

LEGEND

- PO=PORCH
- P=PATIO
- SW=SIDEWALK
- DW=CONC DRIVEWAY
- EB=ELECTRIC BOX
- SCO=CLEANOUT
- TP=TELEPHONE PEDestal
- WM=WATER METER
- AC=AIR CONDITIONING UNIT
- BOC=BACK OF CURB
- EOP=EDGE OF PAVEMENT

- IRON PIPE FOUND
- IRON PIPE SET
- NAIL SET

SITE PLAN APPROVAL

DISTRICT RA 30 USE SFD

BEDROOMS 3

5-21-20 K.A.G.

ZONING ADMINISTRATOR

THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

SHAWN T. RUMBERGER, PLS L-4909 DATE

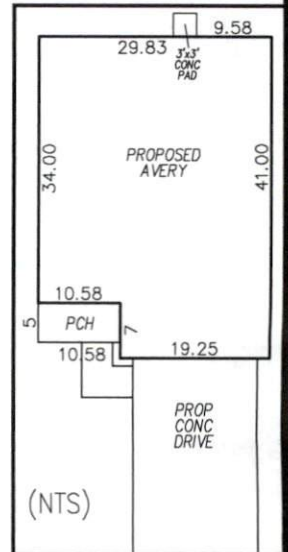
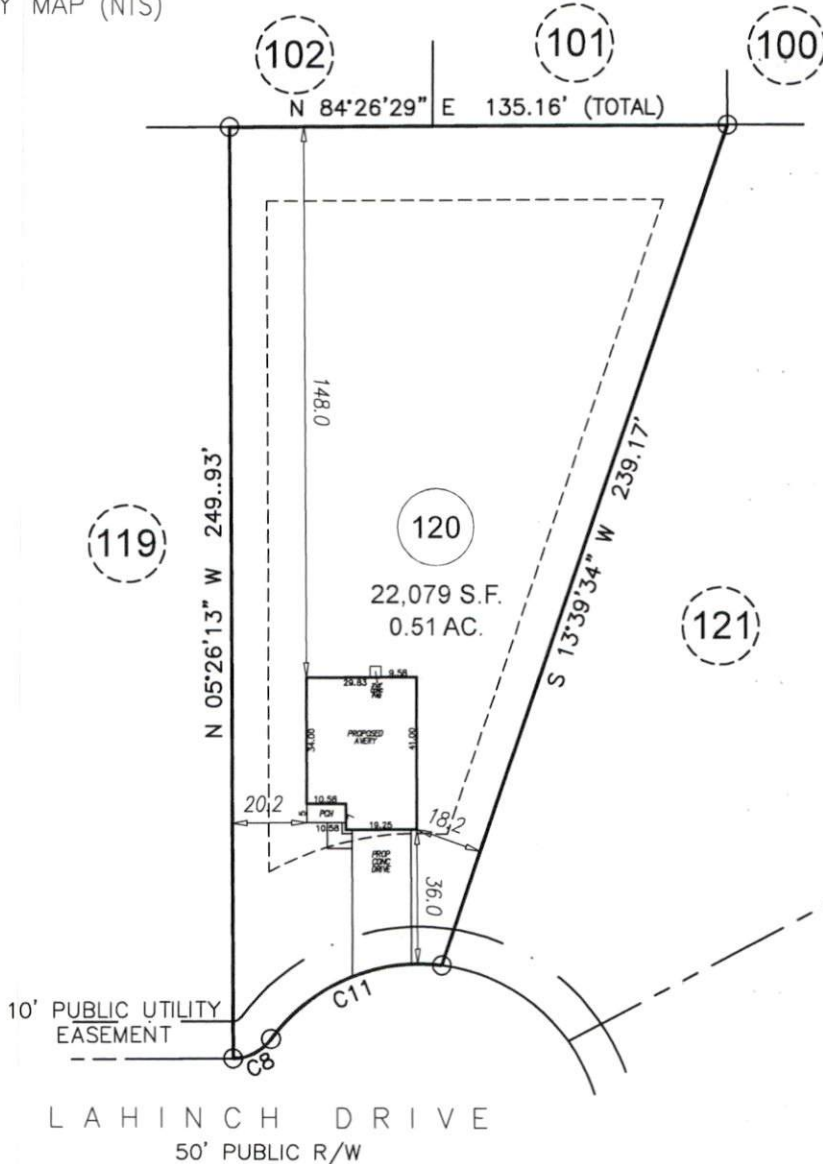
THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION. NO TITLE REPORT PROVIDED.

GENERAL NOTES:

1. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
2. AREAS SHOWN HEREON WERE COMPUTED USING THE COORDINATE METHOD.
3. LINES NOT SURVEYED ARE SHOWN AS DASHED LINES FROM INFORMATION REFERENCED ON THE FACE OF THIS SURVEY.
4. PROPERTY MAY BE SUBJECT TO ANY/ALL EASEMENTS AND RESTRICTIONS OF RECORD. THIS SURVEY IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND/OR DEEDED AND HAS BEEN PREPARED IN CONFORMITY WITH NORTH CAROLINA STANDARDS, G.S. 47-30, AND REQUIREMENTS OF LAW, BUT WITHOUT A FULL TITLE REPORT. A NORTH CAROLINA LICENSED ATTORNEY-AT-LAW SHOULD BE CONSULTED REGARDING CORRECT OWNERSHIP, WIDTH AND LOCATION OF EASEMENTS, AND OTHER TITLE QUESTIONS REVEALED BY TITLE EXAMINATION.
5. DRIVEWAY IMPERVIOUS CALCULATED TO R/W

VICINITY MAP (NTS)

PLAT NORTH
PB 2019 NC 417-419

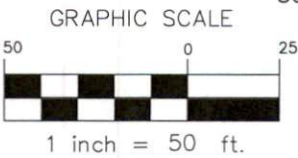


SETBACKS

FRONT	35'
SIDE	10'
REAR	20'
SIDE STREET	20'

IMPERVIOUS AREA

HOUSE	1,202 SQ.FT.
DRIVE TO R/W	595 SQ.FT.
WALK	48 SQ.FT.
CONC PAD	9 SQ.FT.
TOTAL	1,854 SQ.FT.
MAX. ALLOW	2,850 SQ.FT.



PRELIMINARY PLOT PLAN

CURVE	RADIUS	ARCLENGTH	CHORD	CHORDBEARING
C8	25.00'	15.77'	15.51'	S541903W
C11	50.00'	48.50'	46.62'	S640226W

ECLS

PROJECT: 18-003 AVERY POND
 DRAWN BY: CKR
 SCALE: 1"=50'
 DATE: 03-04-2020

FOR
LGI HOMES
 121 LAHINCH DRIVE
 LOT 120 AVERY POND SUBDIVISION; PHASE IIIA
 HECTOR'S CREEK TWP., HARNETT CO., NC
 P.B. 2019, PG. 417-419

ECLS GLOBAL, INC.
 U.S. VETERAN-OWNED
 19 N MCKINLEY ST
 COATS, NC 27521
 910.897.3257 ECLSGLOBALINC.COM
 910.897.2329 (FAX) CO#C-4175