

CEDAR

DIV-COMM-LOT-UNIT -----		
COMM-LOT -----		
STREET ADDRESS -----		APT. NO. -----
CITY -----	STATE -----	ZIP -----



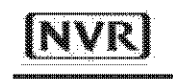
NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

	SLAB FOUNDATION												STANDARD DETAILS	
	STD. DWGS.													
SPEC SHEET	55-1													AD-1
ROOF VENT AND VOLUME CALCULATIONS	CA-1													DR-1
ELEVATIONS	4													DR-1b
FOUNDATIONS	5													
FOUNDATION HOLD DOWNS	6													ET-1b
PLUMBING	7													ET-1c
FIRST FLOOR PLAN	9													ET-1d
SECOND FLOOR PLAN	10													
BUILDING SECTIONS	11/12													
SECOND FLOOR FRAMING	19													
ROOF FRAMING	20													F-1
TRUSS BRACING	21													F-1b
WALL BRACING	22													F-1c
														FA-1b
														FG-1
														FC-4
														FC-5
														FD-1
														FD-1b
														FD-4
														IT-1
														IT-1b
														JT-1
														JT-1b
														JT-3
														JT-3b
														KT-1
														RF-1
														RF-1b
														RF-1c
														SEP-1
														SEP-2
														SEP-3
														SEP-4
														SP-1
														SP-2
														SP-3
														ST-1
														WB-2
														WD-1
														WS-1
														WS-1b

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	183 SF
	183 SF
SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	1120 SF
	1120 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR FRONT ENTRY GARAGE	347 SF
	347 SF
TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	183 SF
2ND FLOOR (BASE SF)	1120 SF
	1403 SF

SET - VERSION
CDR00-01 **CS-1**

V:\As-Sold\2-Jobs\ASD\2020 1stHalf-Complete\1stHalf-Complete\NVR\DETACHED\CEDAR_CDR00_01\ELK_R_QC_0080\CS-1 COVERSHEET.dwg 06/04/20 - 2:15 pm



ROOF VENTILATION CALCULATIONS

HOUSE NAME	CEDAR	USER GUIDE	YES	NO	VENT OK	No action req'd.
HOUSE VERSION	CDR00_01		NO	YES	OK VENT OK	No action req'd.
PRODUCT LINE	RYANHOMES		NO	YES	LOW FAN	Increase ridge
VENTILATION VALUES	SOFFIT: 5.0 sq ft of vent per ft		NO	YES	HIGH FAN	Decrease ridge
	ROOF: 1.0 sq ft of vent per sq ft		NO	NO	FAN	Increase total vent
	ROOF: 0.5 sq ft of vent per sq ft					

ELEVATION "A or F or K"												
Location / Options	Area (sq ft)	Req'd Vent (sq ft)	Actual Vent (sq ft)	Diff (sq ft)	Notes	Upper Rise / Lower Rise (ft)	Upper Rise (ft)	Lower Rise (ft)	Total (ft)	OK A/F/K	OK A/F/K	OK A/F/K
Main House Roof	11100	5550	5550	0		13	13	13	13	YES	N/A	N/A
Garage Roof	13800	6900	6900	0		13	13	13	13	YES	N/A	N/A

ELEVATION "B or L"												
Location / Options	Area (sq ft)	Req'd Vent (sq ft)	Actual Vent (sq ft)	Diff (sq ft)	Notes	Upper Rise / Lower Rise (ft)	Upper Rise (ft)	Lower Rise (ft)	Total (ft)	OK A/F/K	OK A/F/K	OK A/F/K
Main House Roof	11100	5550	5550	0		13	13	13	13	YES	N/A	N/A
Garage Roof	13800	6900	6900	0		13	13	13	13	YES	N/A	N/A



HOUSE VOLUME CALCULATIONS

HOUSE NAME	CEDAR
HOUSE VERSION	CDR00-01
PRODUCT LINE	RYANHOMES

Note: The volume of the structure has been computed in accordance with "Title 5. of the Community Affairs, Chapter 23. Uniform Construction Code, Subchapter 2. Administration and enforcement: Process." (5:23-2.28. Volume computation)

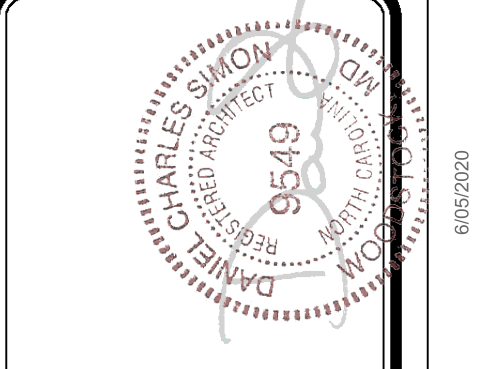
ELEVATION "X"			
Location / Area of house	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Main section of the house			0
Garage bump out from main house			0
Porch on front of house			0
Total House Volume			0

ELEVATION "X"			
Location / Area of house	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Main section of the house			0
Garage bump out from main house			0
Porch on front of house			0
Total House Volume			0

ELEVATION "X"			
Location / Area of house	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Main section of the house			0
Garage bump out from main house			0
Porch on front of house			0
Total House Volume			0

ELEVATION "X"			
Location / Area of house	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
Main section of the house			0
Garage bump out from main house			0
Porch on front of house			0
Total House Volume			0

Additional areas of volume to be added to total house volume as needed			
Location / Area of house / option	Floor Area (sq. ft.)	Mean height (ft.)	Total volume (cu. Ft.)
			0



DIV - COMM - LOT - UNIT

COMM - LOT

STREET ADDRESS

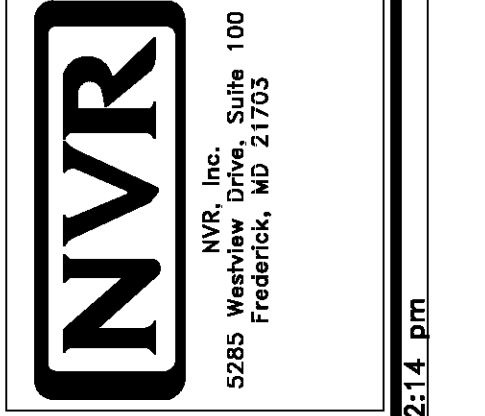
CITY

STATE

APT. NO.

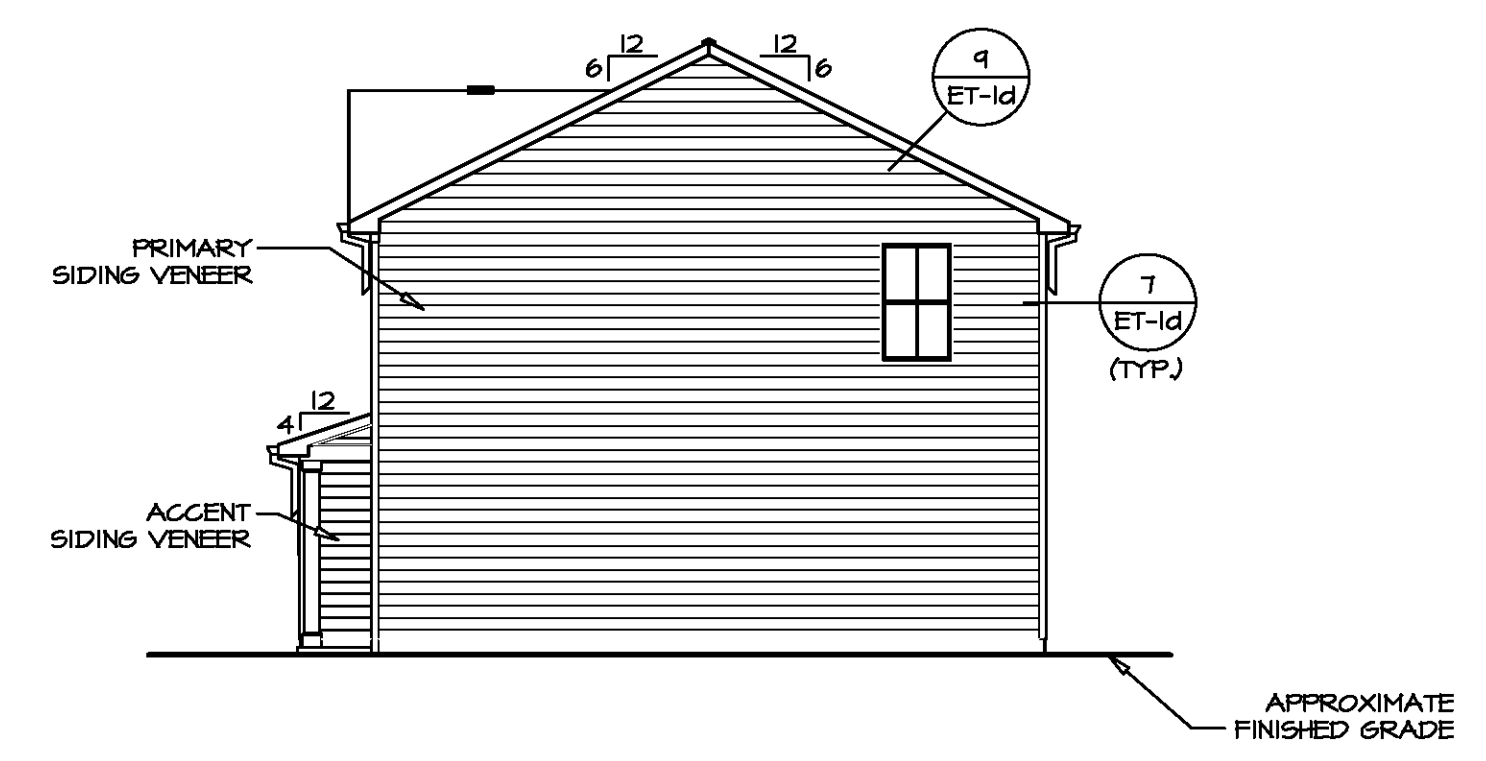
ZIP

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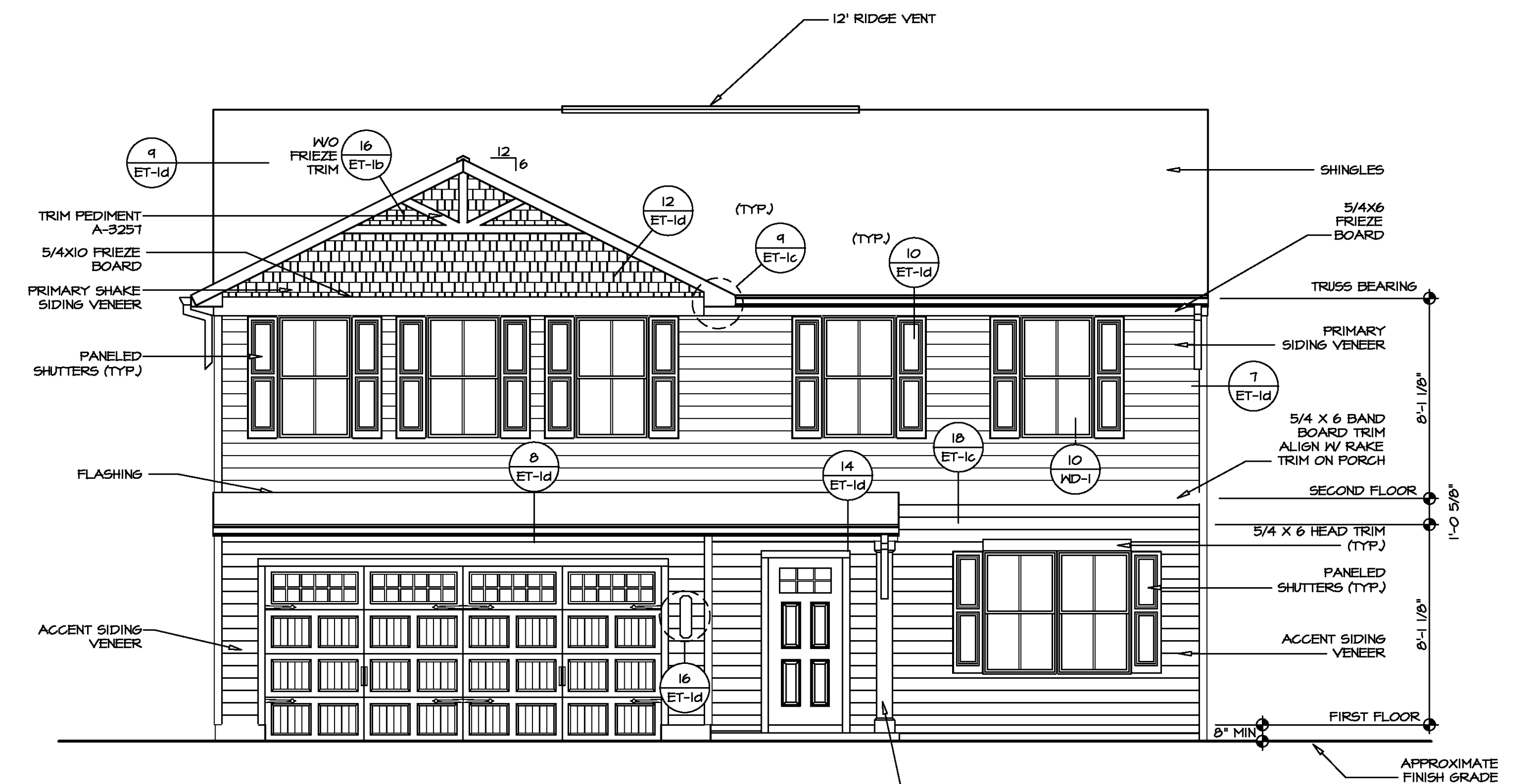


