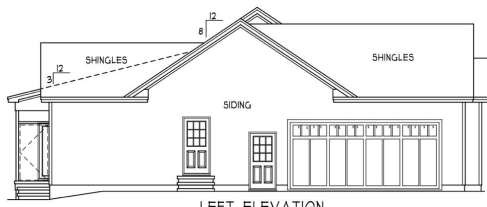
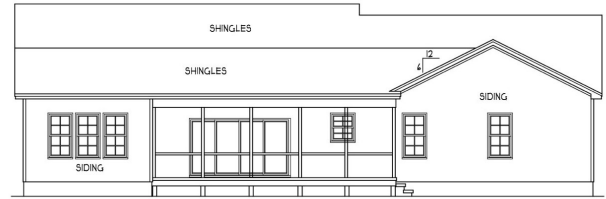




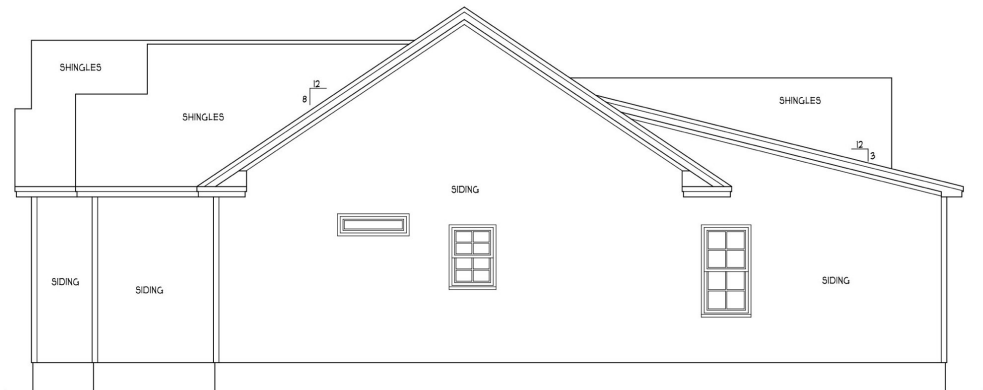
FRONT ELEVATION
SCALE 1/4" = 1'-0"



LEFT ELEVATION
SCALE 1/8" = 1'-0"



REAR ELEVATION
SCALE 1/8" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"

