

NOTE:
CONTINUOUS RIDGE VENTS
ALL ROOF RIDGES



BEVERLY AMERICAN TRADITION / CUSTOM
FRONT ELEVATION
9' CEILING HEIGHT



BEVERLY AMERICAN TRADITION / CUSTOM
REAR ELEVATION
9' CEILING HEIGHT

DATE: 8/11/2021
SCALE: 1/8" = 1'-0"
DRAIN BY: SG
DRAWN BY: SG

SQUARE FOOTAGES (4490)
CRUISE SPACES: 1686
BATHS: 584
97 TL ZIBS
BONUS ROOM: 265
GARAGE: 475, PORCHES: 266

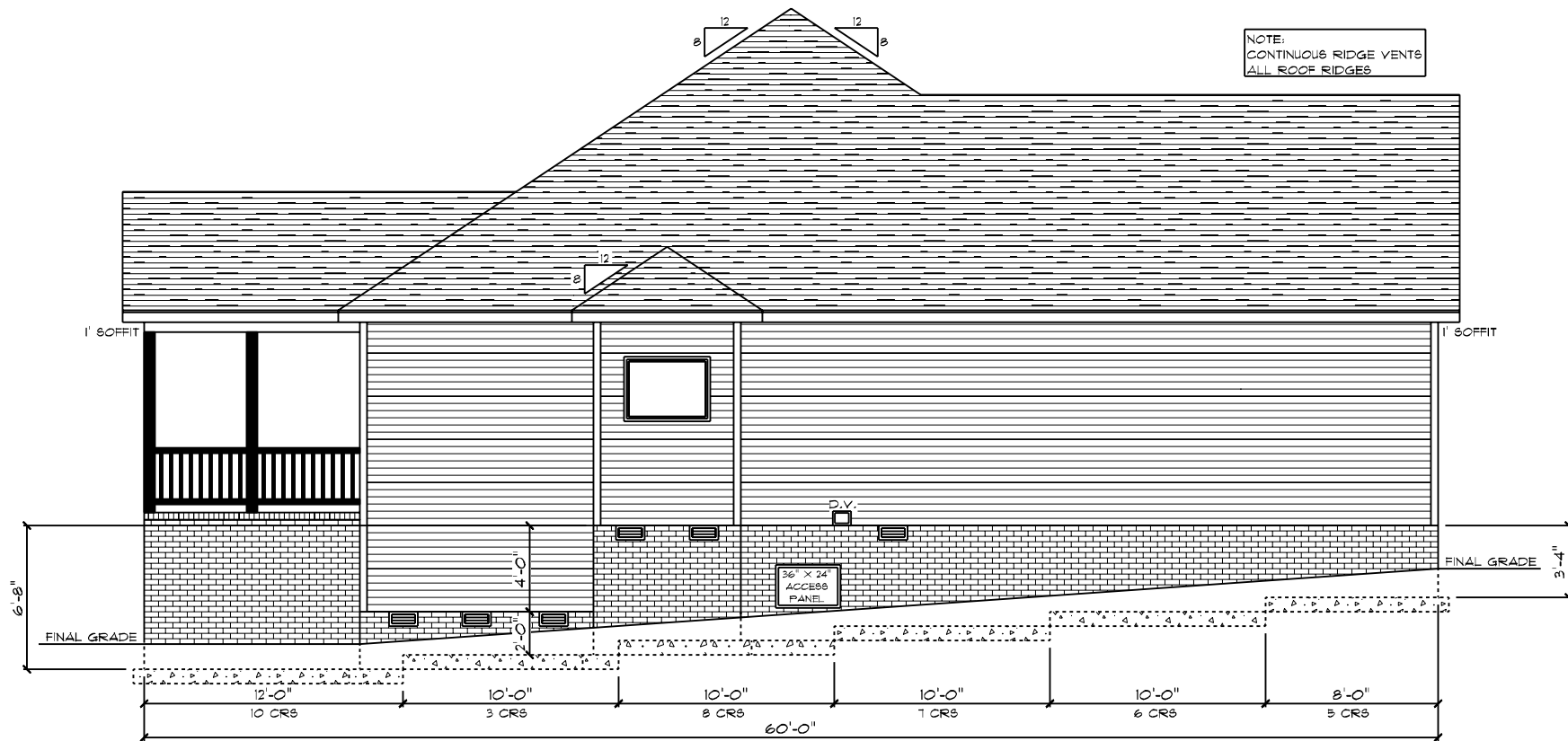
CUSTOM BUILT FOR:
JAMES JR. & ATONNA BARNES
JOB #: DUTCO 021 0840
CN #: 32381
VN #: BA262
LOCATION: 1092 OLD STAGE RD.
ERWIN, NC 28333
COUNTY: HARNETT

Raleigh/Durham, NC
182 West Hamlin Road
Benson, NC 27504
(877) 261-3482
www.schumacherhomes.com

Paul Schumacher
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BEVERLY AMERICAN TRADITION / CUSTOM
RIGHT ELEVATION
9' CEILING HEIGHT



BEVERLY AMERICAN TRADITION / CUSTOM
LEFT ELEVATION
9' CEILING HEIGHT

DATE: 8/11/2021
 SCALE: 1/8" = 1'-0"
 DRAWN BY: SG
 DESIG: 2

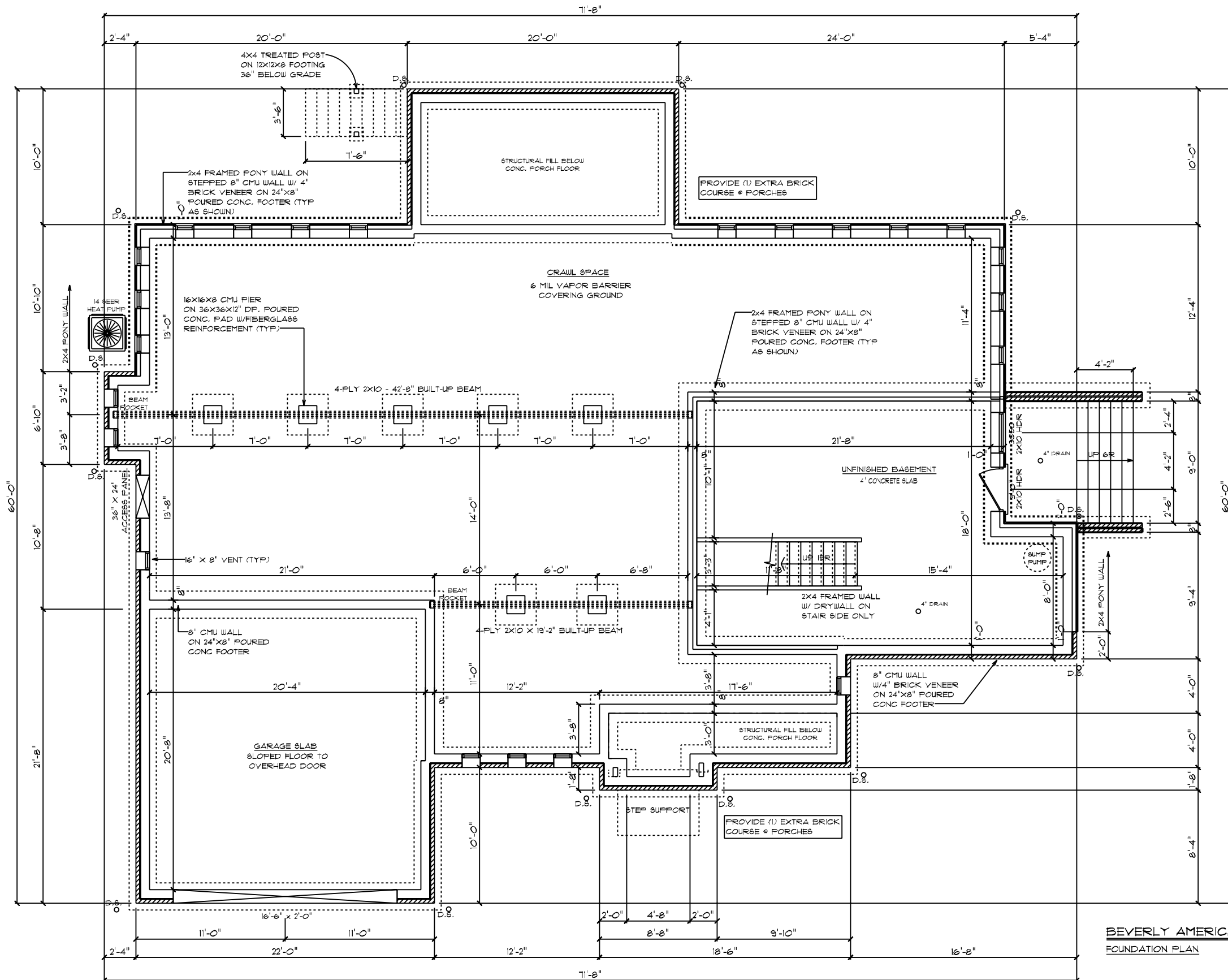
SQUARE FOOTAGES (4490)
 CRUISE SPACE: 1636
 BATHS: 5/4
 97 TL ZIB
 BONUS ROOM: 265
 GARAGE: 475, PORCHES: 266

CUSTOM BUILT FOR:
 JAMES JR. & ATONNA BARNES
 JOB #: DUTCO 021 0840 CN #: 32391 VN #: BA262
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FOUNDATION NOTES:

1. BRICK VENEER ALL EXPOSED FOUNDATION
2. BOTTOM OF PIER PADS ELEVATION SHALL BE 2" BELOW BOTTOM OF CONT. FOOTER ELEVATION.
3. DURA WALL 16" O.C. VERTICALLY (HORIZ. REINF.)
4. CONCRETE & MASONRY FOUNDATION WALLS SHALL EXTEND ABOVE FINISHED GRADE ADJACENT TO THE FOUNDATION A MIN. OF 4" WHERE MASONRY VENEER IS USED AND 6" MIN. ELSEWHERE.
5. ALL SILLS, PLATES, OR BAND JOISTS THAT REST ON OR IN CONTACT WITH CONCRETE OR MASONRY EXTERIOR WALLS SHALL REQUIRE THE USE OF PRESSURE PRESERVATIVE TREATMENT.

PIERS:

1. THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED 10 TIMES THEIR LEAST DIMENSION. WHEN HOLLOW CONCRETE MASONRY UNITS ARE USED FOR ISOLATED PIERS TO SUPPORT BEAMS AND GIRDERS, THE CELLULAR SPACES SHALL BE FILLED SOLIDLY WITH CONCRETE.

