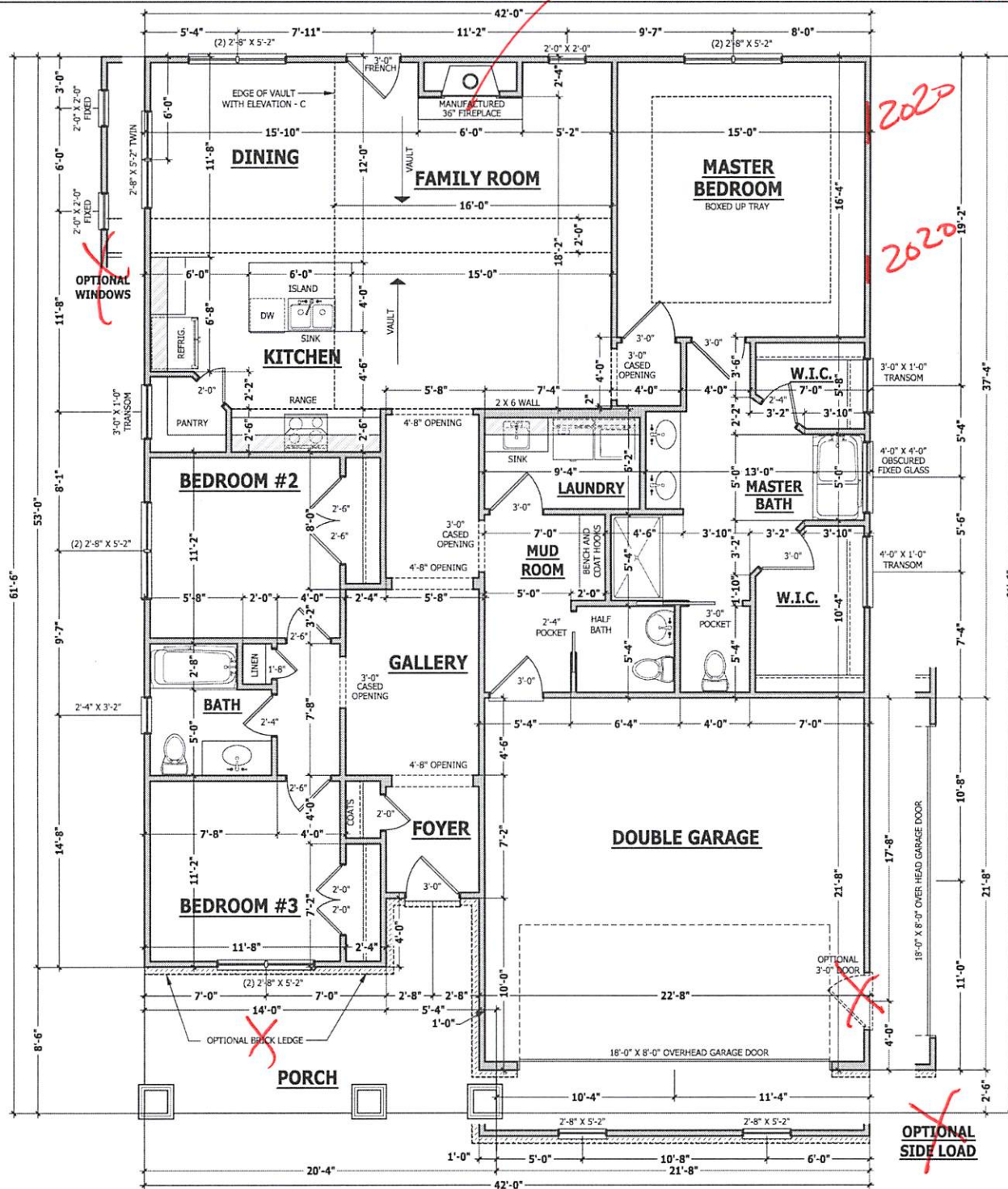
REFER TO SECTIONS R302.5, R302.6, AND R302.7  
**WALLS.** A minimum 1/2" gypsum board must be installed on all walls supporting floor/ceiling assemblies used for separation required by this section.  
**STAIRS.** A minimum of 1/2" gypsum board must be installed on the underside and exposed sides of all stairways.  
**CEILINGS.** A minimum of 1/2" gypsum must be installed on the garage ceiling if there are no habitable room above the garage. If there are habitable room above the garage a minimum of 5/8" type X gypsum board must be installed on the garage ceiling.  
**OPENING PENETRATIONS.** Openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 1 3/8 inches (35 mm) thick, or 20-minute fire-rated doors.  
**DUCT PENETRATIONS.** Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel or other approved material and shall have no openings into the garage.  
**OTHER PENETRATIONS.** Penetrations through the separation required in Section R302.6 shall be protected as required by Section R302.11, Item 4.

**SQUARE FOOTAGE**

HEATED	
FIRST FLOOR	1791 SQ. FT.
TOTAL	1791 SQ. FT.
HEATED OPTIONAL	
CAROLINA ROOM	148 SQ. FT.
TOTAL	148 SQ. FT.
UNHEATED	
FRONT PORCH	188 SQ. FT.
GARAGE	469 SQ. FT.
TOTAL	657 SQ. FT.
UNHEATED OPTIONAL	
SCREENED PORCH	160 SQ. FT.
DECK OR PATIO	108 SQ. FT.
THIRD GARAGE	292 SQ. FT.
TOTAL	560 SQ. FT.

