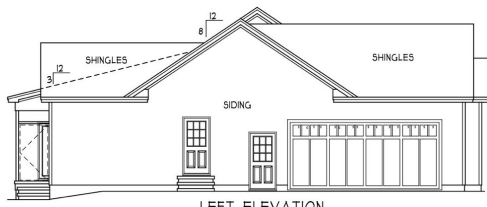
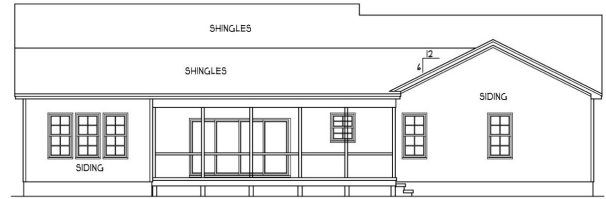




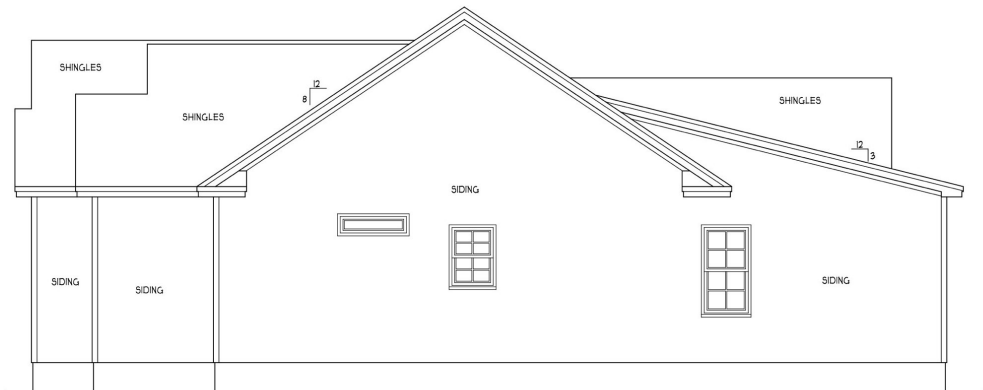
FRONT ELEVATION
 SCALE 1/4" = 1'-0"



LEFT ELEVATION
 SCALE 1/8" = 1'-0"



REAR ELEVATION
 SCALE 1/8" = 1'-0"



RIGHT ELEVATION
 SCALE 1/4" = 1'-0"

ATTIC VENTILATION:
 THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1 TO 30 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1 TO 300 PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION TO BE PROVIDED BY EAVE OR CORNICE VENTS.
 GROSS ATTIC AREA TO BE VENTILATED 3325 SQ.FT.
 3325/150 = 22 1/4 SQ.FT. NET FREE AREA

ENERGY COMPLIANCE
 ZONE 3 = MAX. GLAZING U-FACTOR .35
 R-VALUE = CEILING R36, WALLS R5, FLOORS R18 FOR JOHNSTON, SAMPSON, WAYNE COUNTY
 ZONE 4 = MAX. GLAZING U-FACTOR .35
 R-VALUE = CEILING R36, WALLS R5, FLOORS R18 FOR WAKE, DURHAM, ORANGE COUNTY