CRAWL SPACE VENT CALCULATIONS:

TOTAL VENTED AREA: 1111
 8"X16" VENT = 128 SQ IN = 0.89 SQFT
 ASSUMED NET FREE AREA = 0.53 SQFT
 TOTAL SQFT VENTILATION NEEDED 1111 / 0.53 = 2100
 2100 / 0.53 = 22 TOTAL VENTS

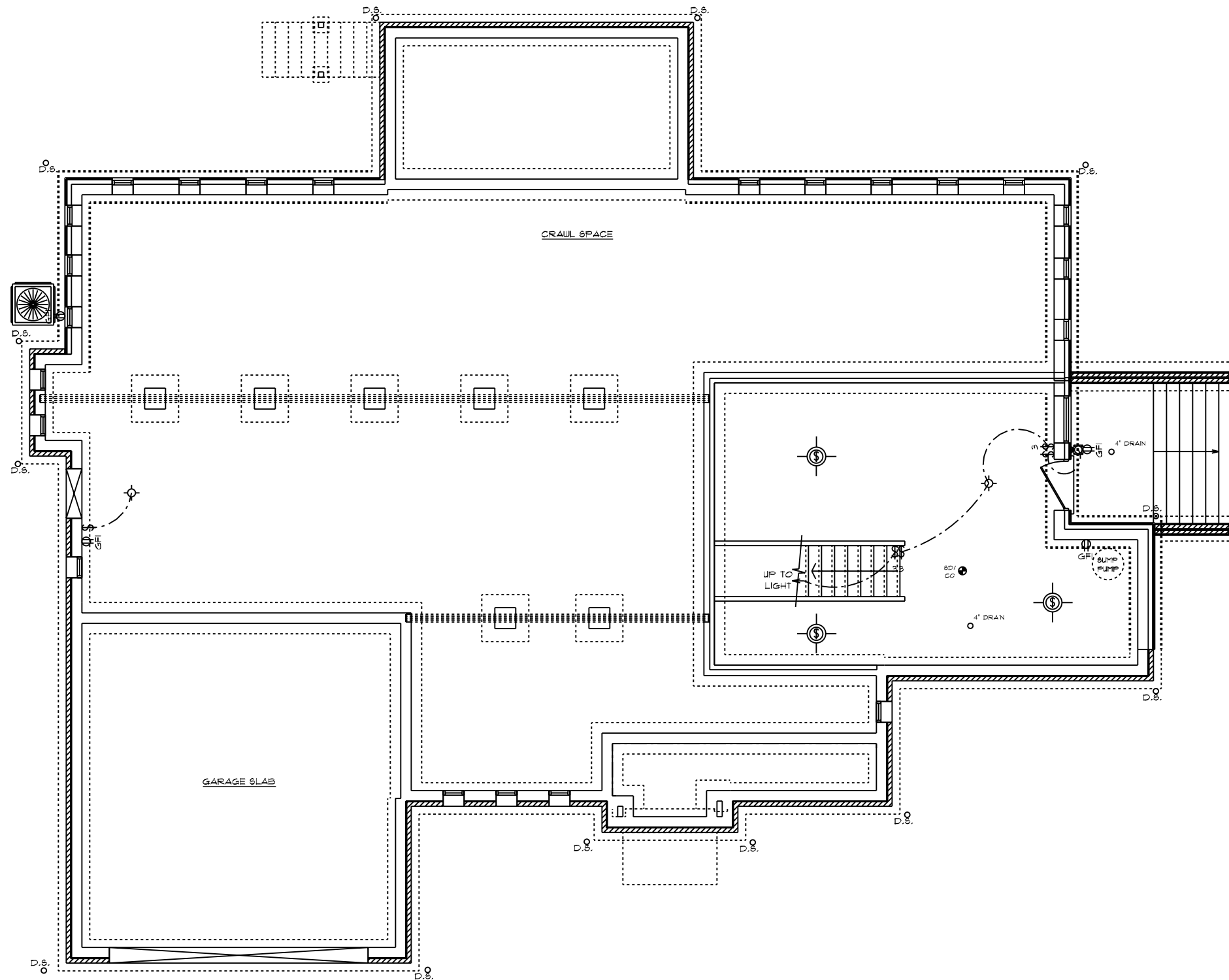
NOTE TO GM:

- CONC. SLAB, RETAINING WALLS, & STEPS TO GRADE @ WALKOUT BASEMENT N.I.C.
- SUMP PUMP IS ALLOWANCE ONLY IN CONTRACT

BEVERLY AMERICAN TRADITION / CUSTOM FOUNDATION PLAN

CUSTOMER BUILT FOR: JAMES JR. & ATONNA BARNES
 JOB #: DUTCO 021 0840 CN #: 32381 VN #: BA262
 LOCATION: 1092 OLD STAGE RD. ERWIN, NC 28333 COUNTY: HARNETT
 SQUARE FOOTAGES (4490)
 CRAWL SPACE: 1836
 BASEMENT: 584
 BONUS ROOM: 265
 GARAGE: 475 PORCHES: 266
 DATE: 8/11/2021
 SCALE: 1/8" = 1'-0"
 DRAIN BY: SG
 DRAWN BY: SG
 DESIGNER: SG
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GENERAL ELECTRICAL NOTES:

- (1) EXISTING SWITCH UPGRADED TO A 3-WAY SWITCH, (1) ADDITIONAL 3-WAY SWITCH AND (1) COACH LIGHT WIRED TO A STANDARD SWITCH ARE INCLUDED WHEN A GARAGE SERVICE DOOR IS PURCHASED
- (1) COACH LIGHT, (1) SWITCH, AND (1) GFI OUTLET ARE INCLUDED WHEN ANY ADDITIONAL DOOR IS PURCHASED, EXCLUDING THE GARAGE SERVICE DOOR
- ALL SMOKE DETECTORS TO BE INTERCONNECTED WITH BATTERY BACKUP
- E3902.11 ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- GARAGE DOOR LOW VOLTAGE WIRING BY ELECTRICIAN
- TWO SEPARATE KITCHEN GENERAL ELECTRIC OUTLET CIRCUITS FED BY NUMBER 12 WIRE AND ON 20 AMP BREAKERS REQUIRED IN KITCHEN
- ALL OUTLETS INSTALLED IN BATHROOMS, GARAGES, & UNFINISHED BASEMENTS SHALL HAVE GFCI PROTECTIONS ALONG WITH OUTLETS LOCATED W/IN 6'-0" OF LAUNDRY, UTILITY & WET BAR SINKS & ALL OUTLETS SERVING KITCHEN COUNTERTOP SURFACES
- ALL OUTLETS TO BE PLACED PER CODE
- MOUNTING HEIGHTS
 - VANITY LIGHTS: 80" AFF
 - WALL SCONCES: 66" AFF
 - FENDANT LIGHTS: 66" AFF
 - CHANDELIERS (TO BTM OF FIXTURE)
 - FOYER 9' CEILING: 84"
 - FOYER OVER 9' CLG: 90"
 - DINING ROOM: 60"

ADDITIONAL ELECTRICAL NOTES:

- WIRE DEDICATED CIRCUIT FOR SEPTIC

BEVERLY AMERICAN TRADITION / CUSTOM
FOUNDATION PLAN
ELECTRICAL PLAN

DATE: 8/11/2021
SCALE: 1/8" = 1'-0"
DRAWN BY: SG
Dwg: 4

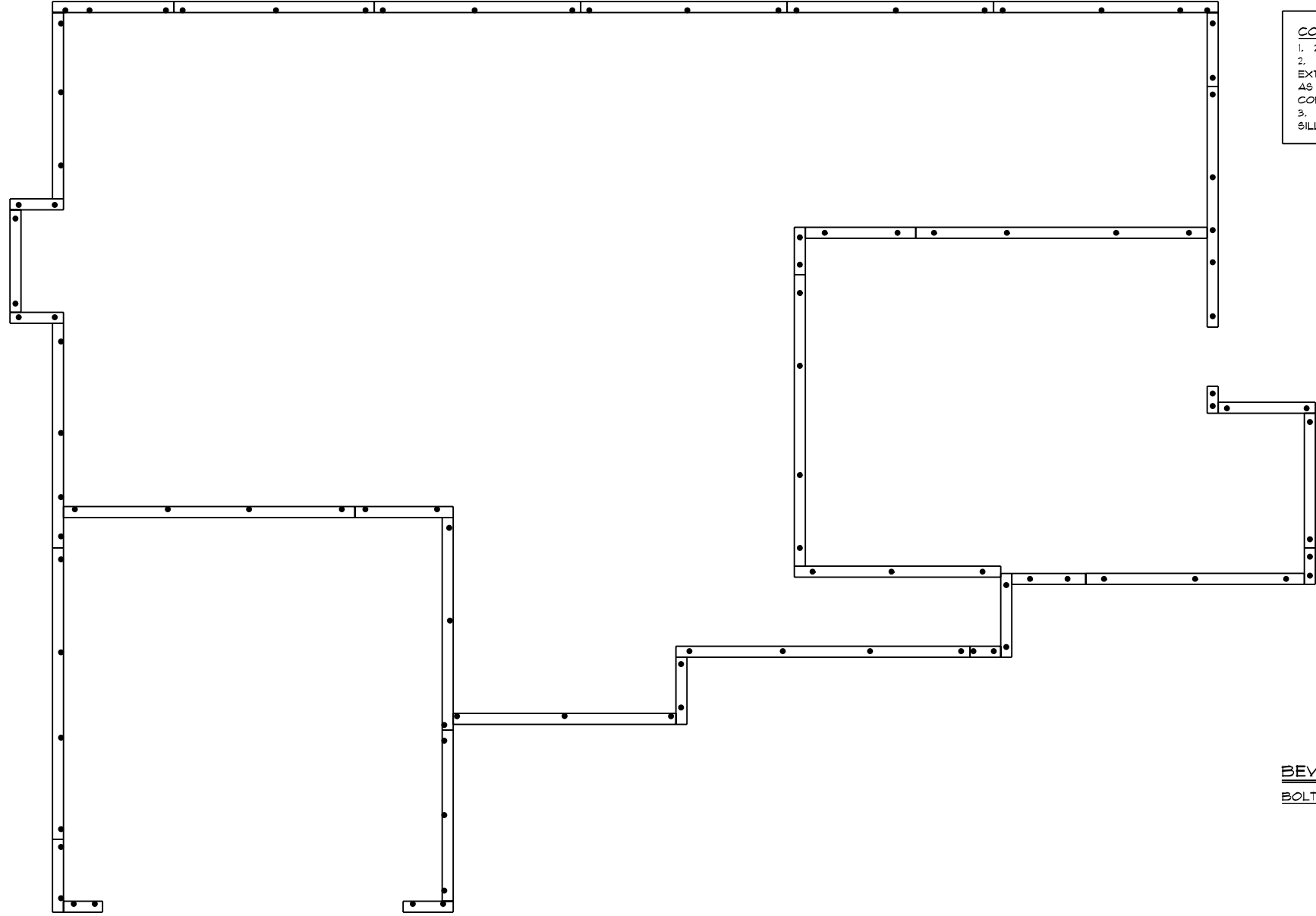
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SQUARE FOOTAGES (4490)
CRAWL SPACE: 1636
BASEMENT: 584
97 TL 2215
BONUS ROOM: 265
GARAGE: 475, PORCHES: 266

CUSTOM BUILT FOR: JAMES JR. & ATONNA BARNES
JOB #: DUTCO 021 0840 CN #: 32391 VN #: BA262
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CONSTRUCTION NOTES:

1. 2X8 TREATED SILL PLATE
2. 1/2" DIAM. X 18" L. ANCHOR BOLTS SHALL EXTEND A MINIMUM OF 7" INTO MASONRY OR CONCRETE AS REQUIRED BY CODE @ 6' O.C. AND 12" FROM ALL CORNERS (2 PER CORNER)
3. ANCHOR BOLTS TO BE LOCATED IN CENTER 1/3 OF SILL PLATE

BEVERLY AMERICAN TRADITION / CUSTOM
BOLT & PLATE PLAN

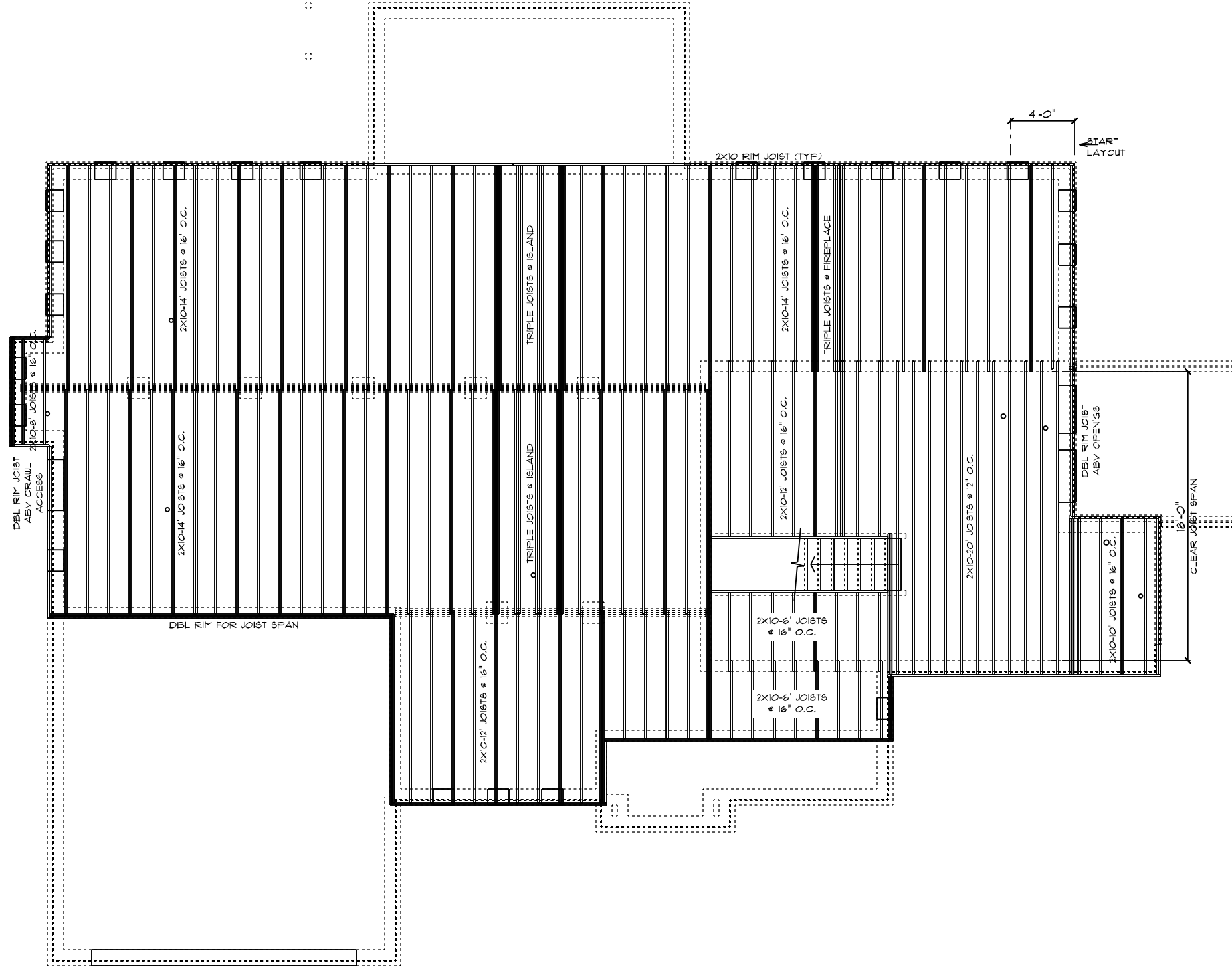
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CUSTOM BUILT FOR:
JAMES JR. & ATONNA BARNES
JOB #: DUTCO 021 0840 CN #: 32381 VN #: BA262
LOCATION: 1092 OLD STAGE RD.
ERWIN, NC 28333
COUNTY: HARNETT

SQUARE FOOTAGES (480)
CRAN SILLAGE: 1886
BASEMENT: 584
91 TL: 2215
BONUS ROOM: 265
GARAGE: 475; PORCHES: 266

DRAWN BY: SG
DATE: 8/11/2021
SCALE: 1/8" = 1'-0"
Dwg. **B**
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- FRAMING NOTES:**
1. LEAVE 1/2" BETWEEN EACH END JOIST & RIM JOIST TO ALLOW FOR INSULATION.
 2. INSULATE ALL FRAMED CHANNELS & CORNERS; ALSO, BEHIND EACH TUB AND SHOWER UNIT
 3. INSTALL FIREBLOCK FRAMING IN ALL STAIRWAY CEILING
 4. INSTALL ALL TRUSSES, I-JOISTS, LVL'S AND BEAMS PER MANUFACTURER SPECIFICATIONS AND LAY OUTS. DO NOT CUT, NOTCH OR BORE WITHOUT EXACT SPECIFICATIONS.
 5. ALL FRAMING TO BE SOUTHERN YELLOW PINE NO. 2 OR GREATER UNLESS NOTED OTHERWISE
 6. DOUBLE JOISTS SHOULD BE LOCATED UNDER ALL PARTITIONS WHEN THE LENGTH OF THE PARTITION EXCEEDS 1/2 THE SPAN OF THE JOIST
 7. 3-FLY 2X10 JOISTS BELOW FIREPLACES & SOLID SURFACE ISLANDS
 8. ALL DECK MATERIAL TO BE TREATED
 9. PROVIDE DOUBLE 2X10 RIM JOIST WHEN RIM JOIST RUNS PARALLEL TO JOISTS
 10. PROVIDE 2X8 X PIER WIDTH TREATED BEARING PLATE @ INTERIOR PIERS

BEVERLY AMERICAN TRADITION / CUSTOM
MAIN FLOOR JOIST PLAN

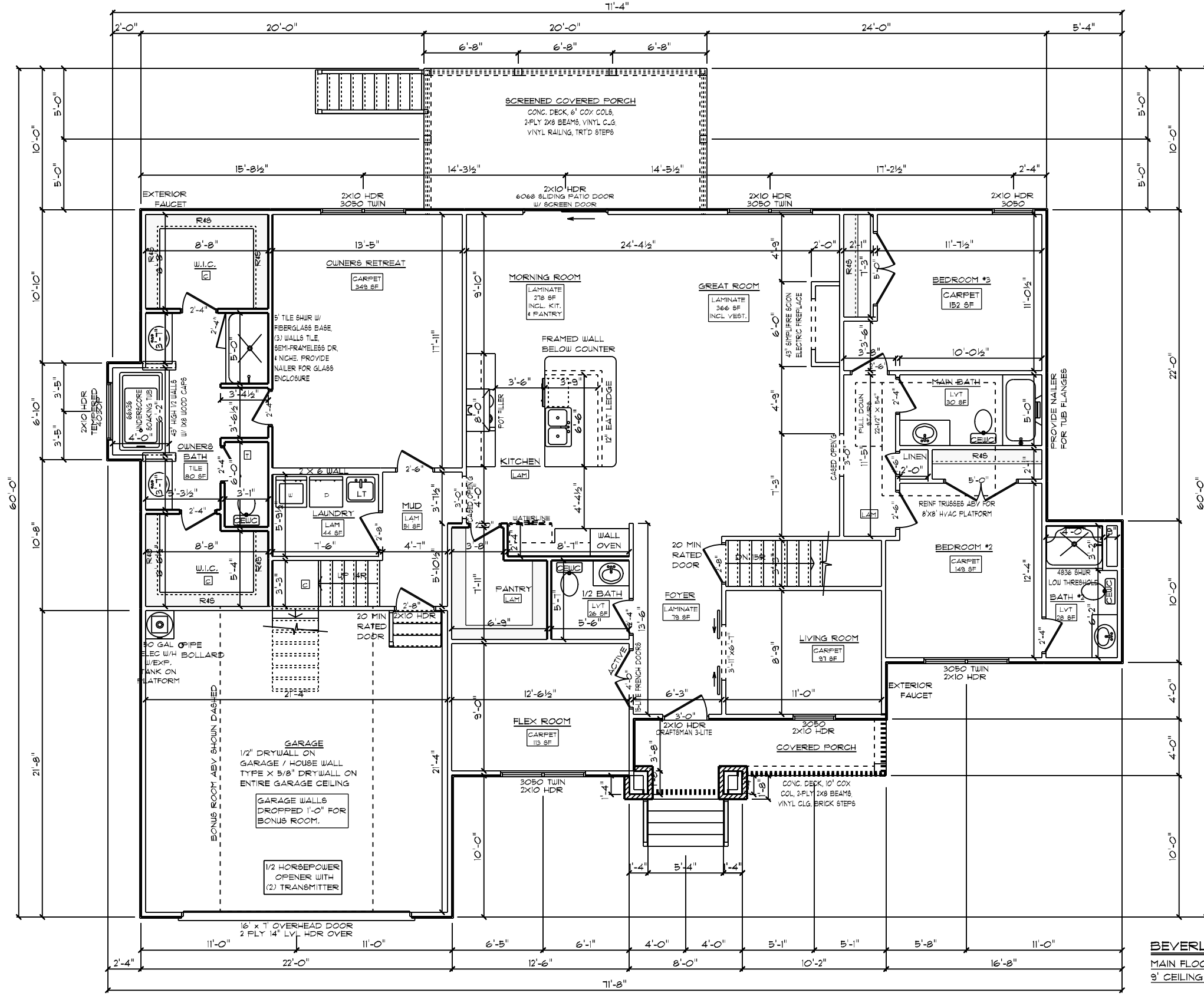
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<p>CUSTOM BUILT FOR: JAMES JR. & ATONNA BARNES</p>		<p>JOB #: DUTCO 021 0840 CN #: 32381 VN #: BA262</p>
<p>LOCATION: 1092 OLD STAGE RD. ERWIN, NC 28333 COUNTY: HARNETT</p>		<p>SQUARE FOOTAGES (4480) CRUISE SPACES: 1836 BATHS: 5/4 97 TL 2215 BONUS ROOM: 265 GARAGE: 415, PORCHES: 266</p>
<p>DATE: 8/11/2021</p>	<p>SCALE: 1/8" = 1'-0"</p>	<p>DRWG: 6</p>
<p>DRAIN BY: SG</p>	<p>DATE: 8/11/2021</p>	<p>SCALE: 1/8" = 1'-0"</p>
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DATE: 8/11/2021
 SCALE: 1/8" = 1'-0"
 DRAWN BY: SG
 SQUARE FOOTAGES (4490)
 CRUISE SPACES: 1636
 BATHS: 584
 BONUS ROOM: 265
 GARAGE: 475, PORCHES: 266