**FIRST FLOOR PLAN**

SCALE 1/4" = 1'-0"



*2020*

*2020*

*OPTIONAL SIDE LAD*

*OPTIONAL BRICK LEDGE*

*OPTIONAL SIDE LAD*

## STRUCTURAL NOTES

All construction shall conform to the latest requirements of the 2018 North Carolina Residential Building Code, plus all local codes and regulations. This document in no way shall be construed to supersede the code.

**JOB SITE PRACTICES AND SAFETY:** Haynes Home Plans, Inc. assumes no liability for contractor practices and procedures or safety program. Haynes Home Plans, Inc. takes no responsibility for the contractor's failure to carry out the construction work in accordance with the contract documents. All members shall be framed, anchored, and braced in accordance with good construction practice and the building code.

DESIGN LOADS	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (LL)
Attics without storage	10	10	L/240
Attics with limited storage	20	10	L/360
Attics with fixed stairs	40	10	L/360
Balconies and decks	40	10	L/360
Fire escapes	40	10	L/360
Guardrails and handrails	200	--	--
Guardrail in-fill components	50	--	--
Passenger vehicle garages	50	10	L/360
Rooms other than sleeping	40	10	L/360
Sleeping rooms	30	10	L/360
Stairs	40	--	L/360
Snow	20	--	--

**FRAMING LUMBER:** All non treated framing lumber shall be SPF #2 (Fb = 875 PSI) or SYP #2 (Fb = 750 PSI) and all treated lumber shall be SYP #2 (Fb = 750 PSI) unless noted otherwise.

**ENGINEERED WOOD BEAMS:**  
Laminated veneer lumber (LVL) = Fb=2600 PSI, Fv=285 PSI, E=1.9x10<sup>6</sup> PSI  
Parallel strand lumber (PSL) = Fb=2900 PSI, Fv=290 PSI, E=2.2x10<sup>6</sup> PSI  
Laminated strand lumber (LSL) = Fb=2250 PSI, Fv=400 PSI, E=1.55x10<sup>6</sup> PSI  
Install all connections per manufacturer's instructions.

**TRUSS AND I-JOIST MEMBERS:** All roof truss and I-joist layouts shall be prepared in accordance with this document. Trusses and I-joists shall be installed according to the manufacturer's specifications. Any change in truss or I-joist layout shall be coordinated with Haynes Home Plans, Inc.

**LIMITS:** Brick lintels shall be 3 1/2" x 3 1/2" x 1/4" steel angle for up to 6'-0" span, 6" x 4" x 5/16" steel angle with 6" leg vertical for spans up to 9'-0" unless noted otherwise. 3 1/2" x 3 1/2" x 1/4" steel angle with 1/2" bolts at 2'-0" on center for spans up to 18'-0" unless noted otherwise.

**FLOOR SHEATHING:** OSB or CDX floor sheathing minimum 1/2" thick for 16" on center joist spacing, minimum 5/8" thick for 19.2" on center joist spacing, and minimum 3/4" thick for 24" on center joist spacing.

**ROOF SHEATHING:** OSB or CDX roof sheathing minimum 3/8" thick.

**CONCRETE AND SOILS:** See foundation notes.

## ROOF TRUSS REQUIREMENTS

**TRUSS DESIGN:** Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plans, Inc. attention before construction begins.

**KNEE WALL AND CEILING HEIGHTS:** All finished knee wall heights and ceiling heights are shown turned down 10" from roof decking for insulation. If for any reason the truss manufacturer fails to meet or exceed designated heel heights, finished knee wall heights, or finished ceiling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Haynes Home Plans, Inc. attention, so a suitable solution can be reached before construction begins. Any variation due to these conditions not being met is the responsibility of the truss manufacturer.

**ANCHORAGE:** All required anchors for trusses due to uplift or bearing shall meet the requirements as specified on the truss schematics.

**BEARING:** All trusses shall be designed for bearing on SPF #2 plates or ledgers unless noted otherwise.

**Plate Heights & Floor Systems:** See elevation page(s) for plate heights and floor system thicknesses.

## BRACE WALL PANEL NOTES

**EXTERIOR WALLS:** All exterior walls to be sheathed with CS-WSP or CS-SFB in accordance with section R602.10.3 unless noted otherwise.

**GYPSUM:** All interior sides of exterior walls and both sides interior walls to have 1/2" gypsum installed. When not using method GB gypsum to be fastened per table R602.3.5. Method GB to be fastened per table R602.10.1.

**REQUIRED LENGTH OF BRACE:** Required brace wall length for each side of the circumscribed rectangle are interpolated per table R602.10.3. Methods CS-WSP and CS-SFB contribute their actual length. Method GB contributes 0.5 its actual length. Method PF contributes 1.5 times its actual length.

**HD:** 800 lbs hold down hold down device fastened to the edge of the brace wall panel closest to the corner.

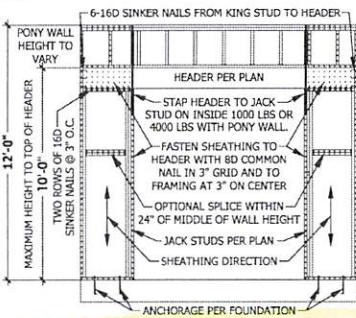
**Methods:** per Table R602.10.1

**CS-WSP:** Shall be minimum 3/8" OSB or CDX nailed at 6" on center at edges and 12" on center at intermediate supports with 6d common nails or 8d(2 1/2" long x 0.113" diameter).