SET NO. CDR00	VERSION 01
DRAWN BY	DATE:
OPTION	OPTION

SHEET NO. CA-1	MODEL CEDAR
	DRAWING TITLE
	OPTION DESCRIPTION



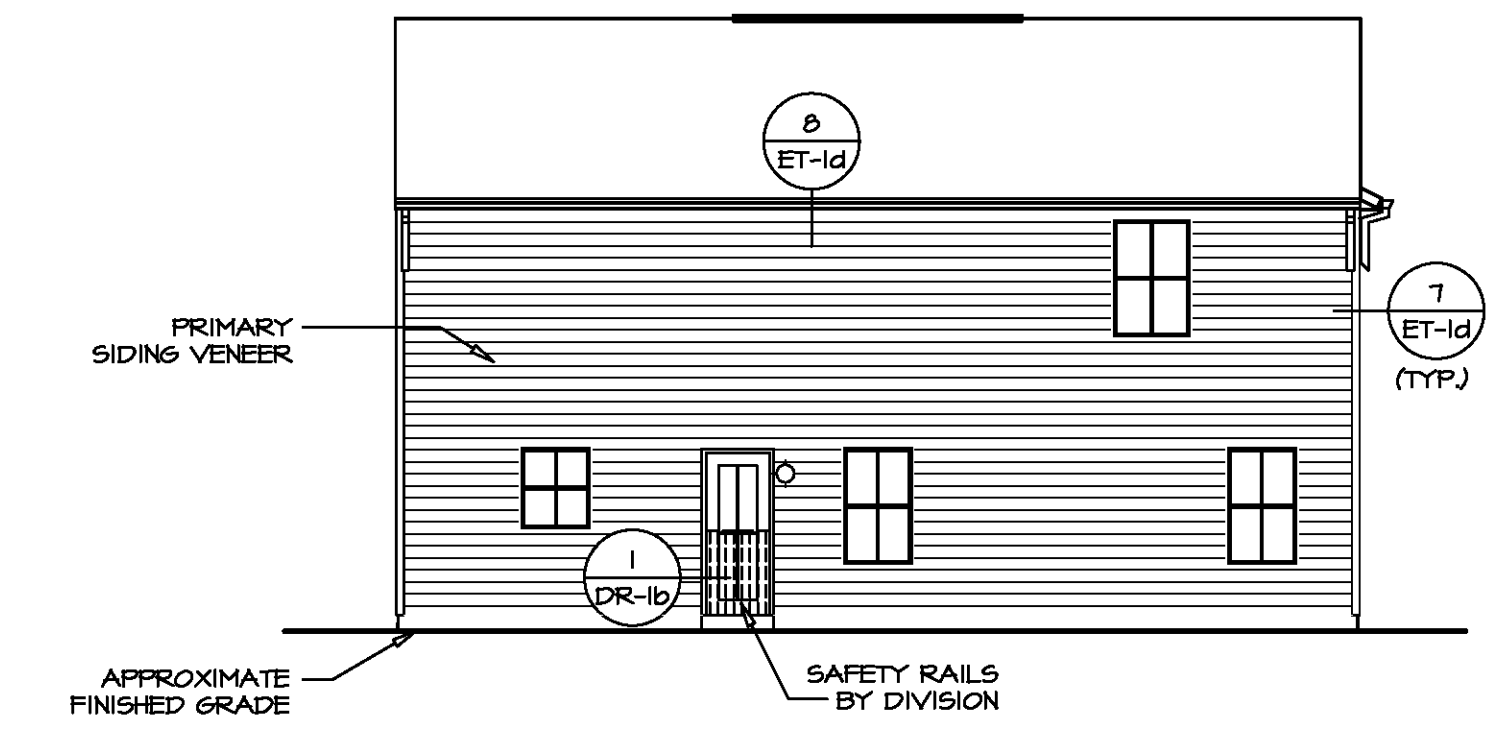
2 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



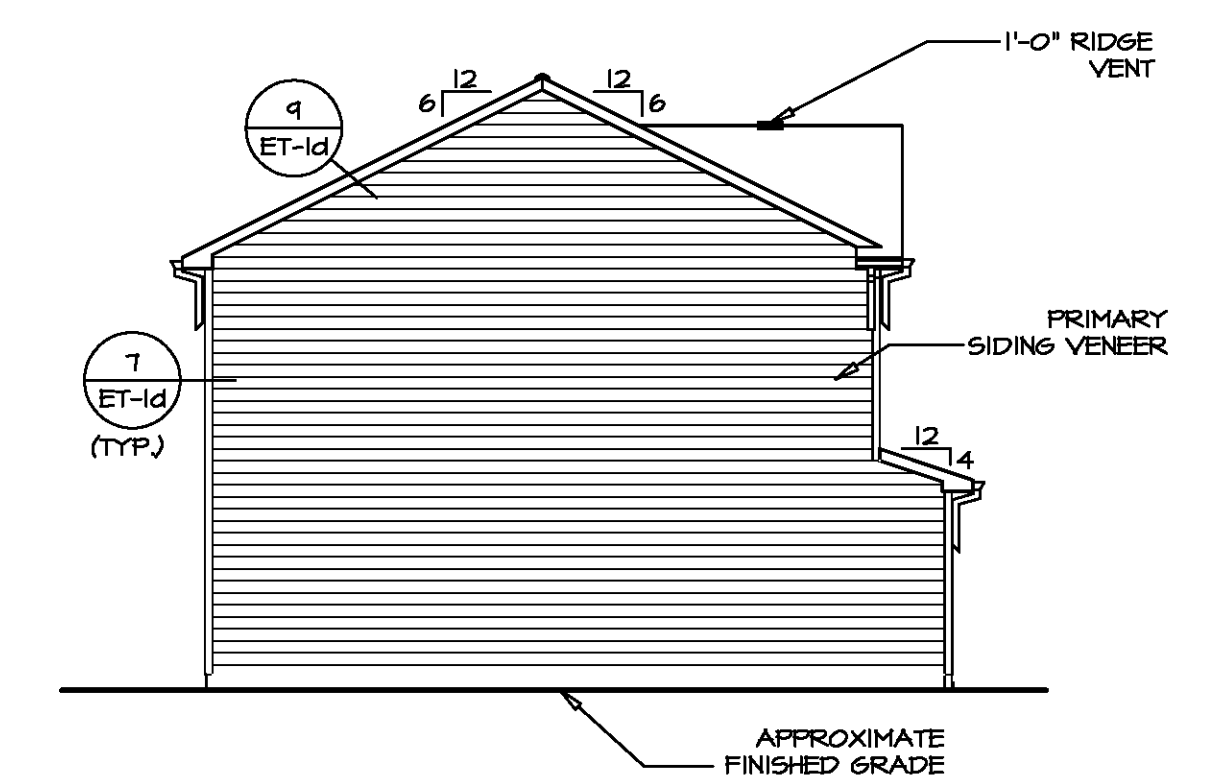
1 FRONT ELEVATION "K"
SCALE: 1/4" = 1'-0"

GARAGE DOOR TRIM
HEAD - 5/4X4 TRIM (1/DR-1)
SIDES - 5/4X4 TRIM (8/DR-1)

ENTRY DOOR TRIM
HEAD - 5/4X4 TRIM (5/DR-1b)
SIDES - 5/4X4 TRIM (6/DR-1b)
SILL - 5/4X8 TRIM (RIPPED)



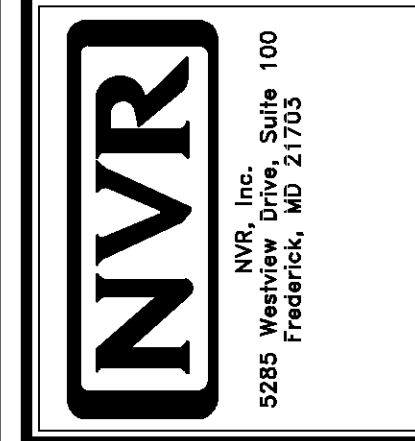
3 REAR ELEVATION
SCALE: 1/8" = 1'-0"



4 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

DIV-COMM-LOT-UNIT	
COMM-LOT	APT. NO.
STREET ADDRESS	CITY
STATE	ZIP

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MODEL	SET NO.	CDPROO
CEDAR	VERSION	01
DRAWING TITLE	DRAWN BY	
ELEVATIONS	DATE:	OPTION
OPTION DESCRIPTION	FSA	
SHEET NO.	SLAB FOUNDATION	
A-1		
4		

PAD FOOTING SCHEDULE					
IDENTIFIER	LENGTH	WIDTH	HEIGHT	ENS. NUM.	REMARKS
FOO1	11'-1 1/2"	1'-4"	0'-8"	S0001	
FOO2	8'-7"	1'-4"	0'-8"	S0001	
FOO4	2'-0"	2'-0"	1'-0"	1016	

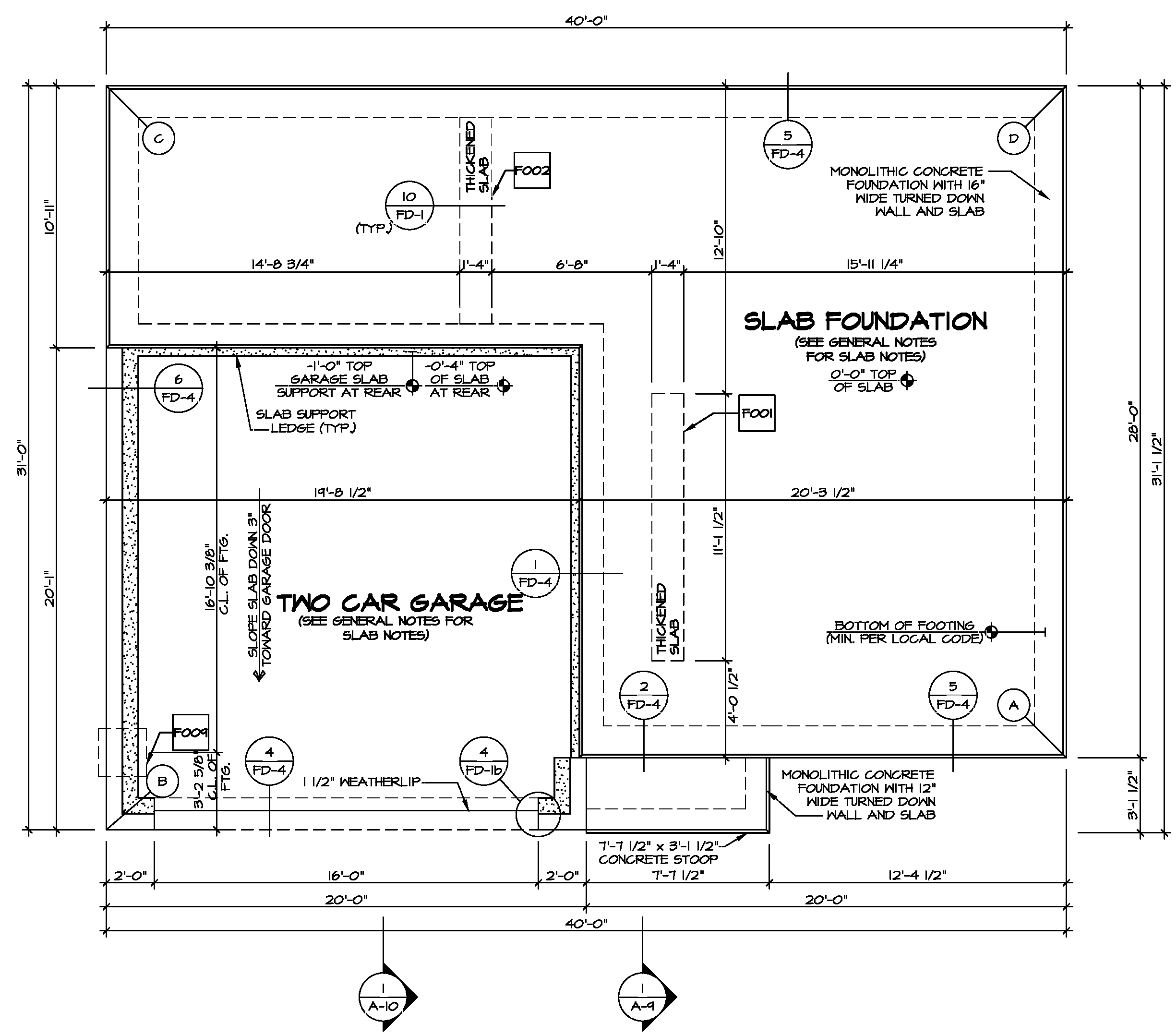
FOUNDATION DIAGONALS			
A		B	
A	0"	A	40'-1 11/32"
B	40'-1 11/32"	B	0"
C	48'-4 24/32"	C	31'-0"
D	28'-0"	D	50'-1 4/32"

