

**NOTICE TO CONTRACTOR:**  
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

**APPROVED**  
Limited building only review  
Permit holder responsible for  
full compliance with the code.

*B. Johnson*



05/27/2020

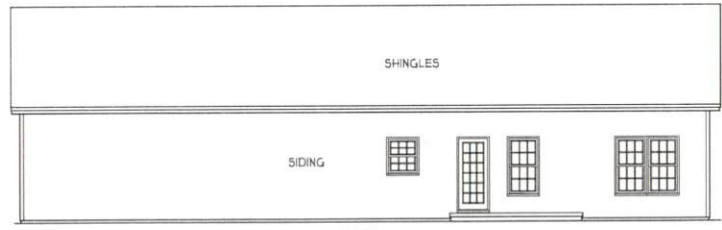


**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"

**ATTIC VENTILATION:**

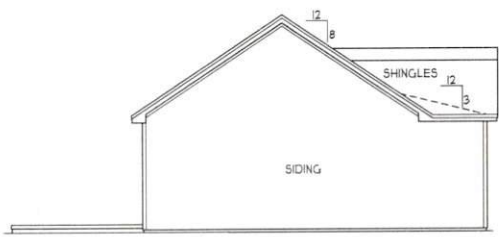
THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1 TO 300, PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION TO BE PROVIDED BY EAVE OR CORNICE VENTS.

GROSS ATTIC AREA TO BE VENTILATED 1899 SQ.FT.  
1899/150 = 12.66 SQ.FT. NET FREE AREA

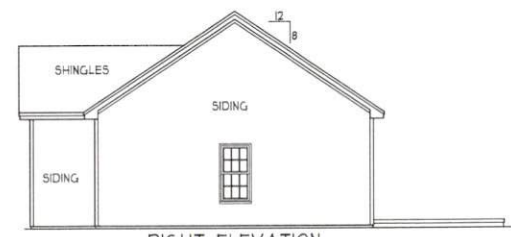


**REAR ELEVATION**  
SCALE 1/8" = 1'-0"

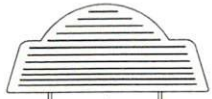
**ENERGY COMPLIANCE**  
ZONE 3 = MAX. GLAZING U-FACTOR .35  
R-VALUE = CEILING R38, WALLS R15,  
FLOORS R19 FOR JOHNSTON, WAYNE COUNTY  
ZONE 4 = MAX. GLAZING U-FACTOR .35  
R-VALUE = CEILING R38, WALLS R15,  
FLOORS R19 FOR WAKE, ORANGE COUNTY



**LEFT ELEVATION**  
SCALE 1/8" = 1'-0"



**RIGHT ELEVATION**  
SCALE 1/8" = 1'-0"



"THE DAKOTA II"  
(RIGHT HAND GARAGE)  
JRT MANG. PROP.