FADERE RESIDENCE
DAVID CARROLL HOMES

#2218

HEATED FOOTAGE
 = 2208
 = 662
 = 407
 = 637

SQUARE FOOTAGE
 FIRST FLOOR
 FRONT PORCH
 SCREEN PORCH
 GARAGE

DEMAND BY:
 HEATHER W. JOHNSON/HALL
 855 HEATHERS FORE CT
 BEAUFORT, NC 28516
 (819) 207-1403

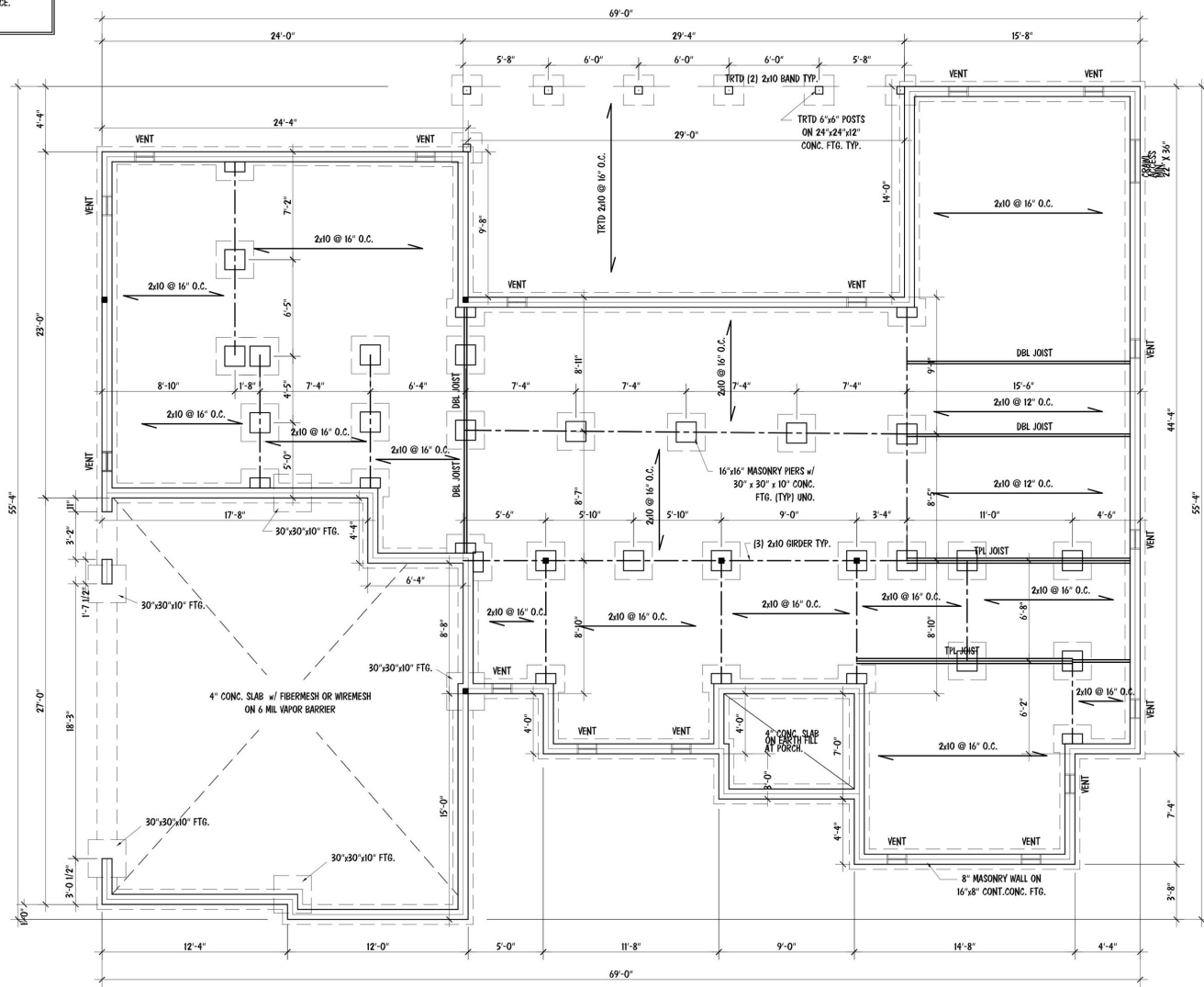


THIS PLAN HAS BEEN DRAWN IN ACCORDANCE WITH NORTH CAROLINA STATE RESIDENTIAL BUILDING CODES 2018 EDITION

ANY DEVIATION OF THIS PLAN, DIMENSIONS OR OTHERWISE, H SQUARED HOME DESIGN, INC. IS NOT LIABLE.
 This plan is to be built by the homeowner or builder as cited in this title block only. Not released for multiple builds.

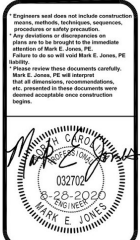
DATE: 07/28/20
 I STORY
 FILE: 062520

CRAWL SPACE VENTILATION
 2218 SQ. FT. OF CRAWL AREA / 150 = 14.79 SQ. FT. OF FREE VENT AREA REQUIRED
 SEE SECTION R408.1 OF 2018 NCRCB (2015 IRC)
 FREE VENT AREA REQUIRED MAY BE REDUCED TO 1/1500 IF APPROVED VAPOR BARRIER IS INSTALLED OVER 100% OF CRAWL FLOOR AREA AND VENTS ARE INSTALLED TO PERMIT CROSS-VENTILATION OF CRAWL SPACE.
 SEE SECTION R408.1.1.