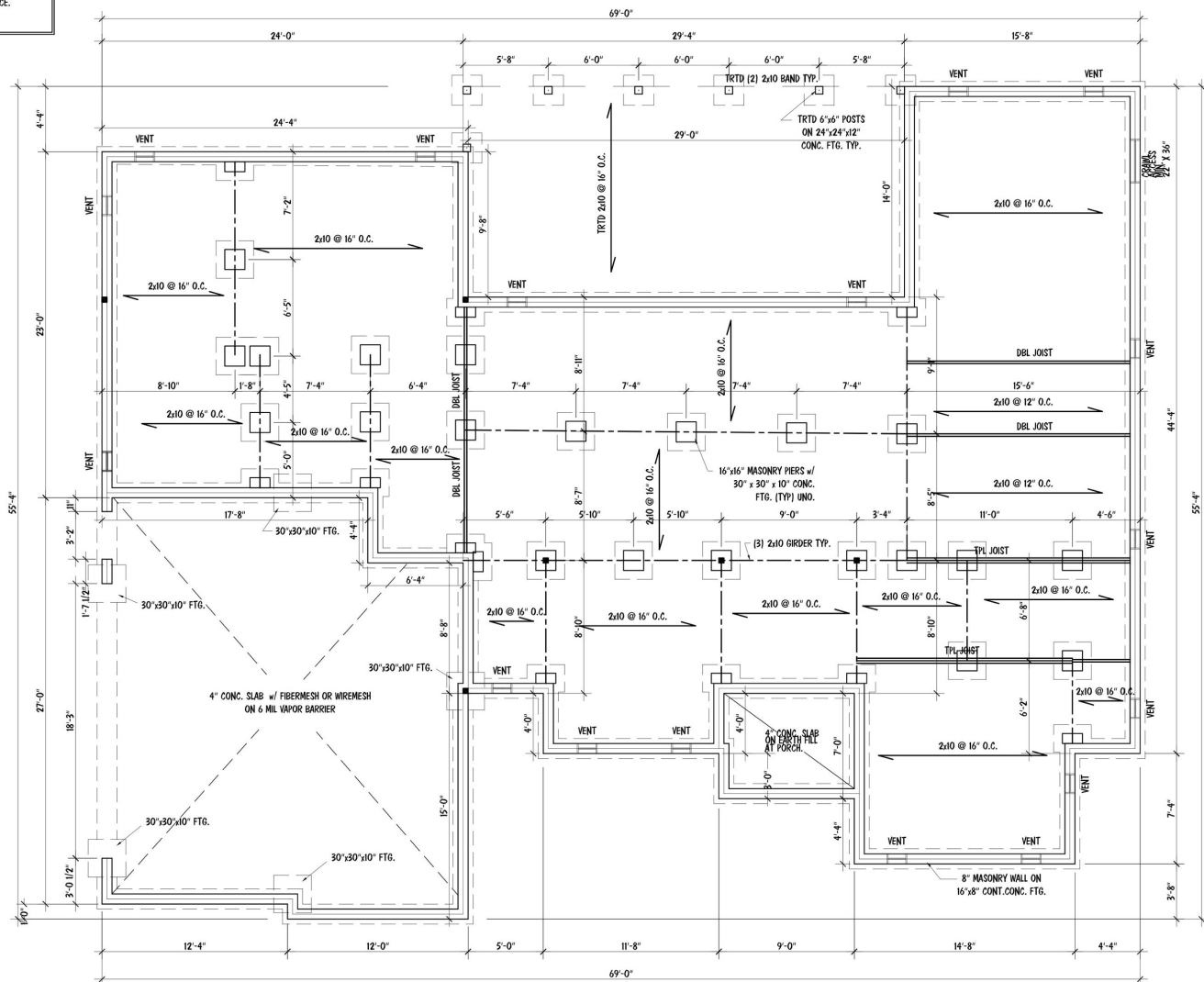
ATTIC VENTILATION:
THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1 TO 30 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1 TO 300 PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION TO BE PROVIDED BY EAVE OR CORNICE VENTS.
GROSS ATTIC AREA TO BE VENTILATED 3325 SQ.FT.
3325/60 = 55.42 SQ.FT. NET FREE AREA

ENERGY COMPLIANCE
ZONE 3 = MAX. GLAZING U-FACTOR .35
R-VALUE = CEILING R36, WALLS R5, FLOORS R10
FOR JOHNSON, GAITHERSON, WAYNE COUNTY
ZONE 4 = MAX. GLAZING U-FACTOR .35
R-VALUE = CEILING R36, WALLS R5, FLOORS R10
FOR WAKE, DURHAM, ORANGE COUNTY

H SQUARED HOME DESIGN, INC.

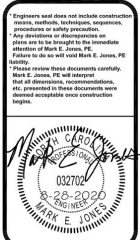
<p>FADERE RESIDENCE DAVID CARROLL HOMES</p>	<p>#2218</p>
<p>HEATED FOOTAGE: = 2208 = 662 = 407 = 637</p>	<p>FIRST FLOOR FRONT PORCH SCREEN PORCH GARAGE</p>
<p>DEMAND BY: HEATHER W. JOHNSON/HALL 855 FEATHERS FORE CT BOONVILLE, VA 24014 (800) 207-7403</p>	<p>SQUARE FOOTAGE: FIRST FLOOR FRONT PORCH SCREEN PORCH GARAGE</p>
<p><small>THIS PLAN HAS BEEN DRAWN IN ACCORDANCE WITH NORTH CAROLINA STATE RESIDENTIAL BUILDING CODES 2018 EDITION</small></p>	
<p><small>ANY DEVIATION OF THIS PLAN, DIMENSIONS OR OTHERWISE, H SQUARED HOME DESIGN, INC. IS NOT LIABLE.</small></p>	<p><small>This plan is to be built by the homeowner or builder as cited in the title block only. Not released for multiple builds.</small></p>
<p>DATE: 07/28/20</p>	<p>I STORY</p>
<p>FILE: 062520</p>	