CUSTOM BUILT FOR: JAMES JR. & ATONNA BARNES
 JOB #: DUTCOO 021 0840 CN #: 52391 VN #: BA262
 LOCATION: 1032 OLD STAGE RD.
 ERWIN, NC 28339
 COUNTY: HARNETT

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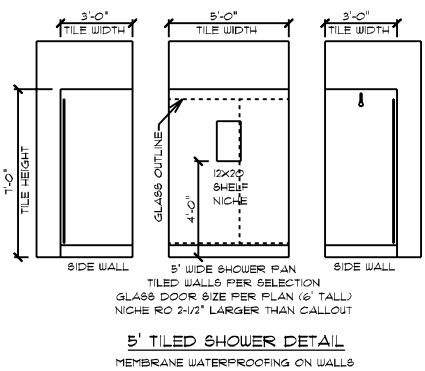


GENERAL FRAMING NOTES:
 • DRYWALLED OPENINGS TO BE 8'-0" HEIGHT UNLESS OTHERWISE NOTED
 • HEADERS TO BE 2-PLY 2X10 W/ (1) KING & (2) JACK STUDS UNLESS OTHERWISE NOTED

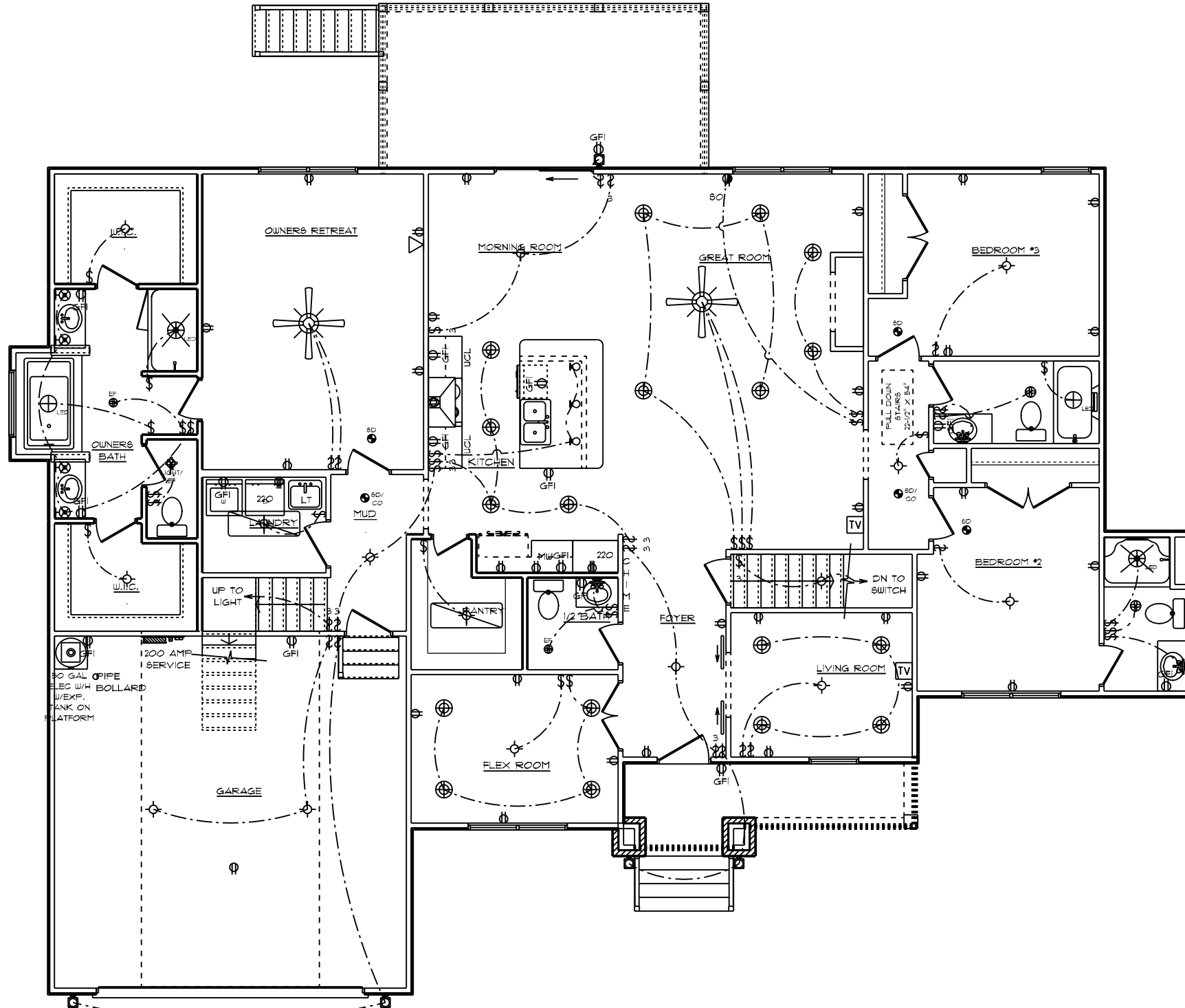
PLAN NOTES:
 • SMOOTH CEILINGS THROUGHOUT HOME
 • PAINTED TRIM
 • 5-1/4" BASEBOARDS
 • 3-1/4" CASING ON INTERIOR DOORS ON MAIN FLOOR ONLY
 • 3-1/4" CASING & JAMBS ON WINDOWS ON MAIN FLOOR ONLY
 • 2-PANEL HOLLOW CORE MOLDED INTERIOR DOORS
 • SILVERLINE LOW-E VINYL WINDOWS W/ SOLAR GLAZING

FLOORING NOTES:
 • ALL FLOORING BREAKS OCCUR @ CENTER LINE OF DOOR OPENINGS UNLESS OTHERWISE NOTED
 • FLOORING SQUARE FOOTAGES INCLUDE CLOSETS RELATIVE TO THE AREA UNLESS OTHERWISE NOTED
 • SOME FLOORING SQUARE FOOTAGES MAY INCLUDE HALLS OR AREAS THAT CONNECT WITHOUT WALL SEPARATION IF THE SAME FINISH IS CONTINUED

NOTE:
 • SOLID SHEATHING BEHIND SHOWER & WATERCLOSET FOR GRAB BARS IN BATH #2



BEVERLY AMERICAN TRADITION / CUSTOM
 MAIN FLOOR PLAN
 9' CEILING HEIGHT



GENERAL ELECTRICAL NOTES:

• (1) EXISTING SWITCH UPGRADED TO A 3-WAY SWITCH, (1) ADDITIONAL 3-WAY SWITCH AND (1) COACH LIGHT WIRED TO A STANDARD SWITCH ARE INCLUDED WHEN A GARAGE SERVICE DOOR IS PURCHASED

• (1) COACH LIGHT, (1) SWITCH, AND (1) GFI OUTLET ARE INCLUDED WHEN ANY ADDITIONAL DOOR IS PURCHASED, EXCLUDING THE GARAGE SERVICE DOOR

• ALL SMOKE DETECTORS TO BE INTERCONNECTED WITH BATTERY BACKUP

• E3902.11 ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

• GARAGE DOOR LOW VOLTAGE WIRING BY ELECTRICIAN

• TWO SEPARATE KITCHEN GENERAL ELECTRIC OUTLET CIRCUITS FED BY NUMBER 12 WIRE AND ON 20 AMP BREAKERS REQUIRED IN KITCHEN

• ALL OUTLETS INSTALLED IN BATHROOMS, GARAGES, & UNFINISHED BASEMENTS SHALL HAVE GFCI PROTECTIONS ALONG WITH OUTLETS LOCATED W/IN 6'-0" OF LAUNDRY, UTILITY & WET BAR SINKS & ALL OUTLETS SERVING KITCHEN COUNTERTOP SURFACES

• ALL OUTLETS TO BE PLACED PER CODE

• MOUNTING HEIGHTS
 • VANITY LIGHTS: 80" AFF
 • WALL SCONCES: 66" AFF
 • PENDANT LIGHTS: 66" AFF
 • CHANDELIERS (TO BTM OF FIXTURE)
 • FOYER 9' CEILING: 84"
 • FOYER OVER 9' CLG: 90"
 • DINING ROOM: 60"

ADDITIONAL ELECTRICAL NOTES:

• INSTALL ALL BATHROOM LIGHT FIXTURES WITH GLOBES FACING DOWN
 • GARAGE COACH LIGHTS TO BE INSTALLED HIGHER THAN GARAGE DOOR

BEVERLY AMERICAN TRADITION / CUSTOM
 MAIN FLOOR PLAN
 9' CEILING HEIGHT
 ELECTRICAL PLAN

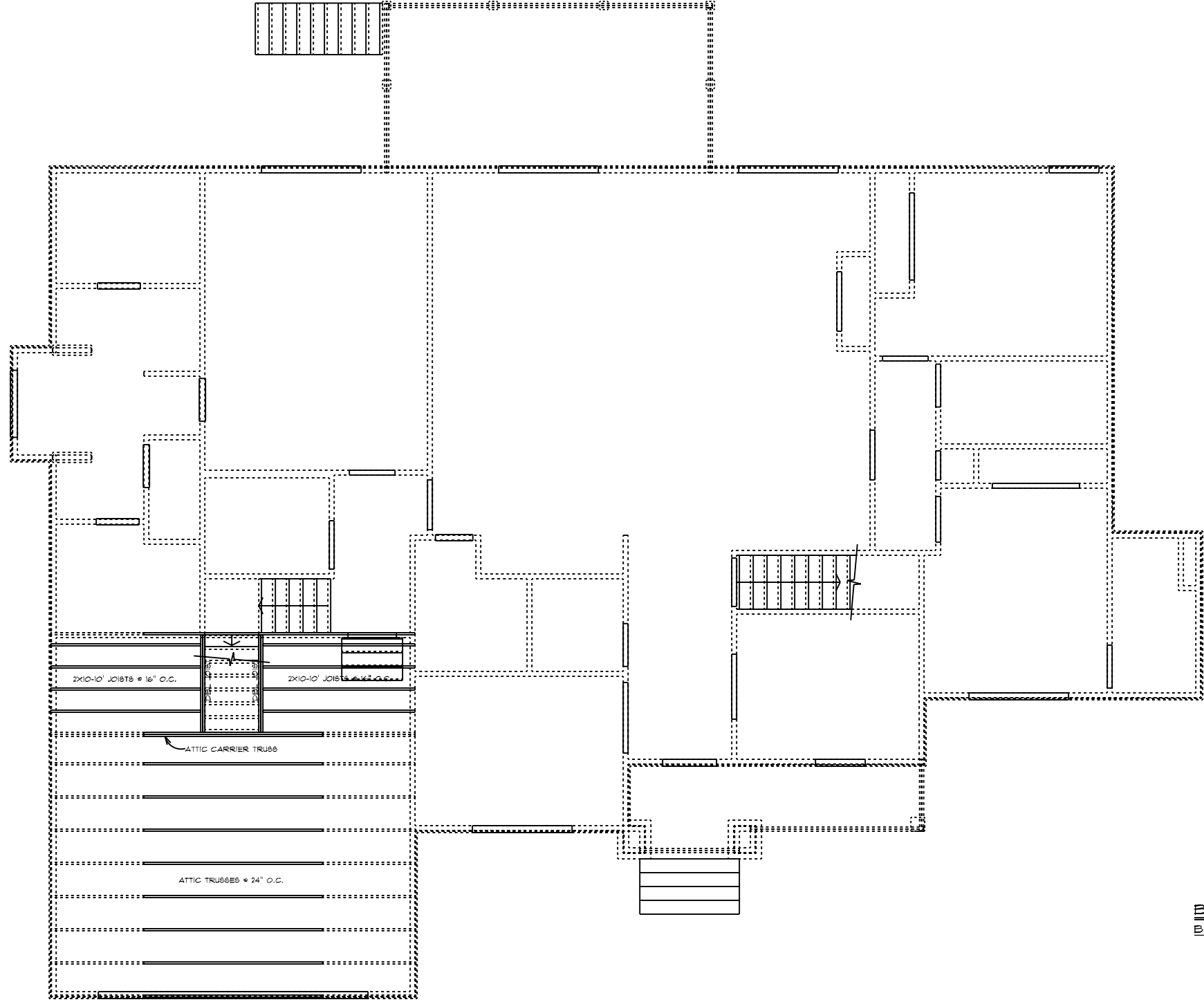
DATE: 8/11/2021
 SCALE: 1/8" = 1'-0"
 DRAWN BY: SG
 DRUG: 8