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



Mark E. Jones, PE
 6425 Glen Dean Court
 Raleigh, NC 27603
 (919) 395-5618

David Carroll Homes
 1904 Phelps West Rd.
 Fuquay-Varina, NC

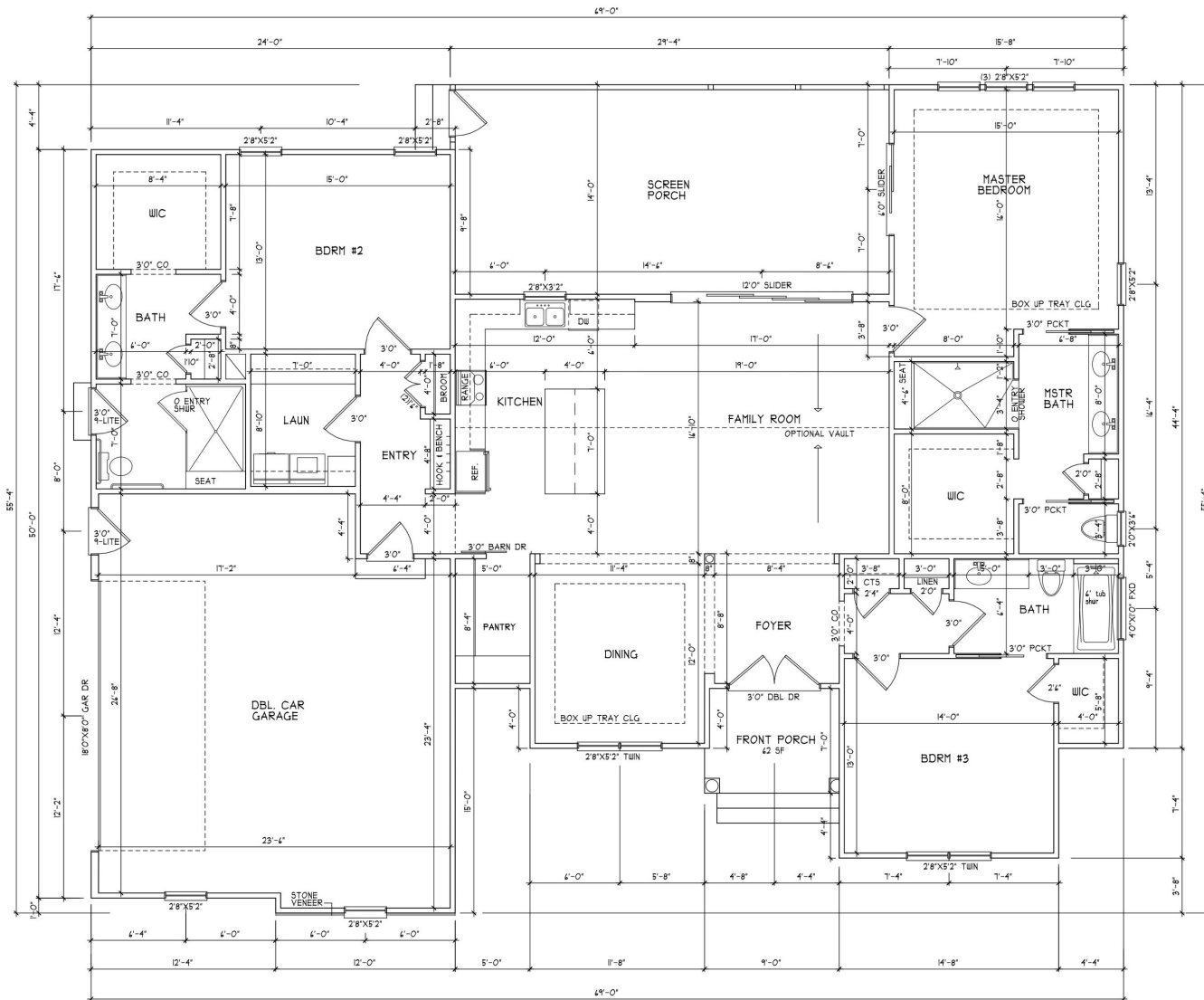
Fadere
 Residence

Project #	20-188
Date:	8/28/2020
Drawn/Design Rev:	MEJ
Check/Checked By:	MEJ
Scale:	1/4"=1'-0"