CRAWL SPACE VENTILATION
 2218 SQ. FT. OF CRAWL AREA / 150 = 14.79 SQ. FT. OF FREE VENT AREA REQUIRED
 SEE SECTION R408.1 OF 2018 NCRCB (2015 IRC)
 FREE VENT AREA REQUIRED MAY BE REDUCED TO 1/1500 IF APPROVED VAPOR BARRIER IS INSTALLED OVER 100% OF CRAWL FLOOR AREA AND VENTS ARE INSTALLED TO PERMIT CROSS-VENTILATION OF CRAWL SPACE.
 SEE SECTION R408.1.1.



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



Mark E. Jones, PE
 6425 Glen Dean Court
 Raleigh, NC 27603
 (919) 395-5618

David Carroll Homes
 1904 Phelps West Rd.
 Fuquay-Varina, NC

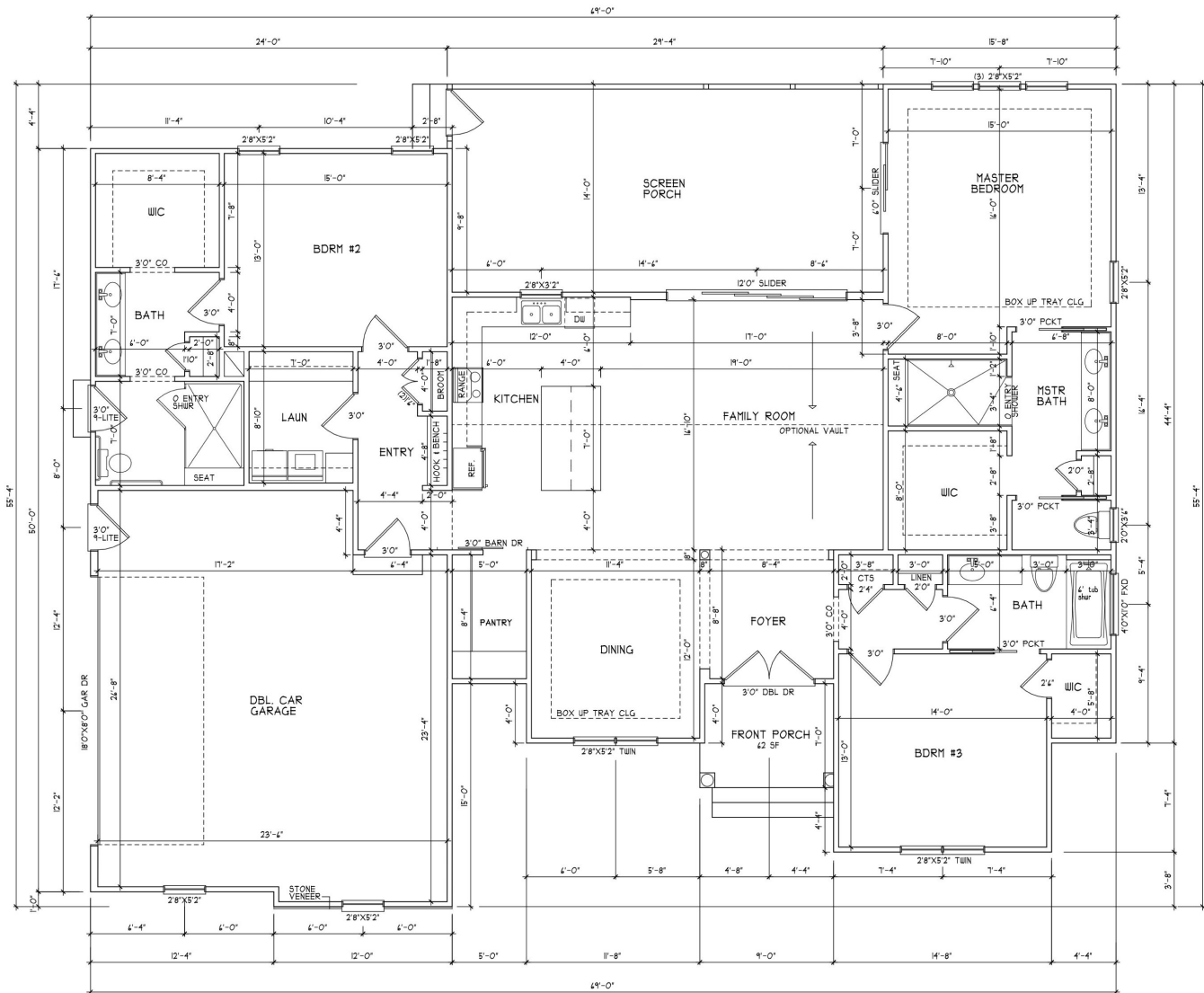
Fadere
 Residence

Project # 20-188
 Date: 8/28/2020
 Design/Revision By: MEJ
 Drawn/Checked By: MEJ
 Scale: 1/4"=1'-0"

REVISIONS		
No.	Date	Remarks
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3		
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FOUNDATION

Sheet Number
S1
 of S3



FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

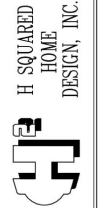


FADERE RESIDENCE
DAVID CARROLL HOMES

HEATED FOOTAGE
#2218

SQUARE FOOTAGE
FIRST FLOOR = 628
FRONT PORCH = 407
SCREEN PORCH = 637
GARAGE

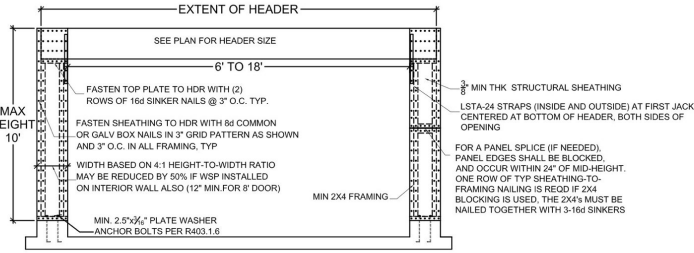
DEMAND BY:
HEATHER & JOHNATHAN HALL