FOUNDATION NOTES - SLAB

- FOUNDATION UNDER HABITABLE SPACE: CONCRETE SLAB ON 6 MIL VAPOR BARRIER OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES)
- FOUNDATION UNDER GARAGE: UNEXCAVATED WITH CONCRETE SLAB ON VAPOR BARRIER OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES) OR STRUCTURAL CONCRETE SLAB ON VAPOR BARRIER OVER SUB-BASE (SEE SPEC SHEET FOR SLAB NOTES)
- SEE FOUNDATION HOLD DOWN SHEET FOR CONNECTION INFORMATION.
- SLAB LEDGE LOCATIONS VARY W/ GRADE BEAM(S) ORIENTATION. SEE 68-1 FOR DETAILS.
- THE DIRECTION OF THE ARROW IS THE DIRECTION OF REBAR, AS REQUIRED.
- ALL FOOTINGS ARE PLAIN, UNREINFORCED CONCRETE UNLESS NOTES OTHERWISE.

LEGEND

- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARING FROM POINT-LOAD ABOVE
 - JACKS
 - BEAM/HEADER
 - PAD FOOTING
 - STEEL COLUMN
 - TRUSS TIE DOWN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS



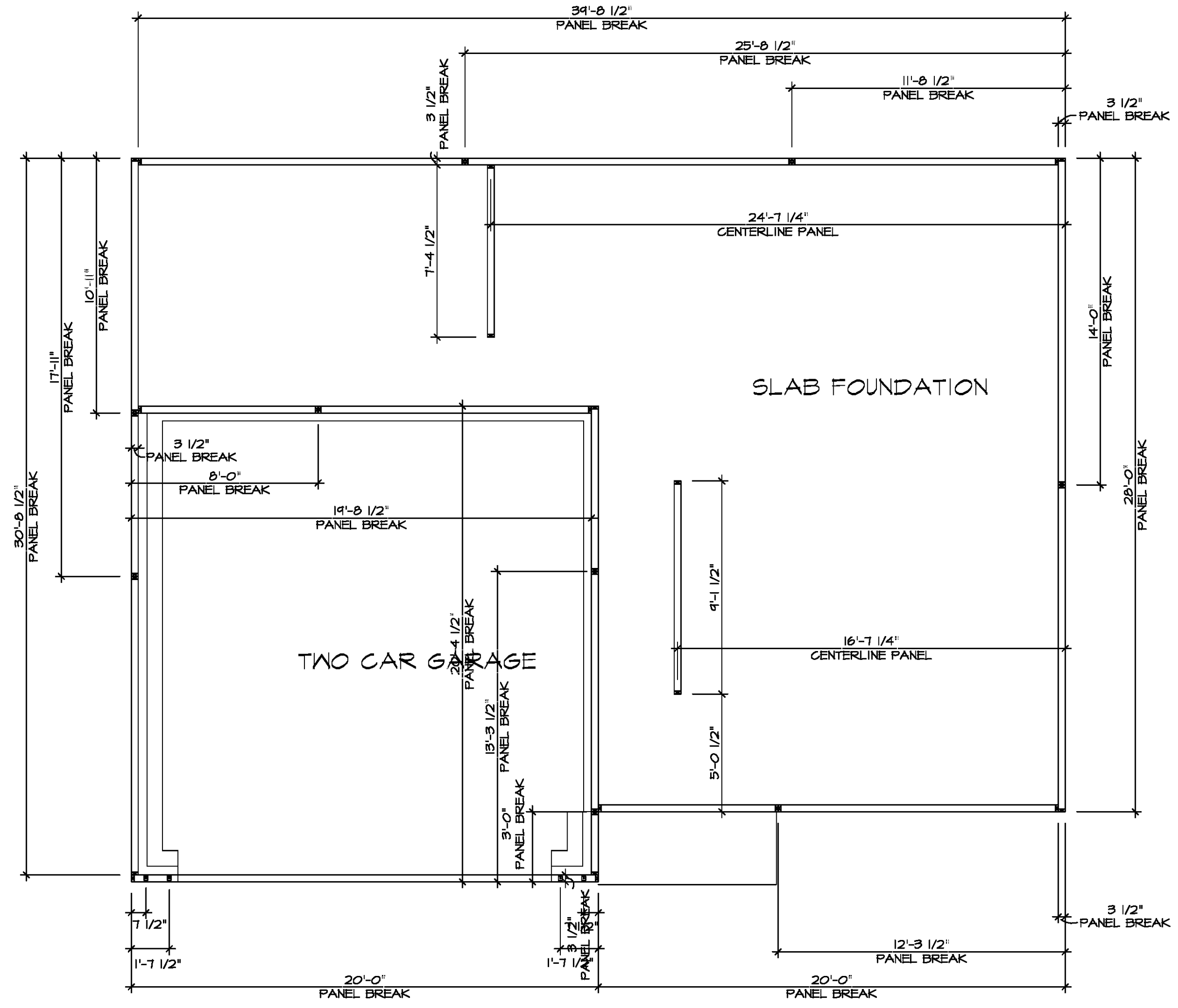
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

DIV-COMM-LOT-UNIT				
COM-LOT		APT. NO.		
STREET ADDRESS		CITY	STATE	ZIP

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Friedrich, MD 21703

SET NO. CDROO	VERSION 01	DRAWN BY	DATE:	OPTION
MODEL CEDAR		DRAWING TITLE FOUNDATION PLAN		FSA
SHEET NO. A-3	OPTION DESCRIPTION SLAB FOUNDATION			5



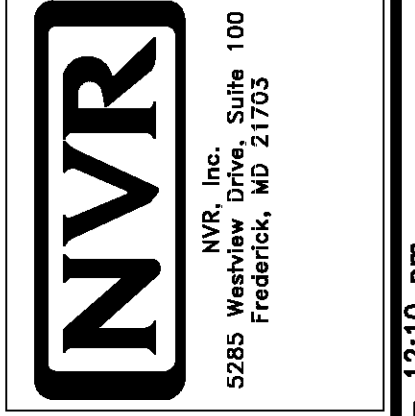
FOUNDATION HOLD DOWN DETAILS
 SCALE: 1/4" = 1'-0"

HOLD DOWN NOTES	
REFER TO DETAIL (4/FD-1) FOR HOLD DOWN OFFSET DIMENSIONS. REFER TO DETAIL (12/FD-1) FOR HOLD DOWNS ON CMU BLOCK.	
 STRAP	<ol style="list-style-type: none"> ALL PANELS GREATER THAN 24' SHALL HAVE AN ANCHOR WITHIN 12" OF THE PANEL BREAKS / ENDS. (SEE DETAIL SHEET FF-1 FOR MORE INFORMATION ON ANCHOR DETAILS) STRAP: <ol style="list-style-type: none"> ON FOUNDATION USE (5THD14) ON FLOOR SYSTEM USE (5THD14R.U) ALL OTHER HOLD DOWN SEE DETAIL (WB-2) FOR MORE INFORMATION. STRAP LOCATION ON PLANS SHOWN BY DASHED DIMENSION TO CENTER OF STUDS
OR	
 BOLT	<ol style="list-style-type: none"> 5/8" THREADED ROD ALL OTHER HOLD DOWN SEE DETAIL (WB-2) FOR MORE INFORMATION. BOLT LOCATION ON PLANS SHOWN BY SOLID DIMENSION TO CENTER OF BOLT



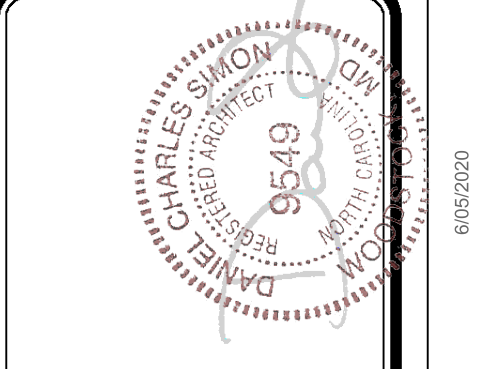
DIV-COMM-LOT-UNIT
 COMM-LOT
 STREET ADDRESS
 CITY STATE ZIP

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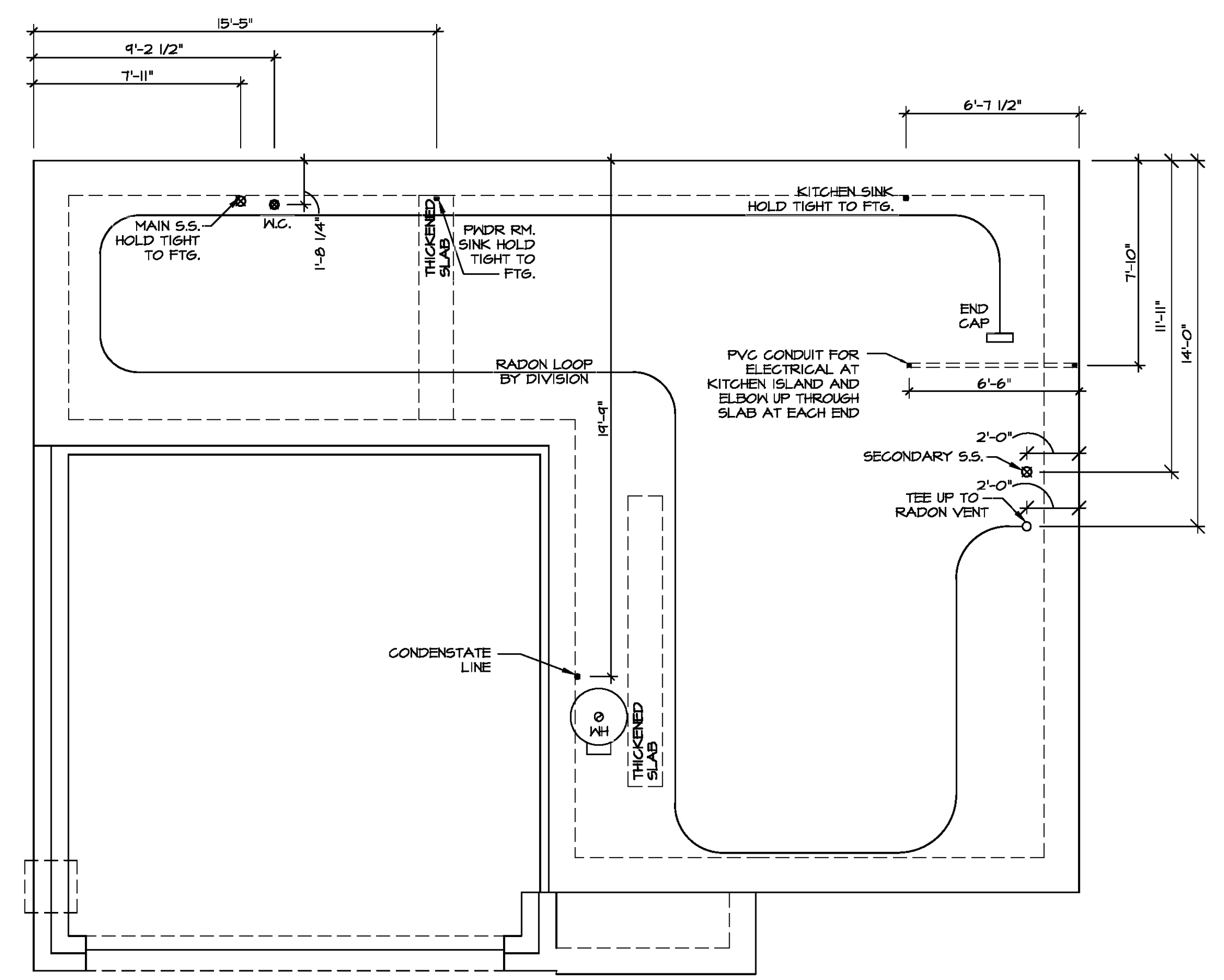


