

NOTICE TO CONTRACTOR
 All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED
 Limited building only review
 Permit holder responsible for
 full compliance with the code.

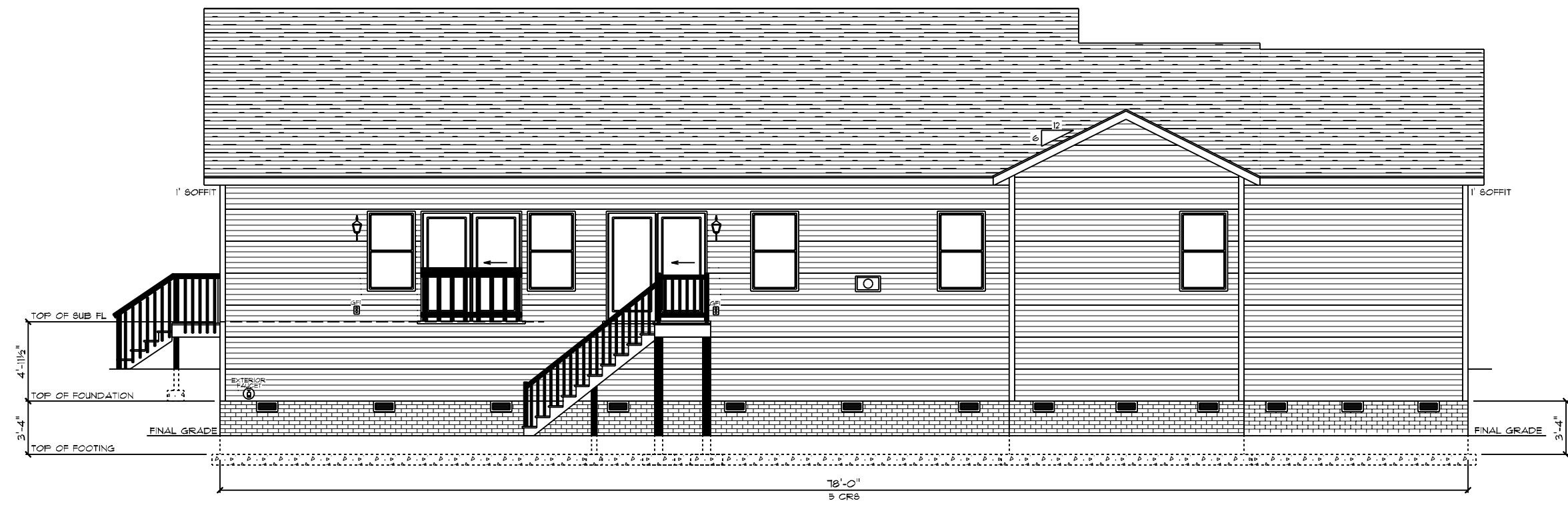
08/25/2020



APPROVED: 08-04-2020



BEVERLY CLASSIC DUAL MASTER SUITE / CUSTOM
 FRONT ELEVATION
 9' CEILING HEIGHT
 DUAL MASTER SUITE



BEVERLY CLASSIC DUAL MASTER SUITE / CUSTOM
 REAR ELEVATION
 9' CEILING HEIGHT
 DUAL MASTER SUITE

DATE: 8/4/2020
 SCALE: 1/8" = 1'-0"
 DRAIN BY: SG
 DRAWN BY: SG

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SQUARE FOOTAGES (2623)
 CRAWL SPACE: 2623
 91 FL: 2623
 GARAGE: 413
 PORCHES: 12

CUSTOM BUILT FOR: WILLIAM & JEAN EAKER
 JOB #: DU 700 020 0731 CN #: 30811
 LOCATION: 555 BROCK RD.
 BUNNLEVEL, NC 28323
 COUNTY: HARNETT

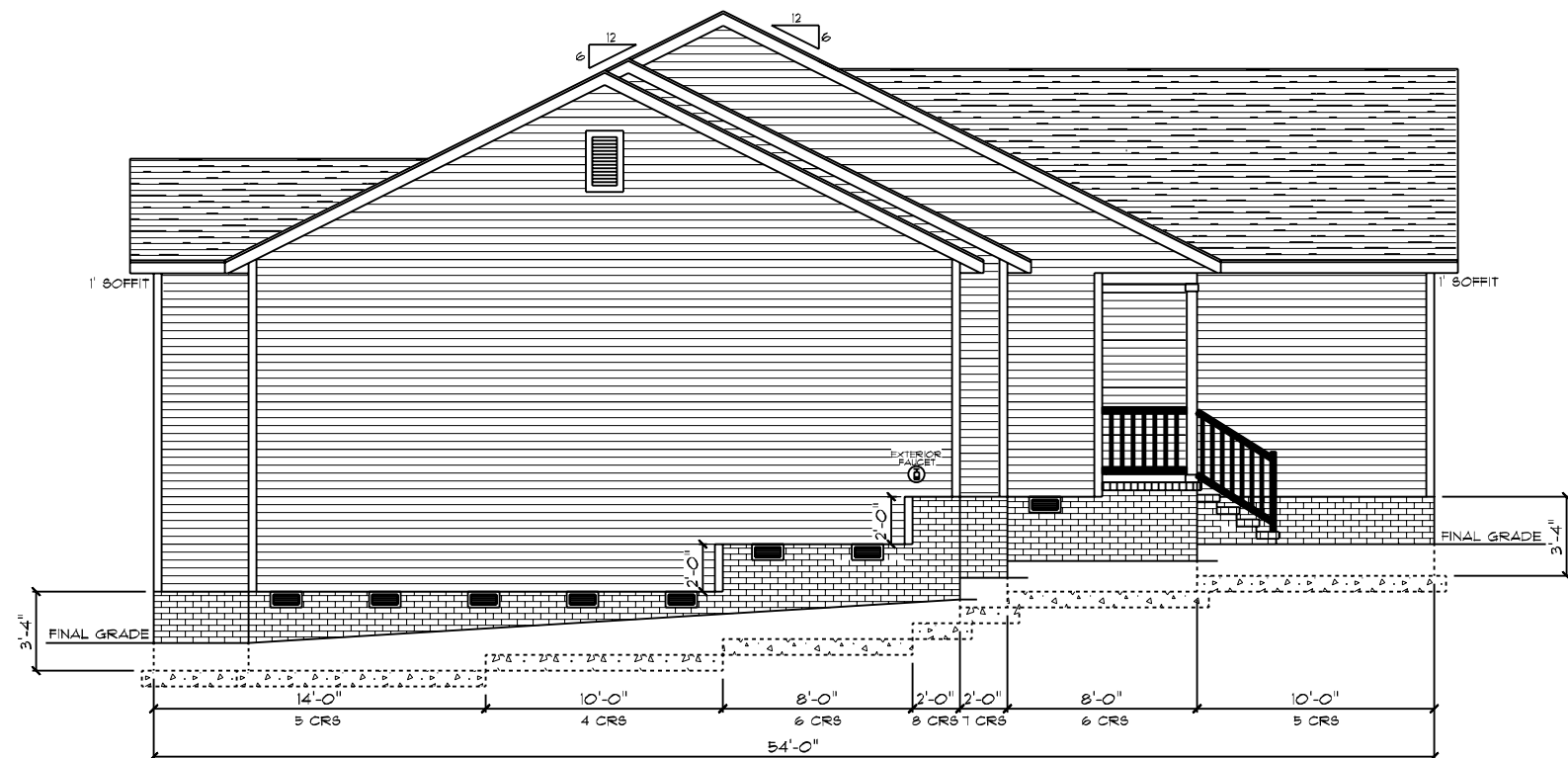
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 182 West Hamlin Road
 Benson, NC 27504
 (811) 261-3482
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BEVERLY CLASSIC DUAL MASTER SUITE / CUSTOM
RIGHT ELEVATION
9' CEILING HEIGHT



