

Harnett County Central Permitting

PO Box 65 Lillington, NC 27546

910-893-7525 Fax 910-893-2793 www.harnett.org/permits

* Each section below to be filled out by whomever performing work. Must be owner or licensed contractor. Address, company name & phone must match

Application for Residential Building and Trades PermitOwner's Name: H&H Constructors of Fayetteville, LLC. Date: 6/8/2020Site Address: 208 Kimbrough Drive Phone: 910-486-4864

Directions to job site from Lillington: _____

Subdivision: _____

Subdivision: Woodshire Lot: 190Description of Proposed Work: New Single Family Dwelling # of Bedrooms: 4Heated SF: 2435 Unheated SF: 453 Finished Bonus Room? _____ Crawl Space: _____ Slab: General Contractor InformationH&H Constructors of Fayetteville, LLC. 910-486-4864

Building Contractor's Company Name Telephone

2919 Breezewood Ave. Ste, 400 Fay., NC 28303 StacySimmons@hhhomes.com

Address Email Address

74158

License #

Electrical Contractor InformationDescription of Work Residential Electrical Service Size: 200 Amps T-Pole: Yes NoJM Pope Electric, Inc. 919-776-5144

Electrical Contractor's Company Name Telephone

409 Chatham Street Sanford, NC 27330 electricpope@windstream.net

Address Email Address

21326

License #

Mechanical/HVAC Contractor InformationDescription of Work Residential HVACCarolina Comfort Air, Inc. 919-934-1060

Mechanical Contractor's Company Name Telephone

5212 US Hwy 70 Business, Clayton, NC 27520 carolinacomfortair@yahoo.com

Address Email Address

29077 H-3-I

License #

Plumbing Contractor InformationDescription of Work Residential Plumbing # Baths 2.5Vance Johnson Plumbing 910-424-6712

Plumbing Contractor's Company Name Telephone

3242 Midpine Rd. Fay, NC 28306 _____

Address Email Address

7756-PL

License #

Insulation Contractor InformationTricity Insulation, Inc. 418 Person St. Fay., NC 28301 910-486-8855

Insulation Contractor's Company Name & Address Telephone

*NOTE: General Contractor / owner must fill out and sign the second page of this application.



I hereby certify that I have the authority to make necessary application, that the application is correct and that the construction will conform to the regulations in the Building, Electrical, Plumbing and Mechanical codes, and the Harnett County Zoning Ordinance. I state the information on the above contractors is correct as known to me and that **by signing below I have obtained all subcontractors permission to obtain these permits** and if **any** changes occur including listed contractors, site plan, number of bedrooms, building and trade plans, Environmental Health permit changes or proposed use changes, I certify it is my responsibility to notify the Harnett County Central Permitting Department of any and all changes.

EXPIRED PERMIT FEES - 6 Months to 2 years permit re-issue fee is \$150.00. After 2 years re-issue fee is as per current fee schedule.

[Handwritten Signature]

Signature of Owner/Contractor/Officer(s) of Corporation

6/8/2020

Date

Affidavit for Worker's Compensation N.C.G.S. 87-14

The undersigned applicant being the:

General Contractor Owner Officer/Agent of the Contractor or Owner

Do hereby confirm under penalties of perjury that the person(s), firm(s) or corporation(s) performing the work set forth in the permit:

Has three (3) or more employees and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) who has their own policy of workers' compensation insurance covering themselves.

Has no more than two (2) employees and no subcontractors.

While working on the project for which this permit is sought it is understood that the Central Permitting Department issuing the permit may require certificates of coverage of worker's compensation insurance prior to issuance of the permit and at any time during the permitted work from any person, firm or corporation carrying out the work.