SET NO. CDPROO	VERSION 01
DRAWN BY	DATE:
OPTION	OPTION

MODEL CEDAR	DRAWING TITLE	FOUNDATION HOLD DOWN DETAILS
SHEET NO. A-4	OPTION DESCRIPTION	6



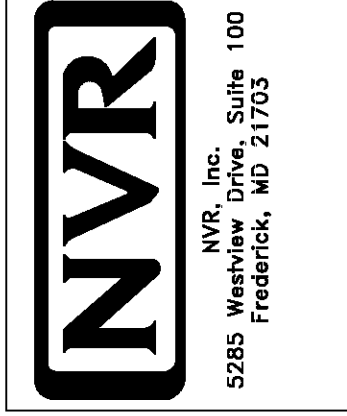
NOTE
 RADON REMEDIATION
 RADON LOOP:
 - (4") PERFORATED HDPE "LOOP"
 - MUST BE PLACED IN STONE BED SLIGHTLY HIGHER THAN ANY INTERIOR DRAINTILE
 - LOOP TO BE SEPARATE FROM ANY DRAINTILE ELEMENTS
 - TO BE CORRUGATED HDPE PIPE
 - SCREENS TO BE INSTALLED THROUGH LOOP AT TEE UP INTO STACK
STACK REQUIREMENTS:
 - 3" PVC STACK (4" IF BASEMENT IS GREATER THAN 2200 SQFT.)
 - NO PART OF STACK IS TO BE HORIZONTAL (45° ELBOWS PERMITTED AS REQUIRED)
 - PIPE TO BE PHYSICALLY LABELED IN THE FIELD AS "RADON VENT" OR OTHER JURISDICTIONALLY REQUIRED LANGUAGE (ON EVERY LEVEL OF HOUSE)
 - ROOF TERMINATION TO BE IN TOP 1/3 OF ROOF
 - SCREEN OR VENT CAP INSTALLED TO KEEP PESTS OUT OF RADON VENT AT ROOF TERMINATION.



PLUMBING PLAN
 SCALE: 1/4" = 1'-0"

DIV-COMM-LOT-UNIT
 COMM-LOT
 STREET ADDRESS
 CITY STATE ZIP

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MODEL CEDAR	SET NO. CDPROO	VERSION 01
DRAWING TITLE PLUMBING PLAN	DRAWN BY	DATE:
OPTION DESCRIPTION	OPTION	
SHEET NO. A-5		7

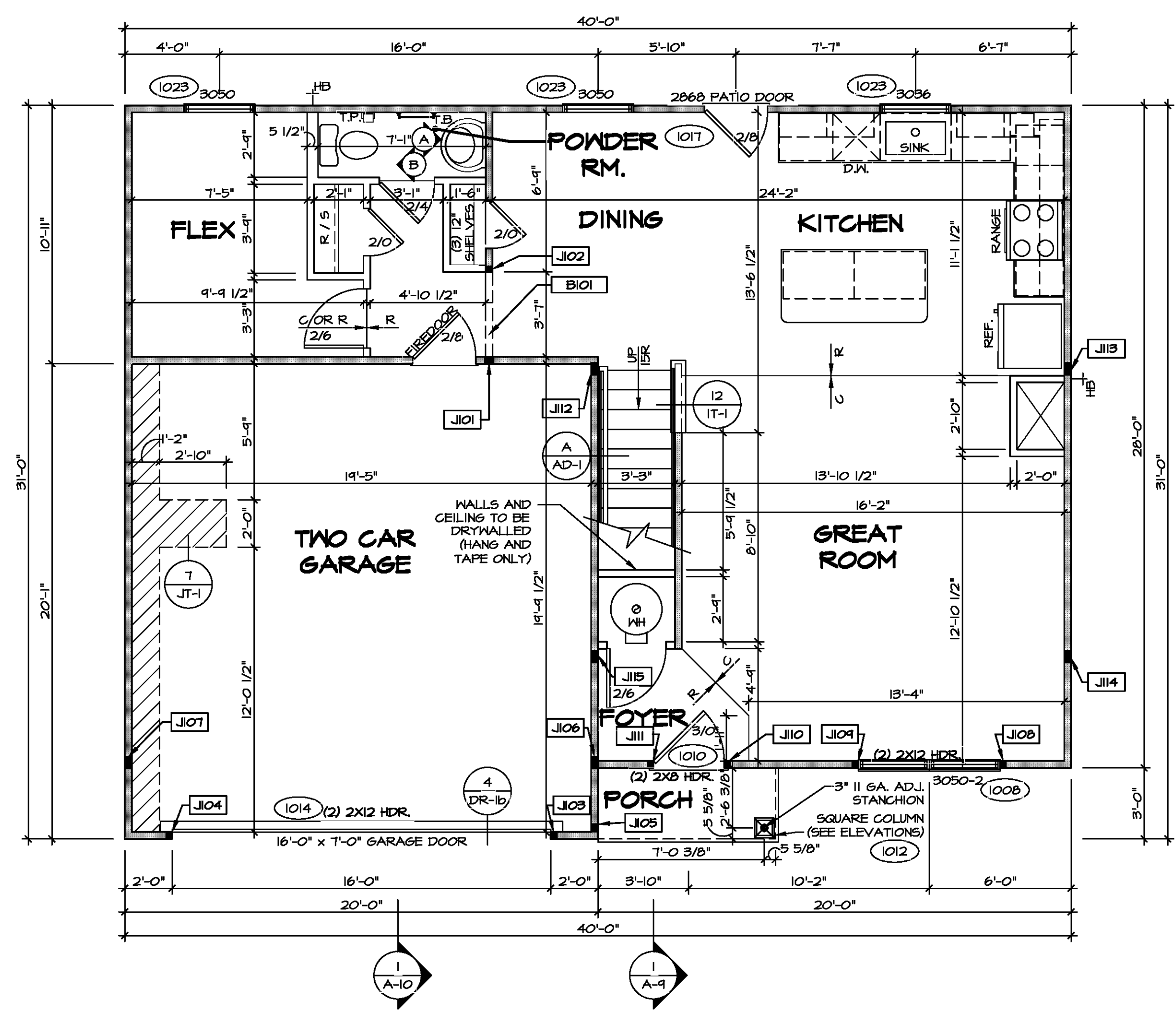
FIRST FLOOR JACK SCHEDULE			
IDENTIFIER	DESCRIPTION	ENG. NUM.	REMARKS
J101	JACK - (3) 2X4 SFF STUD GRADE	1019	
J102	JACK - (2) 2X4 SFF STUD GRADE	1019	
J103	JACK - (2) 2X4 SFF STUD GRADE	1014	
J104	JACK - (2) 2X4 SFF STUD GRADE	1014	
J105	JACK - (2) 2X4 SFF STUD GRADE	1012	
J106	JACK - (4) 2X4 SFF STUD GRADE	1025	
J107	JACK - (4) 2X4 SFF STUD GRADE	1025	
J108	JACK - (2) 2X4 SFF STUD GRADE	1008	
J109	JACK - (2) 2X4 SFF STUD GRADE	1008	
J110	JACK - (2) 2X4 SFF STUD GRADE	1010	
J111	JACK - (2) 2X4 SFF STUD GRADE	1010	
J112	JACK - (4) 2X4 SFF STUD GRADE	1006	
J113	JACK - (4) 2X4 SFF STUD GRADE	1006	
J114	JACK - (4) 2X4 SFF STUD GRADE	1006	
J115	JACK - (4) 2X4 SFF STUD GRADE	1006	

FIELD INSTALLED FIRST FLOOR BEAM/HEADER SCHEDULE				
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS
B101	INT HEADER - 2X6 - 2 FLY	4'-1"	1019	

LEGEND	
	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	TRUSS TIE DOWN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER
SEE FC DETAILS FOR FRAMING CONNECTORS	

- FLOOR PLAN NOTES**
- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
 - ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK AND KING STUD EACH END, UNLESS OTHERWISE NOTED. MULTI-OPENING HEADERS TO HAVE (2) JACKS AT INTERMEDIATE BEARINGS, UNLESS OTHERWISE NOTED. NO ADDITIONAL FLOOR SYSTEM BLOCKING OR CONTINUOUS LOAD PATH JACKS ARE REQUIRED UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS TO BE 4" w/ OSB OR 3 1/2" w/ LAMINATED FIBROUS STRUCTURAL SHEATHING, ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
 - SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 - SEE STANDARD DETAIL CATEGORY "11" SHEET(S) FOR INTERIOR TRIM DETAILS.
 - SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
 - ALL WINDOWS HAVE 7'-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
 - ALL HEADERS IN NON-BEARING WALLS SHALL BE A SINGLE FLAT 2x4 OR 2x6 ATTACHED TO CRIPPLES ABOVE, UNLESS OTHERWISE NOTED.
 - TANKED WATER HEATER SHOWN AS BASE CONDITION, OPTIONAL TANKLESS WATER HEATER IS AVAILABLE IN LIEU OF TANKED WATER HEATER.

- GYPSUM NOTES**
- AT GARAGE:
GYPSUM BOARD AT COMMON WALLS, CEILINGS, BEAM WRAPS AND SUPPORTS PER STANDARD DETAIL FA-1(b) FIRE ASSEMBLIES OR AS REQUIRED BY LOCAL CODE.
- AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DIV-COMM-LOT-UNIT COMM-LOT STREET ADDRESS CITY	APT. NO. STATE ZIP
---	--------------------------

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SET NO. CDROO VERSION 01 DRAWN BY DATE:	OPTION 9
--	-------------

MODEL: CEDAR
DRAWING TITLE: FIRST FLOOR PLAN
OPTION DESCRIPTION: 9



LEGEND	
	BEARING WALL
	NON BEARING WALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	TRUSS TIE DOWN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