**CS-SFB:** Shall be minimum 1/2" structural fiber board nailed at 3" on center at edges and 3" on center at intermediate supports with 1 1/2" long x 0.12" diameter galvanized roofing nails.

**GB:** Interior walls show as GB are to have minimum 1/2" gypsum board on both sides of the wall fastened at 7" on center at edges and 7" on center at intermediate supports with minimum 5d cooler nails or #6 screws.

**PF:** Portal frame per figure R602.10.1



## PF PORTAL FRAME AT OPENING

(METHOD PF PER FIGURE AND SECTION R602.10.1)

SCALE 1/4" = 1'-0"

## EXTERIOR HEADERS

(2) 2 X 6 WITH 1 JACK STUD EACH END UNLESS NOTED OTHERWISE

- KING STUDS EACH END PER TABLE BELOW

HEADER SPAN	< 3'	3'-4'	4'-8'	8'-12'	12'-16'
KING STUDS	1	2	3	5	6

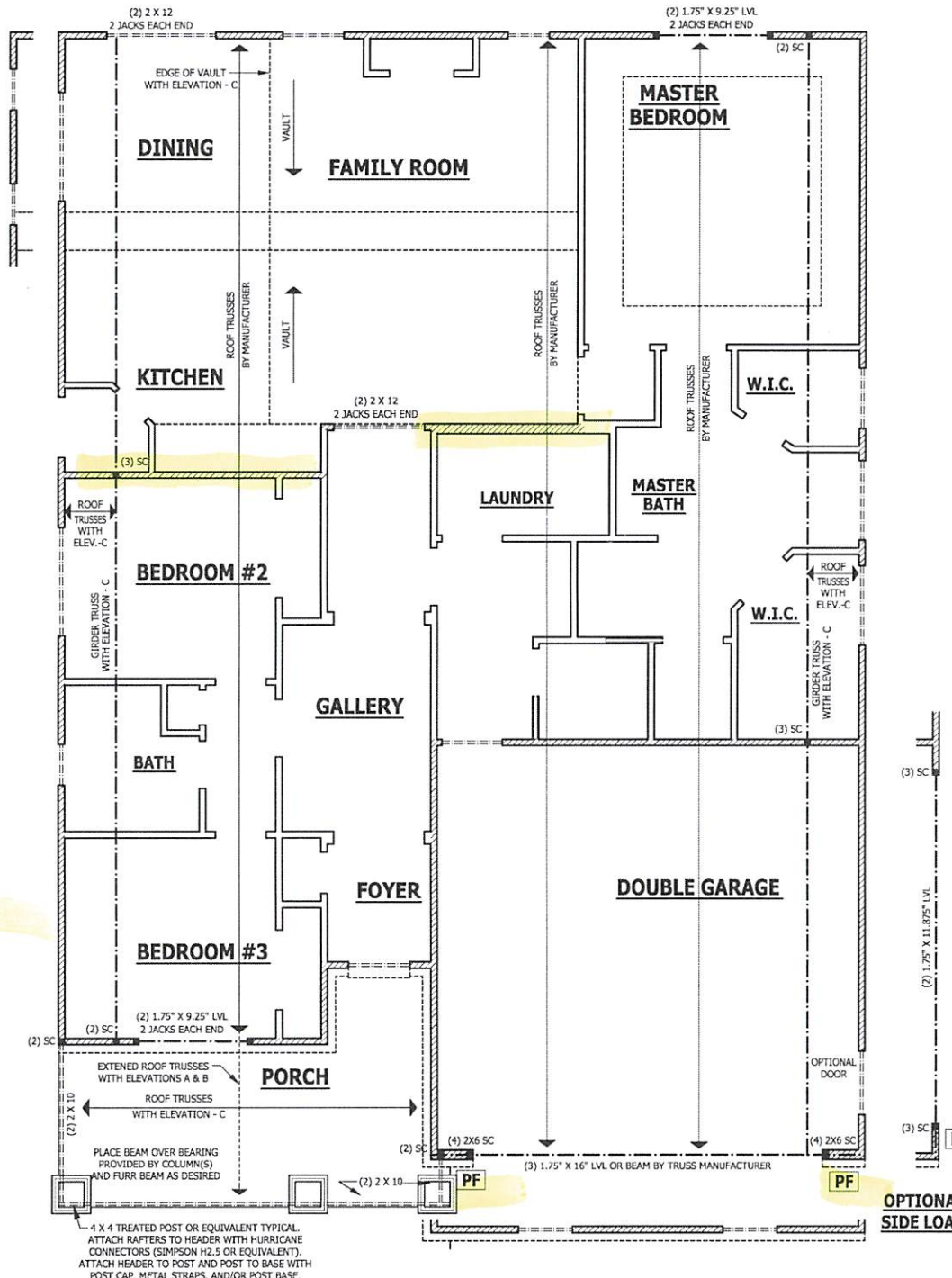
## INTERIOR HEADERS

- LOAD BEARING HEADERS (2) 2 X 6 WITH 1 JACK STUD AND 1 KING STUD EACH END UNLESS NOTED OTHERWISE

- NON LOAD BEARING HEADERS TO BE LADDER FRAMED

# FIRST FLOOR STRUCTURAL

SCALE 1/4" = 1'-0"



PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTOR PRACTICES AND PROCEDURES. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

**FIRST FLOOR STRUCTURAL**  
**The Lauren III**

**HAYNES WEAVER**  
**HOME PLANS INC**  
910-630-2100 • 910-600-4006  
1700 West 10th Street, Raleigh, NC 27603

**SQUARE FOOTAGE**  
HEATED FIRST FLOOR 1791 SQ. FT.  
TOTAL 1791 SQ. FT.  
HEATED OPTIONAL CAROLINA ROOM 148 SQ. FT.  
TOTAL 148 SQ. FT.  
UNHEATED FRONT PORCH 188 SQ. FT.  
TOTAL 188 SQ. FT.  
UNHEATED OPTIONAL SCREENED PORCH 166 SQ. FT.  
TOTAL 166 SQ. FT.  
TOTAL 202 SQ. FT.

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### ROOF TRUSS REQUIREMENTS

**TRUSS DESIGN.** Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plans, Inc. attention before construction begins.

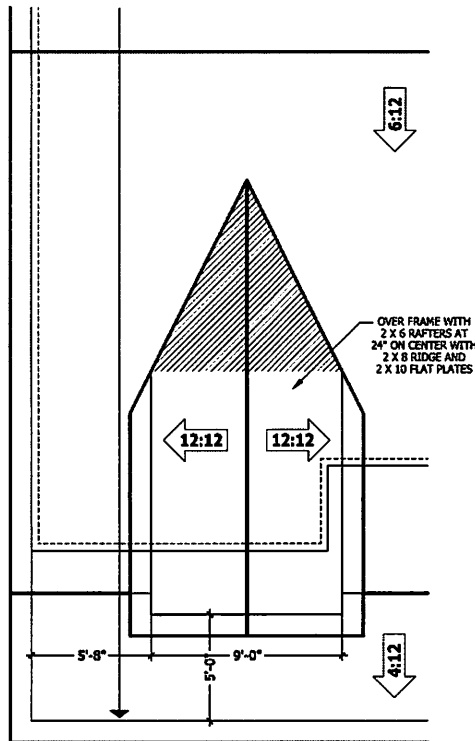
**KNEE WALL AND CEILING HEIGHTS.** All finished knee wall heights and ceiling heights are shown turned down 10" from roof decking for insulation. If for any reason the truss manufacturer fails to meet or exceed designated heel heights, finished knee wall heights, or finished ceiling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Haynes Home Plans, Inc. attention, so a suitable solution can be reached before construction begins. Any variation due to these conditions not being met is the responsibility of the truss manufacturer.

**ANCHORAGE.** All required anchors for trusses due to uplift or bearing shall meet the requirements as specified on the truss schematics.

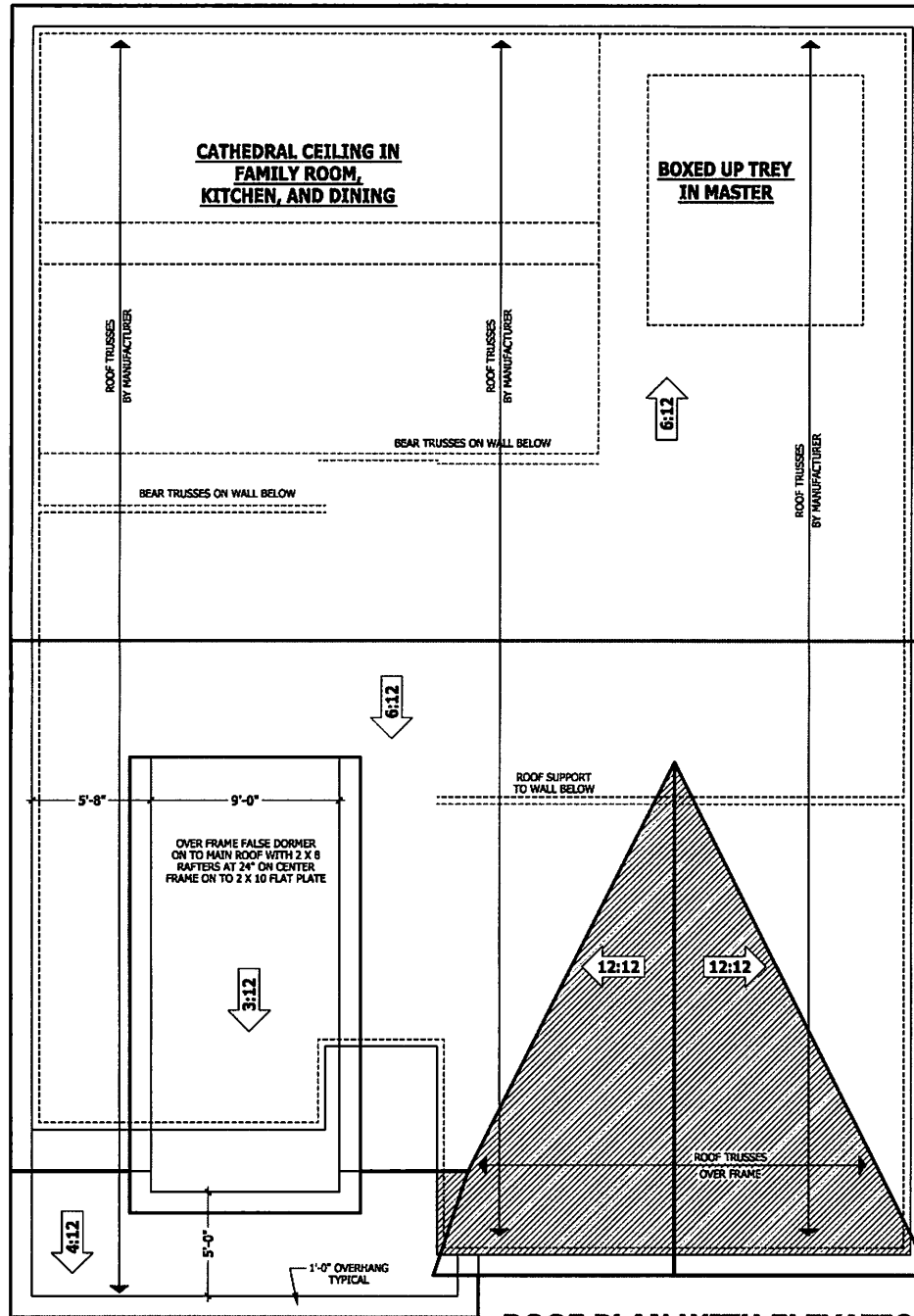
**BEARING.** All trusses shall be designed for bearing on SFF #2 plates or ledgers unless noted otherwise.