SQUARE FOOTAGES (4490)
 CRAWL SPACE: 1696
 BASEMENT: 584
 9' TL 2215
 BONUS ROOM: 265
 GARAGE: 475, PORCHES: 266

CUSTOM BUILT FOR: JAMES JR. & ATONNA BARNES
 JOB #: DUTCO 021 0840 CN #: 32581 VN #: BA262
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BEVERLY AMERICAN TRADITION / CUSTOM
BONUS FLOOR JOIST PLAN

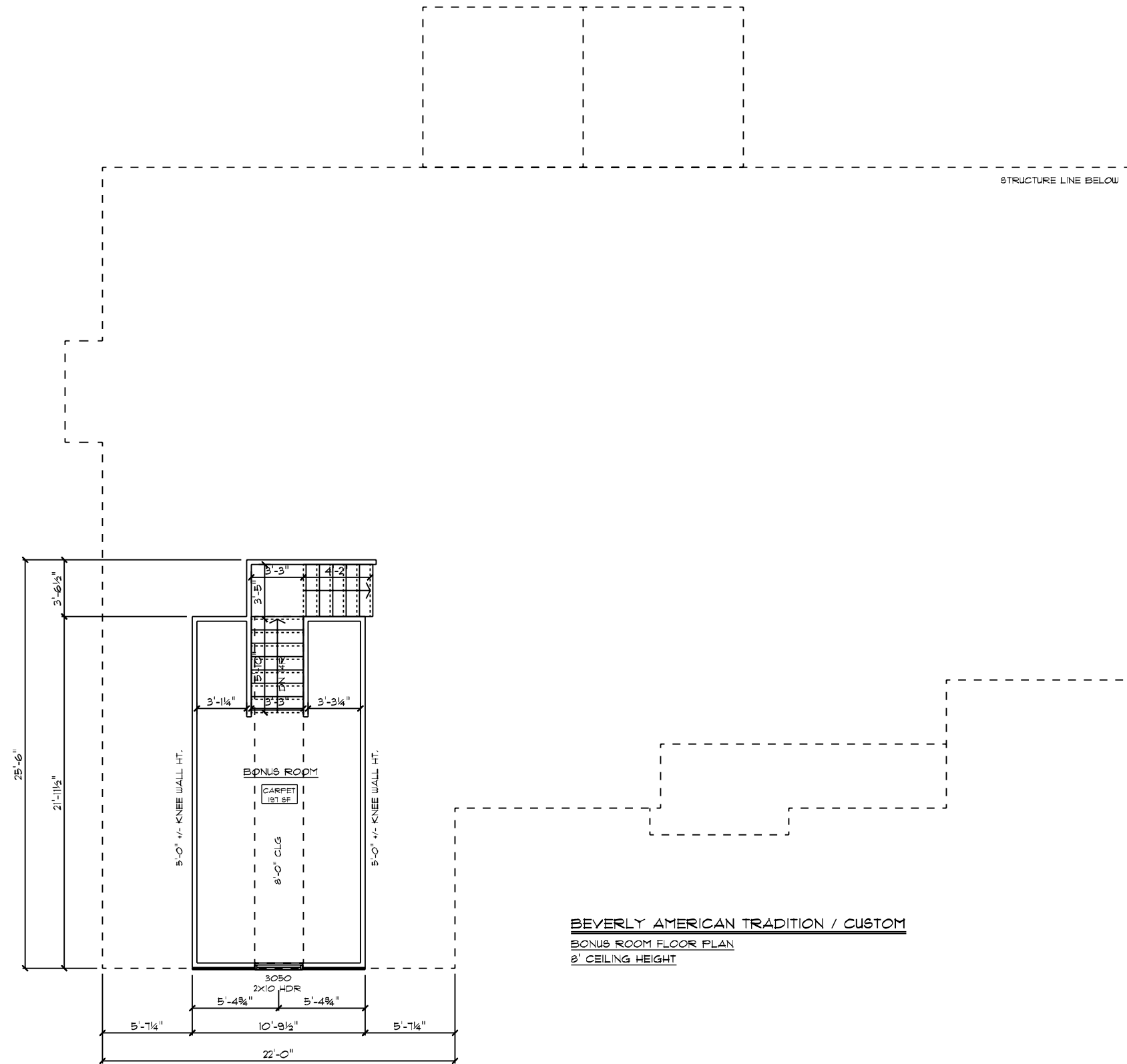
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 LOCATION:
 1092 OLD STAGE RD.
 ERWIN, NC 28339
 COUNTY: HARNETT

SQUARE FOOTAGES (480)
 CRUISE SPACE: 1686
 BARNETTE: 584
 97 TL 2215
 BONUS ROOM: 265
 GARAGE: 475, PORCHES: 266

DATE: 8/11/2021
 SCALE: 1/8" = 1'-0"
 DRAWN BY: SG
 DESIG: 9
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BEVERLY AMERICAN TRADITION / CUSTOM
BONUS ROOM FLOOR PLAN
8' CEILING HEIGHT

GENERAL FRAMING NOTES:

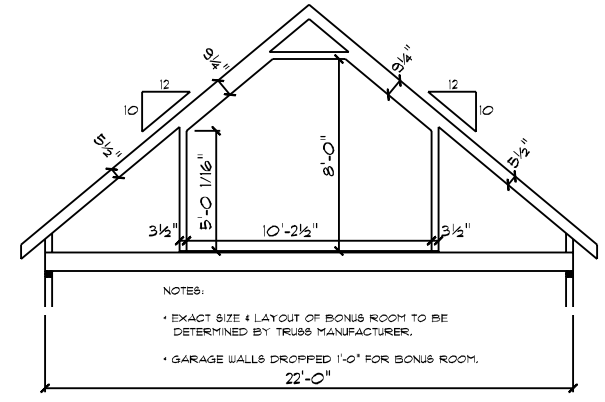
- DRYWALLED OPENINGS TO BE 6'-8" HEIGHT UNLESS OTHERWISE NOTED
- HEADERS TO BE 2-PLY 2X10 W/ (1) KING & (2) JACK STUDS UNLESS OTHERWISE NOTED

PLAN NOTES:

- SMOOTH CEILINGS THROUGHOUT HOME
- PAINTED TRIM
- 5-1/4" BASEBOARDS
- 3-1/4" CASING ON INTERIOR DOORS ON MAIN FLOOR ONLY
- 3-1/4" CASING & JAMBS ON WINDOWS ON MAIN FLOOR ONLY
- 2-PANEL HOLLOW CORE MOLDED INTERIOR DOORS
- SILVERLINE LOW-E VINYL WINDOWS W/ SOLAR GLAZING

FLOORING NOTES:

- ALL FLOORING BREAKS OCCUR @ CENTER LINE OF DOOR OPENINGS UNLESS OTHERWISE NOTED
- FLOORING SQUARE FOOTAGES INCLUDE CLOSETS RELATIVE TO THE AREA UNLESS OTHERWISE NOTED
- SOME FLOORING SQUARE FOOTAGES MAY INCLUDE HALLS OR AREAS THAT CONNECT WITHOUT WALL SEPARATION IF THE SAME FINISH IS CONTINUED



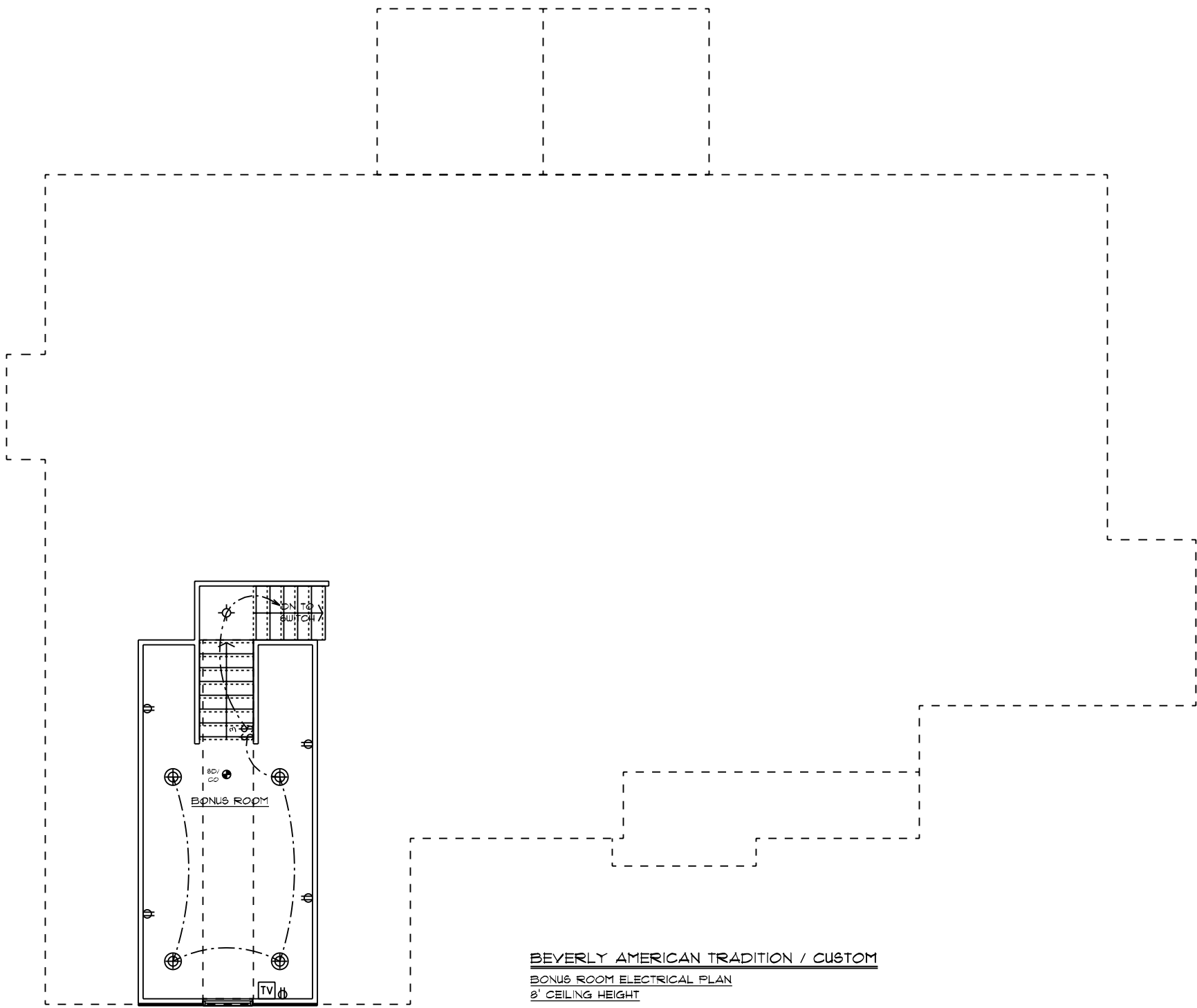
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JOB #: DUTCO 021 0840 CN #: 32381 V/N #: BA262
LOCATION: 1032 OLD STAGE RD., ERWIN, NC 28339 COUNTY: HARNETT