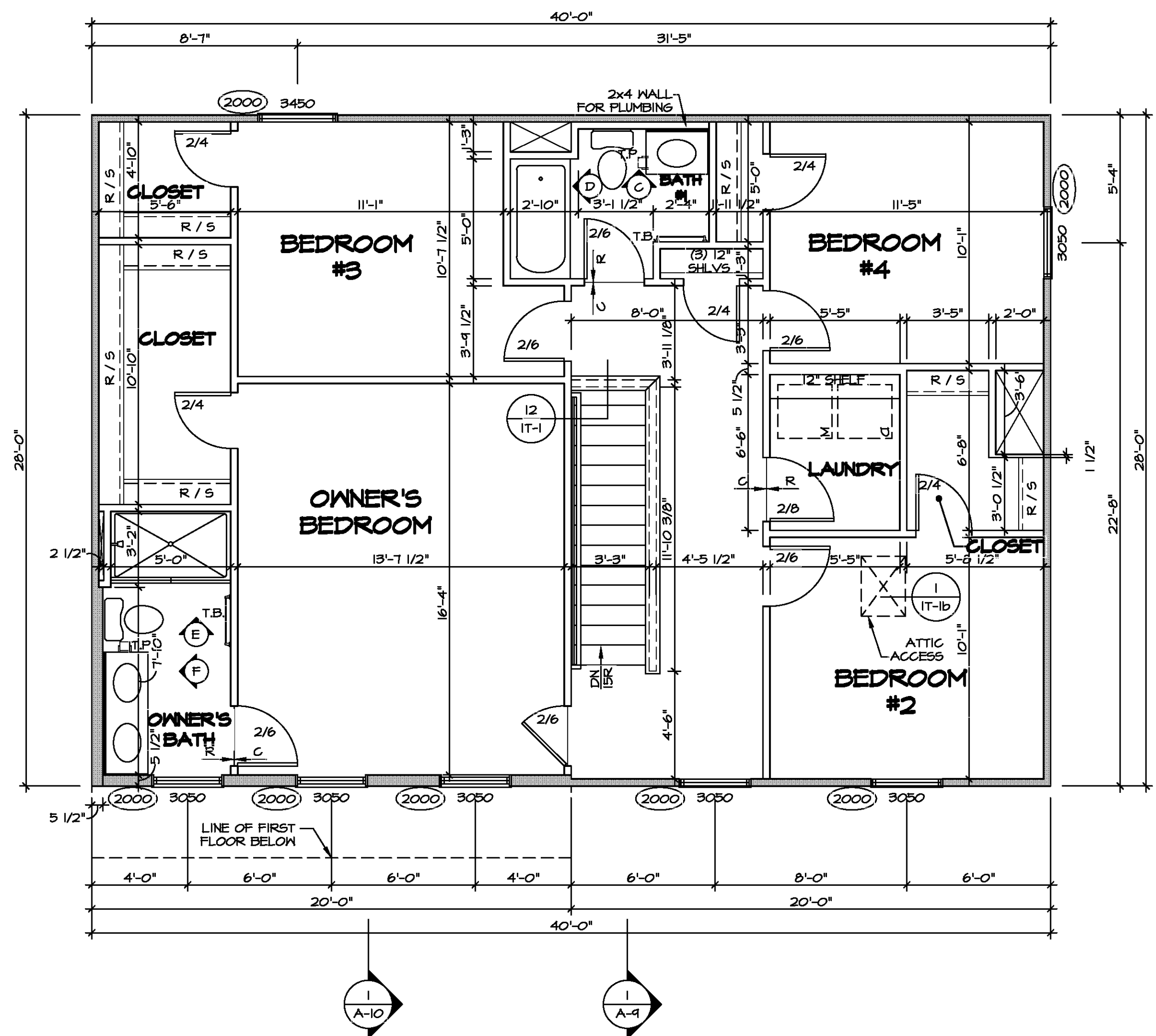
FLOOR PLAN NOTES

- ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
- ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK AND KING STUD EACH END, UNLESS OTHERWISE NOTED. MULTI-OPENING HEADERS TO HAVE (2) JACKS AT INTERMEDIATE BEARINGS, UNLESS OTHERWISE NOTED. NO ADDITIONAL FLOOR SYSTEM BLOCKING OR CONTINUOUS LOAD PATH JACKS ARE REQUIRED UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS TO BE 4" w/ OSB OR 3 1/2" w/ LAMINATED FIBROUS STRUCTURAL SHEATHING, ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED. HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
- SEE "BRACED WALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
- SEE STANDARD DETAIL CATEGORY "IT" SHEET(S) FOR INTERIOR TRIM DETAILS.
- SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
- ALL WINDOWS HAVE 7'-0" 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
- ALL HEADERS IN NON-BEARING WALLS SHALL BE A SINGLE FLAT 2x4 OR 2x6 ATTACHED TO CRIPPLES ABOVE, UNLESS OTHERWISE NOTED.
- TANKED WATER HEATER SHOWN AS BASE CONDITION, OPTIONAL TANKLESS WATER HEATER IS AVAILABLE IN LIEU OF TANKED WATER HEATER.

GYPSUM NOTES

AT GARAGE:
GYPSUM BOARD AT COMMON WALLS, CEILINGS, BEAM WRAPS AND SUPPORTS PER STANDARD DETAIL FA-1(b) FIRE ASSEMBLIES OR AS REQUIRED BY LOCAL CODE.

AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET



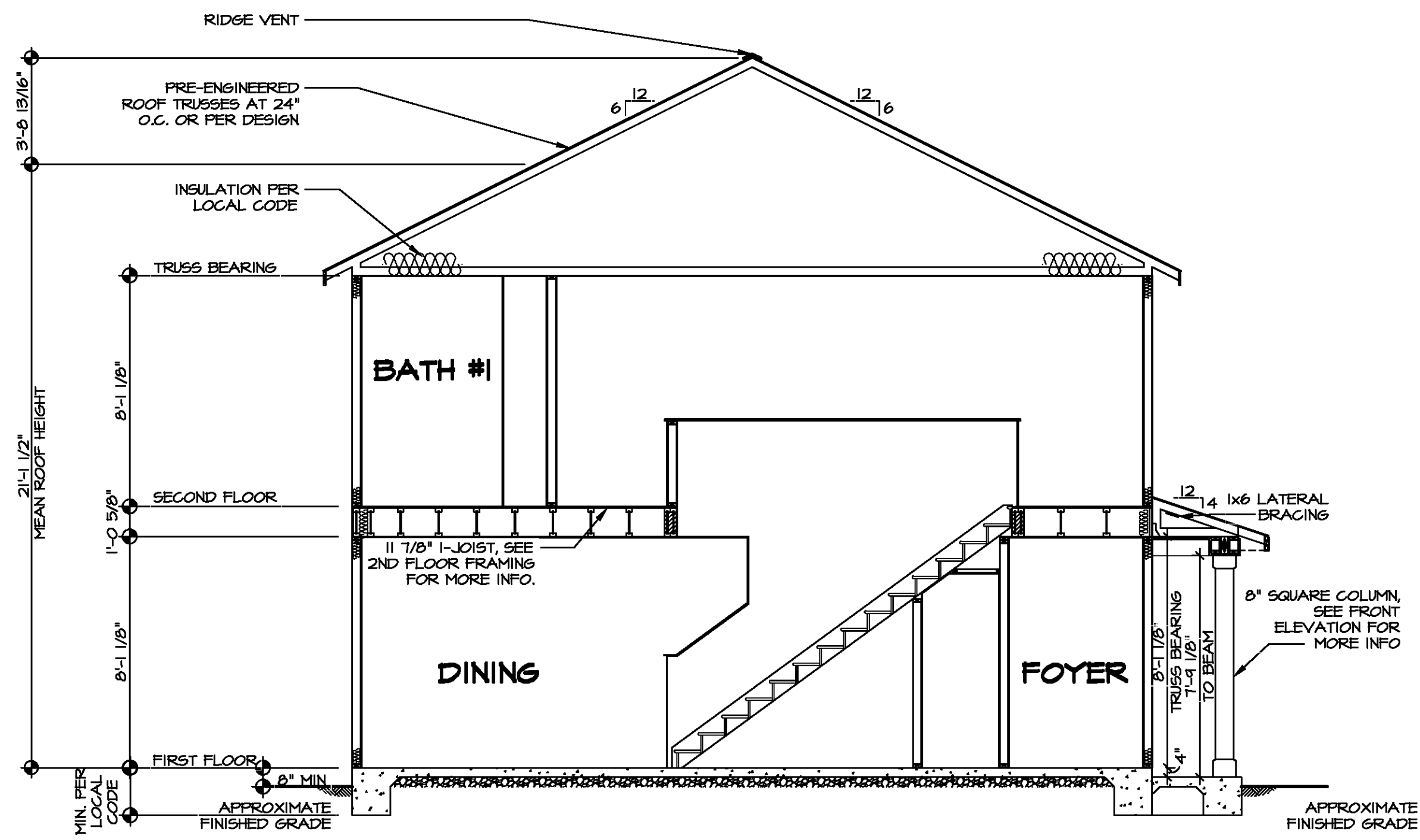
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

DIV-COMM-LOT-UNIT		COM-LOT		STREET ADDRESS		CITY		STATE		APT. NO.		ZIP	
MODEL		DRAWING TITLE		OPTION DESCRIPTION		SET NO.		VERSION		DRAWN BY		DATE	
CEDAR		SECOND FLOOR PLAN				A-8		10					

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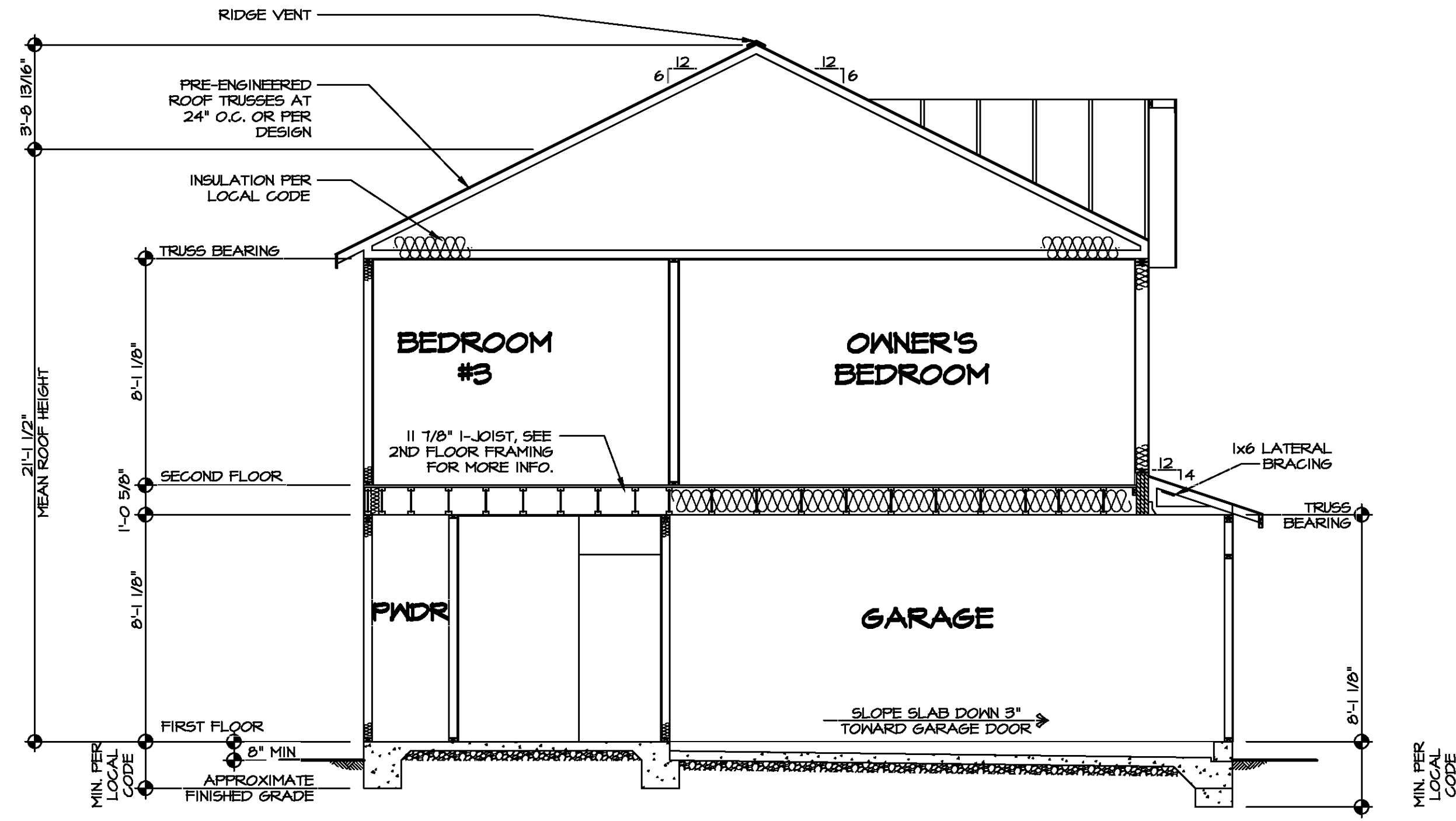
BUILDING SECTION - FOYER
SCALE: 1/4" = 1'-0"

SHEET NO. A-9	MODEL CEDAR	SET NO. CDROO	DIV-COMM-LOT-UNIT -----
DRAWING TITLE BUILDING SECTION - FOYER	VERSION 01	DRAWN BY DATE:	COMM-LOT STREET ADDRESS CITY STATE ZIP
OPTION DESCRIPTION 		DATE: OPTION	

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 Frederick, MD 21703

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VA-18-50d12-105a\ASD\2020_1stHdlf-Complete\18VA\DETACHED\CEDAR-CBROO-01\ELX-R-06-0060\11_A-9_SECT_LS.dwg_06/04/20 - 2:15 pm



BUILDING SECTION - GARAGE
SCALE: 1/4" = 1'-0"

SHEET NO. A-10	MODEL CEDAR	SET NO. CDROO VERSION 01	DRAWN BY DATE:	OPTION OPTION
		DRAWING TITLE BUILDING SECTION - GARAGE		OPTION DESCRIPTION 12
DIV.-COMM-LOT-UNIT COMM-LOT STREET ADDRESS CITY STATE ZIP		© NVR, Inc. expressly reserves the right to modify these plans at any time without notice. These plans are not to be reproduced, changed or altered in any way without the written consent of NVR, Inc.		
		NVR, Inc. Suite 100 5285 Walkers Lane Frederick, MD 21703		
VA-18-5012-185A ASDA 2020 1stHilf-Complete R14A DETACHED CEDAR - CDROO-01 ELK_R-06-0060 12 A-10 SECT_GAR_LS.dwg 06/04/20 - 2:15 PM				



SECOND FLOOR FRAMING LENGTH SCHEDULE				
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS
2AA	PRI 60 - 11-14	34'-4 3/4"		J-0053
2AA-2	PRI 60 - 11-14 DBL	34'-4 3/4"	1036	J-0154
2AB	PRI 60 - 11-14	16'-4 1/8"		J-0054
2AC	PRI 60 - 11-14	16'-4 3/4"		
2AE	PRI 60 - 11-14	34'-4 3/4"		J-0055
2AF-2	PRI 60 - 11-14 DBL	20'-2 3/8"	1006	J-0055
2AG	PRI 60 - 11-14	34'-4 3/4"		J-0053

LVL PLY TO PLY FASTENING SCHEDULE: (WHERE APPLICABLE BASED ON LVL USAGE)

- 1.A - (2) PLY UP TO AND INCLUDING 11 7/8" TALL; FASTEN PLYS W/ (2) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (3) ROWS 12D NAILS AT 12" O.C.
- 2.A - (2) PLY 14" TO AND 15" TALL (INCLUSIVE); FASTEN PLYS W/ (3) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (4) ROWS 12D NAILS AT 12" O.C.
- 3.A - (2) PLY 20" TALL AND OVER; FASTEN PLYS W/ (4) ROWS 16D NAILS AT 12" O.C. OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (5) ROWS 12D NAILS AT 12" O.C.
- 4.A - (3) PLY UP TO AND INCLUDING 11 7/8" TALL; FASTEN PLYS W/ (2) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (3) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.
- 5.A - (3) PLY 14" TO AND 15" TALL (INCLUSIVE); FASTEN PLYS W/ (3) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (4) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.
- 6.A - (3) PLY 20" TALL AND OVER; FASTEN PLYS W/ (4) ROWS 16D NAILS AT 12" O.C. FROM EACH SIDE OR ALT 1 1/2" WIDE LVL FASTEN PLYS W/ (5) ROWS 12D NAILS AT 12" O.C. FROM EACH SIDE.
- 7.A - (4) PLY (ALL SIZES); FASTEN PLYS W/ (2) ROWS 1/2" DIAMETER A307 BOLTS AT 24" O.C. SEE SHOP DRAWING FOR ADDITIONAL INFORMATION.

