

RESIDENTIAL CODE SUMMARY

PLANS ARE DESIGNED TO MEET REQUIREMENTS OF 2012 NORTH CAROLINA RESIDENTIAL CODE

STRUCTURE IS DESIGNED TO WITHSTAND 100 MPH, 3 SECOND GUST (85 FASTEST WIND), EXPOSURE B

ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER & SHALL EXTEND A MINIMUM 7" INTO MASONRY OR CONCRETE. ANCHOR BOLTS TO BE NO MORE THAN 6 O.C. AND WITHIN 12" OF THE CORNERS.

MEAN ROOF HEIGHT=26'-11"

COMPONENT AND CLADDING ARE DESIGNED FOR THE FOLLOWING LOADS:

MEAN ROOF HEIGHT	UP TO 30'	30'-1'-35'	35'-1'-40'	40'-1'-45'
ZONE 1	16.5-18.0	17.3-18.9	18.0-19.6	18.5-20.2
ZONE 2	16.5-21.0	17.3-22.1	18.0-22.9	18.5-23.5
ZONE 3	16.5-21.0	17.3-22.1	18.0-22.9	18.5-23.5
ZONE 4	18.0-19.5	18.9-20.5	19.6-21.3	20.2-21.8
ZONE 5	18.0-24.1	18.9-25.3	19.6-26.3	20.2-27.0

MINIMUM VALUES FOR ENERGY COMPLIANCE

ZONE 4
MAXIMUM GLAZING U-FACTOR=0.35
CEILING R-30 (UNCOMPRESSED)
WALLS R-13 CAVITY + R-2.5 SHEATHING OR R15 CAVITY
FLOORS R-19

MAIN FLOOR AREA (AREAS CALCULATED TO INSIDE CORNERS OF FRAMED WALLS)

CONDITIONED
FRONT AND SIDE PORCH 1441 SF
EXTERIOR STORAGE 1235 SF
252 SF

UPPER LEVEL AREA:
FINISHED 1017 SF

CONNECTOR:

OPEN 141 SF

CAR PORT: 898 SF

OPEN 898 SF

ATTIC SPACE VENTILATION

MAIN HOUSE

1/150 X 1536 SQ.FT. ATTIC AREA=10.24 SQ.FT. NET FREE AREA OF LOWER REOD

PORCH 1/150 X 1235 SQ.FT. ATTIC AREA=8.23 SQ.FT. NET FREE AREA OF LOWER REOD

CONNECTOR AND CARPORT 1/150 X 1039 SQ.FT. ATTIC AREA=6.93 SQ.FT. NET FREE AREA OF LOWER REOD

CRAWL SPACE VENTILATION - HOUSE AND PORCH

2824 SQ. FT. / 150

47 SQ. FT. NET FREE AREA PER VENT = 40 CRAWL SPACE VENTS CALCULATED

NOTES:

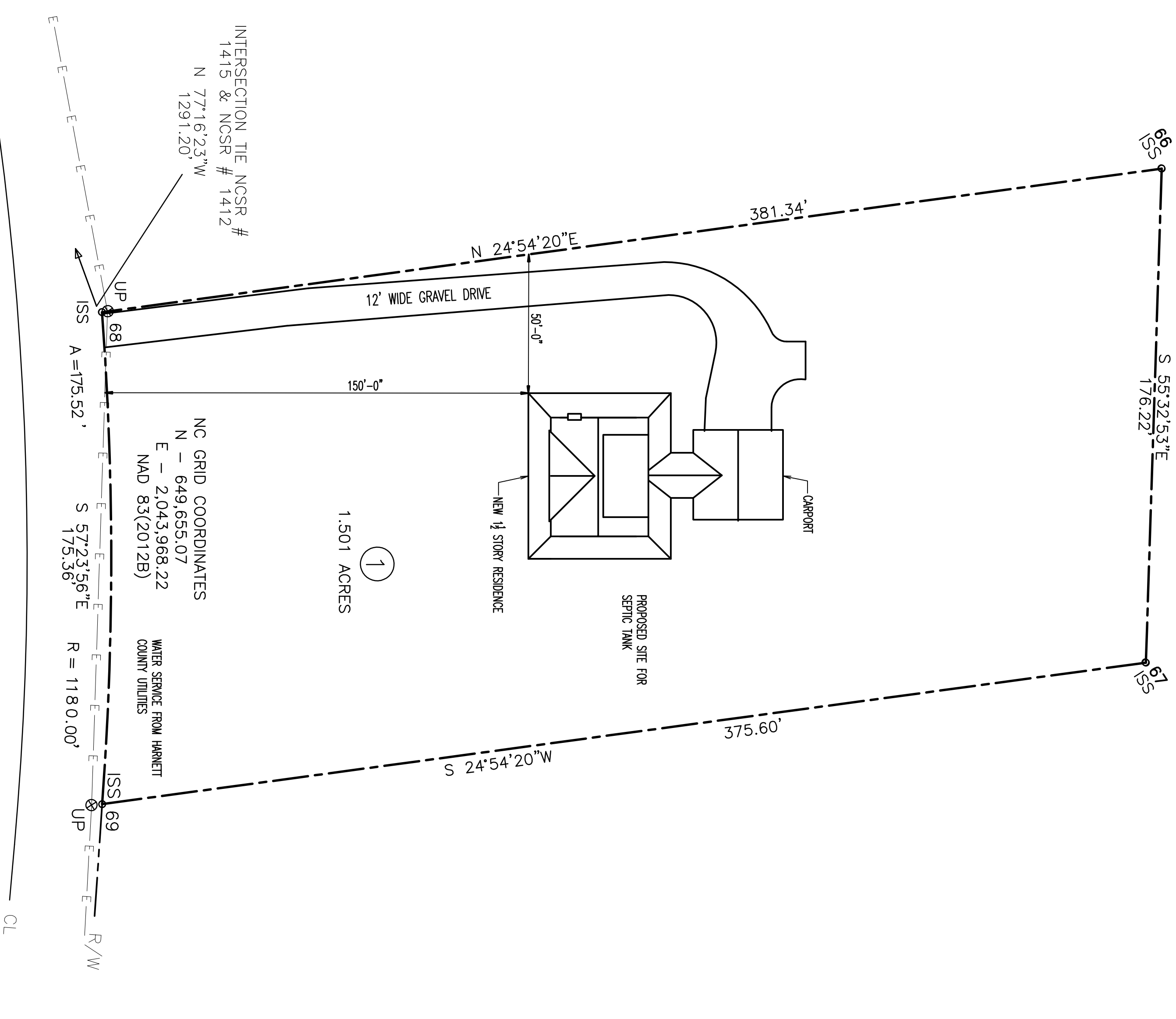
1. ACTUAL VENT QUANTITY MAY BE REDUCED IF CRAWL SPACE VAPOR BARRIER IS INSTALLED. VENTS MAY BE DELETED IF CRAWL SPACE IS ENCLOSED, INSULATED AND CONDITIONED.

WINDOW SCHEDULE

MARK	SIZE	DESCRIPTION	NOTES	WIDTH	HEIGHT
A	2'-8"W X 5'-6"H	DOUBLE HUNG	1.34.5	24"	5'-6"
B	2'-8"W X 1'-0"H	TRANSOM ONLY	1.4.5	8"	1'-0"
C	3'-0"W X 4'-6"H	DOUBLE HUNG	1.4.5	30"	4'-6"
D	2'-8"W X 4'-6"H	DOUBLE HUNG	1.4.5	24"	4'-6"
E	2'-0"W X 2'-0"H	SINGLE FIXED	1.4.5	20"	2'-0"
F	3'-0"W X 5'-0"H	DOUBLE HUNG	1.4.5	30"	5'-0"
G	2'-8"W X 4'-0"H	DOUBLE HUNG	1.4.5	24"	4'-0"

WINDOW SCHEDULE NOTES:

1. ALL WINDOWS SHALL BE LOW E, DOUBLE INSULATED
2. PROVIDE SAFETY GLAZING FOR ALL HAZARDOUS LOCATIONS DEFINED IN GLAZING SECTION OF NC BUILDING CODE-RESIDENTIAL CODE.
3. ALL EGRESS WINDOWS SHALL BE SIZED AND MOUNTED TO MEET THE EMERGENCY ESCAPE AND RESCUE OPENING REQUIREMENTS OF NC BUILDING CODE-RESIDENTIAL CODE.
4. MUTTON PATTERNS TO BE SELECTED BY THE OWNER.
5. PROVIDE BRICK MOLDING STYLE EXTERIOR TRIM.