855 HEATHERS FORE CT
BOSTON, MA 02134
(888) 207-4403



THIS PLAN HAS BEEN DRAWN IN ACCORDANCE WITH NORTH CAROLINA STATE RESIDENTIAL BUILDING CODES 2006 EDITION.

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DATE: 07/28/20
I STORY
FILE: 062520



STRUCTURAL NOTES

1) ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF NORTH CAROLINA STATE 2018 RESIDENTIAL BUILDING CODE, IN ADDITION TO ALL LOCAL CODES AND REGULATIONS.

2) DESIGN LOADS

LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (DL & LL)
ALL FLOORS	10	L/240
ATTIC (no snow access)	20	L/240
ATTIC (no access)	10	L/240
EXTERNAL BALCONY	60	L/240
ROOF	20	L/180
ROOF TRUSS	20	L/240
WIND LOAD	20	L/240

3) MINIMUM ALLOWABLE SOIL BEARING PRESSURE = 2000 PSF

4) CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI AND A MAXIMUM SLUMP OF FIVE INCHES UNLESS NOTED OTHERWISE (MAX).

5) MAXIMUM DEPTH OF UNBALANCED FILL AGAINST FOUNDATION WALLS TO BE LESS THAN 4" WITHOUT USING SUFFICIENT WALL BRACING. REFER TO SECTION 1804 OF 2018 NC BUILDING CODE FOR BRACING LIMITATIONS BASED ON WALL HEIGHT, WALL THICKNESS, SOIL TYPE, AND UNBALANCED BACKFILL HEIGHT.

6) ALL FRAMING LUMBER EXPOSED TO THE ELEMENTS SHALL BE TREATED MATERIAL.

