

THIS PLAN HAS BEEN DRAWN TO CONFORM TO THE 2018 NORTH CAROLINA RESIDENTIAL CODE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING WORK. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL STATE AND LOCAL BUILDING CODES AND ORDINANCES. KADS CUSTOM HOME DESIGNS ASSUMES NO LIABILITY FOR SITE CONDITIONS, CONSTRUCTION METHODS OR ANY DEVIATION OF THESE PLANS.

NOTE:
ALL WINDOWS TO BE INSTALLED MUST MEET A MINIMUM OF .32 U VALUE OR BETTER, UNLESS ENERGY CALCULATIONS ARE SUBMITTED WITH PLANS PROVIDED BY BUILDER AT TIME OF PLAN REVIEW.

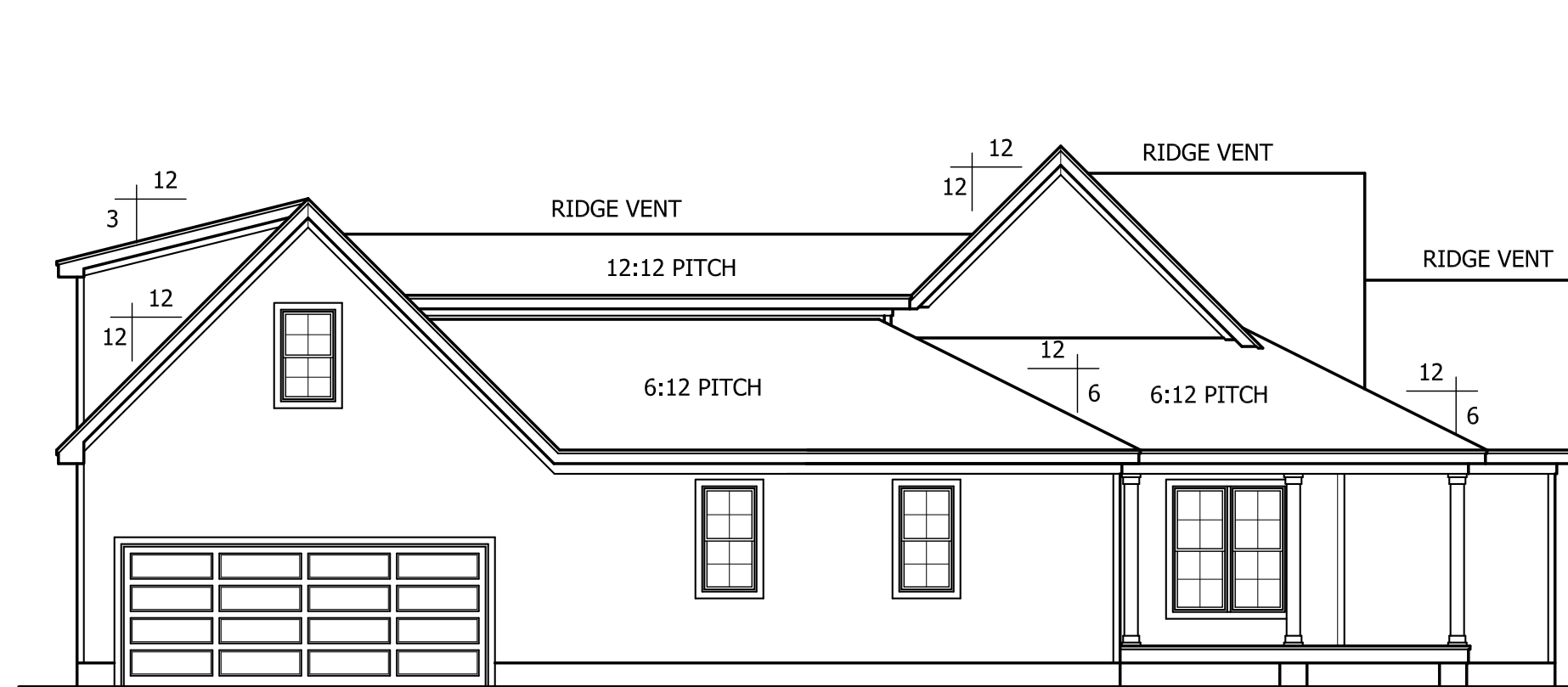
NOTICE TO CONTRACTOR
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED
Limited building only review
Permit holder responsible for full compliance with the code