REVISIONS		
No.	Date	Remarks
1		
2		
3		
4		

FOUNDATION

Sheet Number
S1
 of S3



FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

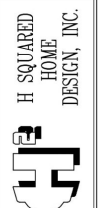


FADERE RESIDENCE
DAVID CARROLL HOMES

HEATED FOOTAGE
#2218

SQUARE FOOTAGE
 # 2218 = 628
 # 607 = 407
 # 637 = 637
 FIRST FLOOR
 FRONT PORCH
 SCREEN PORCH
 GARAGE

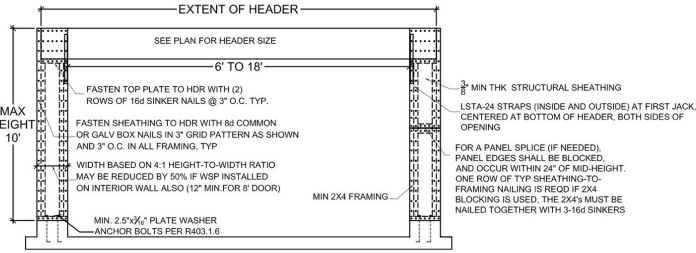
DEMAND BY:
HEATHER & JONATHAN HALL
855 HEATHERS FORE CT
BOSTON, MA 02134
(888) 207-4403



THIS PLAN HAS BEEN DRAWN
IN ACCORDANCE WITH NORTH
CAROLINA STATE RESIDENTIAL
BUILDING CODES 2006 EDITION.

ANY DEVIATION OF THIS PLAN, DIMENSIONS
OR OTHERWISE, H SQUARED HOME DESIGN,
INC. IS NOT LIABLE.
This plan is to be built by the homeowner
or builder as cited in the title block only.
Not released for multiple builds.

