

## Harnett County Department of Public Health Improvement Permit

A building permit cannot be issued with only an Improvement Permit

PROPERTY LOCATION: 36 Windbrook Cir. (Christian Light Rd. SF  
SUBDIVISION Olde Mill Village LOT # 3

ISSUED TO: Dan Ryan Builders - North Carolina, L

NEW  REPAIR  EXPANSION  Site Improvements required prior to Construction Authorization Issuance:

Type of Structure: 40x52 sfd, 4 beds 2.5 baths

Proposed Wastewater System Type: 25% Reduction Sys.

Projected Daily Flow: 480 GPD


Number of bedrooms: 4 Number of Occupants: 8 max

Basement  Yes  No

Pump Required:  Yes  No  May be required based on final location and elevations of facilities

Type of Water Supply:  Community  Public  Well Distance from well NA feet Permit valid for:  Five years  
 No expiration

Permit conditions: \_\_\_\_\_

Authorized State Agent:  Date: 07/07/2020 SEE ATTACHED SITE SKETCH

The issuance of this permit by the Health Department in no way guarantees the issuance of other permits. The permit holder is responsible for checking with appropriate governing bodies in meeting their requirements. This site is subject to revocation if the site plan, plat, or the intended use changes. The Improvement Permit shall not be affected by a change in ownership of the site. This permit is subject to compliance with the provisions of the Laws and Rules for Sewage Treatment and Disposal and to conditions of this permit.

## Construction Authorization

(Required for Building Permit)

The construction and installation requirements of Rules .1950, .1952, .1954, .1955, .1956, .1957, .1958 and .1959 are incorporated by references into this permit and shall be met. Systems shall be installed in accordance with the attached system layout.

ISSUED TO: Dan Ryan Builders - North Carolina PROPERTY LOCATION: 36 Windbrook Cir. (Christian Light Rd.  
SUBDIVISION Olde Mill Village LOT # 3

Facility Type: 40x52 sfd, 4 beds 2.5 bat  New  Expansion  Repair

Basement?  Yes  No Basement Fixtures?  Yes  No

Type of Wastewater System\*\* 25% Reduction System (Initial) Wastewater Flow: 480 GPD  
(See note below, if applicable )

Pump to 25% Reduction Sys. (Repair)


<b>Installation Requirements/Conditions</b>	Number of trenches <u>2</u>	
Septic Tank Size <u>1000</u> gallons	Exact length of each trench <u>150</u> feet	Trench Spacing: <u>9</u> Feet on Center
Pump Tank Size _____ gallons	Trenches shall be installed on contour at a	Soil Cover: <u>12</u> inches
	Maximum Trench Depth of: <u>24</u> inches	(Maximum soil cover shall not exceed
	(Trench bottoms shall be level to +/-1/4"	36" above the trench bottom)
	in all directions)	
Pump Requirements: _____ ft. TDH vs. _____ GPM		<u>NA</u> inches below pipe
		Aggregate Depth: <u>NA</u> inches above pipe
Conditions: <u>Proposal by Adams Soil Consutling, Pre-install meeting required</u>		<u>NA</u> inches total

**WATER LINES (INCLUDING IRRIGATION) MUST BE 10FT. FROM ANY PART OF SEPTIC SYSTEM OR REPAIR AREA.  
NO UTILITIES ALLOWED IN INITIAL OR REPAIR DRAIN FIELD AREA.**

\*\*If applicable: I understand the system type specified is different from the type specified on the application. I accept the specifications of this permit.

Owner/Legal Representative Signature: \_\_\_\_\_ Date: \_\_\_\_\_

This Construction Authorization is subject to revocation if the site plan, plat, or the intended use changes. The Construction Authorization shall not be transferred when there is a change in ownership of the site. This Construction Authorization is subject to compliance with the provisions of the Laws and Rules for Sewage Treatment and Disposal and to the conditions of this permit. SEE ATTACHED SITE SKETCH


Authorized State Agent:  Date: 07/07/2020  
ANDREW CURRAN Construction Authorization Expiration Date: 07/07/2025