BEVERLY CLASSIC DUAL MASTER SUITE / CUSTOM
LEFT ELEVATION
9' CEILING HEIGHT

NOTE:
CONTINUOUS RIDGE VENTS
ALL ROOF RIDGES

DRWING: 2
DATE: 8/4/2020
SCALE: 1/8" = 1'-0"
DRAWN BY: SG

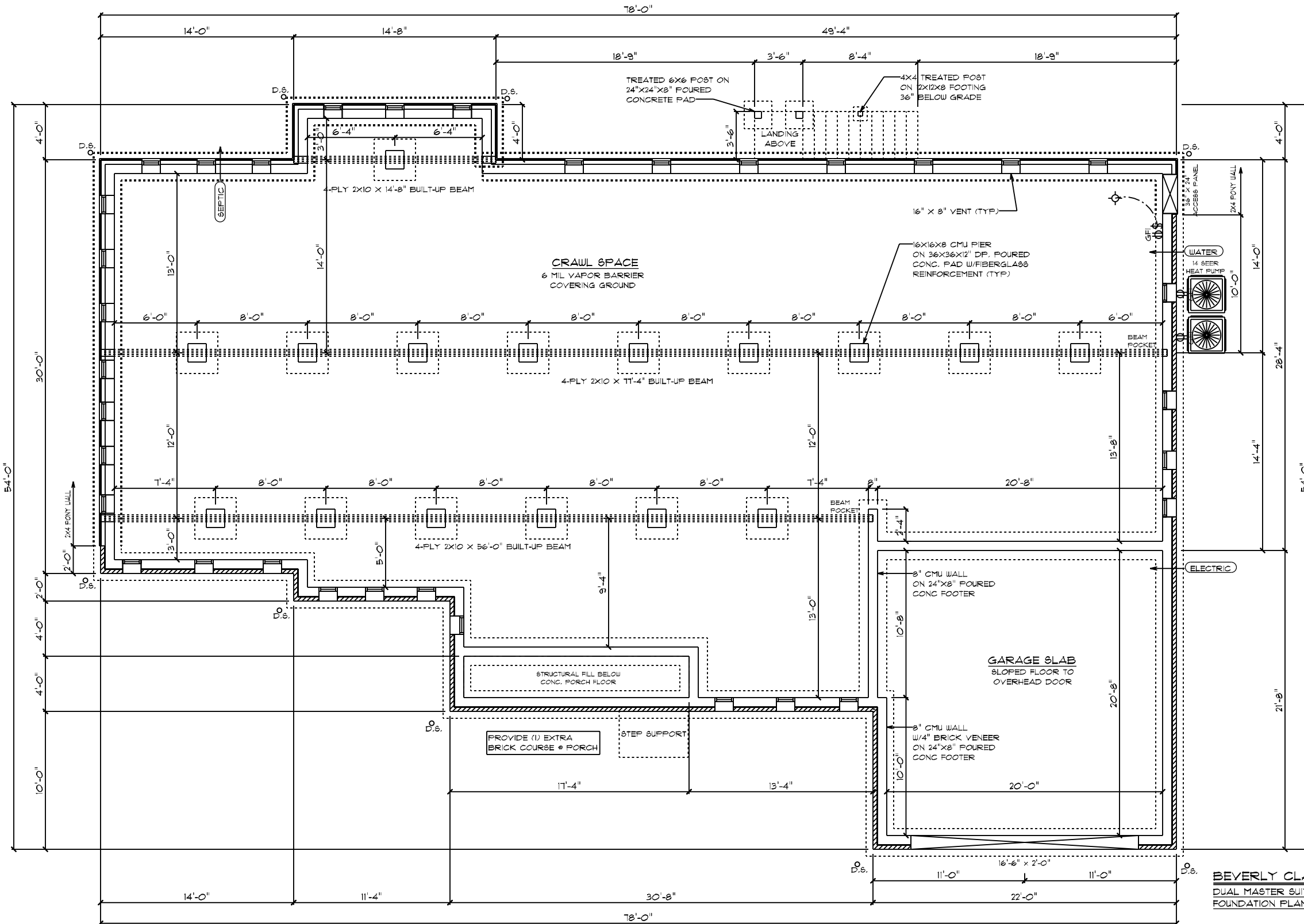
SQUARE FOOTAGES (2623)
CRAWL SPACE: 2623
91 FL: 2623
GARAGE: 413
PORCHES: 12

CUSTOM BUILT FOR: WILLIAM & JEAN EAKER
JOB #: DU TOO 020 0731 CN #: 30511
VN #: EA102
LOCATION: 555 BROCK RD.
BUNNLEVEL, NC, 28323
COUNTY: HARNETT

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FOUNDATION NOTES:

1. BRICK VENEER ALL EXPOSED FOUNDATION
2. BOTTOM OF PIER PADS ELEVATION SHALL BE 2' BELOW BOTTOM OF CONT. FOOTER ELEVATION.
3. CONCRETE & MASONRY FOUNDATION WALLS SHALL EXTEND ABOVE FINISHED GRADE ADJACENT TO THE FOUNDATION A MIN. OF 4" WHERE MASONRY VENEER IS USED AND 6" MIN. ELSEWHERE.
4. ALL SILLS, PLATES, OR BAND JOISTS THAT REST ON OR IN CONTACT WITH CONCRETE OR MASONRY EXTERIOR WALLS SHALL REQUIRE THE USE OF PRESSURE PRESERVATIVE TREATMENT.

PIERS:

1. THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED 10 TIMES THEIR LEAST DIMENSION. WHEN HOLLOW CONCRETE MASONRY UNITS ARE USED FOR ISOLATED PIERS TO SUPPORT BEAMS AND GIRDERS, THE CELLULAR SPACES SHALL BE FILLED SOLIDLY WITH CONCRETE.

CRAWL SPACE VENT CALCULATIONS:

TOTAL VENTED AREA: 2623
 8"X16" VENT = 128 SQ IN = 0.89 SQFT
 ASSUMED NET FREE AREA = 0.53 SQFT
 TOTAL SQFT VENTILATION NEEDED 2623 / 0.53 = 11.52
 11.52 / 0.53 = 34 TOTAL VENTS

GENERAL ELECTRICAL NOTES:

- GF'S REQUIRED IN CRAWL SPACE @ ACCESS PANEL
- LIGHTS TO BE WITHIN 6' OF ACCESS PANEL
- AIR HANDLER/FURNACE LOCATED IN ATTIC
- ELECTRICAL PANEL TO BE GROUNDED TO THE OUTSIDE
- WIRE DEDICATED CIRCUIT FOR WELL

BEVERLY CLASSIC DUAL MASTER SUITE / CUSTOM DUAL MASTER SUIT FOUNDATION PLAN

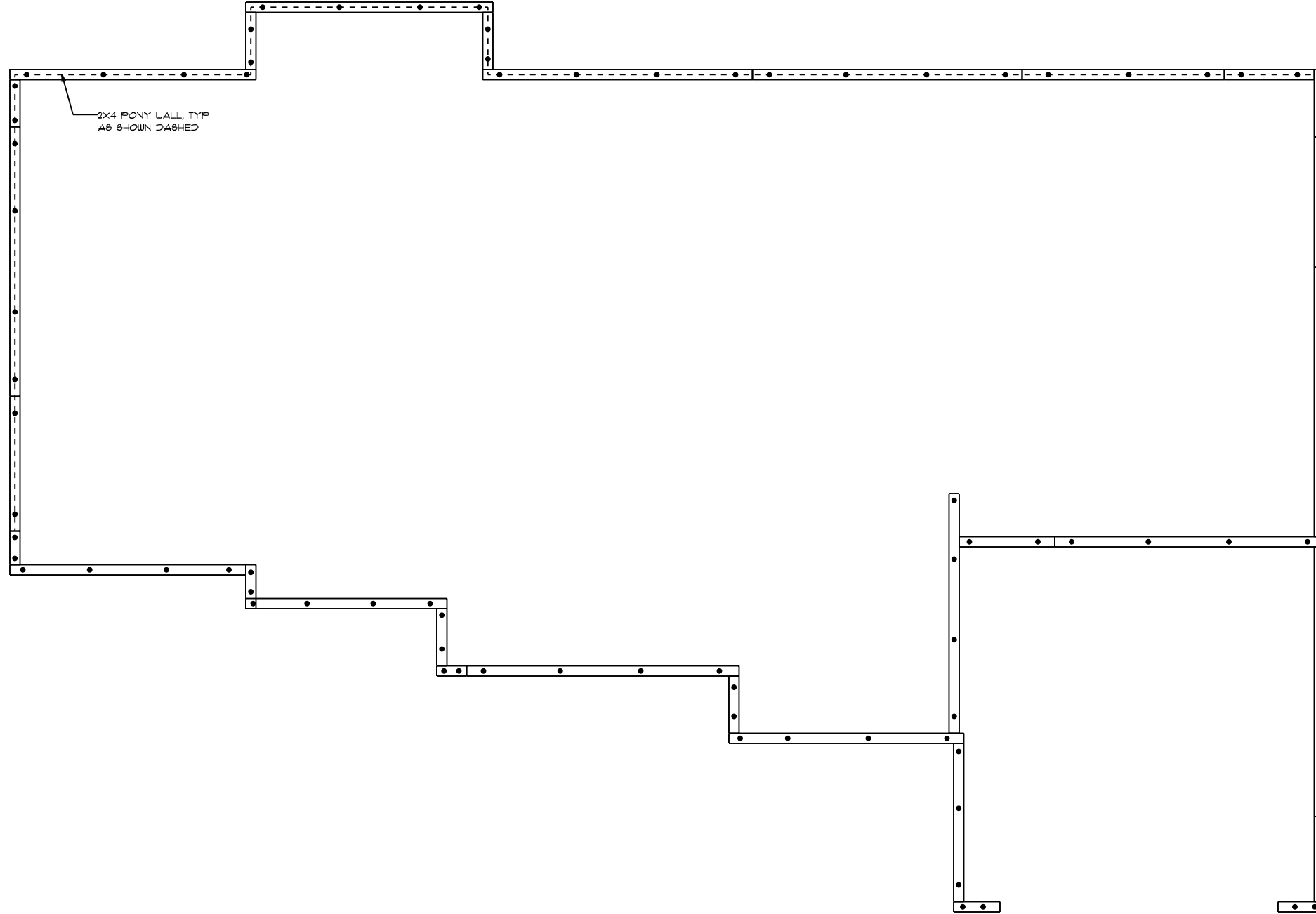
DATE: 8/4/2020
 SCALE: 1/8" = 1'-0"
 DRAIN BY: SG
 DRAWING: 3
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SQUARE FOOTAGES (2623)
 CRAWL SPACE: 2623
 91 FL: 2623
 GARAGE: 473
 PORCHES: 12

CUSTOM BUILT FOR: WILLIAM & JEAN EAKER
 JOB #: DU 700 020 0731 CN #: 30511 VN #: EA102
 LOCATION: 595 BROCK RD.
 BUNNLEVEL, NC 28323
 COUNTY: HARNETT

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2X4 PONY WALL, TYP
AS SHOWN DASHED

CONSTRUCTION NOTES:

1. 2X8 TREATED SILL PLATE
2. 1/2" DIAM. X 18" L. ANCHOR BOLTS SHALL EXTEND A MINIMUM OF 1" INTO MASONRY OR CONCRETE AS REQUIRED BY CODE @ 6' O.C. AND 12" FROM ALL CORNERS (2 PER CORNER)
3. ANCHOR BOLTS TO BE LOCATED IN CENTER 1/3 OF SILL PLATE

