

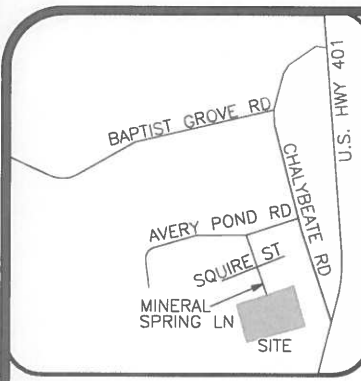
THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

Shawn T. Rumberger 9-9-2020
 SHAWN T. RUMBERGER, PLS L-4909 DATE

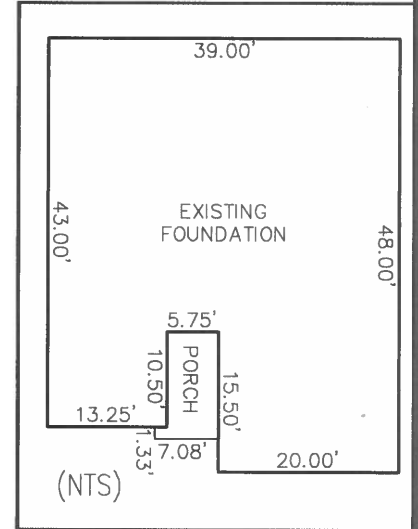
THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION. NO TITLE REPORT PROVIDED. ANY VISIBLE ENCROACHMENTS ARE SHOWN HEREON.

- LEGEND**
 AC=AIR CONDITIONING UNIT
 BOC=BACK OF CURB
 CATV=CABLE TV
 CB=CATCH BASIN
 DW=CONC DRIVEWAY
 EOP=EDGE OF PAVEMENT
 EP=ELECTRIC PEDESTAL
 FH=FIRE HYDRANT
 ICV=IRRIGATION CONTROL VALVE
 LP=LIGHT POLE
 PO=PORCH
 PP=POWER POLE
 RCP=REINFORCED CONC PIPE
 R/W=RIGHT OF WAY
 SCO=CLEANOUT
 SW=SIDEWALK
 TF=TRANSFORMER
 TP=TELEPHONE PEDESTAL
 WM=WATER METER
 WV=WATER VALVE
 EIP=EXISTING IRON PIPE
 IPS=IRON PIPE SET
 EIR=EXISTING IRON ROD

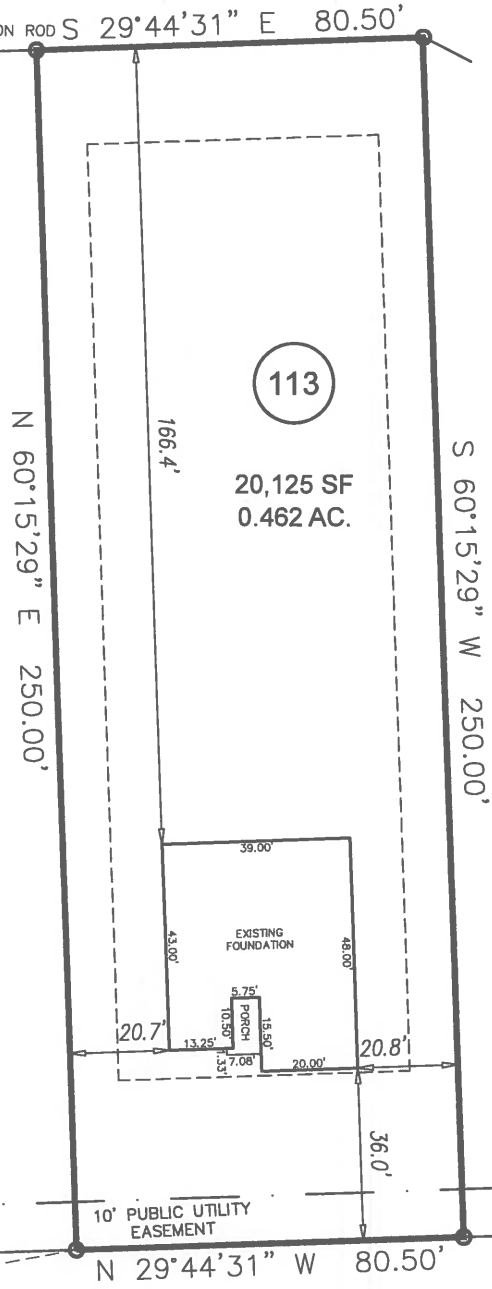
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VICINITY MAP (NTS)



(NTS)



113

20,125 SF
0.462 AC.

112

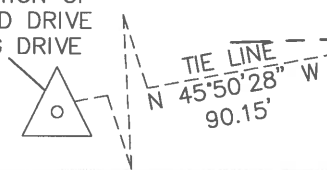
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GENERAL NOTES:

1. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
2. AREAS SHOWN HEREON WERE COMPUTED USING THE COORDINATE METHOD.
3. LINES NOT SURVEYED ARE SHOWN AS DASHED LINES FROM INFORMATION REFERENCED ON THE FACE OF THIS SURVEY.
4. PROPERTY MAY BE SUBJECT TO ANY/ALL EASEMENTS AND RESTRICTIONS OF RECORD. THIS SURVEY IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND/OR DEEDED AND HAS BEEN PREPARED IN CONFORMITY WITH NORTH CAROLINA STANDARDS, G.S. 47-30, AND REQUIREMENTS OF LAW, BUT WITHOUT A FULL TITLE REPORT. A NORTH CAROLINA LICENSED ATTORNEY-AT-LAW SHOULD BE CONSULTED REGARDING CORRECT OWNERSHIP, WIDTH AND LOCATION OF EASEMENTS, AND OTHER TITLE QUESTIONS REVEALED BY TITLE EXAMINATION.

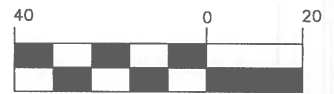
⊕ INTERSECTION OF AVERY POND DRIVE & DOONBEG DRIVE



SETBACKS

FRONT	35'
SIDE	10'
REAR	20'
SIDE STREET	20'

GRAPHIC SCALE



1 inch = 40 ft.

AVERY POND DRIVE
50' PUBLIC & UTILITY R/W
FOUNDATION SURVEY

PROJECT:	18-003 AVERY POND
DRAWN BY:	AMW/LLL
SCALE:	1"=40'
DATE:	09-06-2020

FOR
LGI HOMES
 723 AVERY POND DRIVE
 LOT 113 AVERY POND SUBDIVISION; PHASE III D
 HECTOR'S CREEK TWP., HARNETT CO., NC
 P.B. 2019, PG. 417-419

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