

Harnett County Department of Public Health Improvement Permit

A building permit cannot be issued with only an Improvement Permit

ISSUED TO: JIT Managing Properties LLC PROPERTY LOCATION: SL 1705 Old Fairground RD SUBDIVISION _____ LOT # 3

NEW REPAIR EXPANSION Site Improvements required prior to Construction Authorization Issuance: _____

Type of Structure: SFD

Proposed Wastewater System Type: 25% reduction

Projected Daily Flow: 360 GPD

Number of bedrooms: 3 Number of Occupants: 6 max

Basement Yes No

Pump Required: Yes No May be required based on final location and elevations of facilities

Type of Water Supply: Community Public Well Distance from well _____ feet

Permit valid for: Five years No expiration

Permit conditions: _____

Authorized State Agent: James E. Manhart @ JEBUS Date: 6-8-20 SEE ATTACHED SITE SKETCH

The issuance of this permit by the Health Department in no way guarantees the issuance of other permits. The permit holder is responsible for checking with appropriate governing bodies in meeting their requirements. This site is subject to revocation if the site plan, plat, or the intended use changes. The Improvement Permit shall not be affected by a change in ownership of the site. This permit is subject to compliance with the provisions of the Laws and Rules for Sewage Treatment and Disposal and to conditions of this permit.

Construction Authorization

(Required for Building Permit)

The construction and installation requirements of Rules .1950, .1952, .1954, .1955, .1956, .1957, .1958, and .1959 are incorporated by references into this permit and shall be met. Systems shall be installed in accordance with the attached system layout.

ISSUED TO: JIT Managing Properties LLC PROPERTY LOCATION: SL 1705 Old Fairground RD SUBDIVISION _____ LOT # 3

Facility Type: SFD New Expansion Repair

Basement? Yes No Basement Fixtures? Yes No

Type of Wastewater System** 25% REDUCTION System (Accepted) (Initial) Wastewater Flow: 360 GPD

(See note below, if applicable) 25% REDUCTION (Accepted) (Repair)

<u>Installation Requirements/Conditions</u>	Number of trenches <u>3</u>	Trench Spacing: <u>9</u> Feet on Center
Septic Tank Size <u>1600</u> gallons	Exact length of each trench <u>80</u> feet	Soil Cover: <u>6</u> inches
Pump Tank Size _____ gallons	Trenches shall be installed on contour at a Maximum Trench Depth of: <u>22</u> inches (Trench bottoms shall be level to +/- 1/4" in all directions)	(Maximum soil cover shall not exceed 36" above the trench bottom)
Pump Requirements: _____ ft. TDH vs. _____ GPM		Aggregate Depth: <u>6</u> inches below pipe <u>2</u> inches above pipe <u>12</u> inches total

Conditions: _____

**WATER LINES (INCLUDING IRRIGATION) MUST BE 10FT. FROM ANY PART OF SEPTIC SYSTEM OR REPAIR AREA.
NO UTILITIES ALLOWED IN INITIAL OR REPAIR DRAIN FIELD AREA.**

**If applicable: I understand the system type specified is different from the type specified on the application. I accept the specifications of this permit.

Owner/Legal Representative Signature: _____ Date: _____

This Construction Authorization is subject to revocation if the site plan, plat, or the intended use changes. The Construction Authorization shall not be transferred when there is a change in ownership of the site. This Construction Authorization is subject to compliance with the provisions of the Laws and Rules for Sewage Treatment and Disposal and to the conditions of this permit. SEE ATTACHED SITE SKETCH

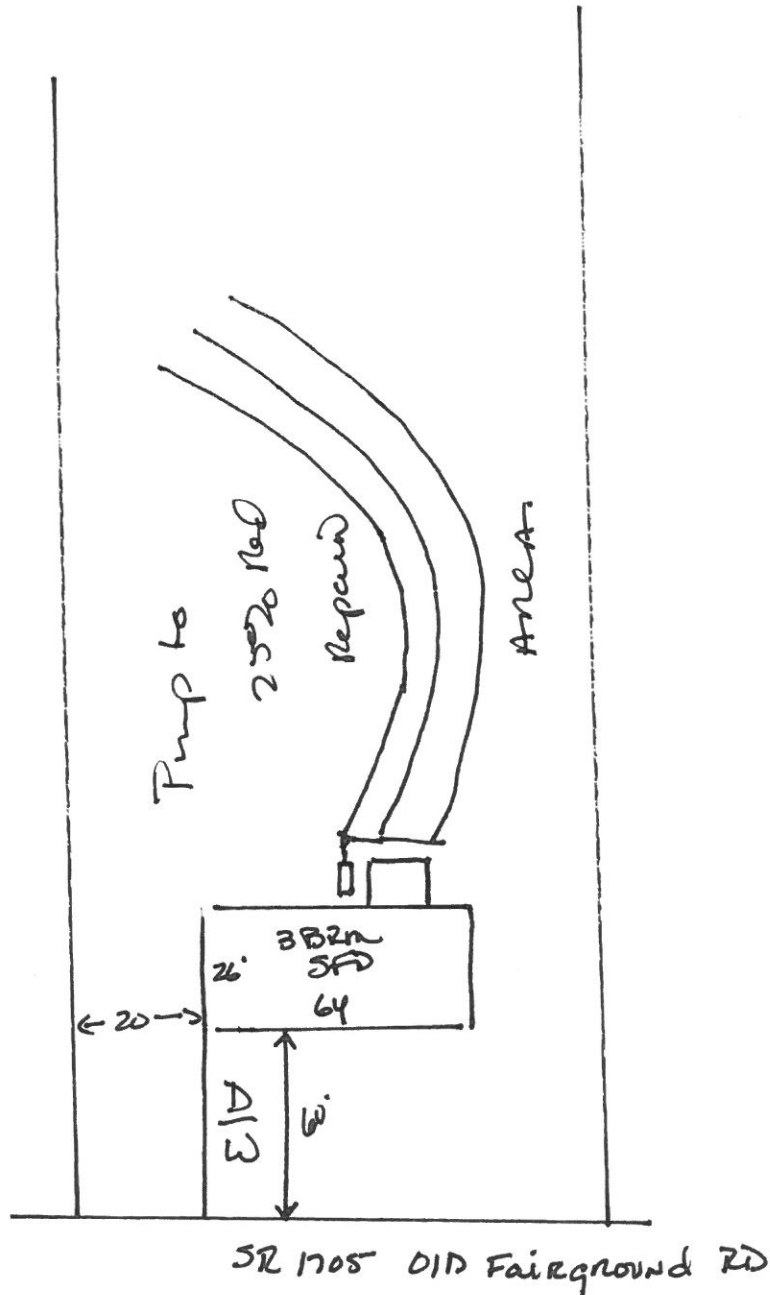
Authorized State Agent: James E. Manhart @ JEBUS Date: 6-8-20
Construction Authorization Expiration Date: 6-8-25

Application # SP-2005-0069

Harnett County Department of Public Health
Site Sketch

Property Location: JRT Managing Properties LLC 501 1705 Old Fairground Rd
Issued To: JRT Managing Properties LLC Subdivision _____ Lot # 3

Authorized State Agent: James E. Marshall @ 1200WS Date: 6-8-20



This drawing is for illustrative purposes only. System installation must meet all pertinent laws, rules, and regulations.