DATE: 07/28/20
I STORY
FILE: 062520



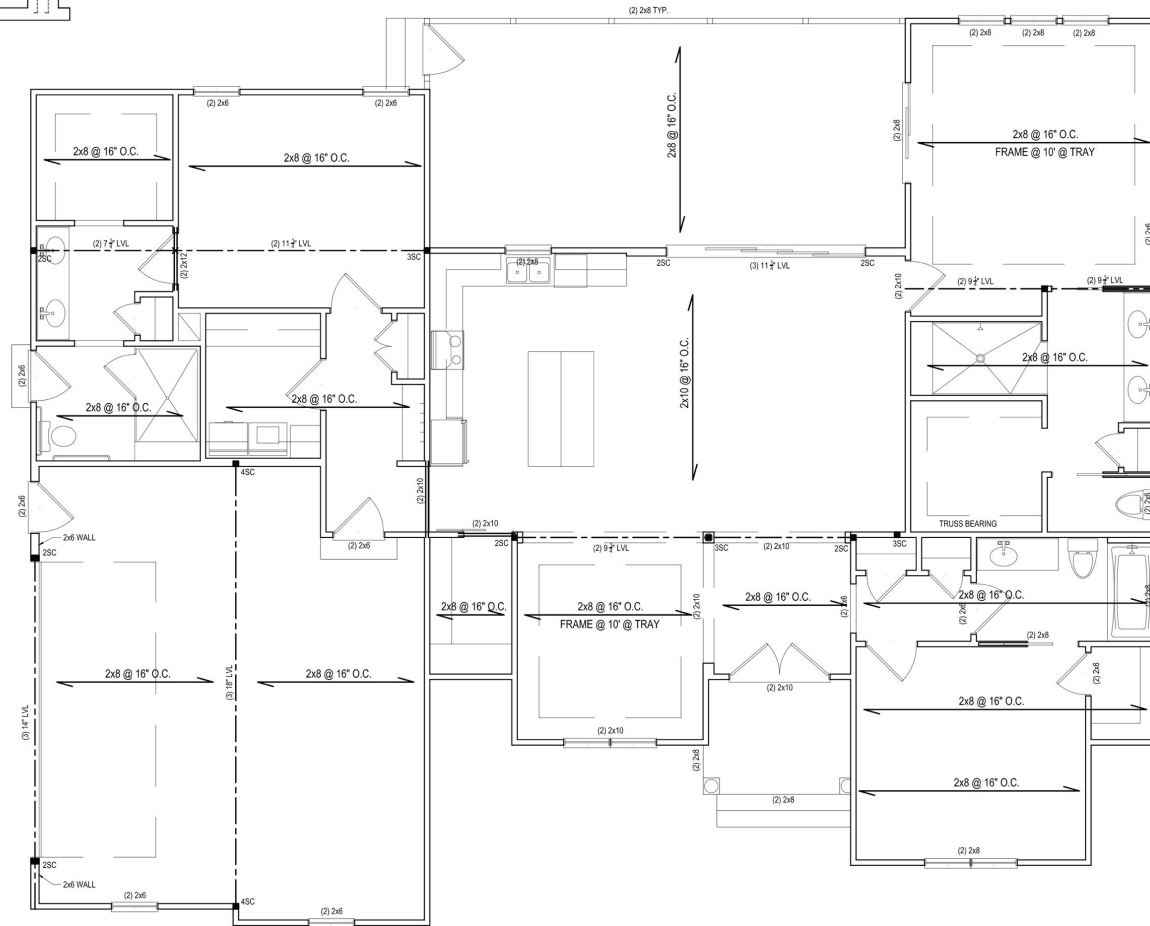
STRUCTURAL NOTES

- 1) ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF NORTH CAROLINA STATE 2018 RESIDENTIAL BUILDING CODE, IN ADDITION TO ALL LOCAL CODES AND REGULATIONS.
- 2) DESIGN LOADS:

LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (DL & LL)
ALL FLOORS	10	L/360
ATTIC (per floor access)	20	L/240
ATTIC (no access)	10	L/240
EXTERNAL BALCONY	60	L/240
ROOF	20	L/180
ROOF TRUSS	20	L/240
WIND LOAD	20	BASED ON 115 MPH (3-second gust)
- 3) MINIMUM ALLOWABLE SOIL BEARING PRESSURE = 2000 PSF
- 4) CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI AND A MAXIMUM SLUMP OF FIVE INCHES UNLESS NOTED OTHERWISE (MAX).
- 5) MAXIMUM DEPTH OF UNBALANCED FILL AGAINST FOUNDATION WALLS TO BE LESS THAN 4" WITHOUT USING SUFFICIENT WALL BRACING. REFER TO SECTION 1804 OF 2018 NC BUILDING CODE FOR BRACING LIMITATIONS BASED ON WALL HEIGHT, WALL THICKNESS, SOIL TYPE, AND UNBALANCED BACKFILL HEIGHT.
- 6) ALL FRAMING LUMBER EXPOSED TO THE ELEMENTS SHALL BE TREATED MATERIAL.
- 7) ALL LOAD BEARING HEADERS SHALL BE 2x10 (MIN). ALL WINDOW AND DOOR HEADERS SHALL BE SUPPORTED BY (1) JACK STUD AND (1) KING STUD AT EACH END UNLESS NOTED. ALL OTHER BEAMS SHALL BE SUPPORTED BY 2 STUDS OR THE AMOUNT OF STUDS REQUIRED FOR FULL BEARING AT EACH END UNLESS NOTED. POINT LOADS (STIFF AXES, ETC.) SHALL CONSIST OF 2 STUDS UNLESS NOTED. ALL SUPPORTS OF 2 STUDS OR MORE SHALL BE TRANSFERRED THROUGH EACH FLOOR TO THE FOUNDATION.