BEVERLY CLASSIC DUAL MASTER SUITE / CUSTOM
BOLT & PLATE LAYOUT

DATE: 8/4/2020
SCALE: 1/8" = 1'-0"
DRAWN BY: SG
DWG: 4

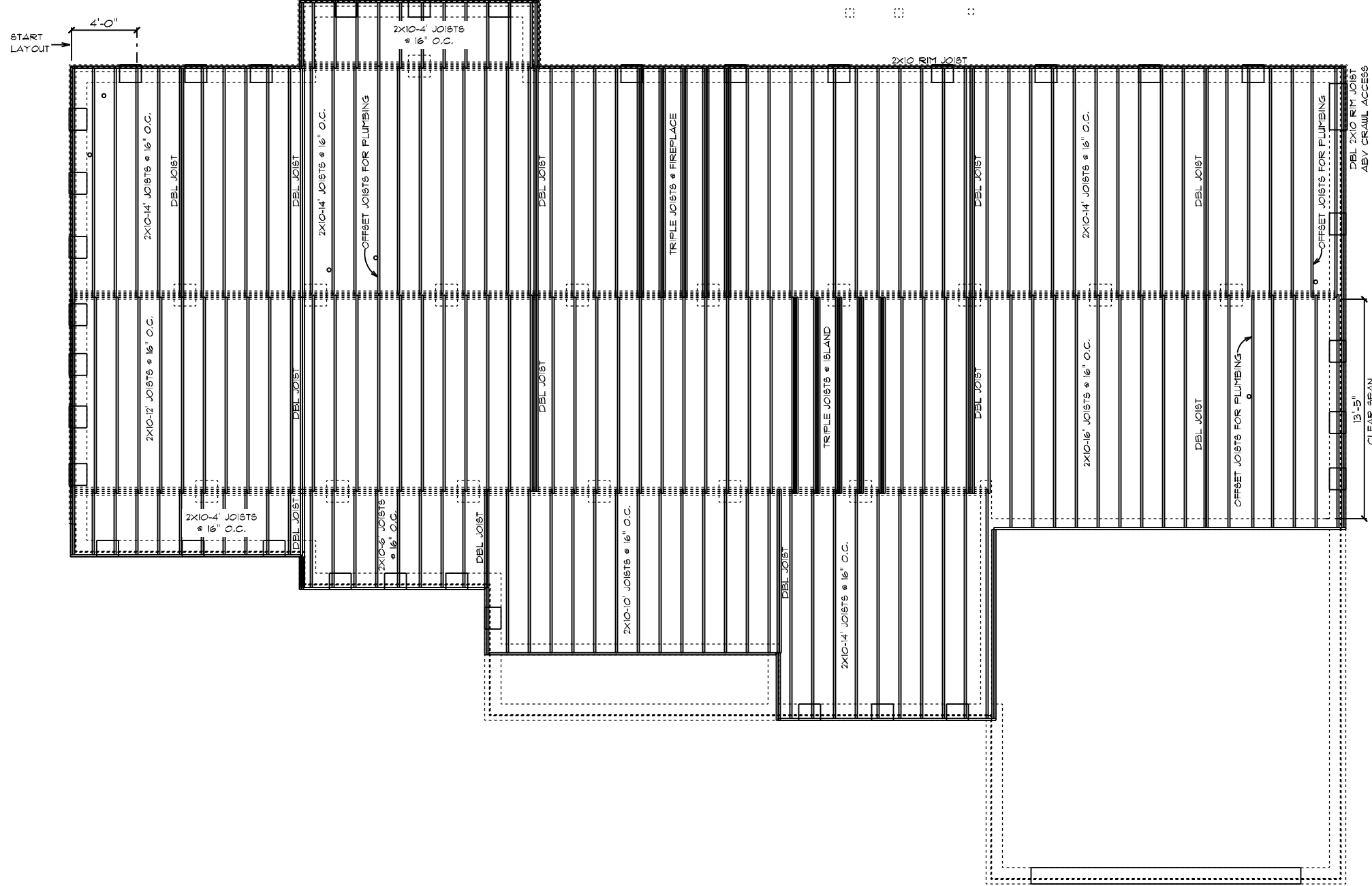
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SQUARE FOOTAGES (2673)
CRAWL SPACE: 2673
91 FL: 2673
GARAGE: 473
PORCHES: 72

CUSTOM BUILT FOR: WILLIAM & JEAN EAKER
JOB #: DU TOO 020 0731 CN #: 30511
LOCATION: 595 BROCK RD.
BUNNLEVEL, NC, 28323
COUNTY: HARNETT


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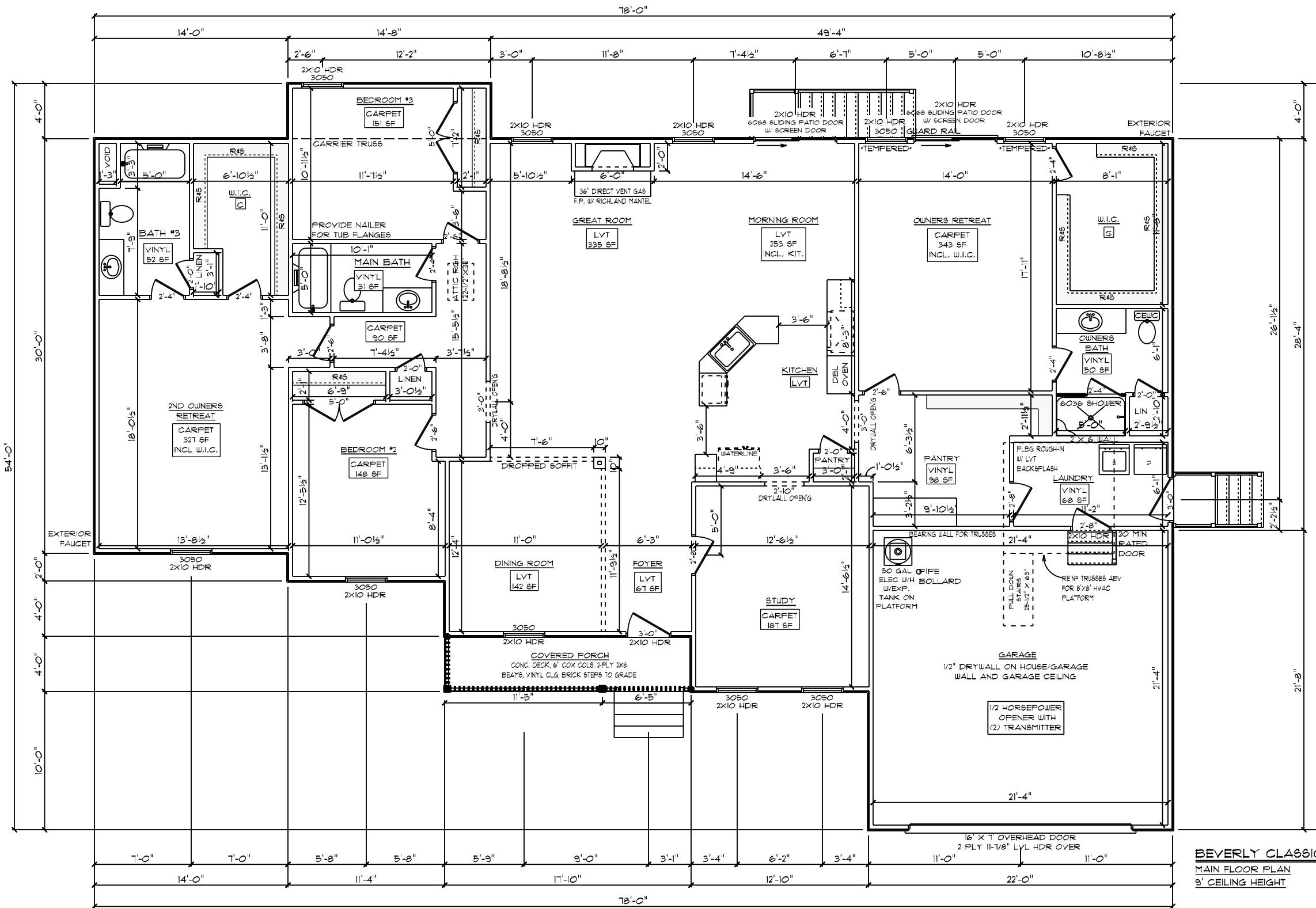




- FRAMING NOTES:**
1. LEAVE 1/2" BETWEEN EACH END JOIST & RIM JOIST TO ALLOW FOR INSULATION.
 2. INSULATE ALL FRAMED CHANNELS & CORNERS. ALSO, BEHIND EACH TUB AND SHOWER UNIT
 3. INSTALL FIREBLOCK FRAMING IN ALL STAIRWAY CEILINGS
 4. INSTALL ALL TRUSSES, JOISTS, LVL'S AND BEAMS PER MANUFACTURER SPECIFICATIONS AND LAY OUTS. DO NOT CUT, NOTCH OR BORE WITHOUT EXACT SPECIFICATIONS.
 5. ALL FRAMING TO BE SOUTHERN YELLOW PINE NO. 2 OR GREATER UNLESS NOTED OTHERWISE
 6. DOUBLE JOISTS SHOULD BE LOCATED UNDER ALL PARTITIONS WHEN THE LENGTH OF THE PARTITION EXCEEDS 1/2 THE SPAN OF THE JOIST
1. 3-PLY 2X10 JOISTS BELOW FIREPLACES & SOLID SURFACE ISLANDS
 2. ALL DECK MATERIAL TO BE TREATED
 3. PROVIDE DOUBLE 2X10 RIM JOIST WHEN RIM JOIST RUNS PARALLEL TO JOISTS

BEVERLY CLASSIC DUAL MASTER SUITE / CUSTOM
 MAIN FLOOR PLAN
 JOIST LAYOUT

| | | | | | | | | |
|--|---|--|---|--|-----------------|-------------------|------------------------------|---|
|  SCHUMACHER HOMES | RALEIGH/DURHAM, NC 182 West Hamlin Road Benson, NC 27504 (877) 261-3482 www.schumacherhomes.com | | CUSTOM BUILT FOR: WILLIAM & JEAN EAKER JOB #: DU 100 030 0731 LOCATION: 595 BROCK RD. BUNNLEVEL, NC 28323 COUNTY: HARNETT | SQUARE FOOTAGES (2623) CRAWL SPACE: 2623 91 FL: 2623 GARAGE: 473 PORCHES: 12 | DRAIN BY: SG | DATE: 8/4/2020 | SCALE: 1/8" = 1'-0" DRUG: | B |
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GENERAL FRAMING NOTES:

- DRYWALLED OPENINGS TO BE 8'-0" HEIGHT UNLESS OTHERWISE NOTED
- HEADERS TO BE 2-PLY 2X10 W/ (1) KING & (2) JACK STUDS UNLESS OTHERWISE NOTED

PLAN NOTES:

- SMOOTH CEILING THROUGHOUT HOME
- PAINTED TRIM
- 5-1/4" BASEBOARDS
- 3-1/4" CASING ON INTERIOR DOORS AND WINDOWS HAVE DRYWALLED RETURNS
- 5-PANEL HOLLOW CORE MOLDED INTERIOR DOORS
- SILVERLINE LOW-E VINYL WINDOWS W/ SOLAR GLAZING

FLOORING NOTES:

- ALL FLOORING BREAKS OCCUR @ CENTER LINE OF DOOR OPENINGS UNLESS OTHERWISE NOTED
- FLOORING SQUARE FOOTAGES INCLUDE CLOSETS RELATIVE TO THE AREA UNLESS OTHERWISE NOTED
- SOME FLOORING SQUARE FOOTAGES MAY INCLUDE HALLS OR AREAS THAT CONNECT WITHOUT WALL SEPARATION IF THE SAME FINISH IS CONTINUED

BEVERLY CLASSIC DUAL MASTER SUITE / CUSTOM
 MAIN FLOOR PLAN
 9' CEILING HEIGHT

CUSTOM BUILT FOR: WILLIAM & JEAN EAKER
 JOB #: DU 700 020 0731 CN #: 30511 VN #: EAO2
 LOCATION: 595 BROCK RD, BUNNLEVEL, NC, 28323 COUNTY: HARNETT

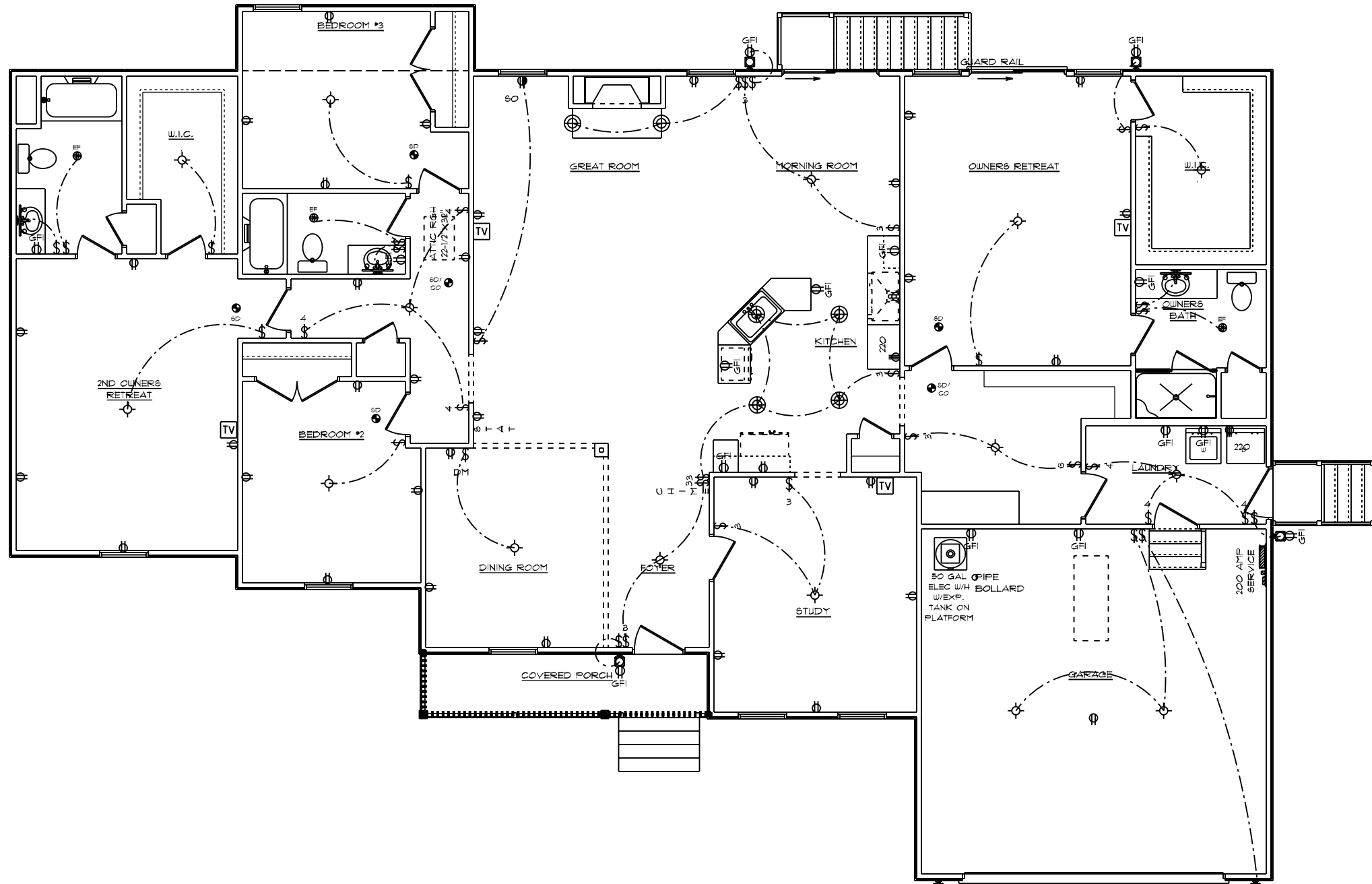
SQUARE FOOTAGES (2629)
 CRAWL SPACE: 2629
 91 FL: 2629
 GARAGE: 413
 PORCHES: 12

DRAIN BY: 5G
 DATE: 8/4/2020
 SCALE: 1/8" = 1'-0"
 DRAWING: 6

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GENERAL ELECTRICAL NOTES:

- (1) EXISTING SWITCH UPGRADED TO A 3-WAY SWITCH, (1) ADDITIONAL 3-WAY SWITCH AND (1) COACH LIGHT WIRED TO A STANDARD SWITCH ARE INCLUDED WHEN A GARAGE SERVICE DOOR IS PURCHASED
- (1) COACH LIGHT, (1) SWITCH, AND (1) GFI OUTLET ARE INCLUDED WHEN ANY ADDITIONAL DOOR IS PURCHASED, EXCLUDING THE GARAGE SERVICE DOOR
- ALL SMOKE DETECTORS TO BE INTERCONNECTED WITH BATTERY BACKUP
- E3902.11 ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- GARAGE DOOR LOW VOLTAGE WIRING BY ELECTRICIAN
- TWO SEPARATE KITCHEN GENERAL ELECTRIC OUTLET CIRCUITS FED BY NUMBER 12 WIRE AND ON 20 AMP BREAKERS REQUIRED IN KITCHEN
- ALL OUTLETS INSTALLED IN BATHROOMS, GARAGES, & UNFINISHED BASEMENTS SHALL HAVE GFCI PROTECTIONS ALONG WITH OUTLETS LOCATED W/IN 6'-0" OF LAUNDRY, UTILITY & WET BAR SINKS & ALL OUTLETS SERVING KITCHEN COUNTERTOP SURFACES
- ALL OUTLETS TO BE PLACED PER CODE

ADDITIONAL ELECTRICAL NOTES:

- INSTALL ALL BATHROOM FIXTURES W/ GLOBES FACING DOWN

BEVERLY CLASSIC DUAL MASTER SUITE / CUSTOM
 MAIN FLOOR PLAN
 9' CEILING HEIGHT
 ELECTRICAL PLAN

DATE: 8/4/2020
 SCALE: 1/8" = 1'-0"
 DRAIN BY: SG
 DRAWN BY: SG

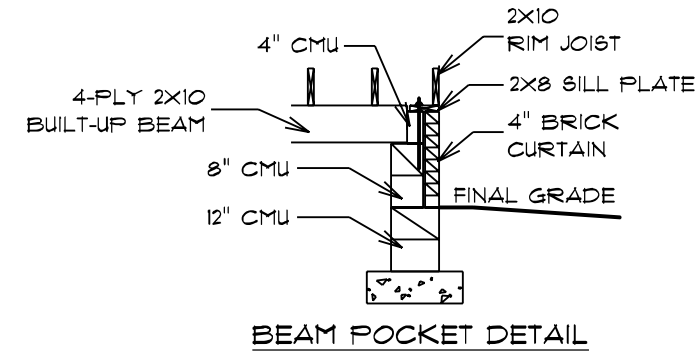
SQUARE FOOTAGES (2623)
 CRAWL SPACE: 2623
 91 FL: 2623
 GARAGE: 413
 PORCHES: 12

CUSTOM BUILT FOR: WILLIAM & JEAN EAKER
 JOB #: DU 700 020 0731 CN #: 3051T VN #: EA102
 LOCATION: 555 BROOK RD, BUNNLEVEL, NC, 28323
 COUNTY: HARNETT