HEATED FOOTAGE:  
#1240

SQUARE FOOTAGE:  
FIRST FLOOR = 1240  
FRONT PORCH = 86  
PATIO/WOOD DECK = 144  
GARAGE = 572

HEATHER HALL  
185 HEATHERSTONE CT  
BENSON NC 27504  
(819) 207-1403

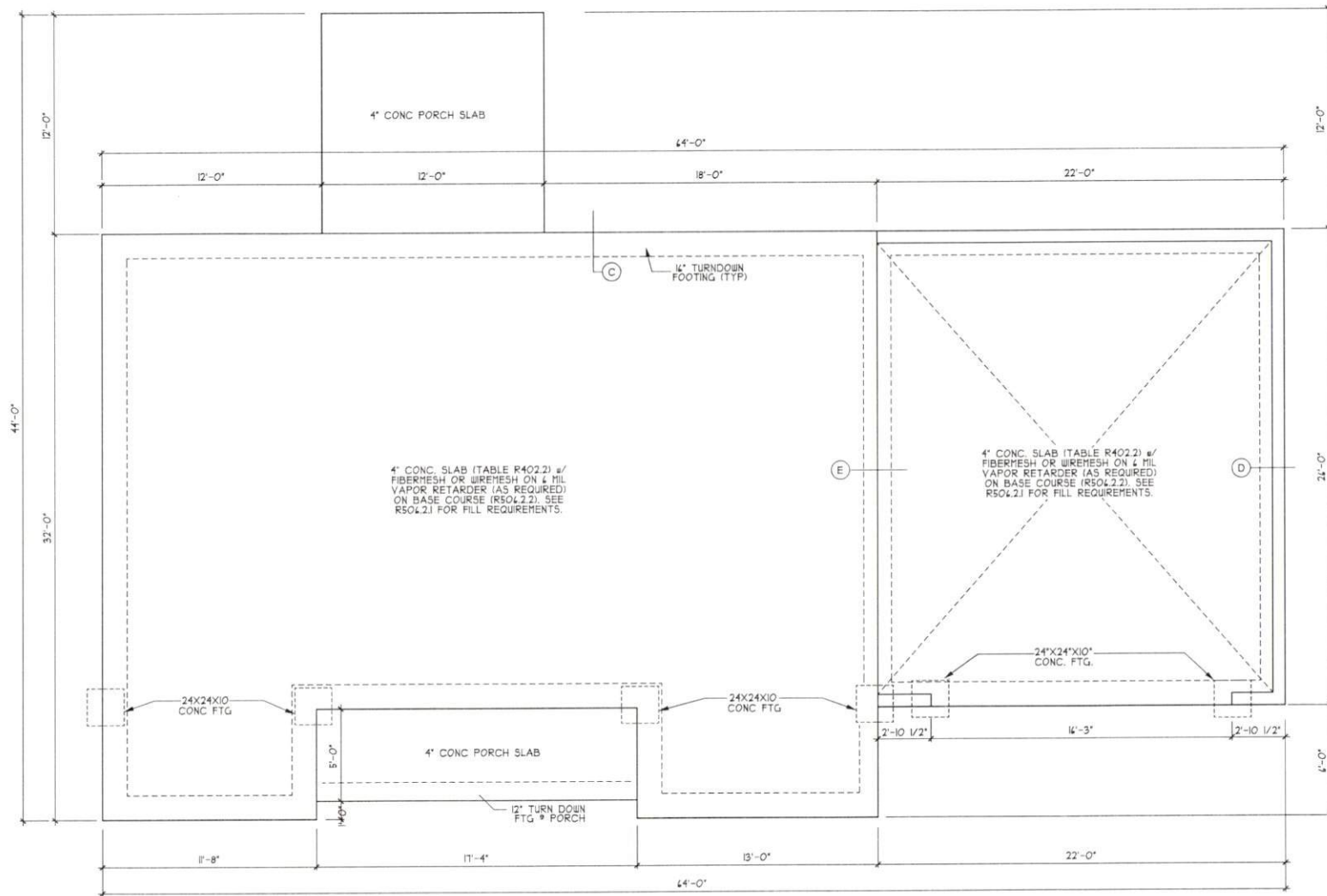


ANY DEVIATION OF THE  
BY OR ORDINANCE VIOLES  
N.C.S. MANUITY  
THIS PLAN HAS BEEN DRAWN  
BY A LICENSED ARCHITECT  
PRACTICING IN THE STATE OF NORTH CAROLINA  
BUILDING CODES 2018 EDITION

DATE:  
02/25/2020

1 STORY

FILE:  
020320



**ANCHOR BOLTS**

ANCHOR BOLTS TO BE PLACED WITHIN 12" OF EVERY CORNER AND FROM EVERY SPLICE AND AT 4'-0" O.C. WITH 7" MIN. IN CONC.

**DAMP PROOFING**

FOR DAMP PROOFING & WATER PROOFING REFER TO SECTION 405 & 404 IN 2018 EDITION NC RES. CODES

REFER TO "SD" SHEETS FOR STANDARD DETAILS, BRACING DETAILS, AND STRUCTURAL NOTES

**MONO SLAB FOUNDATION PLAN**

SCALE 1/4" = 1'-0"

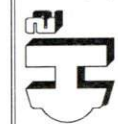
"THE DAKOTA II"  
(RIGHT HAND GARAGE)  
JRT MANG. PROP.

HEATED FOOTAGE  
#1240

SQUARE FOOTAGE  
FIRST FLOOR = 1240  
FRONT PORCH = 86  
PATIO/WOOD DECK = 144  
GARAGE = 572

HEATHER HALL  
165 HEATHERSTONE CT  
BENSON NC 27504  
(919) 207-4003

H SQUARED HOME DESIGN, INC.