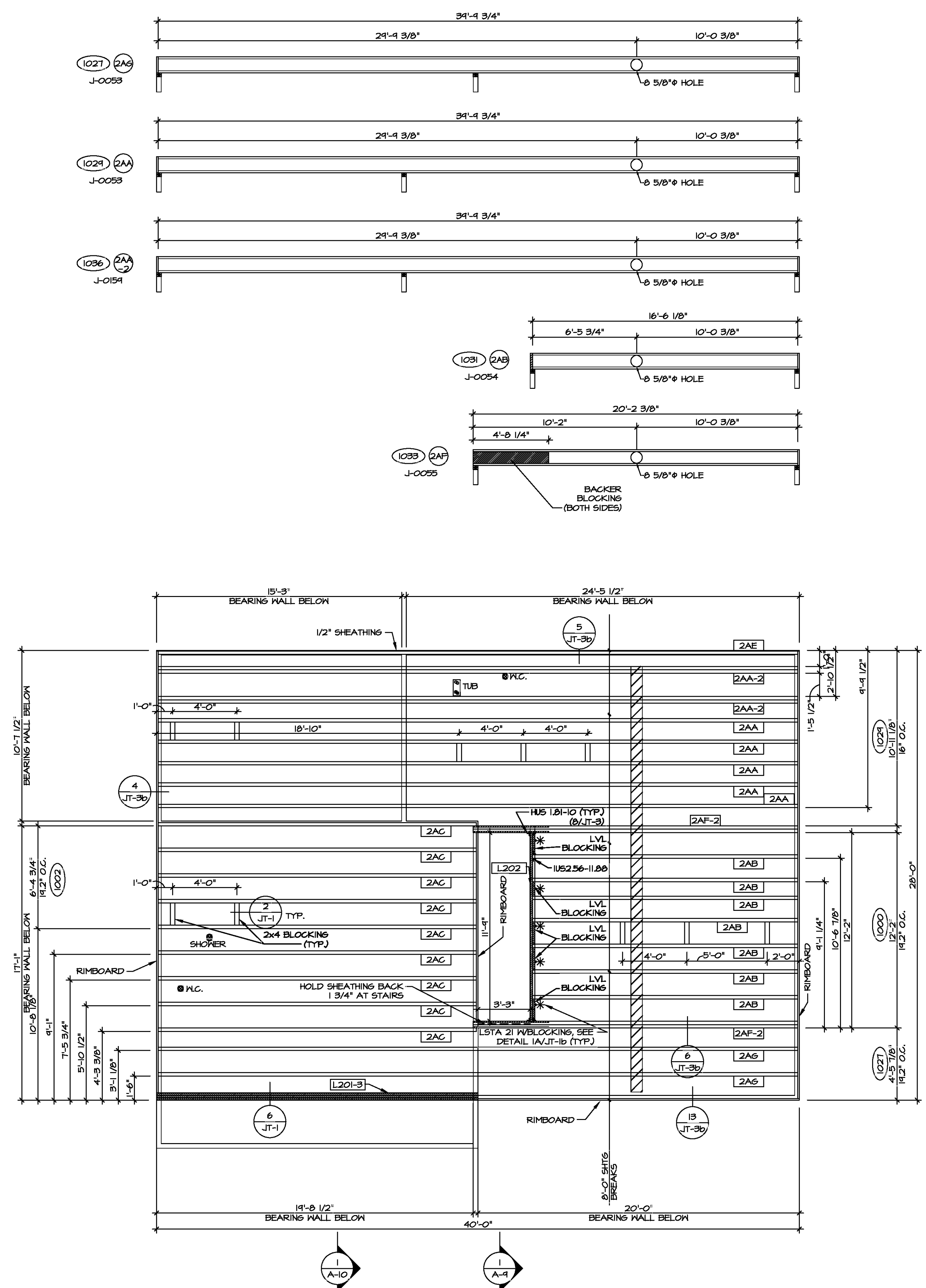
SECOND FLOOR LVL LENGTH SCHEDULE				
IDENTIFIER	DESCRIPTION	LENGTH	ENG. NUM.	REMARKS
L201-3	LVL 1.75 - 18	20'-0"	1025	5.A
L202	LVL 1.75 - 11-14	11'-4"	1004	

LEGEND	
	BEARING WALL
	INDICATES BEARINGS FROM POINT-LOAD ABOVE
	JACKS
	BEAM-HEADER
	PAD FOOTING
	STEEL COLUMN
	TRUSS TIE DOWN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

SEE P.C. DETAILS FOR FRAMING CONNECTORS

I-JOIST FLOOR SYSTEM

1. SUBFLOOR IS 3/4" TONGUE AND GROOVE OSB STANDARD.
2. JOIST LENGTHS SHIPPED IS THE NEXT HIGHEST LENGTH TO CUT FROM.
3. ALL RIMBOARD TO BE 1-1/2" THICK UNL.O.
4. REFER TO STANDARD DETAIL 1/JT-3 FOR HOLE CUTTING GUIDELINES.
5. PROVIDE RIMBOARD SOLID BLOCKING AT EXTERIOR WALLS AND BELOW ALL JACKS AS REQUIRED.
6. REFER TO DETAIL 8/JT-3 FOR HANGER DETAIL.
7. ALL JOISTS TO BE PRI40, PRI60 OR PRI80; REFERENCE SCHEDULE FOR SPECIFIC SERIES PER MEMBER.
 - A. PRI40 SERIES ARE SHOWN AS SHADED ON FRAMING PLAN.
8. SEE CONNECTOR / NAIL CHART IN STANDARD DETAILS (FC-4) FOR TYPICAL HANGERS.
9. WITH VENTED CRAWL SPACE ADD HANGERS AND DOUBLE RIMBOARD ABOVE FOUNDATION VENTS AND ACCESS PANEL(S).
10. ALL LVL BLOCKING CUT FROM 14'-0" MATERIAL.
 - II. ADHESIVE TO BE APPLIED AT THE RATE OF (1) TUBE PER TWO AND ONE-HALF SHEETS; SHEETS ARE TO BE GLUED AND PLACED ONE AT A TIME. **APPLY GLUE TO TONGUE AND GROOVE.**
 - III. ADHESIVE TO BE ADDED TO ALL JOIST HANGERS PRIOR TO SETTING JOISTS.
11. J-XXXX SHOP DRAWINGS ARE ASSOCIATED WITH PLANT MODIFIED I-JOISTS OR PLANT BUILT JOIST COMPONENTS.



SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

DIV-COMM-LOT-UNIT COMM-LOT STREET ADDRESS CITY	APT. NO. STATE ZIP
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SET NO. CDROO VERSION 01 DRAWN BY DATE: OPTION	MODEL CEDAR DRAWING TITLE SECOND FLOOR JOIST LAYOUT OPTION DESCRIPTION
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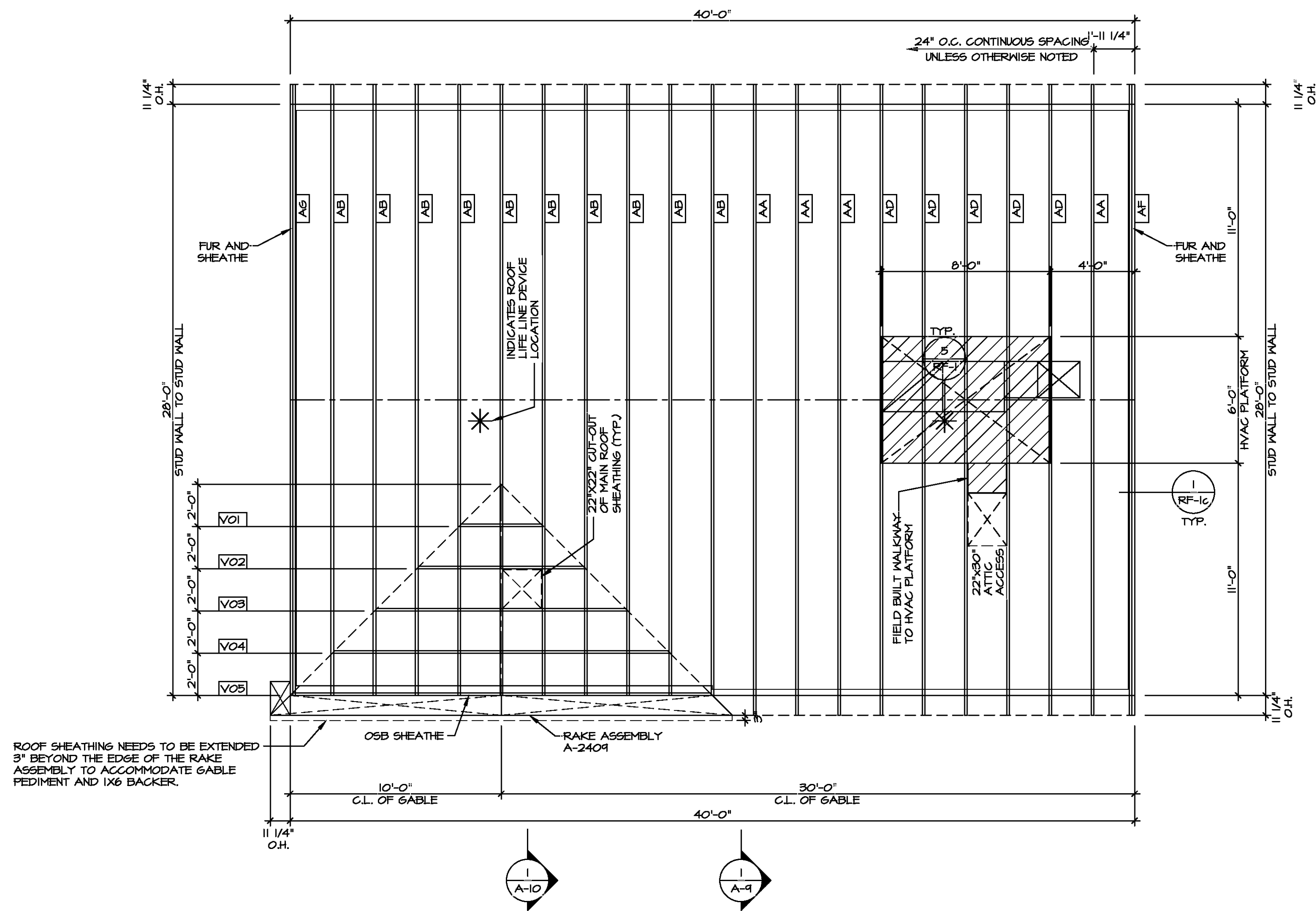
SHEET NO. S-2	TOTAL SHEETS 20
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VA-18-5012-105A ASDA 2020 11/10/21-Complete NVA DETACHED CEDAR-CR000-01/ELK-R-CG-0060/20-S-2_JSTZ-LS.dwg_06/04/20 - 2:15 pm