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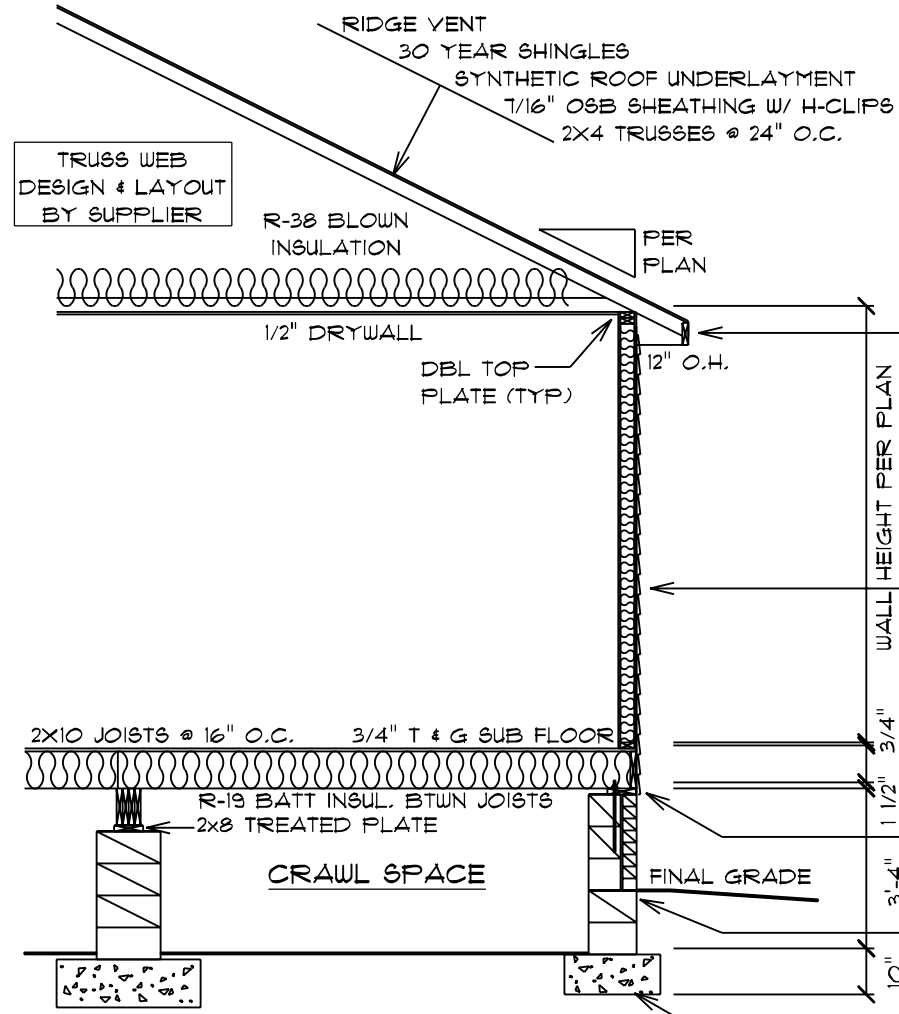


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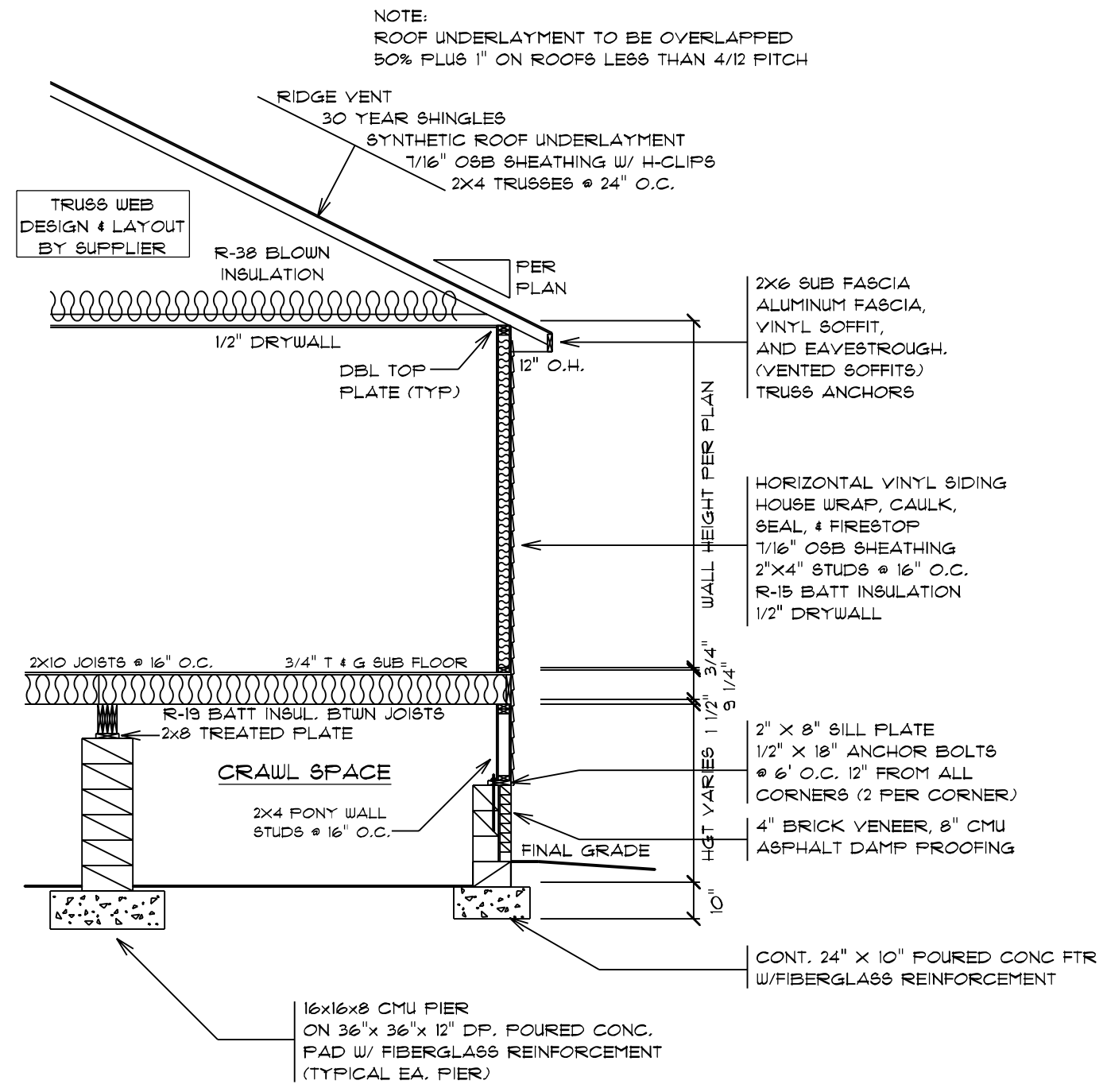