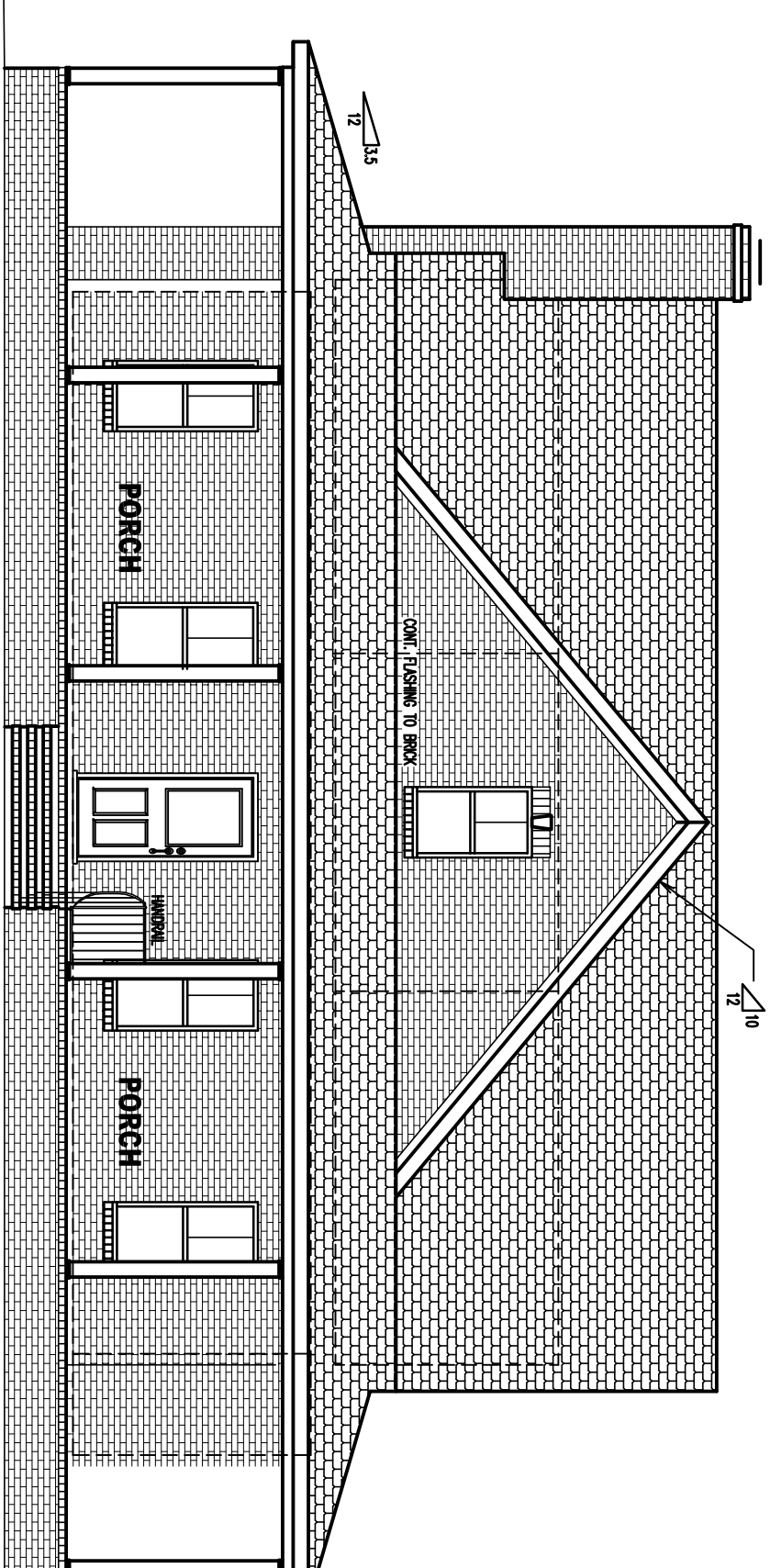


NC SR # 1415
RAWL'S CHURCH ROAD
60' PUBLIC R/W

SITE INFORMATION REFERENCED FROM SURVEY DRAWING BY:
BENJAMIN W. DEMAR AND ASSOCIATES
PROFESSIONAL LAND SURVEYOR
5920 HONECUTT ROAD
HOLLY SPRINGS, NC 27540
PH. # (919) 552-9813

SITE PLAN

1"=30'-0"