**Plate Heights & Floor Systems.** See elevation page(s) for plate heights and floor system thicknesses.

- HEEL HEIGHT ABOVE FIRST FLOOR PLATE
- HEEL HEIGHT ABOVE SECOND FLOOR PLATE



**DORMER WITH ELEVATION - B**



**DORMER WITH ELEVATION - A**

**ROOF PLAN WITH ELEVATIONS - A & B**

SCALE 1/4" = 1'-0"

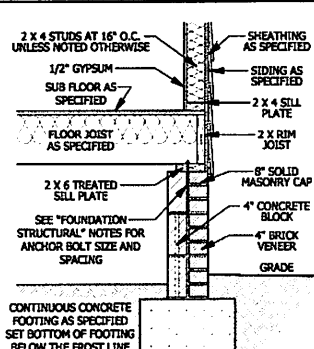
PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTOR'S PRACTICES AND PROCEDURES. CODES AND CONDITIONS MAY VARY WITH SECTION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

**ROOF PLAN WITH ELEVATIONS - A & B**

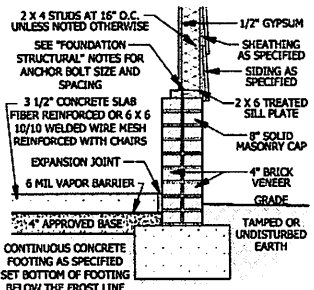
The Lauren III

**HAYNES WE AVER**  
**HOME PLANS, INC.**  
910-630-2100 • 910-606-4606  
200220B Lauren III.aec

SQUARE FOOTAGE	
HEATED FIRST FLOOR	1741 SQ. FT.
TOTAL	1741 SQ. FT.
HEATED OPTIONAL	
CAROLINA PORCH	146 SQ. FT.
TOTAL	1887 SQ. FT.
UNHEATED	
FRONT PORCH	248 SQ. FT.
CAROLINA	248 SQ. FT.
TOTAL	496 SQ. FT.
UNHEATED OPTIONAL	
SECOND PORCH	146 SQ. FT.
DECK OR PATIO	248 SQ. FT.
TRUD GAVAGE	248 SQ. FT.
TOTAL	642 SQ. FT.



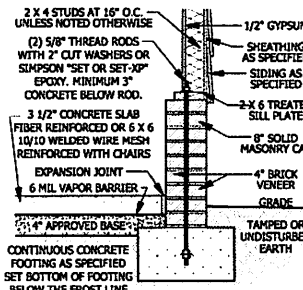
**A CRAWL SPACE WALL**  
SCALE 3/4" = 1'-0"



**B DROPPED/ FLUSH PIER**  
SCALE 3/4" = 1'-0"



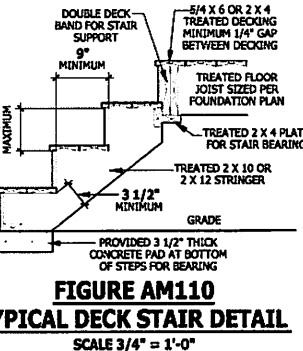
**C GARAGE STEM WALL**  
SCALE 3/4" = 1'-0"



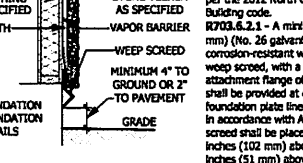
**D <48" GARAGE WING WALL**  
SCALE 3/4" = 1'-0"

**DECK STAIR NOTES**  
SECTION AM110  
AM110.1 Stairs shall be constructed per Figure AM110. Stringers shall be no greater than 7 foot span between supports. Spacing between stringers shall be based upon decking material used per AM107.1. Each Stringer shall have minimum 3 1/2 inches between step cut and back of stringer. If used, suspended headers shall be attached with 3/8 inch galvanized bolts with nuts and washers to securely support stringers at the top.