Sign w/Title:

[Handwritten Signature] / Permit Coordinator

Date:

6/8/2020



Initial Application Date: 6/8/2020

Application # _____

CU# _____

COUNTY OF HARNETT RESIDENTIAL LAND USE APPLICATION
Central Permitting 108 E. Front Street, Lillington, NC 27546 Phone: (910) 893-7525 ext:2 Fax: (910) 893-2793 www.harnett.org/permits

****A RECORDED SURVEY MAP, RECORDED DEED (OR OFFER TO PURCHASE) & SITE PLAN ARE REQUIRED WHEN SUBMITTING A LAND USE APPLICATION****

LANDOWNER: H & H Constructors of Fayetteville, LLC Mailing Address: 2919 Breezewood Avenue, Suite 400
City: Fayetteville State: NC Zip: 28303 Contact No: 910-486-4864 x450 Email: stacysimmons@hhhomes.com

APPLICANT*: _____ Mailing Address: _____

City: _____ State: _____ Zip: _____ Contact No: _____ Email: _____

*Please fill out applicant information if different than landowner

CONTACT NAME APPLYING IN OFFICE: Stacy Simmons Phone # 910-486-4864 x450

ADDRESS: 208 Kimbrough Drive - Woodshire PIN: 0506-85-5441

DEED OR OTP: 3752: 0738

PROPOSED USE:

SFD: (Size 38 x 41-8) # Bedrooms: 4 # Baths: 2.5 Basement(w/wo bath): Garage: Deck: Crawl Space: Slab: Monolithic Slab:
(Is the bonus room finished? yes no w/ a closet? yes no (if yes add in with # bedrooms)

Mod: (Size _____ x _____) # Bedrooms _____ # Baths _____ Basement (w/wo bath) Garage: Site Built Deck: On Frame Off Frame
(Is the second floor finished? yes no Any other site built additions? yes no

Manufactured Home: SW DW TW (Size _____ x _____) # Bedrooms: _____ Garage: site built? Deck: site built?

Duplex: (Size _____ x _____) No. Buildings: _____ No. Bedrooms Per Unit: _____

Home Occupation: # Rooms: _____ Use: _____ Hours of Operation: _____ #Employees: _____

Addition/Accessory/Other: (Size _____ x _____) Use: _____ Closets in addition? yes no

Water Supply: County _____ Existing Well _____ New Well (# of dwellings using well _____) *Must have operable water before final
(Need to Complete New Well Application at the same time as New Tank)

Sewage Supply: _____ New Septic Tank Expansion _____ Relocation _____ Existing Septic Tank _____ County Sewer
(Complete Environmental Health Checklist on other side of application if Septic)

Does owner of this tract of land, own land that contains a manufactured home within five hundred feet (500') of tract listed above? yes no

Does the property contain any easements whether underground or overhead yes no

Structures (existing or proposed): Single family dwellings: Proposed Manufactured Homes: _____ Other (specify): _____

If permits are granted I agree to conform to all ordinances and laws of the State of North Carolina regulating such work and the specifications of plans submitted. I hereby state that foregoing statements are accurate and correct to the best of my knowledge. Permit subject to revocation if false information is provided.

Signature of Owner or Owner's Agent

6/8/2020

Date

*****It is the owner/applicants responsibility to provide the county with any applicable information about the subject property, including but not limited to: boundary information, house location, underground or overhead easements, etc. The county or its employees are not responsible for any incorrect or missing information that is contained within these applications.*****

This application expires 6 months from the initial date if permits have not been issued*

APPLICATION CONTINUES ON BACK

strong roots • new growth

****This application expires 6 months from the initial date if permits have not been issued****

This application to be filled out when applying for a septic system inspection.

County Health Department Application for Improvement Permit and/or Authorization to Construct

IF THE INFORMATION IN THIS APPLICATION IS FALSIFIED, CHANGED, OR THE SITE IS ALTERED, THEN THE IMPROVEMENT PERMIT OR AUTHORIZATION TO CONSTRUCT SHALL BECOME INVALID. The permit is valid for either 60 months or without expiration depending upon documentation submitted. (Complete site plan = 60 months; Complete plat = without expiration)

Environmental Health New Septic System

- **All property irons must be made visible.** Place "pink property flags" on each corner iron of lot. All property lines must be clearly flagged approximately every 50 feet between corners.
- Place "orange house corner flags" at each corner of the proposed structure. Also flag driveways, garages, decks, out buildings, swimming pools, etc. Place flags per site plan developed at/for Central Permitting.
- Place orange Environmental Health card in location that is easily viewed from road to assist in locating property.
- If property is thickly wooded, Environmental Health requires that you clean out the **undergrowth** to allow the soil evaluation to be performed. Inspectors should be able to walk freely around site. **Do not grade property.**
- **All lots to be addressed within 10 business days after confirmation. \$25.00 return trip fee may be incurred for failure to uncover outlet lid, mark house corners and property lines, etc. once lot confirmed ready.**