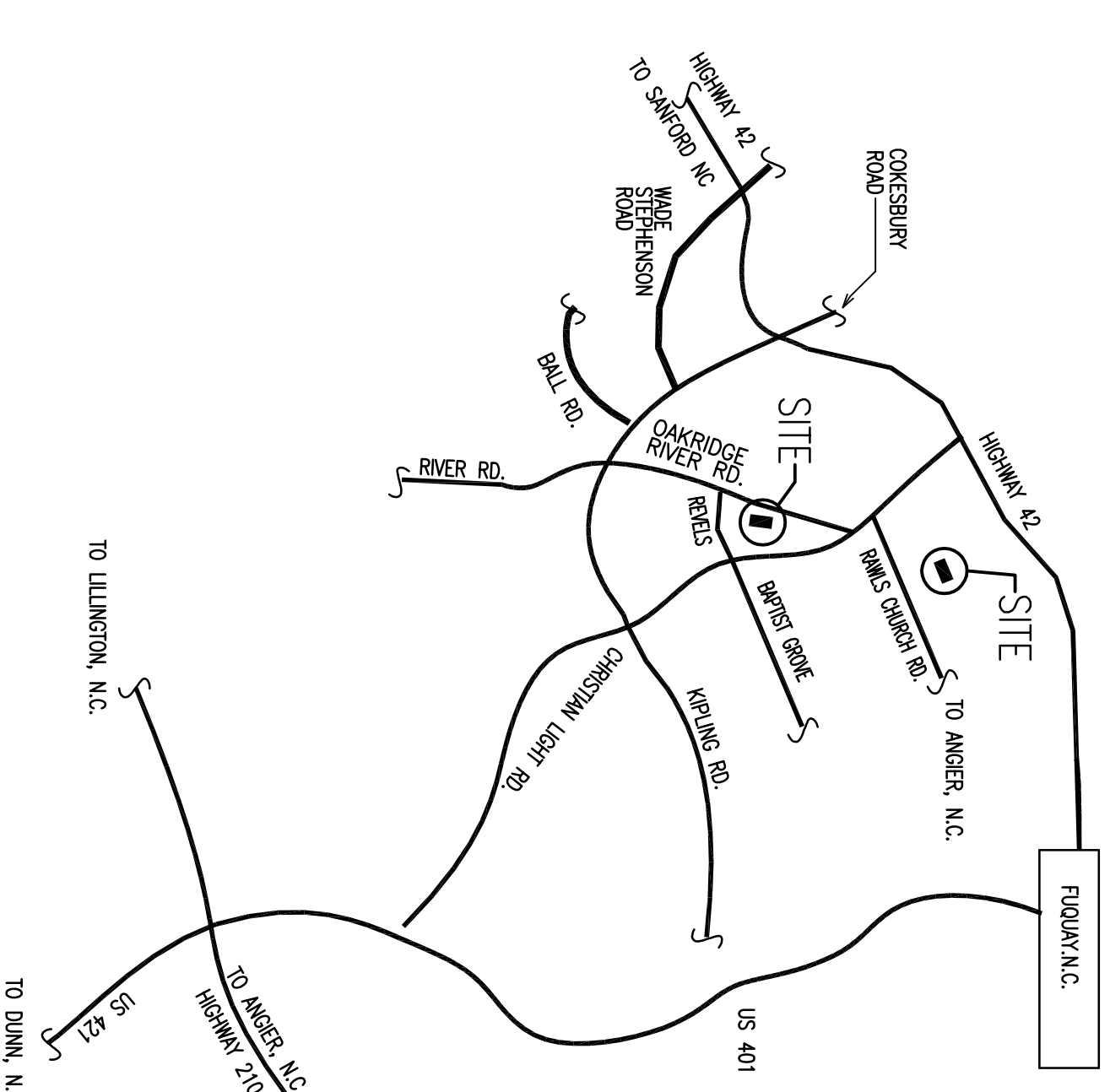


REFER TO ELEVATION SHEET FOR DETAILED FRONT VIEW

JOHNSON CUSTOM RESIDENCE

N/S

VICINITY MAP



SHEET SCHEDULE

DESCRIPTION	COVER SHEET
CS	COVER SHEET, SITE AND DATA
A1	OVERALL FLOOR PLANS
A2	MAIN LEVEL DIMENSIONAL PLAN
A3	UPPER LEVEL DIMENSIONAL PLAN
A4	CARPORT DIMENSIONAL PLAN, ELEVATION
E1.1	ELEVATIONS
E1.2	ELEVATIONS
D1	DETAILS, SECTIONS
D2	WALL SECTIONS
D3	FIREPLACE DETAILS
S1	FOUNDATION PLAN
S2	MAIN LEVEL FLOOR FRAMING PLAN
S3	CARPORT, CONNECTOR FRAMING PLAN
S4	UPPER LEVEL FLOOR FRAMING PLAN
S5	UPPER LEVEL CEILING FRAMING PLAN
S6	BRAONING PLANS
S7	ROOF PLAN

JOHNSON FAMILY RESIDENCE

RAWL'S CHURCH ROAD, HARNETT COUNTY, N.C.

BUILDING DESIGN BY:
S&S CONTRACTING
6349 RIVER ROAD, FUQUAY, NC 27526

STRUCTURAL EVALUATION BY:
HOWERTON SERVICES, LLC
2108 KARNS PLACE, RALEIGH N.C. 27614

CS

DATE
JANUARY 2019