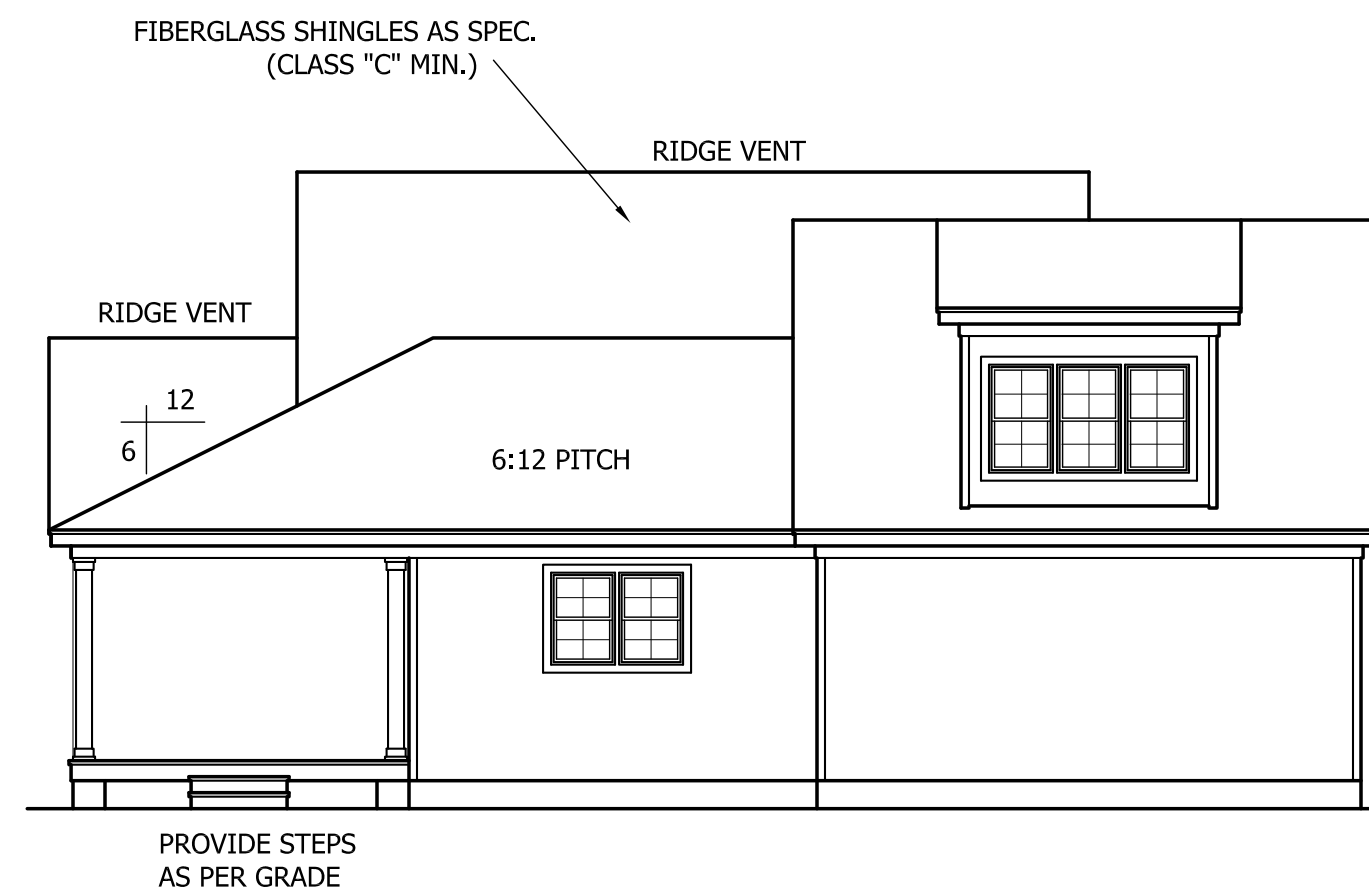
06/02/2020



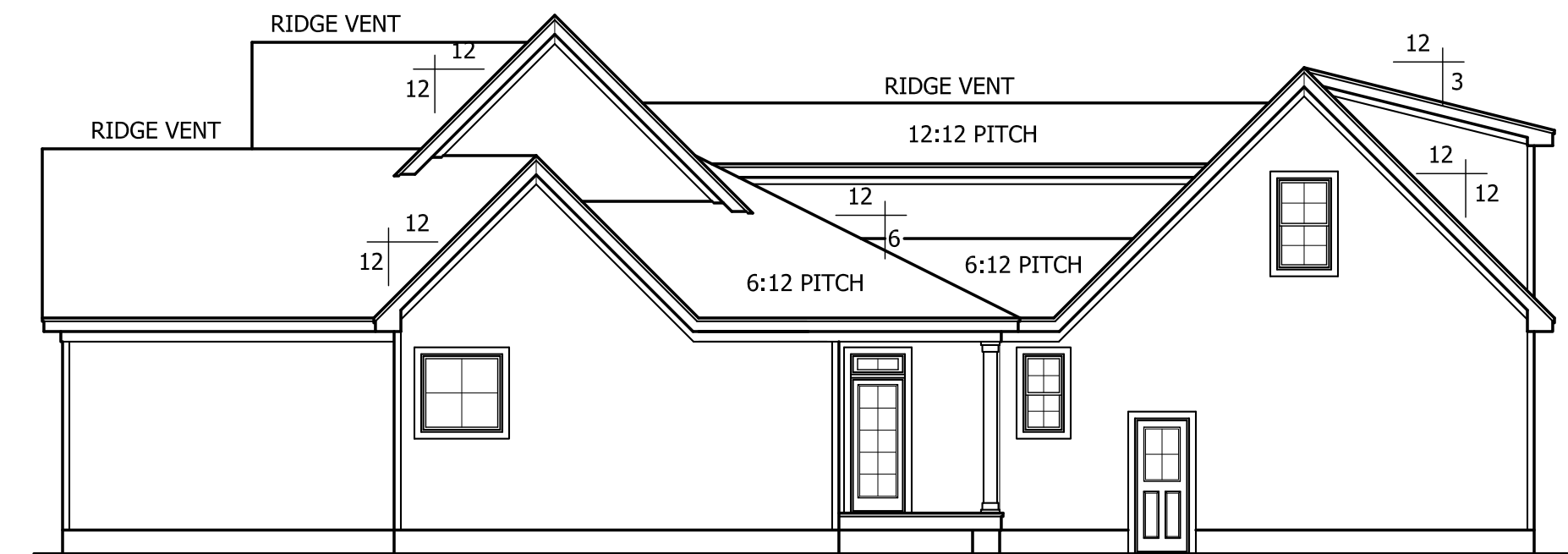

FRONT ELEVATION
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/8"=1'-0"



REAR ELEVATION