Application # SFD2006-0024

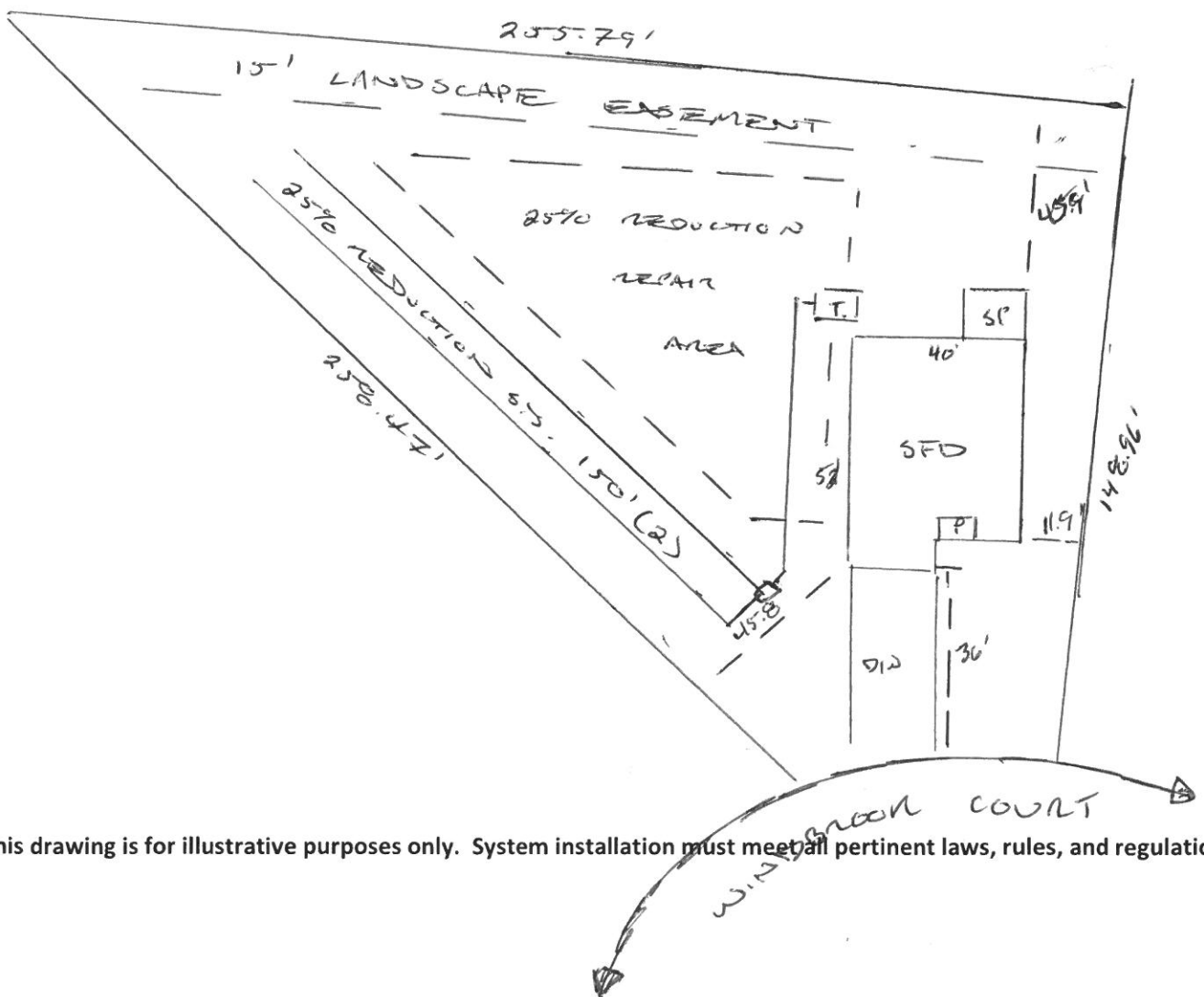
## Harnett County Department of Public Health Site Sketch

Property Location: 36 Windbrook Cir. (Christian Light Rd. - SR 1412)

Issued To: Dan Ryan Builders Subdivision Olde Mill Village Lot # 3

Authorized State Agent:  Date: 07/07/2020  
ANDREW CORRIN

- \* CRAWL TO D-BAY EQUAL DISTRIBUTION
- \* PROPOSAL BY ADAMS SOIL CONSULTING
- \* PRE-INSTALL MEETING MAY BE REQUIRED
  - SIS. ALTERATION MAY BE REQUIRED
- \* PROPERTY LINES SHALL BE MARKED PRE-INSTALL



This drawing is for illustrative purposes only. System installation must meet all pertinent laws, rules, and regulations.

June 26, 2020

Harnett County Government Complex  
307 W. Cornelius Harnett Boulevard  
Lillington, NC 27546

ph: 910-893-7547

fax: 910-893-9371

Dan Ryan Builders NC LLC  
3000 RDU Center Drive Suite 202  
Morrisville NC 27560

**Re: Status of Improvement Permit Application: SFD2006-0024**

To whom it may concern:

An attempt was made to evaluate your property for the purpose of issuing an Improvement Permit. The evaluation could not be completed for one or more of the following reasons.

- 1. Use pink flags to mark property lines and irons that are set by surveyor need to be visible. (*\$25.00 fee incurred*)
- 2. Use orange flags to mark house corners (*\$25.00 fee incurred*)
- 3. Directions not clear to property (*\$25.00 fee incurred*)
- 4. Property needs only brush or vegetation removed
- 5. Driveway not shown on site plan
- 6. Backhoe pits required
- 7. Other- **Property Ineffectively Marked-Corner property irons shall be located and displayed, property lines shall be marked clearly, house box shall be re-staked out. Reconfirm with Environmental Health when ready.**

Your application will be put on hold until the selected items above have been addressed.

When completed **please call 910-893-7547 to confirm** that the items mentioned have been corrected, we will then reschedule your property for evaluation.

Sincerely,



Andrew Currin, R. E. H. S.  
Environmental Health Program Specialist  
Harnett County Department of Public Health

AC/sl  
Copy: Central Permitting