7) ALL LOAD BEARING HEADERS SHALL BE 2x10 (MIN) AND ALL WINDOW AND DOOR HEADERS SHALL BE SUPPORTED BY (1) JACK STUD AND (1) KING STUD AT EACH END UNLESS NOTED. ALL OTHER BEAMS SHALL BE SUPPORTED BY 2 STUDS OR THE AMOUNT OF STUDS REQUIRED FOR FULL BEARING AT EACH END UNLESS NOTED. POINT LOADS (STIFF KNEES, ETC.) SHALL CONSIST OF 2 STUDS UNLESS NOTED. ALL SUPPORTS OF 2 STUDS OR MORE SHALL BE TRANSFERRED THROUGH EACH FLOOR TO THE FOUNDATION.

8) ALL EXTERIOR WALLS TO BE SHEATHED WITH MIN. 3/8" WOOD STRUCTURAL PANELS FASTENED WITH 6D NAILS @ 6" O.C. AT EDGES AND 12" O.C. AT INT. SUPPORTS. BLOCKING SHALL BE INSTALLED IF LESS THAN 50% PERCENT OF THE WALL LENGTH IS SHEATHED. WHERE BLOCKING IS REQD. ALL PANELS SHALL BE FASTENED AT 7" O.C. AT EDGES AND 8" O.C. AT INT. SUPPORTS.

9) ALL STRUCTURAL STEEL SHALL ASTM A-36. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3-1/2" INCHES AND FULL FLANGE WIDTH. PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION BEAMS SHALL BE ATTACHED TO EACH SUPPORT WITH TWO LAG SCREWS (1/2" DIAMETER AND 4" LONG). LATERAL SUPPORT IS CONSIDERED RESISTANT PROVIDED THE JOISTS ARE NAIL TO THE SOLE PLATES AND THE SOLE PLATES ARE NAIL OR BOLTED TO THE BEAM FLANGES @ 48" O.C.

10) ANCHOR BOLT PLACEMENT PER SECTION 1803.1.6. 1/2" DIAMETER ANCHOR BOLTS SPACED AT 6'-0" O.C. AND PLACED 12" FROM THE END OF EACH PLATE SECTION.

11) FOUNDATION DRAINAGE DAMP PROOFING OR WATERPROOFING PER SECTION 405 AND 406 OF 2012 NC BUILDING CODE.