Environmental Health Existing Tank Inspections

- Follow above instructions for placing flags and card on property.
- Prepare for inspection by removing soil over **outlet end** of tank as diagram indicates, and lift lid straight up (*if possible*) and then **put lid back in place.** (Unless inspection is for a septic tank in a mobile home park)
- **DO NOT LEAVE LIDS OFF OF SEPTIC TANK**

"MORE INFORMATION MAY BE REQUIRED TO COMPLETE ANY INSPECTION"

SEPTIC

If applying for authorization to construct please indicate desired system type(s): can be ranked in order of preference, must choose one.

- Accepted
 Innovative
 Conventional
 Any
 Alternative
 Other _____

The applicant shall notify the local health department upon submittal of this application if any of the following apply to the property in question. If the answer is "yes", applicant **MUST ATTACH SUPPORTING DOCUMENTATION**:

- YES NO Does the site contain any Jurisdictional Wetlands?
- YES NO Do you plan to have an irrigation system now or in the future?
- YES NO Does or will the building contain any drains? Please explain. _____
- YES NO Are there any existing wells, springs, waterlines or Wastewater Systems on this property?
- YES NO Is any wastewater going to be generated on the site other than domestic sewage?
- YES NO Is the site subject to approval by any other Public Agency?
- YES NO Are there any Easements or Right of Ways on this property?
- YES NO Does the site contain any existing water, cable, phone or underground electric lines?

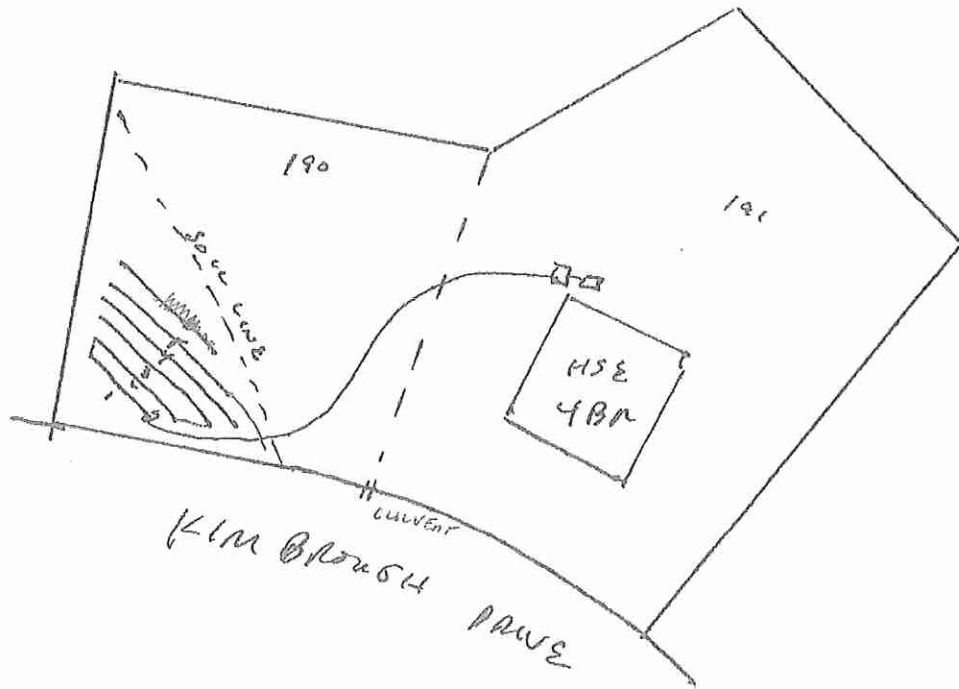
If yes please call No Cuts at 800-632-4949 to locate the lines. This is a free service.

I Have Read This Application And Certify That The Information Provided Herein Is True, Complete And Correct. Authorized County And State Officials Are Granted Right Of Entry To Conduct Necessary Inspections To Determine Compliance With Applicable Laws And Rules. I Understand That I Am Solely Responsible For The Proper Identification And Labeling Of All Property Lines And Corners And Making The Site Accessible So That A Complete Site Evaluation Can Be Performed.