SQUARE FOOTAGES (4490)
CRUISE SPACES: 1886
BATHS: 584
97 FL. 2215
BONUS ROOM: 265
GARAGE: 475, PORCHES: 266

DRAWN BY: SG
DATE: 8/11/2021
SCALE: 1/8" = 1'-0"
SHEET: 10
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 - (1) COACH LIGHT, (1) SWITCH, AND (1) GFI OUTLET ARE INCLUDED WHEN ANY ADDITIONAL DOOR IS PURCHASED, EXCLUDING THE GARAGE SERVICE DOOR
 - ALL SMOKE DETECTORS TO BE INTERCONNECTED WITH BATTERY BACKUP
 - E9902.11 ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
 - GARAGE DOOR LOW VOLTAGE WIRING BY ELECTRICIAN
 - TWO SEPARATE KITCHEN GENERAL ELECTRIC OUTLET CIRCUITS FED BY NUMBER 12 WIRE AND ON 20 AMP BREAKERS REQUIRED IN KITCHEN
 - ALL OUTLETS INSTALLED IN BATHROOMS, GARAGES, & UNFINISHED BASEMENTS SHALL HAVE GFCI PROTECTIONS ALONG WITH OUTLETS LOCATED W/IN 6'-0" OF LAUNDRY, UTILITY & WET BAR SINKS & ALL OUTLETS SERVING KITCHEN COUNTERTOP SURFACES
 - ALL OUTLETS TO BE PLACED PER CODE
 - MOUNTING HEIGHTS
 - VANITY LIGHTS: 80" AFF
 - WALL SCONCES: 66" AFF
 - PENDANT LIGHTS: 66" AFF
 - CHANDELIERS (TO BTM OF FIXTURE)
 - FOYER 9' CEILING: 84"
 - FOYER OVER 9' CLG: 80"
 - DINING ROOM: 60"

CUSTOM BUILT FOR: JAMES JR. & ATONNA BARNES
 JOB #: DUTCO 021 0840 CN #: 32381
 LOCATION: 1032 OLD STAGE RD. ERWIN, NC 28333 COUNTY: HARNETT

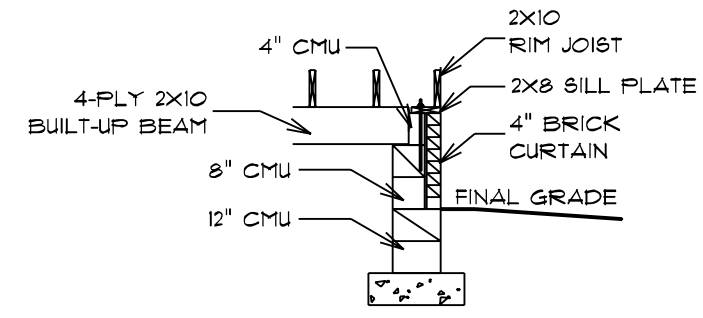
SQUARE FOOTAGES: (480)
 CRUISE SQUARE: 1836
 BASEMENT: 584
 9' TL: 2215
 BONUS ROOM: 265
 GARAGE: 475, PORCHES: 266

DRAIN BY: SG
 DATE: 8/11/2021
 SCALE: 1/8" = 1'-0"
 DWG: 11

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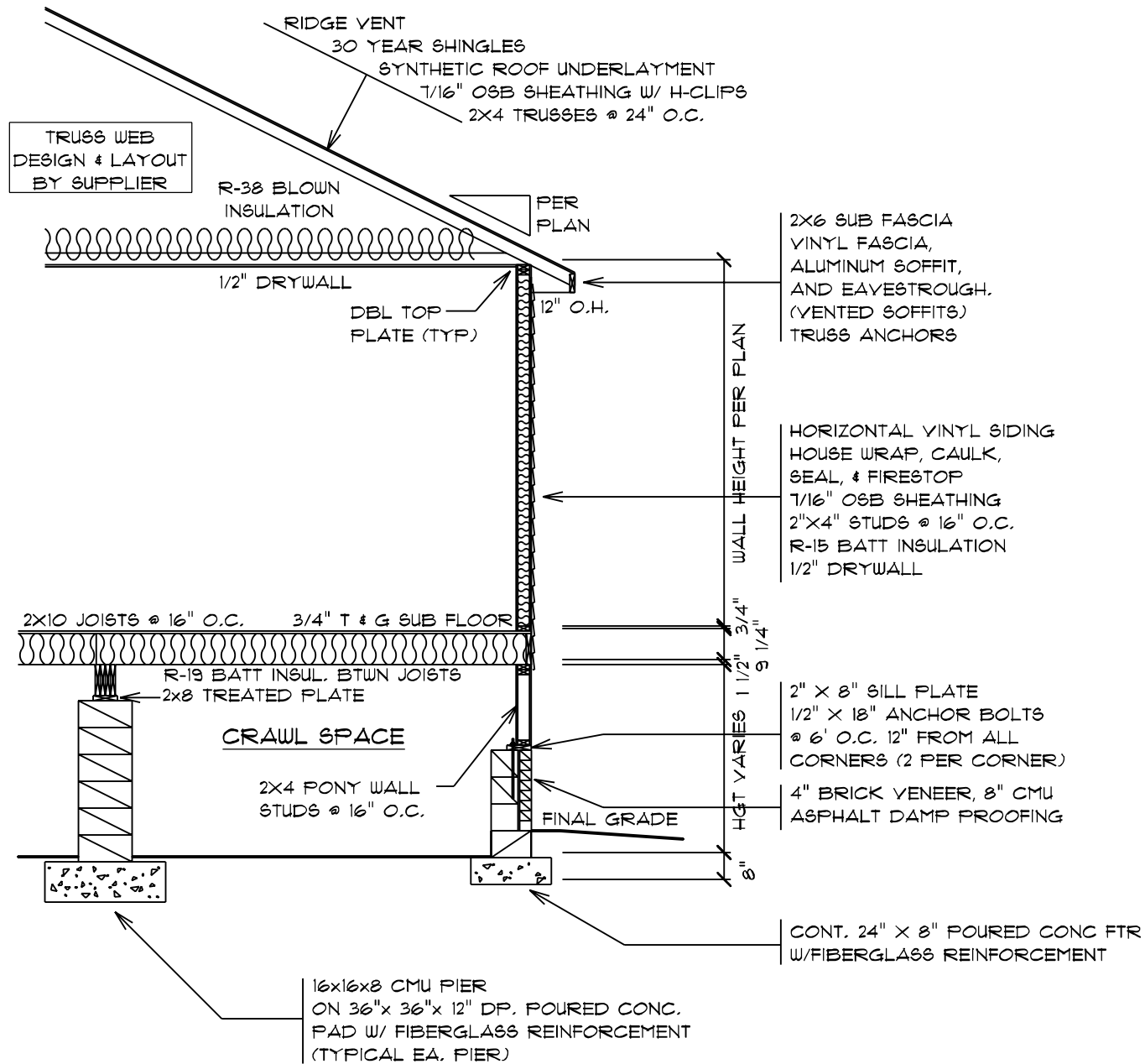
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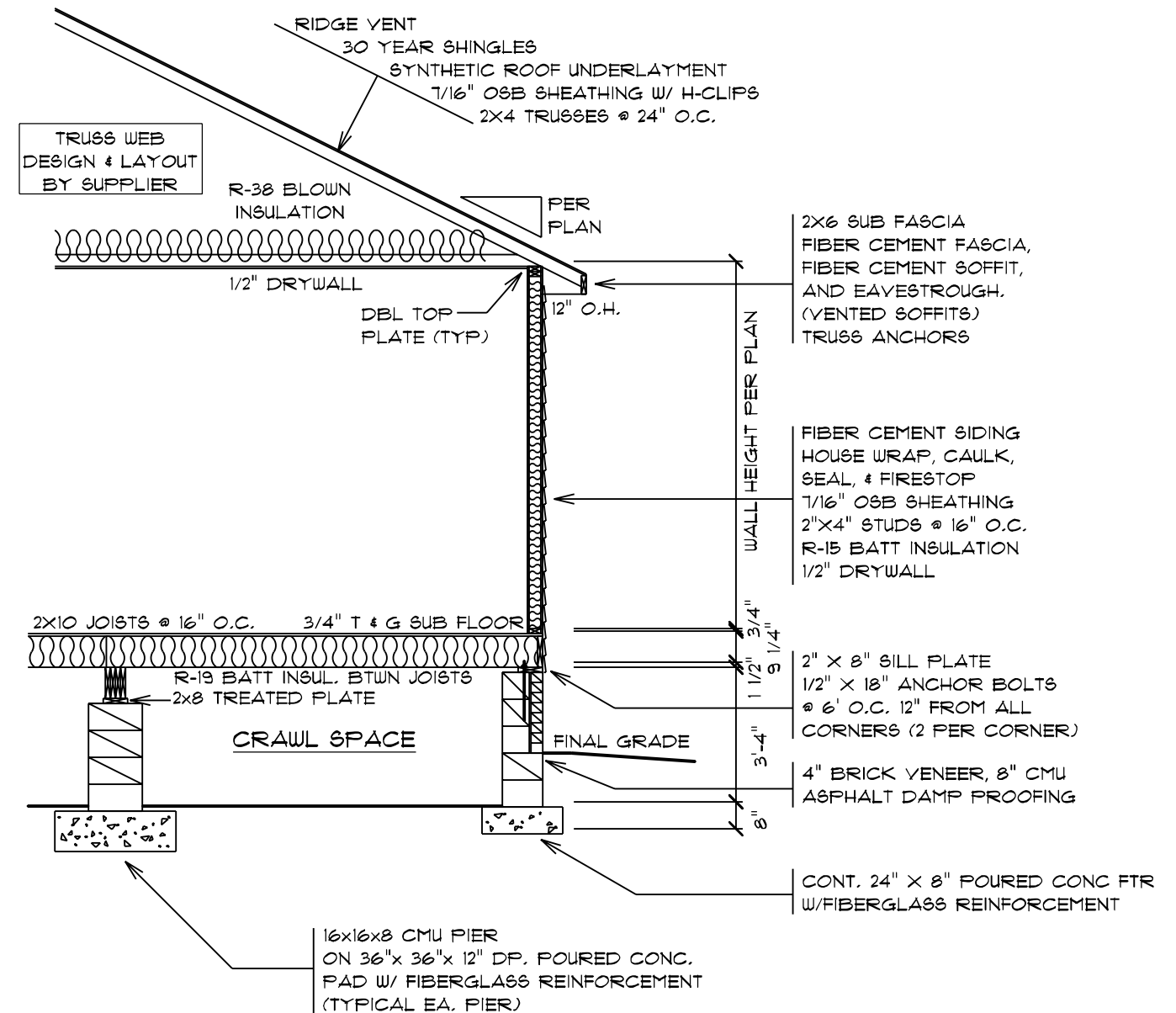
BEAM POCKET DETAIL