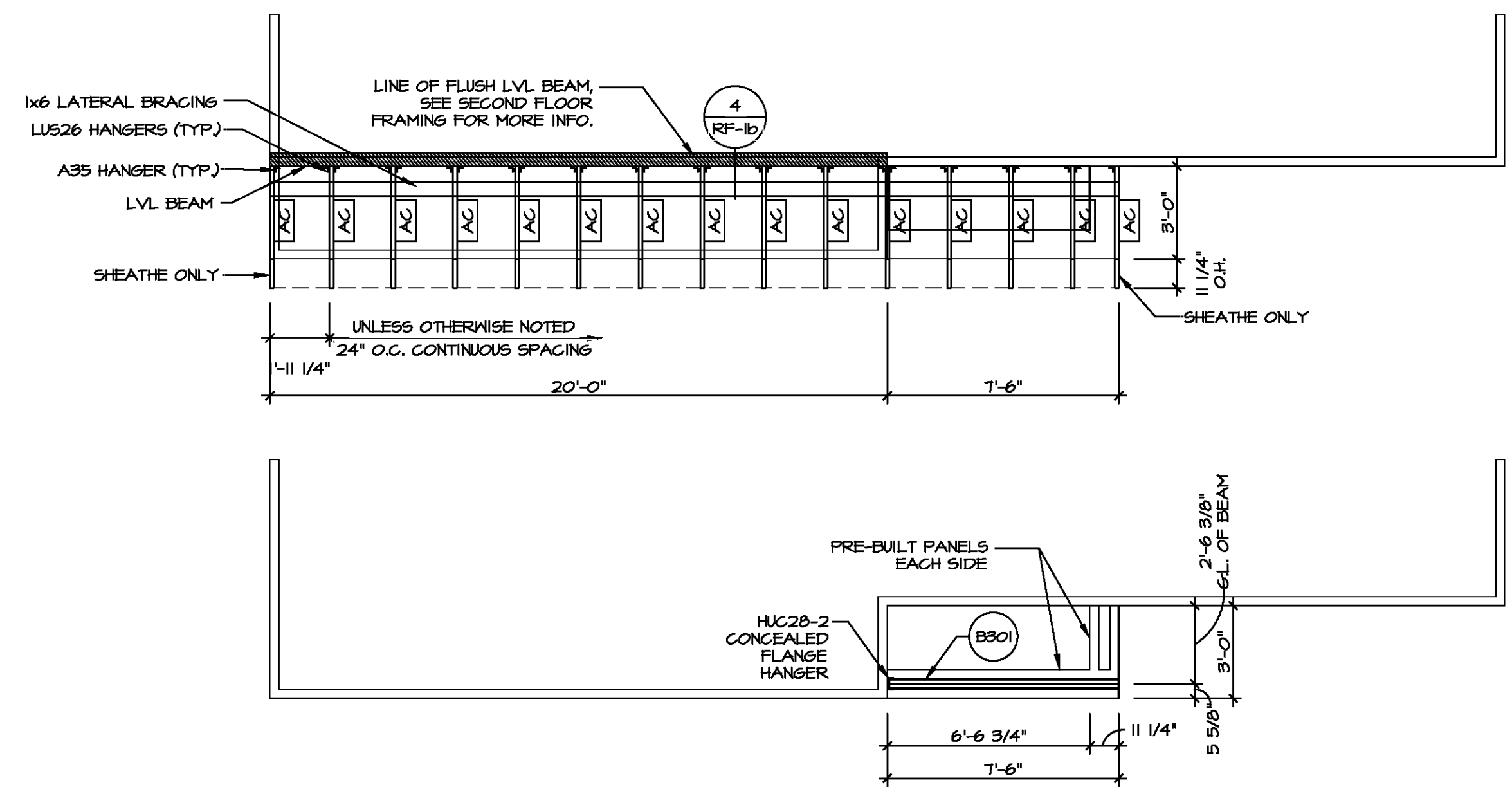
TRUSS SCHEDULE					
IDENTIFIER	SPECS	TRUSS NUMBER	LENGTH	ROOF PITCH (X/12)	TYPE
AA	SE	16403	28'-0"	6/12	COMMON
AB	SE	16404	28'-0"	6/12	SPECIAL
AC	SE	16400	3'-0"	6/12	MONO
AD	SE	16408	28'-0"	6/12	COMMON
AF	SE	16410	28'-0"	6/12	GABLE END
AG	SE	16413	28'-0"	6/12	GABLE END
VO1	VT	43344	4'-0"	6-6/12	VALLEY
VO2	VT	43345	8'-0"	6-6/12	VALLEY
VO3	VT	43346	12'-0"	6-6/12	VALLEY
VO4	VT	43407	16'-0"	6-6/12	VALLEY
VO5	VT	43401	20'-0"	6-6/12	VALLEY

FIELD INSTALLED ROOF FRAMING BEAM/HEADER SCHEDULE

IDENTIFIER	DESCRIPTION	LENGTH	ENS. NUM.	REMARKS
B301	BEAM BUILT 2X8 - 2 PLY RFF	7'-6"	1012	



ROOF SHEATHING NEEDS TO BE EXTENDED 3" BEYOND THE EDGE OF THE RAKE ASSEMBLY TO ACCOMMODATE GABLE PEDIMENT AND 1X6 BACKER.



LEGEND

- BEARING WALL
- NON BEARING WALL
- INDICATES BEARING FROM POINT-LOAD ABOVE
- JACKS
- BEAM/HEADER
- PAD FOOTING
- STEEL COLUMN
- TRUSS TIE DOWN
- PORTAL FRAME
- JOIST/TRUSS
- LVL
- ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

ROOF FRAMING NOTES

- REFER TO THE STANDARD DETAILS FOR THE FOLLOWING:
 - TRUSS TIE-DOWNS (1/TRF-1)
 - PIGGYBACK TRUSS ATTACHMENT (2/TRF-1)
 - VALLEY GABLE TRUSS BRACING (3/TRF-1)
 - GABLE BRACING (1/TRF-1c)
 - TRUSS BRACING (2/TRF-1c)
 - LIFELINE ATTACHMENT (5/TRF-1)
- IF TRUSS DOES NOT APPEAR ON THE TRUSS BRACING SHEET, NO ADDITIONAL LATERAL BRACING REQUIRED.

1
ROOF FRAMING
SCALE: 1/4" = 1'-0"

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MODEL: CEDAR
DRAWING TITLE: ROOF FRAMING
OPTION DESCRIPTION: 21

SHEET NO. S-3

SET NO. CDROO
VERSION 01
DRAWN BY:
DATE:
OPTION

DIV-COMM-LOT-UNIT
COM-LOT
STREET ADDRESS
CITY STATE ZIP
APT. NO.

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VA-18-5012-105A ASDA 2020 11/10/21-Completed NVA DETACHED CEDAR-CR000-01 ELK-R-06-0680 21 S-3 RFF-LS.nwr 06/04/20 - 2:15 PM

BRACED WALL LINE SCHEDULE				
WIND SPEED (M.P.H.)	IDENTIFIER	ACTUAL (FT)	REQUIRED (FT)	METHOD
130 MPH	BWL 100.00	14.51'	9.36'	CONTINUOUS (2 SIDES)
130 MPH	BWL 101.00	19.46'	14.78'	WSP (2 SIDES)
130 MPH	BWL 102.00	22.74'	10.73'	WSP (2 SIDES)
130 MPH	BWL 103.00	26.42'	15.24'	WSP (2 SIDES)
130 MPH	BWL 200.00	21.00'	5.18'	WSP (2 SIDES)
130 MPH	BWL 201.00	21.32'	7.06'	WSP (2 SIDES)
130 MPH	BWL 202.00	34.29'	5.18'	WSP (2 SIDES)
130 MPH	BWL 203.00	25.13'	7.06'	WSP (2 SIDES)

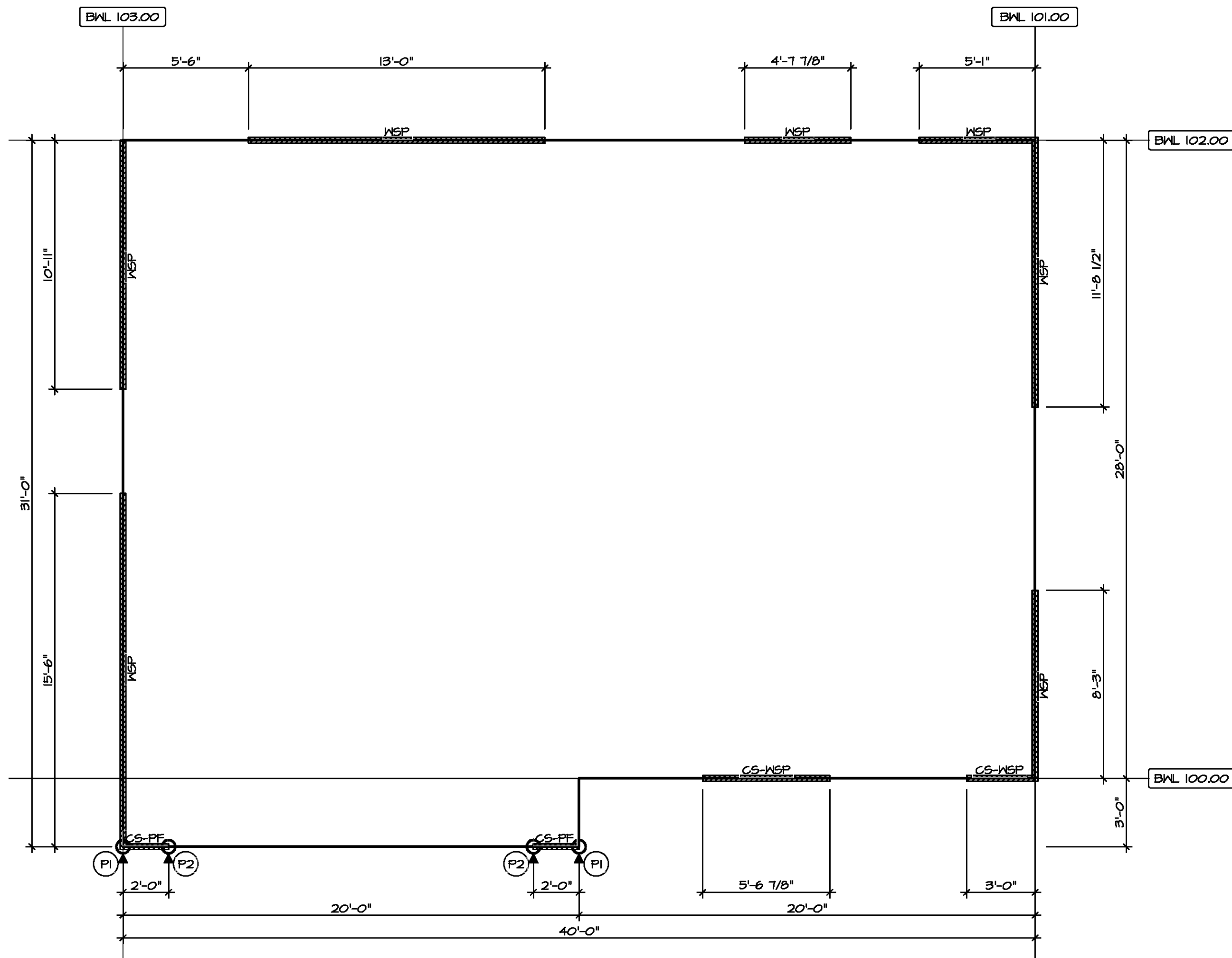
SHEATHING NOTE
 LAMINATED FIBROUS STRUCTURAL (LFS) SHEATHING MATERIAL SHALL BE INSTALLED ON ALL WALLS UNLESS OTHERWISE NOTED ON THE FLOOR PLAN. INSTALL IN ACCORDANCE WITH SBGRI TECHNICAL EVALUATION REPORT. STRUCTURAL PERFORMANCE UNDER LATERAL LOAD CONDITIONS IS DESIGNED. INSTALLATION SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS FOR WOOD STRUCTURAL PANELS (WSP/CS-WSP) AS DEFINED IN THE APPROPRIATE TER SECTION.
STRUCTURAL SHEATHING MATERIAL
 - OX THERMO-PLY TER NO. 1004-01
 - BARRICADE THERMO-BRACE TER NO. 1507-03
 - NSP DRYLINE TSX TER NO. 1407-06

SHEATHING	FASTENER	SPACING	
		EDGES	FIELD
7/16" WOOD STRUCTURAL PANELS OR EQUIVALENT (W METHOD WSP, CS-WSP, CS-S)	8d COMMON NAILS	6" O.C.	12" O.C.
	ALTERNATIVE FASTENER 1-3/4" 16-GAUGE CORROSION RESISTANT STAPLES	3" O.C.	12" O.C.
1/2" GYPSUM WALLBOARD (W METHOD GB-1, GB-2)	1-1/4" LONG, 1/4" HEAD, 0.018" DIA. ANNULAR-RINGED NAILS	7" O.C.	7" O.C.
	CORROSION RESISTANT TYPE M 1-1/4" DRYWALL SCREWS	7" O.C.	7" O.C.
LAMINATED FIBROUS STRUCTURAL SHEATHING	10d X 1 1/4" GALVANIZED ROOFING NAILS	3" O.C.	3" O.C.
	1-1/4" 16-GAUGE CORROSION RESISTANT STAPLES	3" O.C.	3" O.C.
1/2" GYPSUM WALLBOARD BLOCKED AT THE EDGES (W METHOD GB-BW-1, GB-BW-2)	BLOCKING REQUIRED AT ALL GYPSUM EDGES. USED CORROSION RESISTANT TYPE M 1-1/4" DRYWALL SCREWS	4" O.C.	12" O.C.