Southeastern Soil & Environmental Associates, Inc.

P.O. Box 9321
Fayetteville, NC 28311
Phone/Fax (910) 822-4540
Email mike@southeasternsoil.com

Woodshire (5)
Lot 190/191
Combined
Proposed septic layout



Typical House
setback

Truss/Rafter to Wood Double Top Plates



Model No.	Qty Req'd	Fasteners		DF/SP Allowable Loads				SPF Allowable Loads			
		To Rafters	To Plates	Uplift		Parallel to Plate (F ₁) (133/160)	Perp. to Plate (F ₂) (133/160)	Uplift		Parallel to Plate (F ₁) (133/160)	Perp. to Plate (F ₂) (133/160)
				(133)	(160)			(133)	(160)		
H2.5	1	5-8d	5-8d	415	415	150	150	365	365	130	130
H5A	1	3-8d	3-8d	350	420	115	180	245	245	100	120
HGA10	1	4-SDS $\frac{1}{4}$ x1 $\frac{1}{2}$	4-SDS $\frac{1}{4}$ x3	435	435	1165	940	375	375	870	815
H5	1	4-8d	4-8d	455	465	115	200	265	265	100	170
H1	1	6-8dx1 $\frac{1}{2}$	4-8d	490	585	485	165	400	400	415	140
H2.5A	1	5-8d	5-8d	600	600	110	110	520	535	110	110
LTS12	1	6-10dx1 $\frac{1}{2}$	6-10dx1 $\frac{1}{2}$	720	720	75	125	620	620	75	125
H8	1	5-10dx1 $\frac{1}{2}$	5-10dx1 $\frac{1}{2}$	620	745	—	—	530	565	—	—
H10-2	1	6-10d	6-10d	760	760	455	395	655	655	390	340
H2.5	2	10-8d	10-8d	830	830	300	300	730	730	260	260
H5	2	8-8d	8-8d	910	930	230	400	530	530	200	340
H10	1	8-8dx1 $\frac{1}{2}$	8-8dx1 $\frac{1}{2}$	905	990	585	525	780	850	505	450
MTS12	1	7-10dx1 $\frac{1}{2}$	7-10dx1 $\frac{1}{2}$	840	1000	75	125	730	860	75	125
H1	2	12-8dx1 $\frac{1}{2}$	8-8d	980	1170	970	330	800	800	830	280
H2.5A	2	10-8d	10-8d	1200	1200	220	220	1040	1070	220	220
LTS12	2	12-10dx1 $\frac{1}{2}$	12-10dx1 $\frac{1}{2}$	1440	1440	150	250	1240	1240	150	250
HTS20	1	12-10dx1 $\frac{1}{2}$	12-10dx1 $\frac{1}{2}$	1450	1450	75	125	1245	1245	75	125
H16S	1	2-10dx1 $\frac{1}{2}$	10-10dx1 $\frac{1}{2}$	1470	1470	—	—	1265	1265	—	—
H16	1	2-10dx1 $\frac{1}{2}$	10-10dx1 $\frac{1}{2}$	1470	1470	—	—	1265	1265	—	—
H10	2	6-8dx1 $\frac{1}{2}$	6-8dx1 $\frac{1}{2}$	1810	1980	1170	1050	1580	1700	1010	900
MTS12	2	4-10dx1 $\frac{1}{2}$	4-10dx1 $\frac{1}{2}$	1660	2000	150	250	1460	1720	150	250

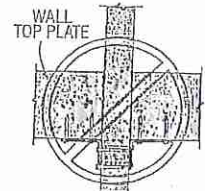
1. "—" in the tables indicates that the product has not been tested in the particular load direction listed.
2. For connections to single top plates, see page 12.
3. Fasten multiple members together to act as a single unit.



Hurricane Tie Installations to Achieve Twice the Load (Top View)



Install diagonally across from each other for minimum 2x truss.



Nailing into both sides of a single ply 2x truss may cause the wood to split. A minimum rafter thickness of 2 $\frac{1}{2}$ " must be used when connectors are installed on the same side.