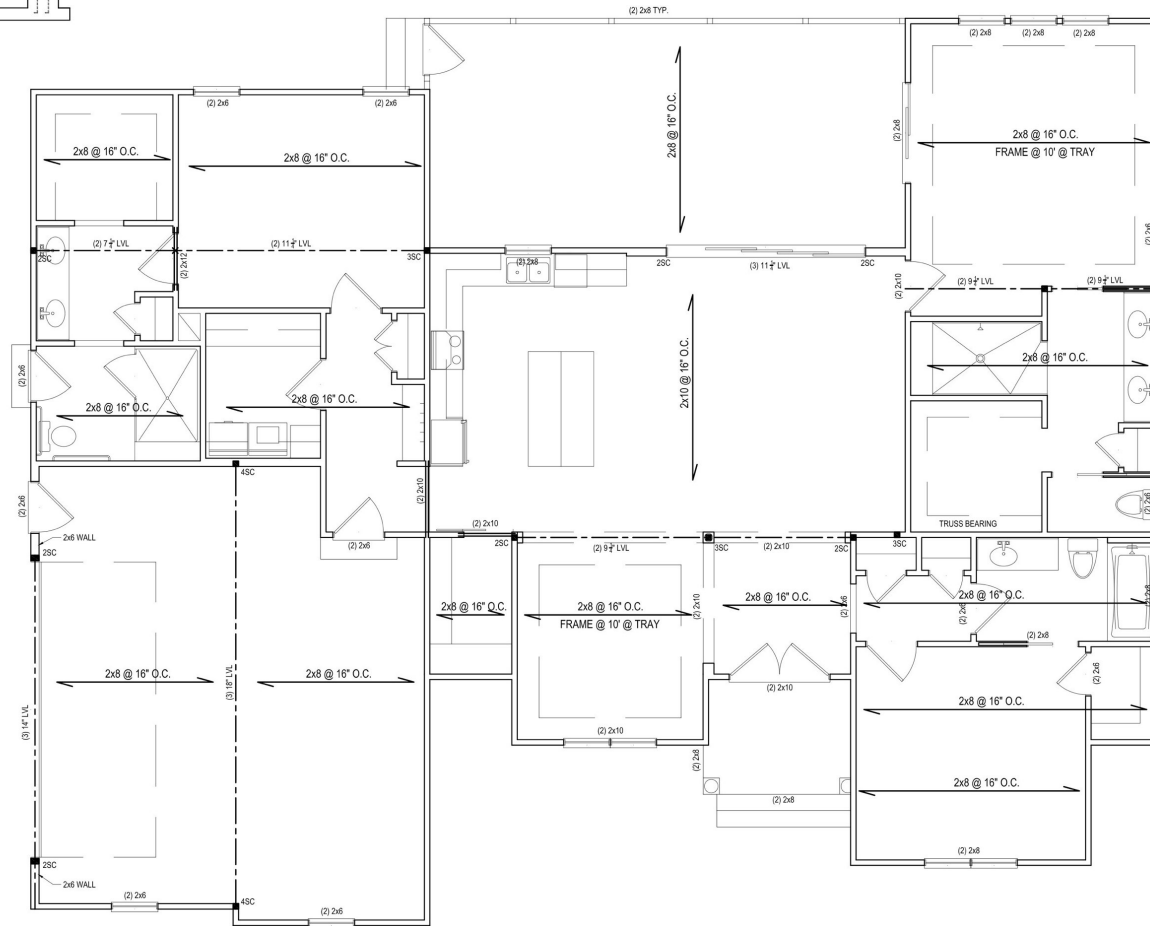
12) WALL AND ROOF CLADDING VALUES:
WALL CLADDING SHALL BE DESIGNED FOR A 24.1 SOLE FT. OR GREATER POSITIVE AND NEGATIVE PRESSURE.
ROOF VALUES BOTH POSITIVE AND NEGATIVE SHALL BE AS FOLLOWS:
45 LB/SQFT FOR ROOF PITCHES OF 4/12 TO 25/12
34 LB/SQFT FOR ROOF PITCHES OF 2-2/12 TO 12/12
21 LB/SQFT FOR ROOF PITCHES OF 12/12 TO 12/12
** MEAN ROOF HEIGHT 30' OR LESS

13) FOR ROOF BOLDS FROM 2-12 THROUGH 4-12, BUILDER TO INSTALL 2 LAYERS OF 15M FELT PAPER.

14) IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND SO. FTG. ERRORS OCCUR PRIOR TO CONSTRUCTION. DESIGNER IS NOT RESPONSIBLE FOR DIMENSIONING OR SO. FTG. ERRORS ONCE CONSTRUCTION BEGINS.

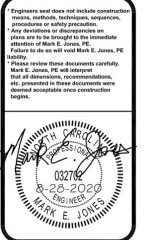
BRACED WALL NOTES

THIS PLAN SHALL BE CONTINUOUSLY BRACED WITH WOOD STRUCTURAL PANELS PER SECTION R602.10.3 OF THE NC RESIDENTIAL BUILDING CODE. NOTE ALL WALL BRACING LINES SATISFY THE MINIMUM AMOUNTS OF WALL BRACING PER CODE. GARAGE DOOR HEADER SHALL BE CONSTRUCTED PER FIGURE R602.10.1, METHOD 1F.



FIRST FLOOR STR. PLAN

SCALE: 1/4" = 1'-0"



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Fadere Residence

Project #	20-188
Date	8/28/20
Design/Design Rev.	MEJ
Check/Checked By	MEJ
Scale	1/4" = 1'-0"

NO.	DATE	REVISIONS	REMARKS
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Sheet Number
S2
of S3