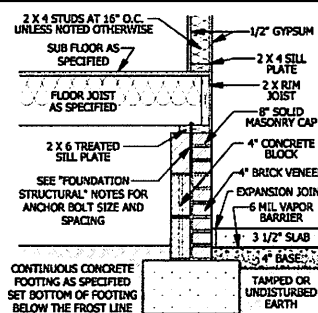
**DECK BRACING**  
SECTION AM109  
AM109.1 Deck bracing. Decking shall be braced to provide lateral stability. The following are acceptable means to provide lateral stability.  
AM109.1.1. When the deck floor height is less than 4'-0" above finished grade per Figure AM109 and the deck is attached to the structure in accordance with Section AM104, lateral bracing is not required.  
AM109.1.2. 4 x 4 wood knee braces may be provided on each column in both directions. The knee braces shall attach to each post at a point not less than 1/3 of the post length from the top of the post, and the braces shall be angled between 45 degrees and 60 degrees from the horizontal. Knee braces shall be bolted to the post and the girder/double band with one 3/8 inch hot dipped galvanized bolt with nut and washer at both ends of the brace per Figure AM109.1  
AM109.1.3. For freestanding decks without knee braces or diagonal bracing, lateral stability may be provided by embedding the post in accordance with Figure AM109.2 and the following:  
TABLE:  
POST SIZE (INCHES) | MIN. POST HEIGHT | MIN. EMBEDMENT DEPTH | CONCRETE DIAMETER  
4 x 4 | 40 SF | 4'-0" | 2'-6" | 1'-0"  
6 x 6 | 120 SF | 6'-0" | 3'-6" | 1'-8"



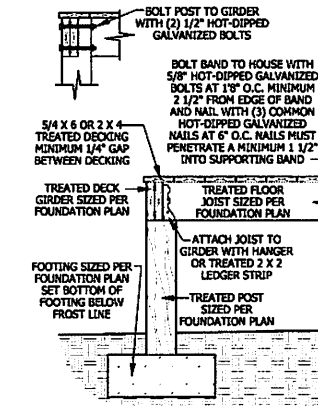
**E TYPICAL DECK STAIR DETAIL**  
SCALE 3/4" = 1'-0"



**F WEEP SCREED**  
SCALE 3/4" = 1'-0"

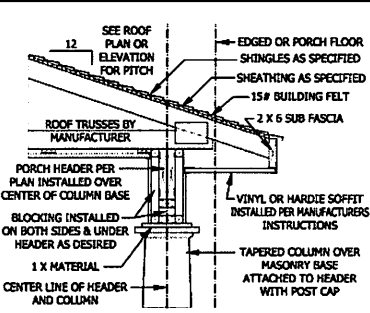


**G CRAWL SPACE AT GARAGE**  
SCALE 3/4" = 1'-0"

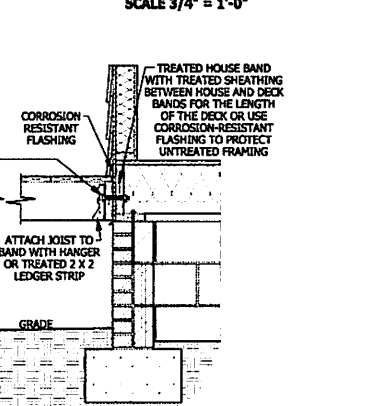


**H DECK ATTACHMENT DETAIL TO FRAMED WALL**  
SCALE 3/4" TO 1'-0"

**SMOKE ALARMS**  
SECTION R314  
R314.1 Smoke detection and notification. All smoke alarms shall be listed in accordance with UL 17 and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 72.  
R314.2 Smoke detection systems. Household fire alarm systems installed in accordance with NFPA 72 that include smoke alarms, or a combination of smoke detector and audible notification device installed as required by this section for smoke alarms, shall be permitted. The household fire alarm system shall provide the same level of smoke detection and alarm as required by this section for smoke alarms. Where a household fire warning system is installed using a combination of smoke detector and audible notification device(s), it shall become a permanent fixture of the occupancy and owned by the homeowner. The system shall be monitored by an approved supervising station and be maintained in accordance with NFPA 72.  
Exceptions: Where smoke alarms are provided meeting the requirements of R314.4, R314.3 Location. Smoke alarms shall be installed in the following locations:  
1. In each sleeping room.  
2. Outside each separate sleeping area in the immediate vicinity of the bedrooms.  
3. On each additional story of the dwelling, including basements and habitable attics (finished) but not including crawl spaces, uninhabitable (unfinished) attics and uninhabitable (unfinished) stem stories. In dwellings or dwellings with split levels and without an intervening clear between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story above the upper level.  
When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit.  
R314.4 Lower levels. Smoke alarms shall receive their primary power from the building wiring when such wiring is served from a commercial source, and when primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection. Smoke alarms shall be interconnected.