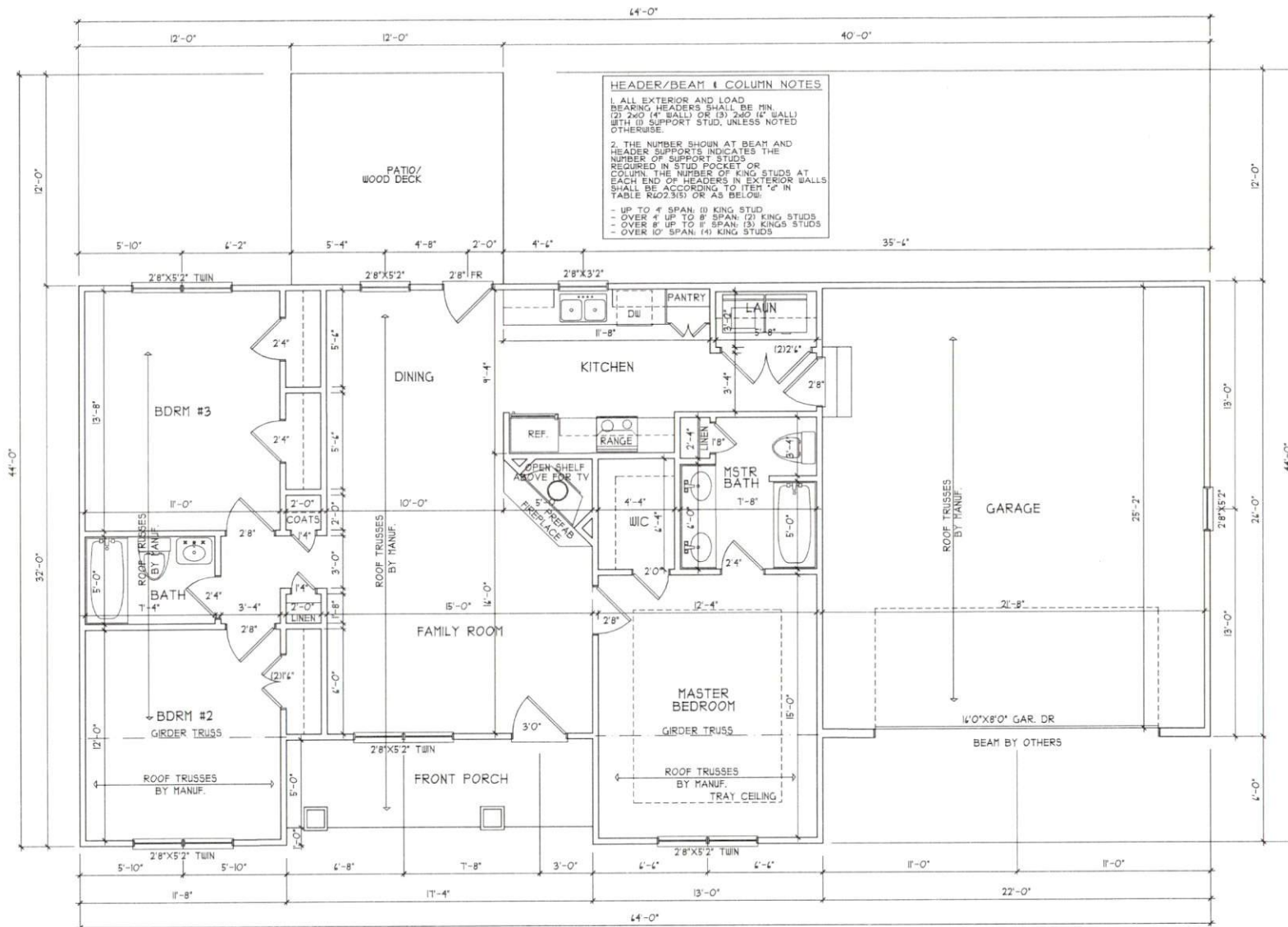
THIS PLAN HAS BEEN CHECKED BY THE ARCHITECT FOR CONFORMANCE WITH THE CAROLINA STATE RESIDENTIAL BUILDING CODES AND DESIGN.

DATE: 02/25/2020

1 STORY

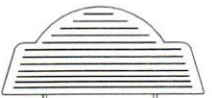
FILE: 020320





REFER TO '50' SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS, AND STRUCTURAL NOTES

FIRST FLOOR PLAN  
SCALE 1/4" = 1'-0"



"THE DAKOTA II"  
(RIGHT HAND GARAGE)  
JRT MANG. PROP.

HEATED FOOTAGE  
#1240

SQUARE FOOTAGE:  
= 1240  
FRONT PORCH = 88  
PATIO/WOOD DECK = 144  
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HEATHER HALL  
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H SQUARED HOME DESIGN, INC.