BEAM POCKET DETAIL

NOTE:
ROOF UNDERLAYMENT TO BE OVERLAPPED
50% PLUS 1" ON ROOFS LESS THAN 4/12 PITCH

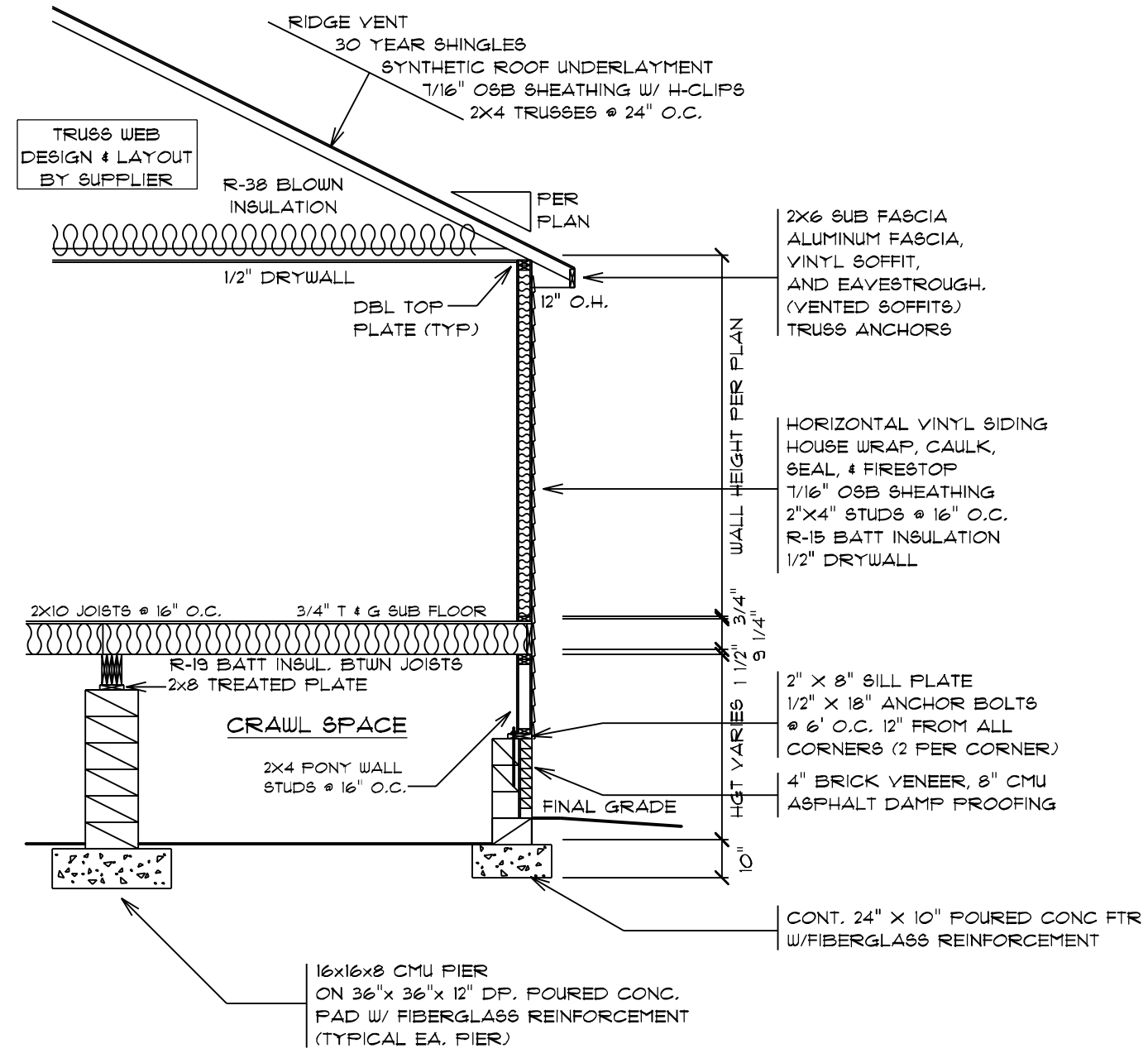


TYPICAL WALL SECTION



TYPICAL PONY WALL SECTION

NOTE:
ROOF UNDERLAYMENT TO BE OVERLAPPED
50% PLUS 1" ON ROOFS LESS THAN 4/12 PITCH



TYPICAL PONY WALL SECTION

DRAWN BY: SG
DATE: 8/4/2020
SCALE: 1/4" = 1'-0"
8
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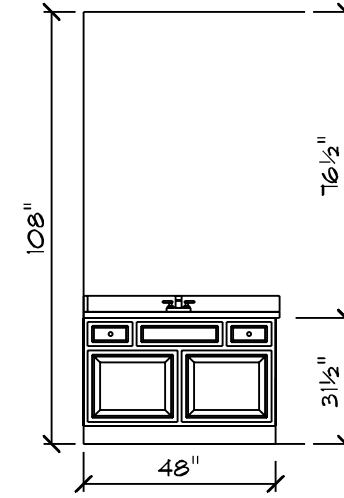
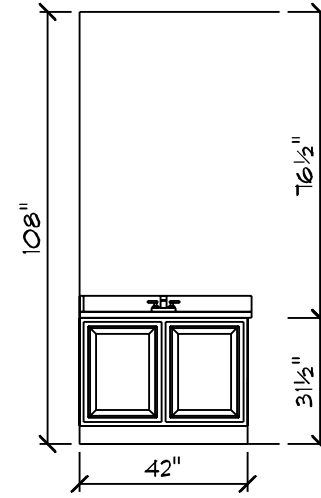
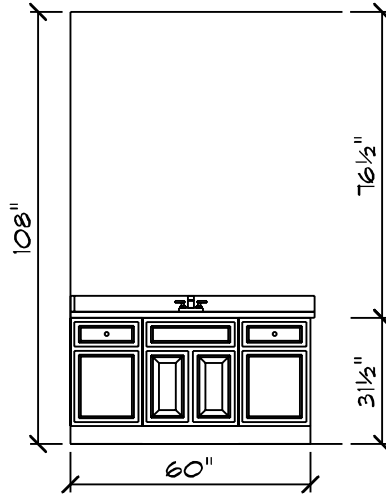
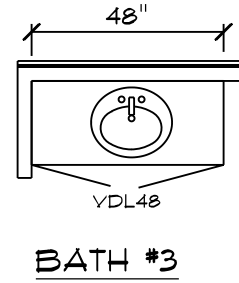
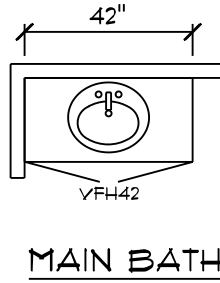
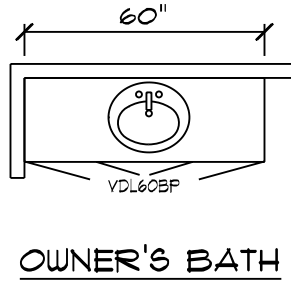
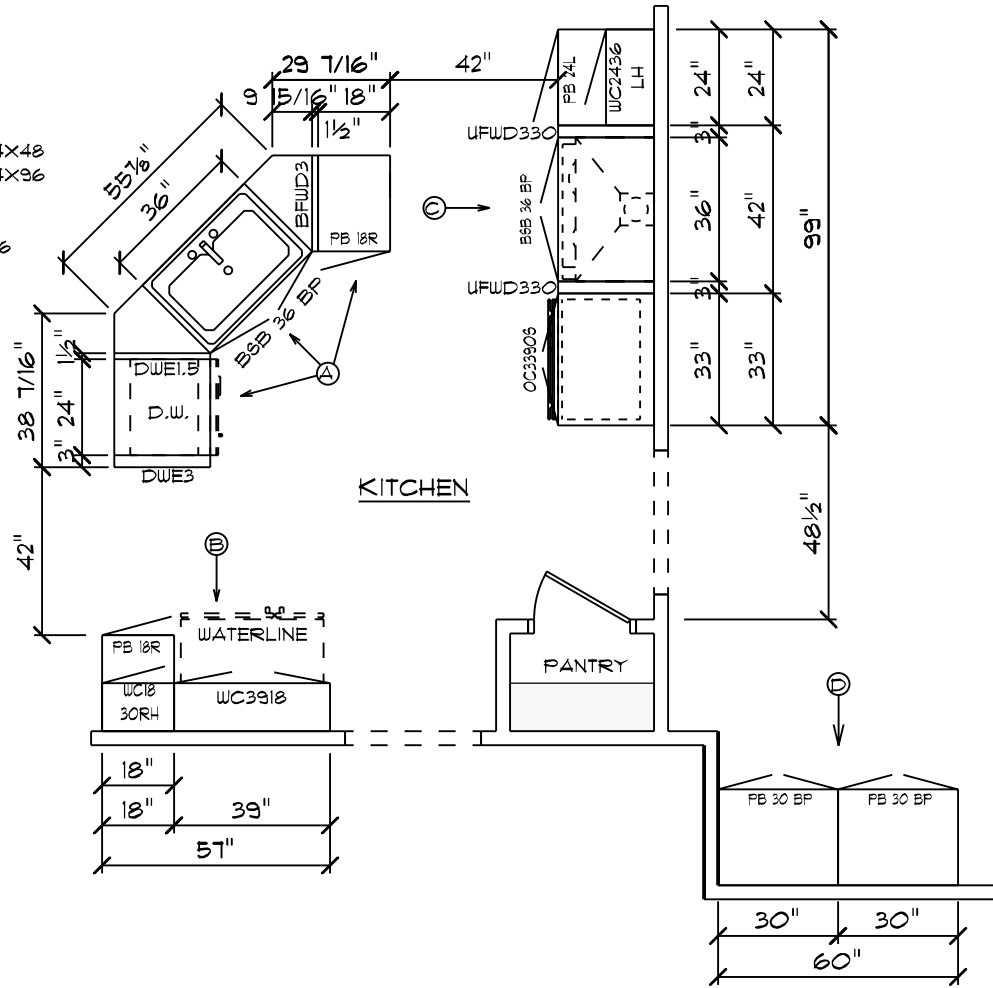
SQUARE FOOTAGES (2629)
CRAWL SPACE: 2629
91 FL: 2629
GARAGE: 479
PORCHES: 12

CUSTOM BUILT FOR: WILLIAM & JEAN EAKER
JOB #: DU TOO 020 0731 CN #: 30511 VN #: EA102
LOCATION: 555 BROCK RD. BUNNLEVEL, NC 28323 COUNTY: HARNETT

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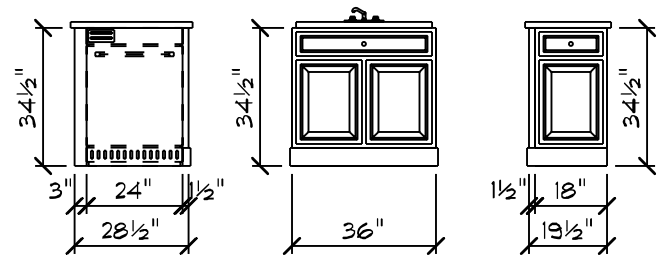
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- (1) BM96
- (1) CR96
- (1) CRA96



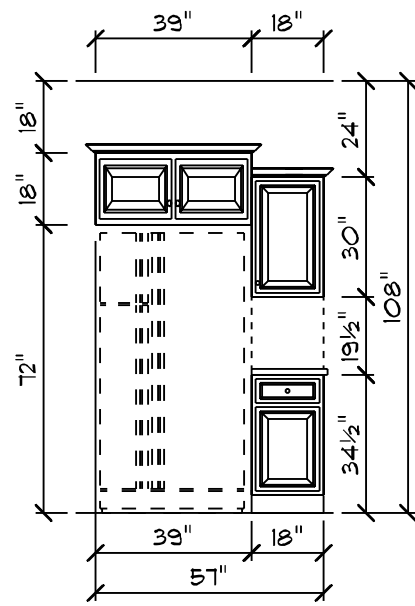
- CABINET NOTES:**
- KITCHEN**
- CAMBRIDGE BIRCH CABINETS W/ TRADITIONAL OVERLAY
 - 2-1/4" KITCHEN CABINET CROWN MOLDING
 - GRANITE COUNTERTOPS
 - SINGLE-BOWL UNDERMOUNT STAINLESS STEEL KITCHEN SINK
 - BRUSHED NICKEL CONTEMPORARY METAL PULLS
- BATHS**
- CAMBRIDGE BIRCH CABINETS W/ TRADITIONAL OVERLAY
 - GRANITE COUNTERTOPS
 - BRUSHED NICKEL CONTEMPORARY METAL PULLS

BEVERLY CLASSIC DUAL MASTER SUITE / CUSTOM CABINET PLAN

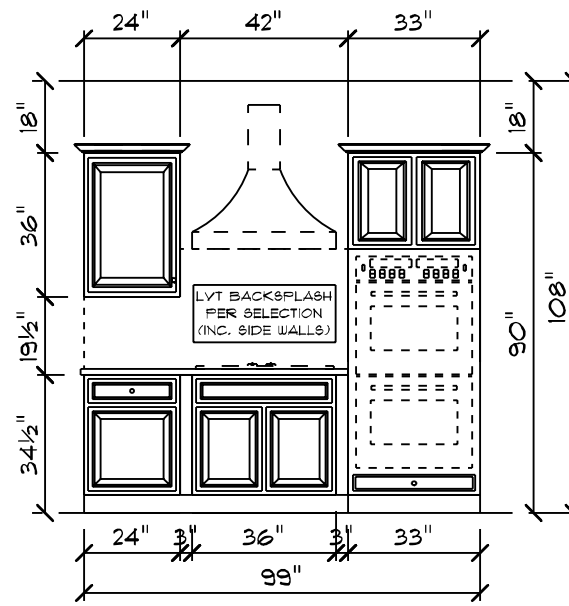
NOTE: CABINET DRAWING DIMENSIONS ACCOUNT FOR 1/2" OF DRYWALL