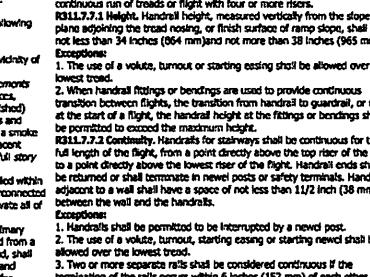


**I PORCH HEADER WITH TAPERED COLUMN**  
SCALE 3/4" = 1'-0"

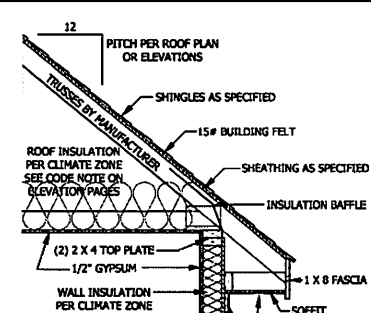


**J TYPICAL WALL DETAIL**  
SCALE 3/4" = 1'-0"

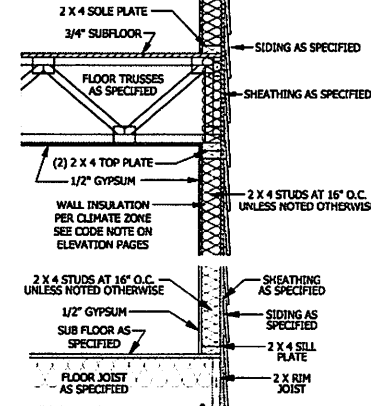
**STAIRWAY NOTES**  
R311.7  
R311.7.2 Headroom. The minimum headroom in all parts of the stairway shall not be less than 6 feet 8 inches (2032 mm) measured vertically from the sloped line adjoining the tread nosing or from the floor surface of the landing or platform on that portion of the stairway.  
R311.7.4 Rail trreads and risers. Stair treads and risers shall meet the requirements of this section. For the purposes of this section all dimensions and dimensional surfaces shall be exclusive of carpets, rugs or runners.  
R311.7.4.1 Rise height. The maximum rise height shall be 9 1/4 inches (210 mm). The rise shall be measured vertically between leading edges of the adjacent treads.  
R311.7.4.2 Tread depth. The minimum tread depth shall be 9 inches (229 mm). The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. Winder treads shall have a minimum tread depth of 9 inches (229 mm) measured as above at a point 12 inches (305 mm) from the side where the treads are narrower. Winder treads shall have a minimum tread depth of 4 inches (102 mm) at any point.  
R311.7.4.3 Profile. The radius of curvature at the nosing shall be no greater than 9/16 inch (14 mm). A nosing not less than 3/4 inch (19 mm) but not more than 1 1/4 inches (32 mm) shall be provided on stairways with solid risers.  
R311.7.7 Handrails. Handrails shall be provided on at least one side of each continuous run of treads or flight with four or more risers.  
R311.7.7.1 Height. Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm). Exceptions:  
1. The use of a volute, turnout or starting nosing shall be allowed over the lowest tread.  
2. When handrail fittings or bendings are used to provide continuous transition between flight, the transition from handrail to guardrail, or used at the start of a flight, the handrail height at the fittings or bendings shall be permitted to exceed the maximum height.  
R311.7.7.2 Continuity. Handrails for stairways shall be continuous for the full length of the flight, from a point directly above the top rise of the flight to a point directly above the lowest rise of the flight. Handrail ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall shall have a space of not less than 1 1/2 inch (38 mm) between the wall and the handrails.  
Exceptions:  
1. Handrails shall be permitted to be interrupted by a newel post.  
2. The use of a volute, turnout, starting nosing or starting newel shall be allowed over the lowest tread.  
3. Two or more separate rails shall be considered continuous if the maximum of the rail occurs within 6 inches (152 mm) of each other. If transitioning between a wall-mounted handrail and a guardrail/handrail, the wall-mounted rail must return into the wall.



**K TYPICAL STAIR DETAIL**  
SCALE 1/4" = 1'-0"



**L TYPICAL WALL DETAIL**  
SCALE 3/4" = 1'-0"



**M TYPICAL STAIR DETAIL**  
SCALE 1/4" = 1'-0"

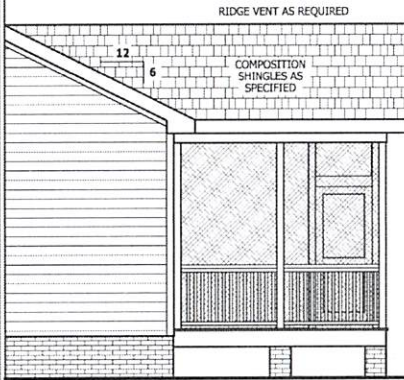
**HAYNES WEAVER HOMES**  
HOME PLANS INC.  
910.630.2100 • 919.406.1646  
11500 W. HICKORY STREET, SUITE 100, RALEIGH, NC 27613

**TYPICAL DETAILS**  
The Lauren III

AREA	FOOTING	FOUNDATION	CONCRETE	REINFORCING	FORMWORK	INSULATION	ROOFING	CLADDING	FINISHES	MECHANICAL	ELECTRICAL	PLUMBING	PAINT	GLASS	IRONWORK	LANDSCAPE	OTHER
UNREINFORCED	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF
UNREINFORCED	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF
UNREINFORCED	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF
UNREINFORCED	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF	120 SF

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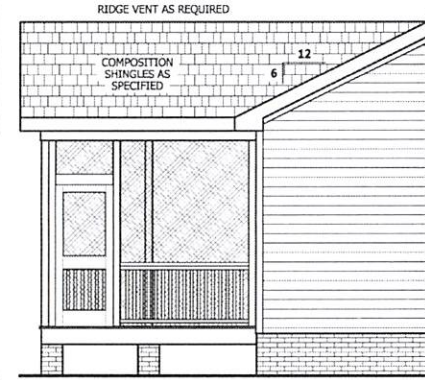