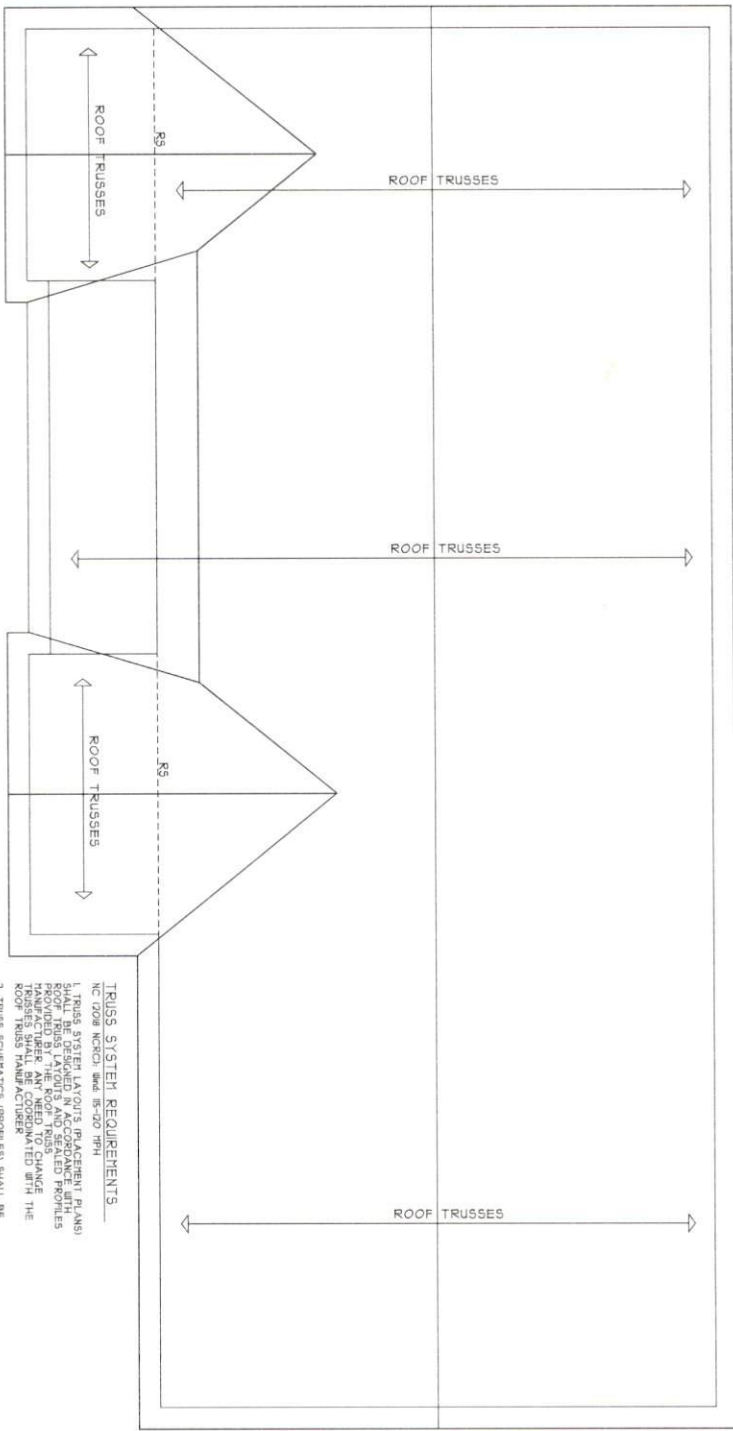
ANY REVISIONS OF THIS PLAN SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

DATE: 02/25/2020

1 STORY

FILE: 020320






**TRUSS SYSTEM REQUIREMENTS**  
 NC 1208 INCHES AND 18-20 1/4 INCH  
 1. TRUSS SYSTEM LAYOUTS (FRAMING PLANS)  
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 100. TRUSS SYSTEM LAYOUTS (FRAMING PLANS)

**ROOF PLAN**  
 SCALE 1/4" = 1'-0"

REFER TO '97 SHEETS FOR  
 STANDARD DETAILS BRACING  
 DETAILS AND CONNECTIONS

FILE: 020320	DATE: 02/25/2020	 <b>H SQUARED HOME DESIGN, INC.</b>	HEATHER HALL 165 HEATHERSTONE CT BENSON NC 27504 (919) 207-1403	<b>SQUARE FOOTAGE:</b> FIRST FLOOR = 1240 FRONT PORCH = 86 PATIO/WOOD DECK = 144 GARAGE = 572	<b>HEATED FOOTAGE:</b> <b>#1240</b>	<b>"THE DAKOTA II"</b> (RIGHT HAND GARAGE) JRT MANG. PROP.
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