NOTE:
ROOF UNDERLAYMENT TO BE OVERLAPPED
50% PLUS 1" ON ROOFS LESS THAN 4/12 PITCH

NOTE:
ROOF UNDERLAYMENT TO BE OVERLAPPED
50% PLUS 1" ON ROOFS LESS THAN 4/12 PITCH



TYPICAL PONY WALL SECTION



TYPICAL WALL SECTION

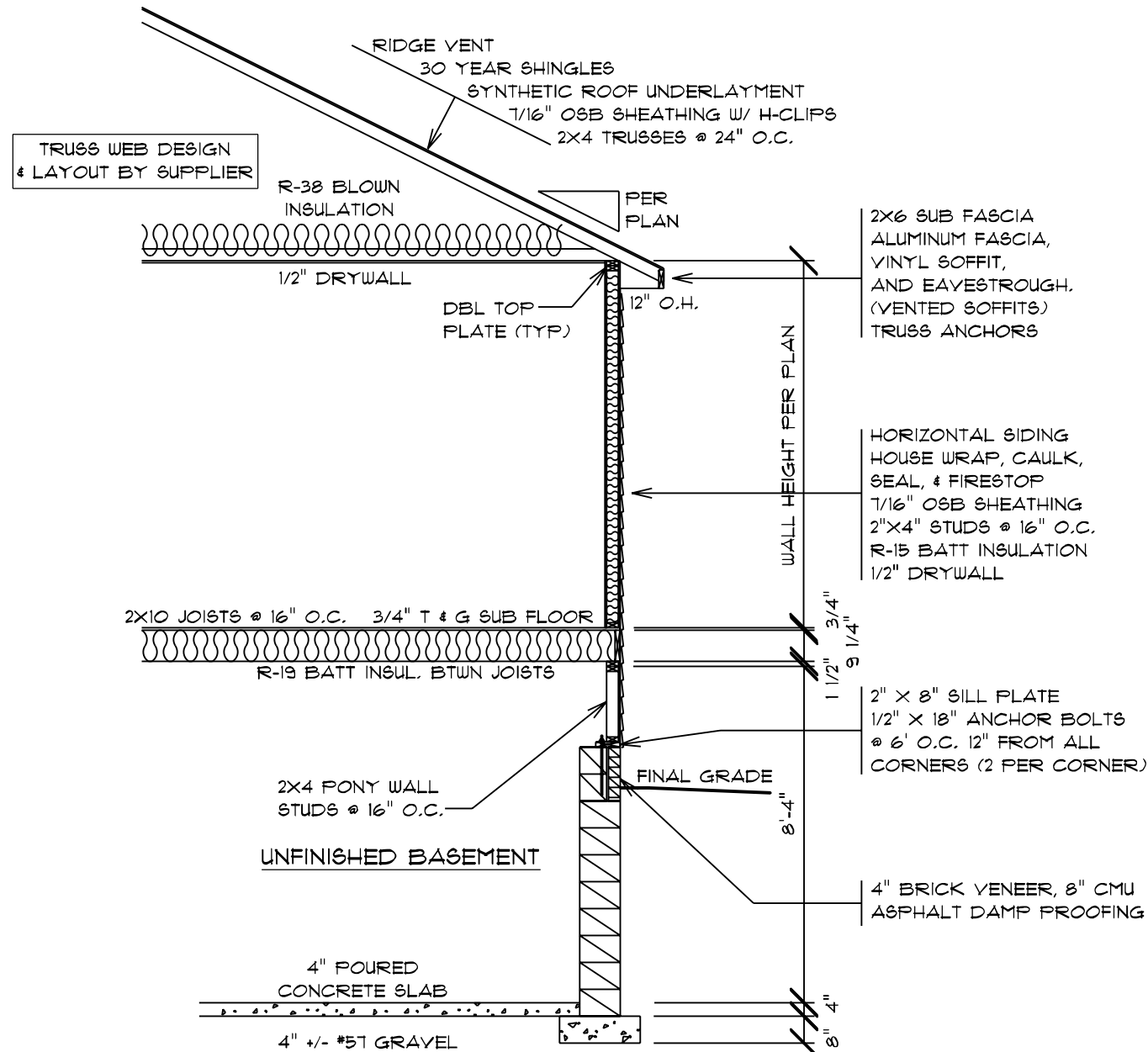
DATE: 8/11/2021
SCALE: 1/4" = 1'-0"
DRAWN BY: SG
DWS: 12

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SQUARE FOOTAGES (4490)
CRAWL SPACE: 1836
BASEMENT: 584
91 TL 2215
BONUS ROOM: 265
GARAGE: 475, PORCHES: 266
CUSTOM BUILT FOR: JAMES JR. & ATYONNA BARNES
JOB #: DUTCOO 021 0840 CN #: 32391 VN #: BA262
LOCATION: 1092 OLD STAGE RD. ERWIN, NC 28339 COUNTY: HARNETT

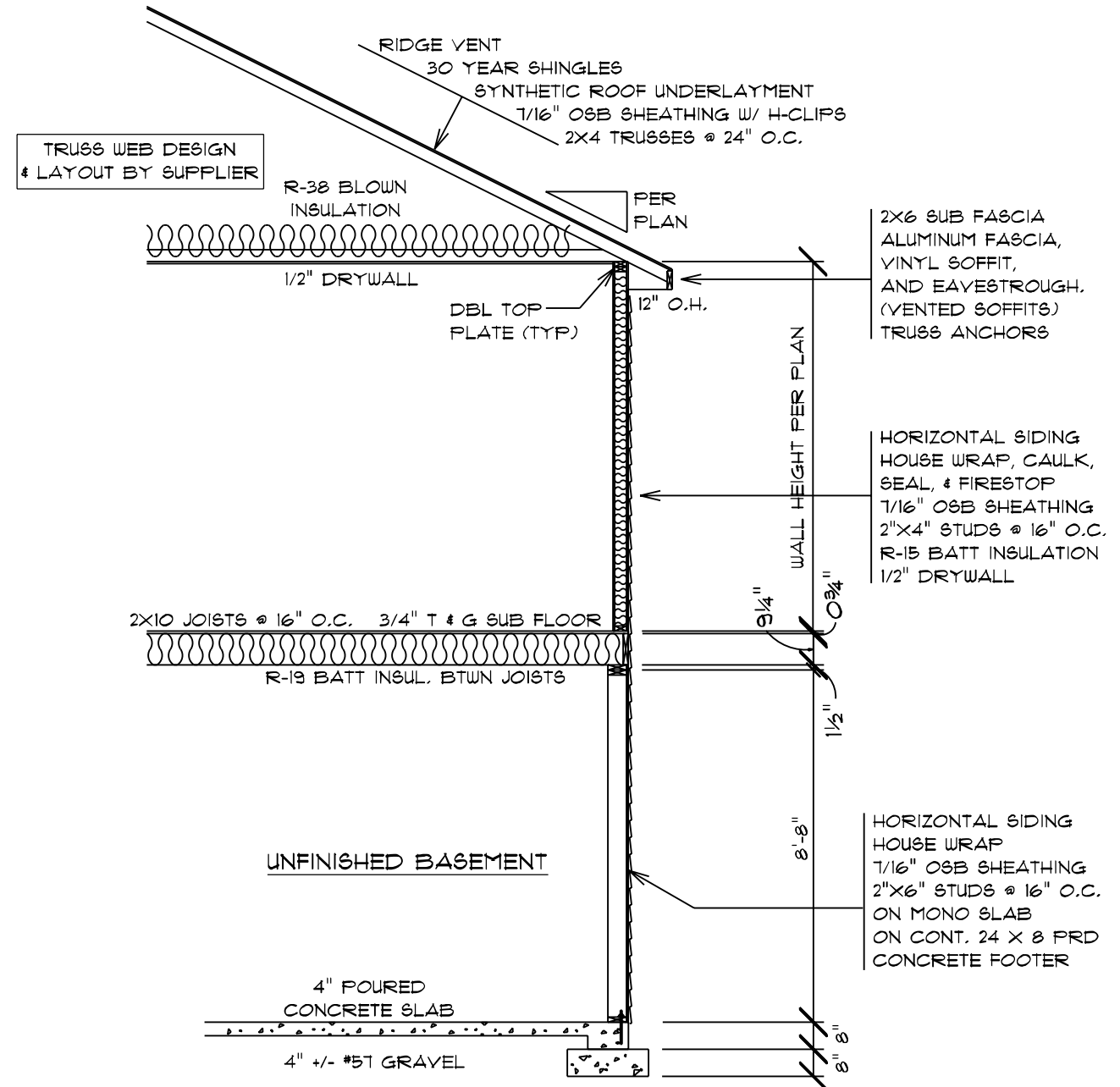
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NOTE:
ROOF UNDERLAYMENT TO BE OVERLAPPED
50% PLUS 1" ON ROOFS LESS THAN 4/12 PITCH