- 8) ALL EXTERIOR WALLS TO BE SHEATHED WITH MIN. 1/2" WOOD STRUCTURAL PANELS FASTENED WITH 8D NAILS @ 6" O.C. AT EDGES AND 12" O.C. AT INT. SUPPORTS. BLOCKING SHALL BE INSTALLED IF LESS THAN 50% PERCENT OF THE WALL LENGTH IS SHEATHED. WHERE BLOCKING IS REQD. ALL PANELS SHALL BE FASTENED AT 7" O.C. AT EDGES AND 16" O.C. AT INT. SUPPORTS.
- 9) ALL STRUCTURAL STEEL SHALL ASTM A-36. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" INCHES AND FULL FLANGE WIDTH. PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION BEAMS SHALL BE ATTACHED TO EACH SUPPORT WITH TWO LAG SCREWS (1/2" DIAMETER AND 4" LONG). LATERAL SUPPORT IS CONSIDERED RESISTANT PROVIDED THE JOISTS ARE NAILED TO THE SOLE PLATES AND THE SOLE PLATES ARE NAILED OR BOLTED TO THE BEAM FLANGES @ 48" O.C.
- 10) ANCHOR BOLT PLACEMENT PER SECTION R602.1.6. 1/2" DIAMETER ANCHOR BOLTS SPACED AT 6" O.C. AND PLACED 12" FROM THE END OF EACH PLATE SECTION.
- 11) FOUNDATION DRAINAGE DAMP PROOFING OR WATERPROOFING PER SECTION 405 AND 406 OF 2012 NC BUILDING CODE.
- 12) WALL AND ROOF CLADDING VALUES:
 WALL CLADDING SHALL BE DESIGNING FOR A 24.1 SO. FT. OR GREATER POSITIVE AND NEGATIVE PRESSURE. ROOF VALUES BOTH POSITIVE AND NEGATIVE SHALL BE AS FOLLOWS:
 45 LB/SQFT FOR ROOF PITCHES OF 1/12 TO 2/12
 34 LB/SQFT FOR ROOF PITCHES OF 2/12 TO 11/12
 21 LB/SQFT FOR ROOF PITCHES OF 12/12 TO 15/12
 ** MEAN ROOF HEIGHT 30' OR LESS
 13) FOR ROOF BOLDS FROM 2 1/2" THROUGH 1 1/2" BULDER TO INSTALL 2 LAYERS OF 15M FELT PAPER.
 14) IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND SO. FTG. ERRORS OCCUR PRIOR TO CONSTRUCTION. DESIGNER IS NOT RESPONSIBLE FOR DIMENSIONING OR SO. FTG. ERRORS ONCE CONSTRUCTION BEGINS.