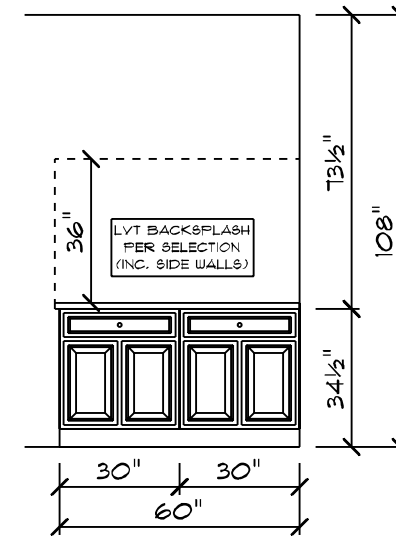
ELEVATION "A"



ELEVATION "B"



ELEVATION "C"



ELEVATION "D"

CUSTOM BUILT FOR: WILLIAM & JEAN EAKER
 JOB #: DU 100 020 0731 CN #: 30511 VN #: EA102
 LOCATION: 555 BROOK RD, BUNNLEVEL, NC, 28323 COUNTY: HARNETT

SQUARE FOOTAGES (2623)
 CRAWL SPACE: 2623
 91 FL: 2623
 GARAGE: 473
 PORCHES: 12

DRAWN BY: SG
 DATE: 8/4/2020
 SCALE: 1/4" = 1'-0"
 DWG: 9

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| Silverline V1 Series Single Hung Windows | | | | | | | | | | | | | | | | | | | | |
|--|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|
| R.O | 36 1/2 | 38 1/2 | 40 1/2 | 42 1/2 | 44 1/2 | 46 1/2 | 48 1/2 | 50 1/2 | 52 1/2 | 54 1/2 | 56 1/2 | 60 1/2 | 62 1/2 | 64 1/2 | 66 1/2 | 72 1/2 | 74 1/2 | 78 1/2 | 80 1/2 | 84 1/2 |
| 18 1/2 | 1630 | 1632 | | | 1638 | 16310 | 1640 | 1642 | 1644 | 1646 | 1648 | 1650 | 1652 | 1654 | 1656 | 1660 | 1662 | 1666 | | 1670 |
| 20 1/2 | 1830 | 1832 | | | 1838 | 18310 | 1840 | 1842 | 1844 | 1846 | 1848 | 1850 | 1852 | 1854 | 1856 | 1860 | 1862 | 1866 | | 1870 |
| 24 1/2 | 2030 | 2032 | 2034 | 2036 | 2038 | 20310 | 2040 | 2042 | 2044 | 2046 | 2048 | 2050 | 2052 | 2054 | 2056 | 2060 | 2062 | 2066 | | 2070 |
| 28 1/2 | 2430 | 2432 | | | 2438 | 24310 | 2440 | 2442 | 2444 | 2446 | 2448 | 2450 | 2452 | 2454 | 2456 | 2460 | 2462 | 2466 | | 2470 |
| 30 1/2 | 2630 | 2632 | 2634 | 2636 | 2638 | 26310 | 2640 | 2642 | 2644 | 2646 | 2648 | 2650 | 2652 | 2654 | 2656 | 2660 | 2662 | 2666 | | 2670 |
| 32 1/2 | 2830 | 2832 | 2834 | 2836 | 2838 | 28310 | 2840 | 2842 | 2844 | 2846 | 2848 | 2850 | 2852 | 2854 | 2856 | 2860 | 2862 | 2866 | | 2870 |
| 36 1/2 | 3030 | 3032 | 3034 | 3036 | 3038 | 30310 | 3040 | 3042 | 3044 | 3046 | 3048 | 3050 | 3052 | 3054 | 3056 | 3060 | 3062 | 3066 | 3068 | 3070 |
| 38 1/2 | 3230 | 3232 | | | 3238 | 32310 | 3240 | 3242 | 3244 | 3246 | 3248 | 3250 | 3252 | 3254 | 3256 | 3260 | 3262 | 3266 | | 3270 |
| 40 1/2 | 3430 | 3432 | | | 3438 | 34310 | 3440 | 3442 | 3444 | 3446 | 3448 | 3450 | 3452 | 3454 | 3456 | 3460 | 3462 | 3466 | | 3470 |
| 42 1/2 | 3630 | 3632 | | | 3638 | 36310 | 3640 | 3642 | 3644 | 3646 | 3648 | 3650 | 3652 | 3654 | 3656 | 3660 | 3662 | | | 3670 |
| 44 1/2 | 3830 | 3832 | | | 3838 | 38310 | 3840 | 3842 | 3844 | 3846 | 3848 | 3850 | 3852 | 3854 | 3856 | 3860 | 3862 | 3866 | | 3870 |
| 48 1/2 | 4030 | 4032 | | | 4038 | 40310 | 4040 | 4042 | 4044 | 4046 | 4048 | 4050 | 4052 | 4054 | 4056 | 4060 | 4062 | 4066 | | 4070 |

BOLD TYPE MEETS EGRESS

UNDERLINED CALLOUTS MEET EGRESS WITH CLEAR OPENING HARDWARE

| Silverline V3 Series Casement Windows | | | | | | |
|---------------------------------------|----------|----------|----------|-----------------|-----------------|------------------|
| R.O | 18 | 21 | 24 5/8 | 28 7/8 | 34 | 36 7/16 |
| 24 5/8 | C1-1520 | C1-1820 | C1-2020 | C1-2420 | | |
| 28 7/8 | C1-1524 | C1-1824 | C1-2024 | C1-2424 | C1-2924 | |
| 36 7/16 | C1-15211 | C1-18211 | C1-20211 | C1-24211 | C1-29211 | C1-211211 |
| 41 5/16 | C1-1534 | C1-1834 | C1-2034 | C1-2434 | <u>C1-2934</u> | C1-21134 |
| 48 1/2 | C1-1540 | C1-1840 | C1-2040 | <u>C1-2440</u> | <u>C1-2940</u> | C1-21140 |
| 53 5/16 | C1-1544 | C1-1844 | C1-2044 | <u>C1-2444</u> | <u>C1-2944</u> | C1-21144 |
| 60 3/8 | C1-15411 | C1-18411 | C1-20411 | <u>C1-24411</u> | <u>C1-29411</u> | C1-211411 |
| 65 5/16 | C1-1554 | C1-1854 | C1-2054 | <u>C1-2454</u> | <u>C1-2954</u> | C1-21154 |
| 72 3/8 | C1-15511 | C1-18511 | C1-20511 | <u>C1-24511</u> | <u>C1-29511</u> | C1-211511 |

| Silverline V3 Series Awning Windows | | | | | | |
|-------------------------------------|----------|----------|-----------|------------|-----------|-----------|
| R.O | 25 5/8 | 28 7/8 | 32 | 36 7/16 | 41 1/4 | 48 1/2 |
| 17 1/2 | AW1-2015 | AW1-2415 | AW1-2715 | AW1-21115 | AW1-3415 | AW1-4015 |
| 21 | AW1-2018 | AW1-2418 | AW1-2718 | AW1-21118 | AW1-3418 | AW1-4018 |
| 24 5/8 | AW1-2020 | AW1-2420 | AW1-2720 | AW1-21120 | AW1-3420 | AW1-4020 |
| 28 7/8 | AW1-2024 | AW1-2424 | AW1-2724 | AW1-21124 | AW1-3424 | AW1-4024 |
| 32 | | AW1-2427 | AW1-2727 | AW1-21127 | AW1-3427 | AW1-4027 |
| 36 4/9 | | | AW1-27211 | AW1-211211 | AW1-34211 | AW1-40211 |

| Silverline Sliding Door | |
|-------------------------|-------------------|
| 6068 | 72-1/4" x 80-1/2" |

| Andersen 200 Narroline Gliding Patio Door | |
|--|----------------|
| Unit | Rough Opening |
| NLGD6068 | 72" x 80" |
| NLGD12068-4 | 141 3/4" x 80" |
| NLGD6080 | 72" x 96" |
| NLGD12080-4 | 141 3/4" x 96" |

| Andersen 100 Patio Door | |
|-------------------------|---------------|
| Unit | Rough Opening |
| 6068 | 72" x 80" |
| 6080 | 72" x 96" |

| Exterior Door with Sidelites | |
|------------------------------|-------------------|
| 3'-0" w(1) 14" S.L. | 54 5/8" X 82 1/2" |
| 3'-0" w(2) 14" S.L. | 69 5/8" X 82 1/2" |

| Silverline V3 Series Twin Casement Windows | | | | | | |
|--|----------|----------|-----------------|-----------------|------------------|--|
| R.O | 41 1/4 | 48 1/2 | 57 | 63 1/4 | 72 1/8 | |
| 24 5/8 | C2-3420 | C2-4020 | C2-4820 | | | |
| 28 7/8 | C2-3424 | C2-4024 | C2-4824 | | | |
| 36 7/16 | C2-34211 | C2-40211 | C2-48211 | C2-52211 | C2-511211 | |
| 41 5/16 | C2-3434 | C2-4034 | C2-4834 | <u>C2-5234</u> | C2-51134 | |
| 48 1/2 | C2-3440 | C2-4040 | <u>C2-4840</u> | <u>C2-5240</u> | C2-51140 | |
| 53 5/16 | C2-3444 | C2-4044 | <u>C2-4844</u> | <u>C2-5244</u> | C2-51144 | |
| 60 3/8 | C2-34411 | C2-40411 | <u>C2-48411</u> | <u>C2-52411</u> | C2-511411 | |
| 65 5/16 | C2-3454 | C2-4054 | <u>C2-4854</u> | | | |
| 72 3/8 | C2-34511 | C2-40511 | <u>C2-48511</u> | | | |