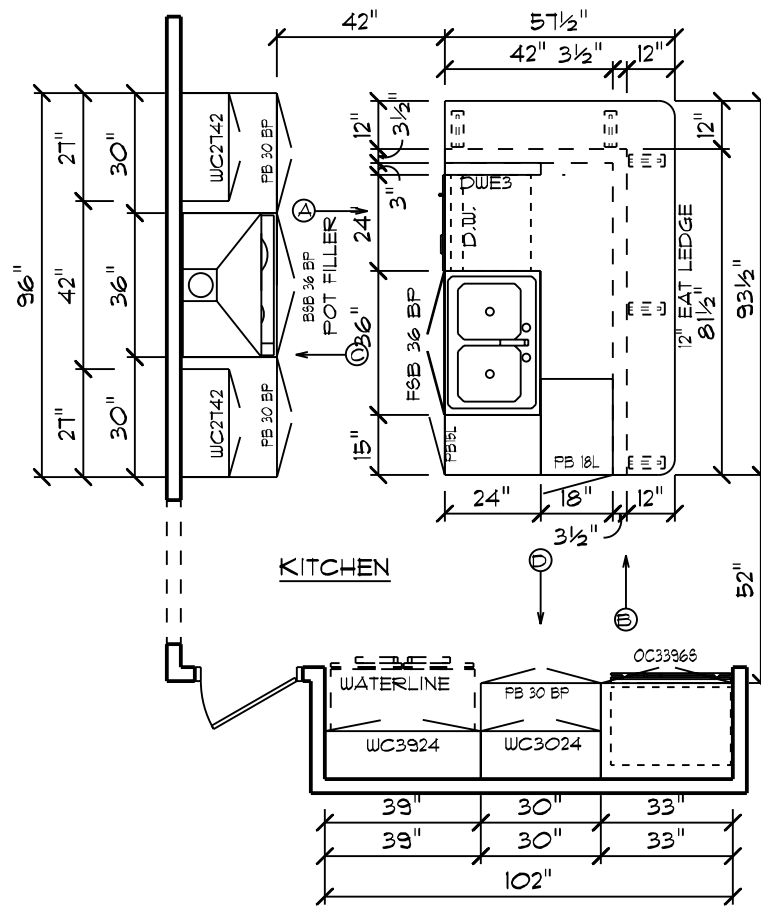
TYPICAL PONY WALL SECTION

NOTE:
ROOF UNDERLAYMENT TO BE OVERLAPPED
50% PLUS 1" ON ROOFS LESS THAN 4/12 PITCH



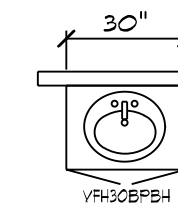
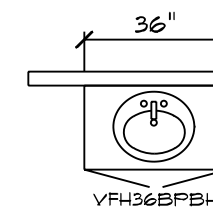
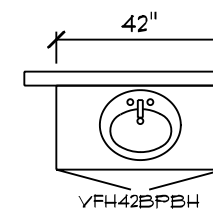
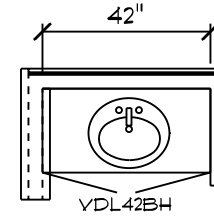
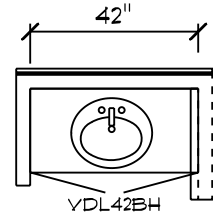
TYPICAL FRAMED BASEMENT WALL SECTION

CUSTOMER BUILT FOR: JAMES JR. & ATONNA BARNES
 JOB #: DUTCO 021 0840 CN #: 32381 VN #: BA262
 LOCATION: 1092 OLD STAGE RD. ERWIN, NC 28339 COUNTY: HARNETT
 SQUARE FOOTAGES (480) CRAIN SQUARE: 1636
 BASEMENT: 584 97 TL: 2215
 BONUS ROOM: 265 GARAGE: 475 PORCHES: 266
 SCALE: 1/4" = 1'-0"
 DATE: 8/11/2021
 DRAIN BY: SG
 DRUG: 13
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34-1/2" H. WALL
W/ DRYWALL UNDER
COUNTER

34-1/2" STUD WALL
(4) FPC34X48
(7) UFWD696-F4E
(5) CV36
(5) DCB8

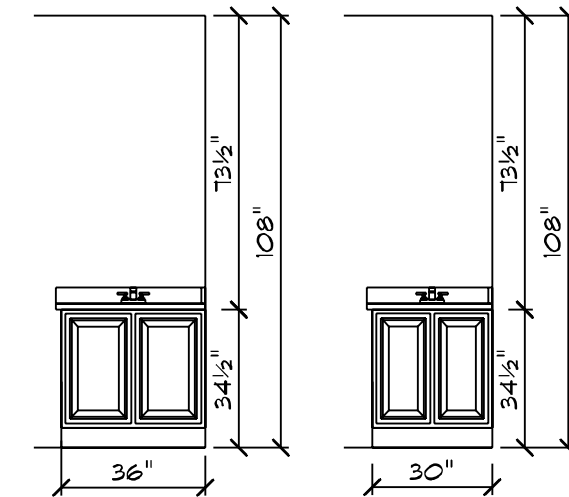
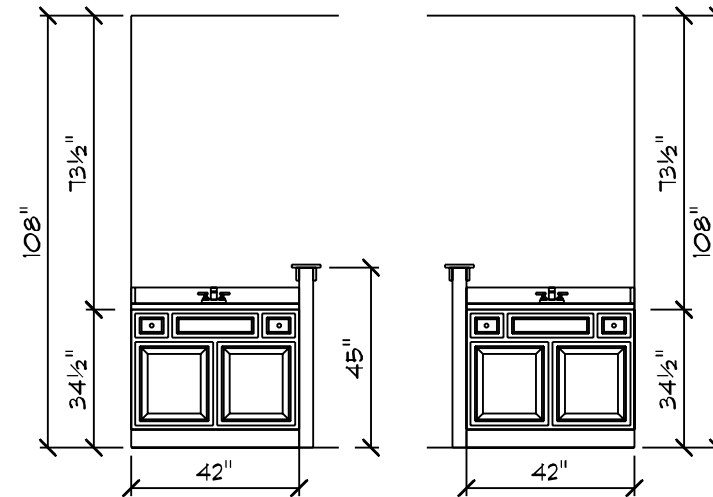


OWNER'S BATH

MAIN BATH

BATH #2

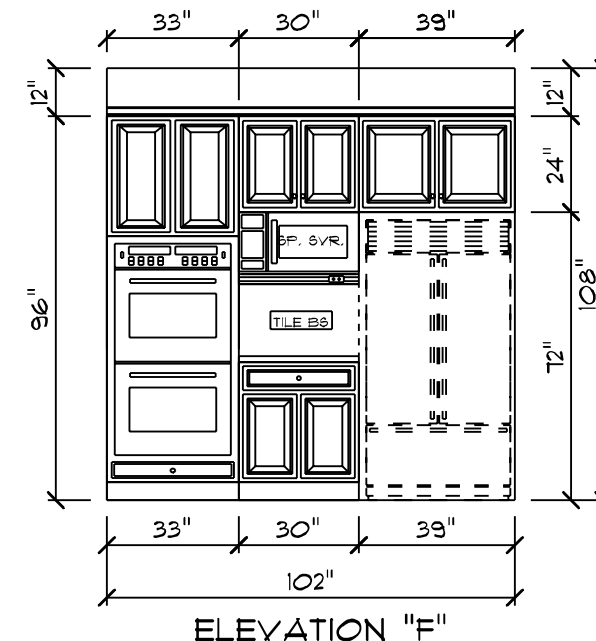
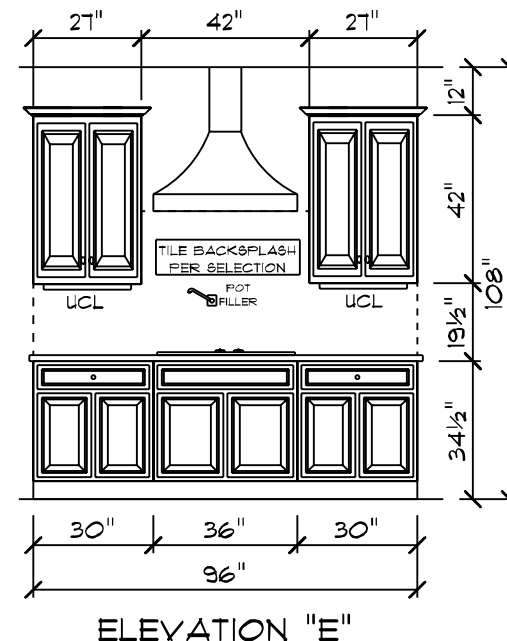
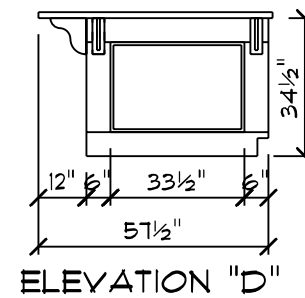
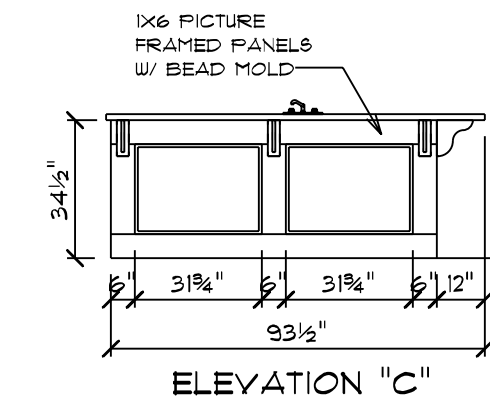
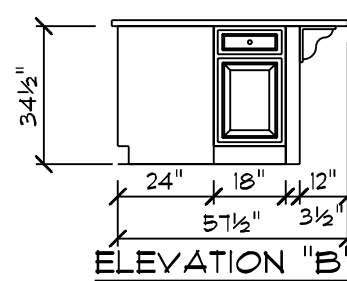
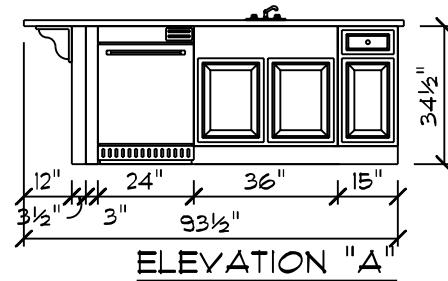
HALF BATH



BEVERLY AMERICAN TRADITION / CUSTOM

CABINET PLAN

NOTE: CABINET DRAWING DIMENSIONS
ACCOUNT FOR 1/2" OF DRYWALL



- CABINET NOTES:**
- KITCHEN**
- CAMBRIDGE BIRCH CABINETS W/ TRADITIONAL OVERLAY
 - DELUXE CABINETS
 - 2-1/4" KITCHEN CABINET CROWN MOLDING
 - QUARTZ COUNTERTOPS
 - STAINLESS STEEL APRON KITCHEN SINK
 - BRUSHED NICKEL MODERN METAL PULLS
- OWNER'S BATH**
- CAMBRIDGE BIRCH CABINETS W/ TRADITIONAL OVERLAY
 - QUARTZ COUNTERTOPS
 - BRUSHED NICKEL MODERN METAL PULLS
- MAIN BATH, BATH #2, HALF BATH**
- CAMBRIDGE BIRCH CABINETS W/ TRADITIONAL OVERLAY
 - GRANITE COUNTERTOPS
 - BRUSHED NICKEL MODERN METAL PULLS

DATE: 8/11/2021
SCALE: 1/4" = 1'-0"
DRAWING NO: 14

DRAIN BY: 5G

SQUARE FOOTAGES (480)
CROWN SPACES: 1696
BATHS: 584
BONUS ROOM: 265
GARAGE: 475, PORCHES: 266

CUSTOM BUILT FOR: JAMES JR. & ATYONNA BARNES
JOB #: DUTCOO 021 0840
CN #: 32381
VN #: BA262

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