

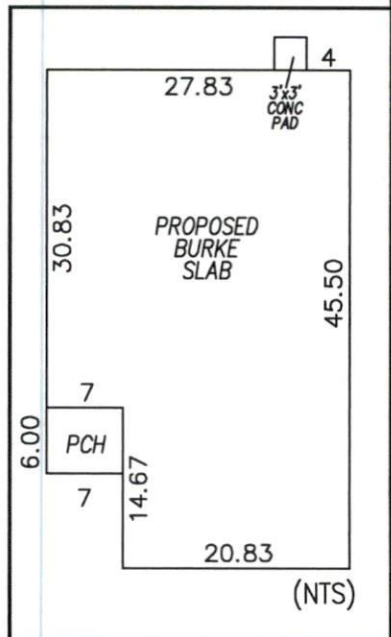
VICINITY MAP (NTS)

- LEGEND**  
 PO=PORCH  
 P=PATIO  
 SW=SIDEWALK  
 DW=CONC DRIVEWAY  
 EB=ELECTRIC BOX  
 SCO=CLEANOUT  
 TP=TELEPHONE PEDESTAL  
 WM=WATER METER  
 AC=AIR CONDITIONING UNIT  
 BOC=BACK OF CURB  
 EOP=EDGE OF PAVEMENT  
 ○ IRON PIPE FOUND  
 ● IRON PIPE SET  
 ○ NAIL SET

THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

SHAWN T. RUMBERGER, PLS L-4909 DATE

THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION. NO TITLE REPORT PROVIDED.



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- GENERAL NOTES:**  
 1. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.  
 2. AREAS SHOWN HEREON WERE COMPUTED USING THE COORDINATE METHOD.  
 3. LINES NOT SURVEYED ARE SHOWN AS DASHED LINES FROM INFORMATION REFERENCED ON THE FACE OF THIS SURVEY.  
 4. PROPERTY MAY BE SUBJECT TO ANY/ALL EASEMENTS AND RESTRICTIONS OF RECORD. THIS SURVEY IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND/OR DEEDED AND HAS BEEN PREPARED IN CONFORMITY WITH NORTH CAROLINA STANDARDS, G.S. 47-30, AND REQUIREMENTS OF LAW, BUT WITHOUT A FULL TITLE REPORT. A NORTH CAROLINA LICENSED ATTORNEY-AT-LAW SHOULD BE CONSULTED REGARDING CORRECT OWNERSHIP, WIDTH AND LOCATION OF EASEMENTS, AND OTHER TITLE QUESTIONS REVEALED BY TITLE EXAMINATION.  
 5. DRIVEWAY IMPERVIOUS CALCULATED TO R/W

N 84°26'29" E 67.52'

N 77°05'17" E 196.85'

S 29°44'31" E 36.31'

S 60°15'29" W 250.00'

20,394 SF  
0.471 AC.

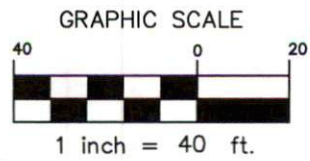
10' PUBLIC UTILITY EASEMENT  
 N 29°44'31" W 121.00'

**SETBACKS**

FRONT	35'
SIDE	10'
REAR	20'
SIDE STREET	20'

**IMPERVIOUS AREA**

HOUSE	1,205 SQ.FT.
DRIVE TO R/W	576 SQ.FT.
WALK	74 SQ.FT.
CONCRETE PAD	9 SQ.FT.
<b>TOTAL</b>	<b>1,864 SQ.FT.</b>
<b>MAX. ALLOW</b>	<b>2,850 SQ.FT.</b>



VERY POND DRIVE  
 50' PUBLIC & UTILITY R/W  
**PRELIMINARY PLOT PLAN**

<b>PROJECT:</b>	18-003 AVERY POND
<b>DRAWN BY:</b>	AMW
<b>SCALE:</b>	1"=40'
<b>DATE:</b>	3-15-2020

FOR  
**LGI HOMES**  
 705 AVERY POND DRIVE  
 LOT 112 AVERY POND SUBDIVISION; PHASE IIIA  
 HECTOR'S CREEK TWP., HARNETT CO., NC  
 P.B. 2019, PG. 417-419

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