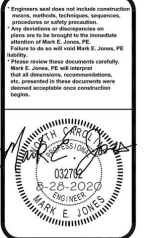
BRACED WALL NOTES

THIS PLAN SHALL BE CONTINUOUSLY BRACED WITH WOOD STRUCTURAL PANELS PER SECTION R602.10.3 OF THE NC RESIDENTIAL BUILDING CODE. NOTE ALL WALL BRACING LINES SATISFY THE MINIMUM AMOUNTS OF WALL BRACING PER CODE. GARAGE DOOR HEADER SHALL BE CONSTRUCTED PER FIGURE R602.10.1, METHOD D-F.



FIRST FLOOR STR. PLAN

SCALE: 1/4" = 1'-0"



Mark E. Jones, PE
 6425 Glen Dean Court
 Raleigh, NC 27603
 (919) 395-5618

David Carroll Homes
 1904 Phelps West Rd.
 Fuquay-Varina, NC

Fadere
 Residence

Project #	20-188
Date:	8/28/20
Drawn/Design By:	MEJ
Check/Checked By:	MEJ
Scale:	1/4"=1'-0"

REVISIONS		
No.	Date	Remarks
1		
2		
3		
4		

1ST_STRUC

Sheet Number

S2

of S3

NOTES:

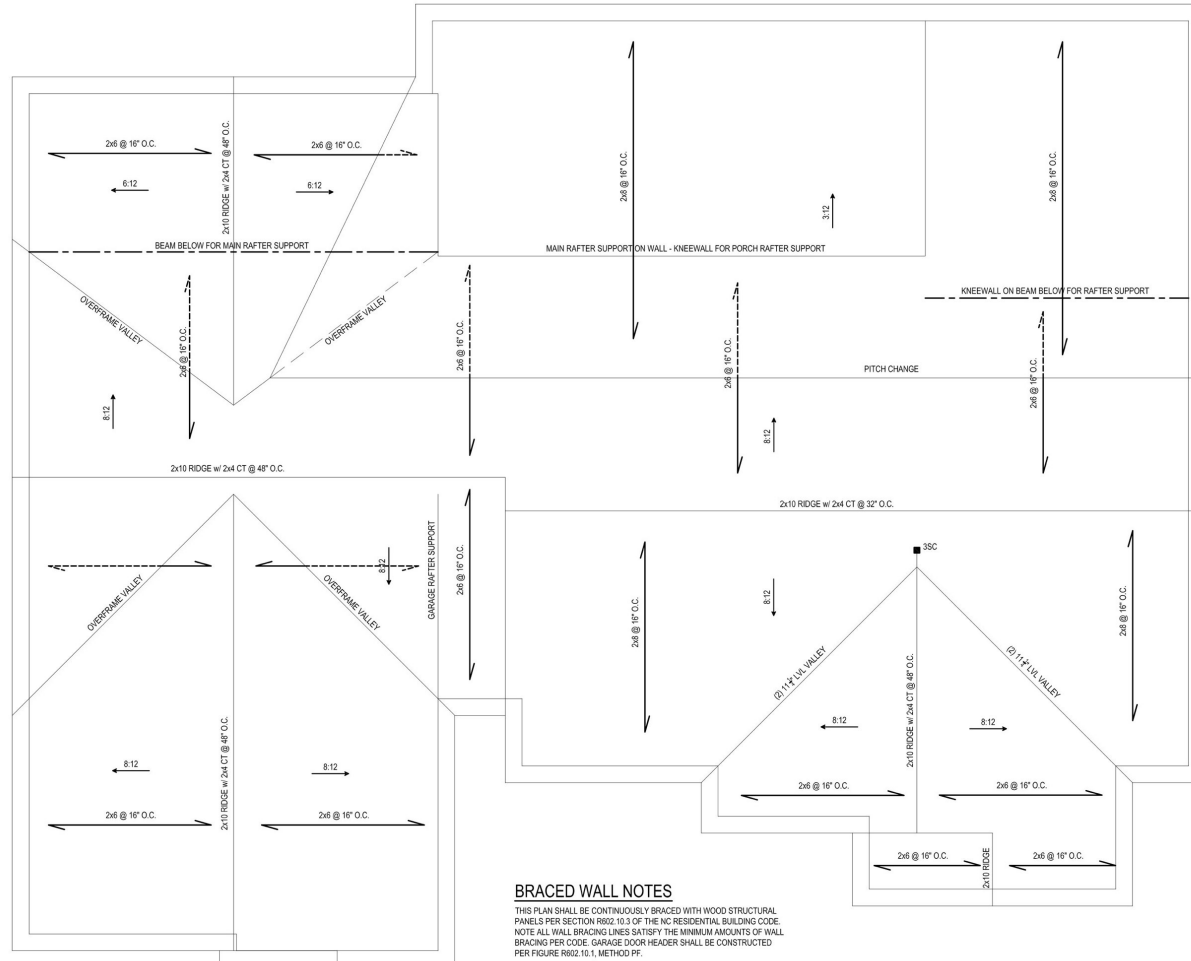
- MEAN ROOF HEIGHT FOR THIS STRUCTURE IS 15'-3"

ATTIC VENTILATION:

3325 SQUARE FEET = 11.08 REQUIRED
300

THE NET FREE AREA OF VENTILATION REQUIRED IS TO BE

11.08 SQUARE FEET.

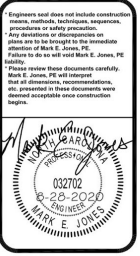


BRACED WALL NOTES

THIS PLAN SHALL BE CONTINUOUSLY BRACED WITH WOOD STRUCTURAL PANELS PER SECTION R602.10.3 OF THE NC RESIDENTIAL BUILDING CODE. NOTE ALL WALL BRACING LINES SATISFY THE MINIMUM AMOUNTS OF WALL BRACING PER CODE. GARAGE DOOR HEADER SHALL BE CONSTRUCTED PER FIGURE R602.10.1, METHOD PF.

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



Mark E. Jones, PE
6425 Glen Dean Court
Raleigh, NC 27603
(919) 395-5618

David Carroll Homes
1904 Phelps West Rd.
Fuquay-Varina, NC

Fadere Residence

Project #	20-188
Date	9/28/20
Drawn/Design By	MEJ
Check/Checked By	MEJ
Scale	1/4" = 1'-0"

REVISIONS		
No.	Date	Remarks
1		
2		
3		
4		

ROOF
Sheet Number
S3
of S3