| Silverline V3 Series Twin Awning Windows | | | |
|--|----------|----------|------------|
| R.O | 57 | 63 1/4 | 72 1/8 |
| 17 1/2 | AW2-4815 | AW2-5215 | AW2-51115 |
| 21 | AW2-4818 | AW2-5218 | AW2-51118 |
| 24 5/8 | AW2-4820 | AW2-5220 | AW2-51120 |
| 28 7/8 | AW2-4824 | AW2-5224 | AW2-51124 |
| 32 | | AW2-5227 | AW2-51127 |
| 36 7/16 | | | AW2-511211 |

| Fireplace Framing | |
|--|--|
| 36" WOOD BURNING EL36 W: 42" H: 40-1/4" D: 21-1/2" | |
| 42" WOOD BURNING EL42 W: 48" H: 40-1/4" D: 21-1/2" | |
| 36" DIRECT VENT NDV4236i W: 42" H: 35-1/4" D: 24" | |
| 42" DIRECT VENT NDV4842i W: 49" H: 35-1/4" D: 24" | |
| 36" MODERN GAS DV NEVO4236i W: 42" H: 40-1/4" D: 20-1/4" | |
| 42" RAVE DIRECT VENT RAVE42-IFT-B W: 50" H: 33-1/4" D: 18-1/4" | |
| 60" CRAVE DIRECT VENT CRAVE7260-B W: 72-1/4" H: 48-1/2" D: 18-3/4" | |
| HOLD FIREPLACE UP 2" TO ALLOW FOR STONE HEARTH IF APP. | |
| A PLYWOOD FLOOR IS REQUIRED ON ALL WOODBURNERS AT LEAST 6' HIGH TO BE INSTALLED BY FRAMERS | |
| 2X6 WRAP AT TOP OF CHASE | |

| Silverline V3 Triple Csmnt Windows | | | |
|------------------------------------|----------|-----------|-----------------|
| R.O | 61 1/2 | 72 3/8 | 85 1/8 |
| 24 5/8 | C3-5120 | C3-51120 | C3-7020 |
| 28 7/8 | C3-5124 | C3-51124 | C3-7024 |
| 36 7/16 | C3-51211 | C3-511211 | C3-70211 |
| 41 5/16 | C3-5134 | C3-51134 | C3-7034 |
| 48 1/2 | C3-5140 | C3-51140 | <u>C3-7040</u> |
| 53 5/16 | C3-5144 | C3-51144 | <u>C3-7044</u> |
| 60 3/8 | C3-51411 | C3-511411 | <u>C3-70411</u> |

| Silverline Oval Windows | | |
|-------------------------|---------------|--------|
| | Rough Opening | |
| | Width | Height |
| OVL-2030 | 24 1/2 | 36 1/2 |
| OVL-2434 | 28 1/2 | 40 1/2 |
| OVL-2838 | 32 1/2 | 44 1/2 |
| OVL-3040 | 36 1/2 | 48 1/2 |
| OVL-3050 | 36 1/2 | 60 1/2 |

| Window Notes | Additional Important Information |
|---|--|
| 1. TO CALCULATE THE R.O. FOR A WINDOW WITH A TRANSOM, ADD BOTH UNIT DIMENSIONS TOGETHER AND ADD 1/2". | 1. THERE IS NO ALLOWANCE IN ANY OF THE HEIGHT DIMENSIONS FOR CARPET SHIM. (PLEASE ADD ACCORDINGLY) |
| 2. TO CALCULATE THE R.O. FOR MULTIPLE UNITS, ADD BOTH ACTUAL UNIT DIM TOGETHER AND ADD 1/2" PER MULL | 2. BRICK OPENINGS ARE 2-1/2" WIDER AND 1-1/4" HIGHER THAN ACTUAL UNIT SIZE. |
| 3. FOR R.O.'S NOT LISTED, ADD 1/2" TO THE ACTUAL UNIT DIM FOR BOTH THE WIDTH AND HEIGHT | 3. FOR 7' DOORS ADD 4" TO THE ACTUAL UNIT SIZE AND ROUGH OPENING HEIGHT DIMENSIONS. |
| | 4. DO NOT STORE PRE-HUNG UNITS OUTSIDE. |

| Lintel Schedule | | | | 1/2" or Equiv Reinforcing Bars |
|----------------------|----------------|-----------------|-------------------|--------------------------------|
| Size of Steel Angle | No story Above | One story above | Two Stories Above | |
| 3 x 3 x 1/4 | 6'-0" | 4'-6" | 3'-0" | 1 |
| 4 x 3 x 1/4 | 8'-0" | 6'-0" | 4'-6" | 1 |
| 5 x 3-1/2 x 5/16 | 10'-0" | 8'-0" | 6'-0" | 2 |
| 6 x 3-1/2 x 5/16 | 14'-0" | 9'-6" | 7'-0" | 2 |
| (2) 6 x 3-1/2 x 5/16 | 20'-0" | 12'-0" | 9'-6" | 4 |

| Miscellaneous Framing |
|---|
| FRAME SOFFITS THE SAME HEIGHT AS DRYWALL OPENINGS. |
| LEAVE 14-1/2" BETWEEN EACH END JOIST & RIM JOIST TO ALLOW FOR INSULATION. INSULATE ALL FRAMED CHANNELS & CORNERS AND BEHIND SHOWER & TUB UNITS. INSTALL FIREBLOCK FRAMING IN ALL STAIRWAY CEILINGS. |

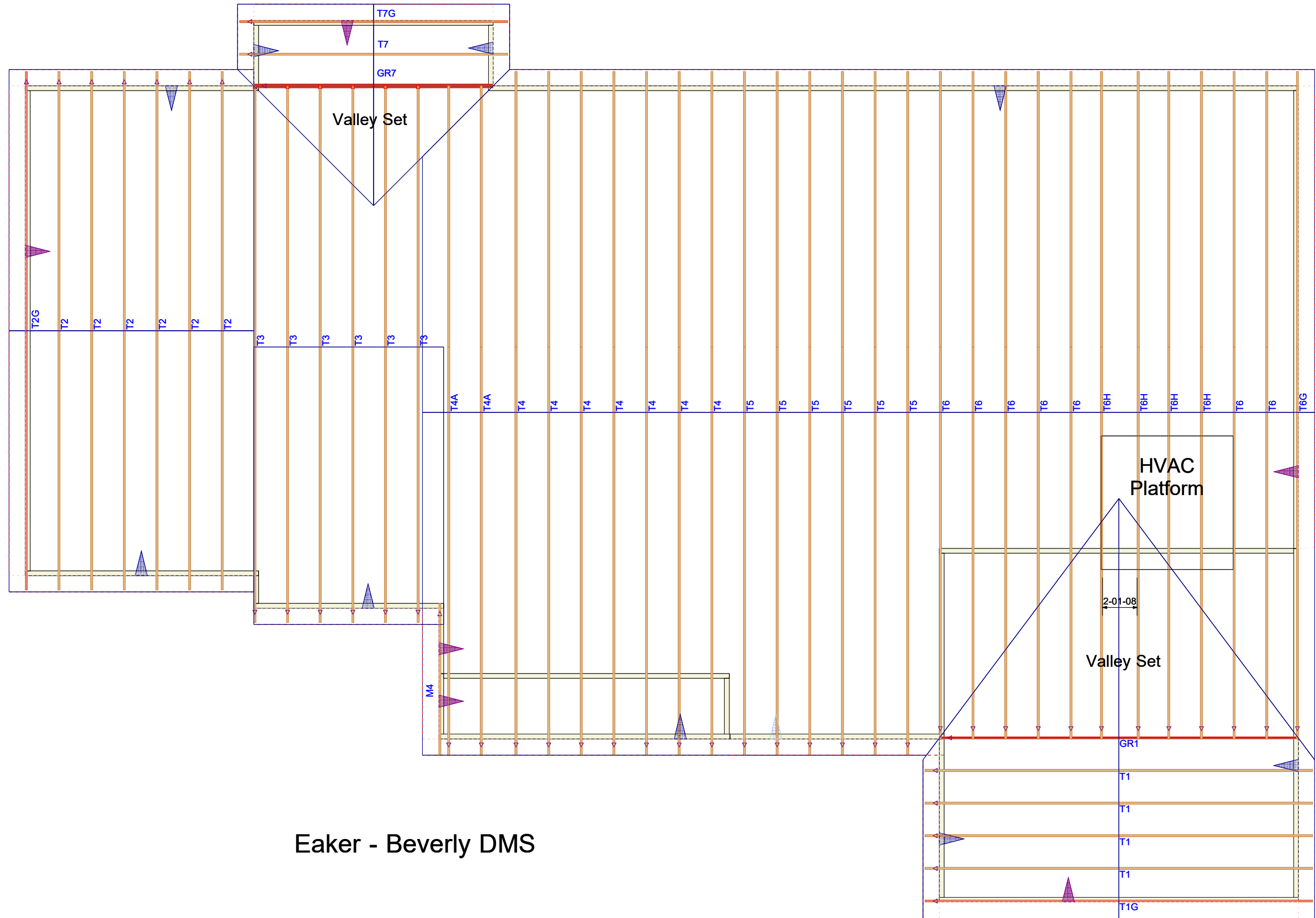
DRAWING: 10
DATE: 8/4/2020
SCALE: 1/8" = 1'-0"
DRAIN BY: SG

SQUARE FOOTAGES: (2629)
CREWELL SPACE: 2629
91 FL: 2629
GARAGE: 413
PORCHES: 12

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