**RIGHT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"

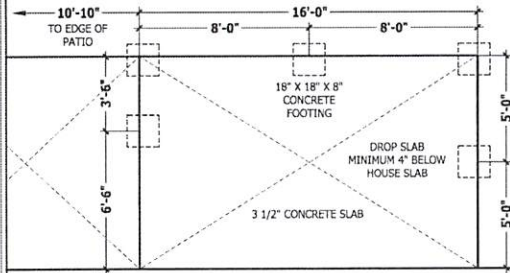


**REAR ELEVATION**  
SCALE 1/4" = 1'-0"

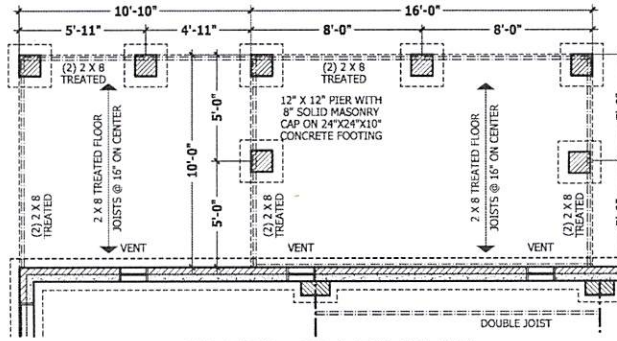
RAIL AS NEEDED  
PER CODE



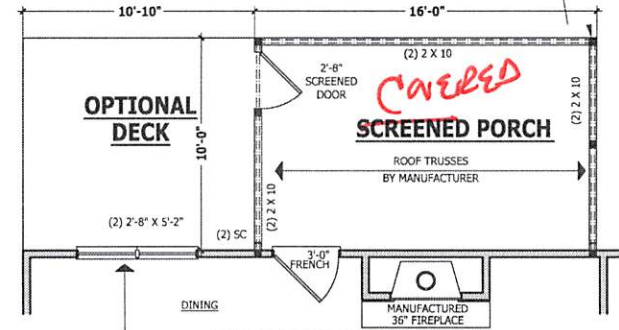
**LEFT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"



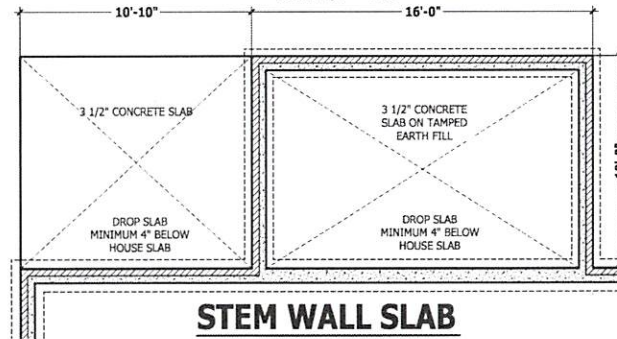
**MONOLITHIC SLAB PLAN**  
SCALE 1/4" = 1'-0"



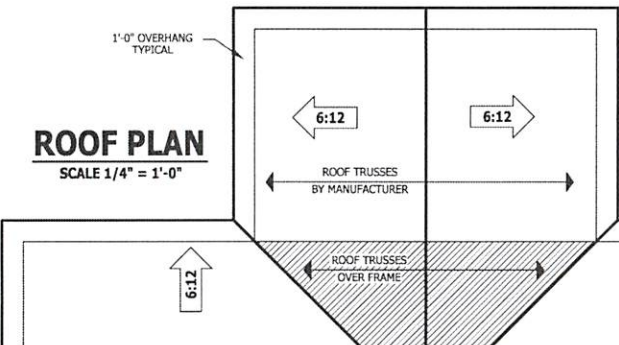
**CRAWL SPACE PLAN**  
SCALE 1/4" = 1'-0"



**FIRST FLOOR PLAN**  
SCALE 1/4" = 1'-0"



**STEM WALL SLAB**  
SCALE 1/4" = 1'-0"



**ROOF PLAN**  
SCALE 1/4" = 1'-0"

4 X 4 TREATED POST OR EQUIVALENT TYPICAL.  
ATTACH RAFTERS TO HEADER WITH HURRICANE  
CONNECTORS (SIMPSON H2.5 OR EQUIVALENT).  
ATTACH HEADER TO POST AND POST TO BASE  
WITH POST CAP, METAL STRAPS, AND/OR POST BASE.

PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS.  
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SCREENED PORCH ADDENDUM

The Lauren III

**HAYNES WEAVER**  
**HOMES**  
 HOME PLANS INC.  
 P.O. BOX 702, WILCOX, GA 21788 919-555-9100 (FL 1-855-491-9595)  
 910-630-2100 • 919-606-1090

SQUARE FOOTAGE	
HEATED FIRST FLOOR	1791 SQ. FT.
HEATED OPTIONAL CAROLINA ROOM	148 SQ. FT.
TOTAL	1939 SQ. FT.
UNHEATED FRONT PORCH	188 SQ. FT.
UNHEATED GARAGE	469 SQ. FT.
TOTAL	657 SQ. FT.
UNHEATED OPTIONAL SCREENED PORCH	168 SQ. FT.
SCREENED PORCH	138 SQ. FT.
TRUSS GARAGE	292 SQ. FT.
TOTAL	598 SQ. FT.

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ADDENDUM