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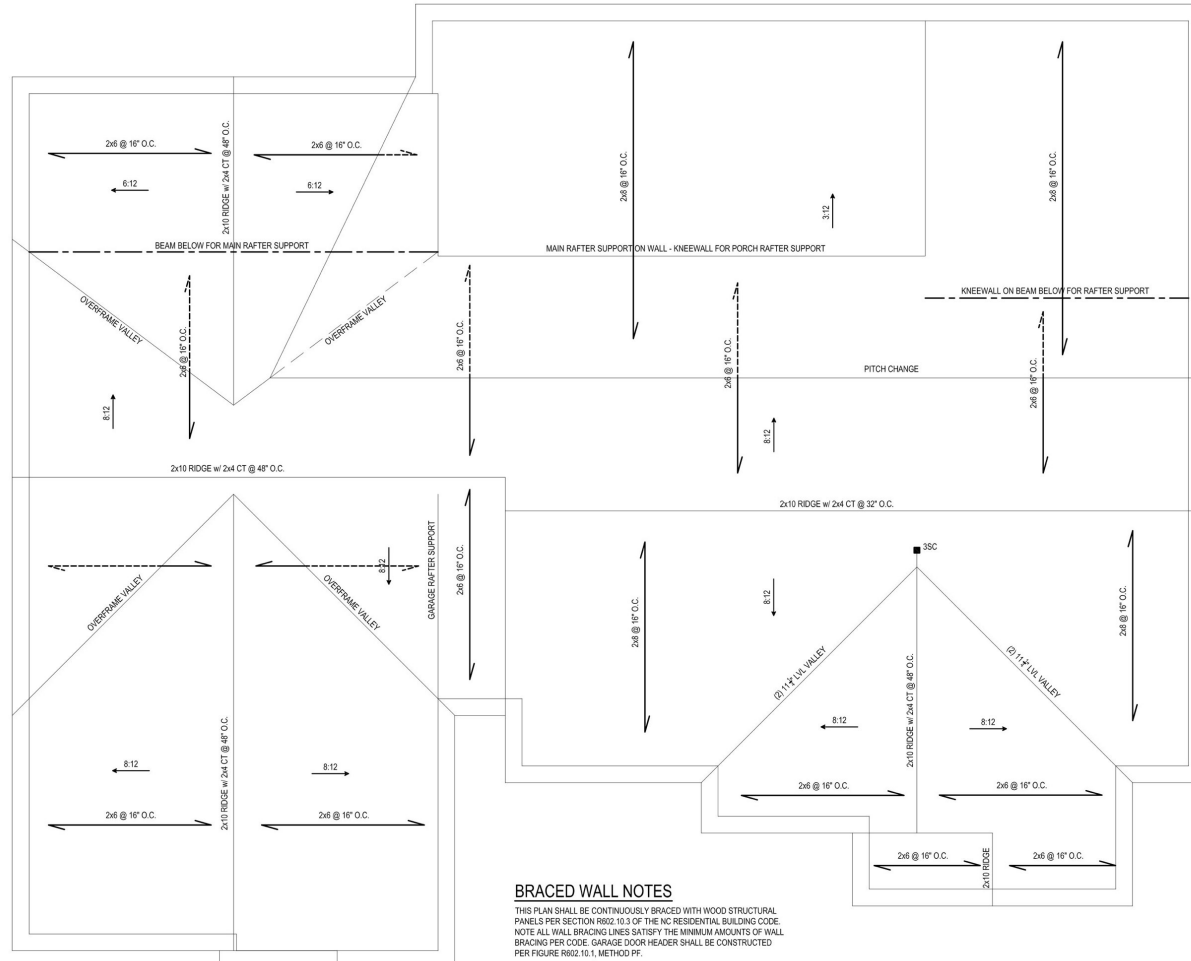
- MEAN ROOF HEIGHT FOR THIS STRUCTURE IS 15'-3"

ATTIC VENTILATION:

3325 SQUARE FEET = 11.08 REQUIRED
300

THE NET FREE AREA OF VENTILATION REQUIRED IS TO BE

11.08 SQUARE FEET.

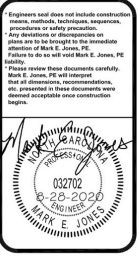


BRACED WALL NOTES

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ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



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Drawn/Design By	MEJ
Check/Checked By	MEJ
Scale	1/4" = 1'-0"

REVISIONS		
No.	Date	Remarks
1		
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ROOF
Sheet Number
S3
of S3