NOTES:
 1. MINIMUM 7/16" CROWN WIDTH FOR STAPLES IN WOOD STRUCTURAL PANEL.
 2. SPECIFIED GYPSUM FASTENINGS REQUIRED ONLY WHERE METHOD GB IS IDENTIFIED. SEE PHASE SPECS FOR TYPICAL GYPSUM FASTENER SPACING.
 3. USE OF STAPLES IN WOOD STRUCTURAL PANEL AS FASTENING METHOD ON WALLS PER ENGINEERED ALTERNATIVE.

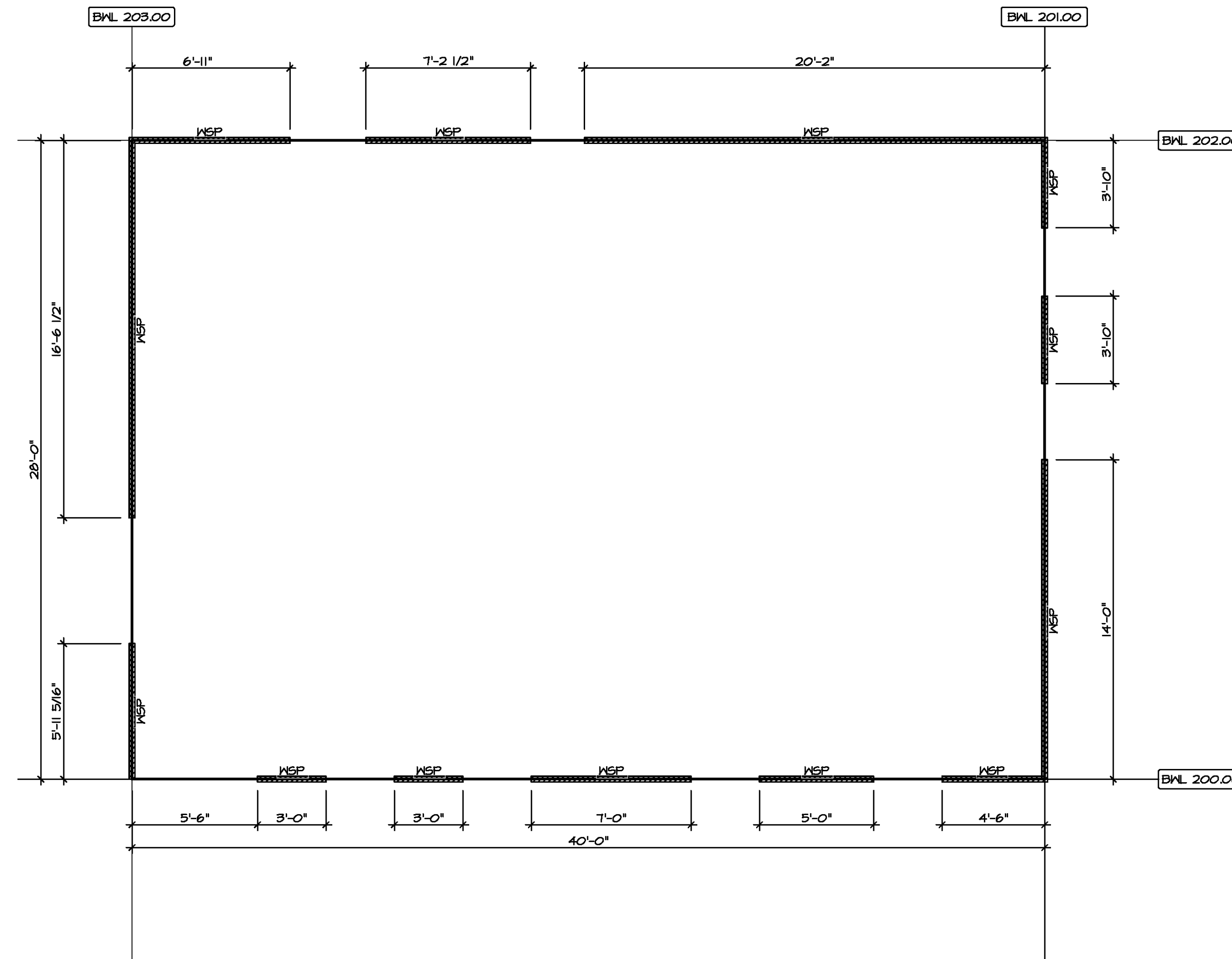
LEGEND	
BWL XXXXX	BRACED WALL LINE I.D.
---	BRACED WALL LINE
---	HOUSE WALL
	BRACED WALL PANEL
WSP	WOOD STRUCTURAL PANEL
GB	GYPSUM BOARD (1) SIDED OR (2) SIDED
GB-BW	GYPSUM BOARD BLOCKED WALL CONSTRUCTION (1) SIDED OR (2) SIDED (SEE STANDARD DETAIL 6/MB-2)
LIB	LET-IN BRACINGS (SEE STANDARD DETAIL F / MB-2)
CS-WSP	CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL
CS-PF	CONTINUOUS SHEATHING - PORTAL FRAME. SEE FLOOR PLANS FOR PORTAL FRAME HEADER INFORMATION (SEE STANDARD DETAIL A, C / MB-2)
CS-S	CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL ADJACENT TO GARAGE OPENINGS
⊙	HOLD-DOWN 1. SEE SHEET MB-2 "P" - INDICATOR SCHEDULE AND DETAILS 2. ARROW INDICATES LOCATION

NOTES:
 HOUSE HAS BEEN ANALYZED UTILIZING A PRESCRIPTIVE METHOD IN COMPLIANCE WITH INTERNATIONAL RESIDENTIAL CODES (IRC) UNLESS OTHERWISE NOTED.



**FIRST FLOOR
 BRACED WALL DETAIL**

SCALE: 1/4" = 1'-0"



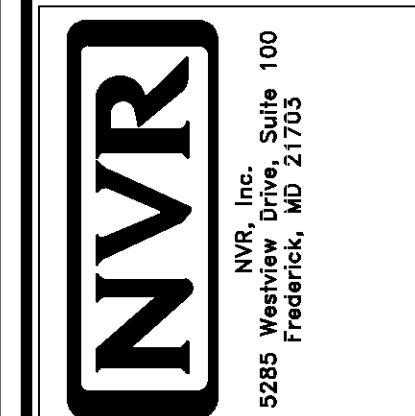
**SECOND FLOOR
 BRACED WALL DETAIL**

SCALE: 1/4" = 1'-0"

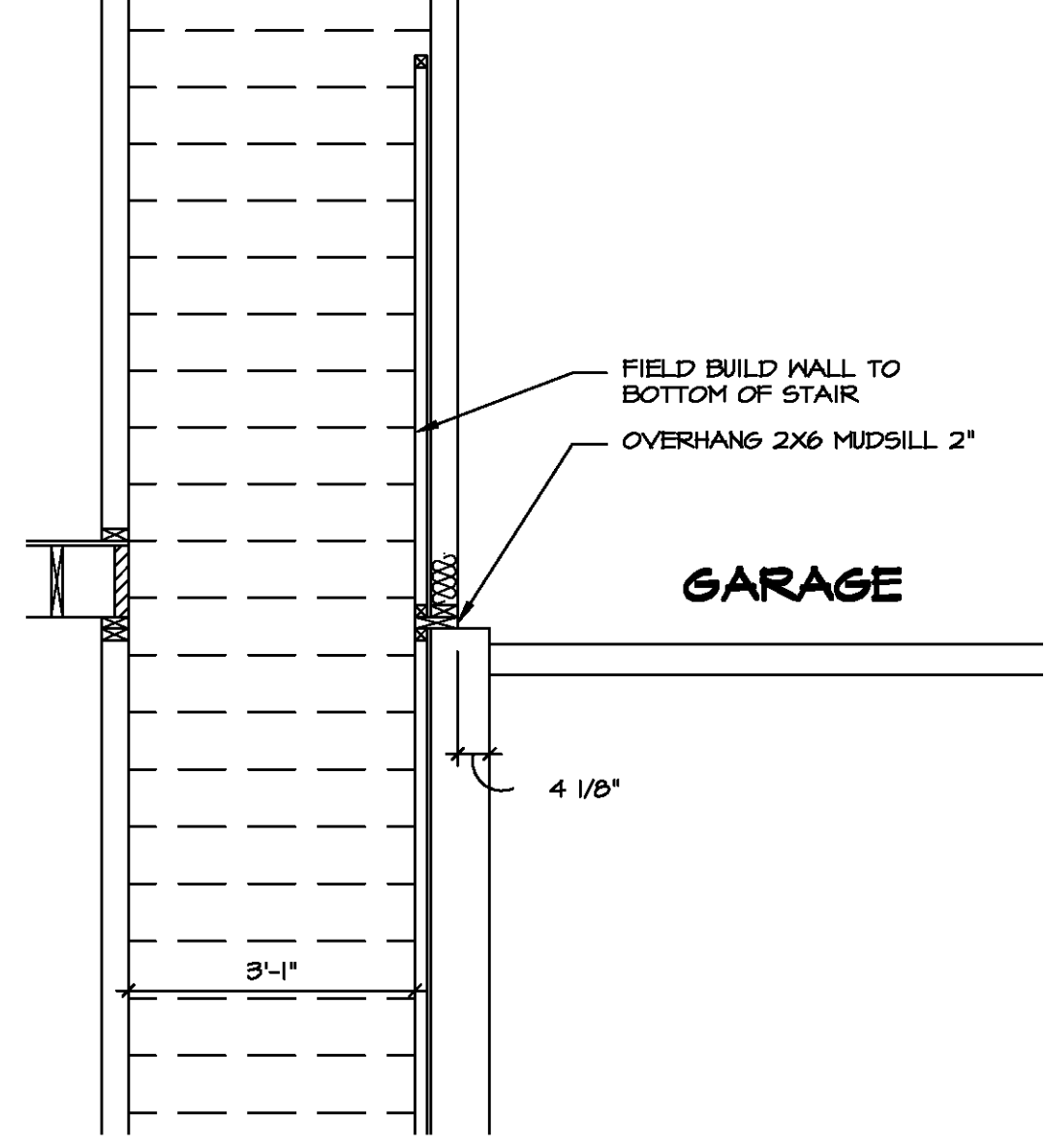


DIV-COMM-LOT-UNIT
 COM-LOT
 STREET ADDRESS
 CITY STATE ZIP
 APT. NO.

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MODEL CEDAR	SET NO. CDROO VERSION 01
DRAWING TITLE BRACED WALL PANEL DETAIL	DRAWN BY
OPTION DESCRIPTION	DATE:
	OPTION
SHEET NO. S-5	
	23



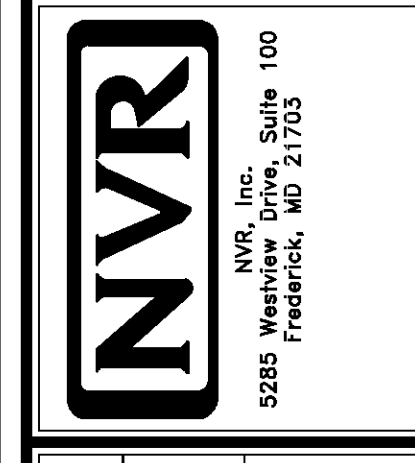
STAIR WALL DETAIL
 AD-1 SCALE: 1/2" = 1'-0"

INTERIOR TRIM - IT				
SPECIFICATION	MOULDING	MOULDING PROFILE	LOCATION	OPTIONS
NVR SPECIFICATIONS (SZB)	STANDARD CASING	NM-376 (2 1/4")	THROUGHOUT	STD
	STANDARD BASE	NM-623 (3 1/4")	THROUGHOUT	STD
	OGEE	NM-167	STAIRS, CAPPED WALLS	STD



REV. NO.	DATE	REMARKS

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SHEET NO. AD-1	MODEL CEDAR	SET NO. CDR00	VERSION 01
DRAWING TITLE STANDARD DETAILS - HOUSE SPECIFIC	DRAWN BY LP	DATE 6/26/19	OPTION
OPTION DESCRIPTION			
100			