SCALE: 1/8"=1'-0"



RIGHT ELEVATION
SCALE: 1/8"=1'-0"

ROY RESIDENCE



ANGIER, NC
919-369-7181

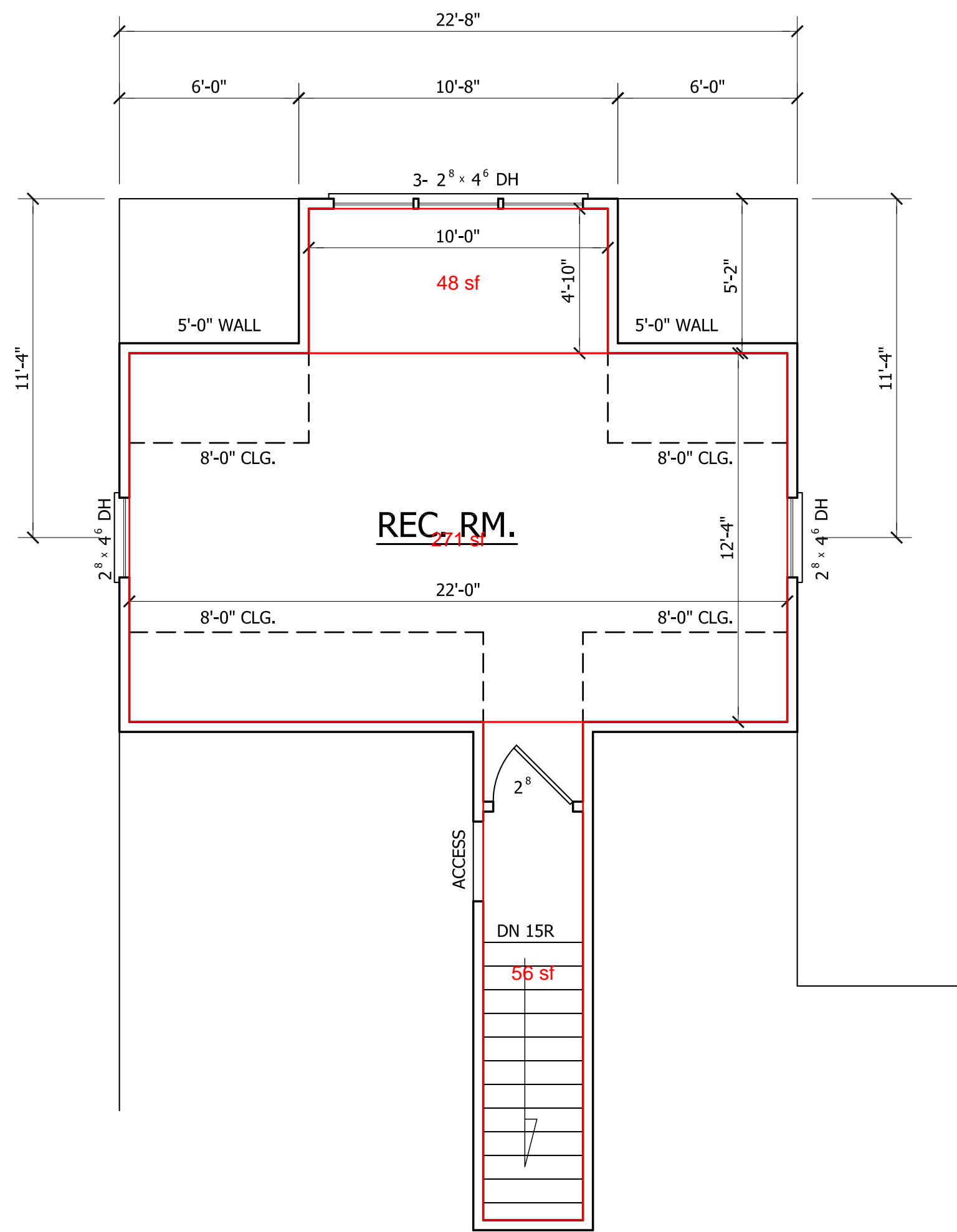
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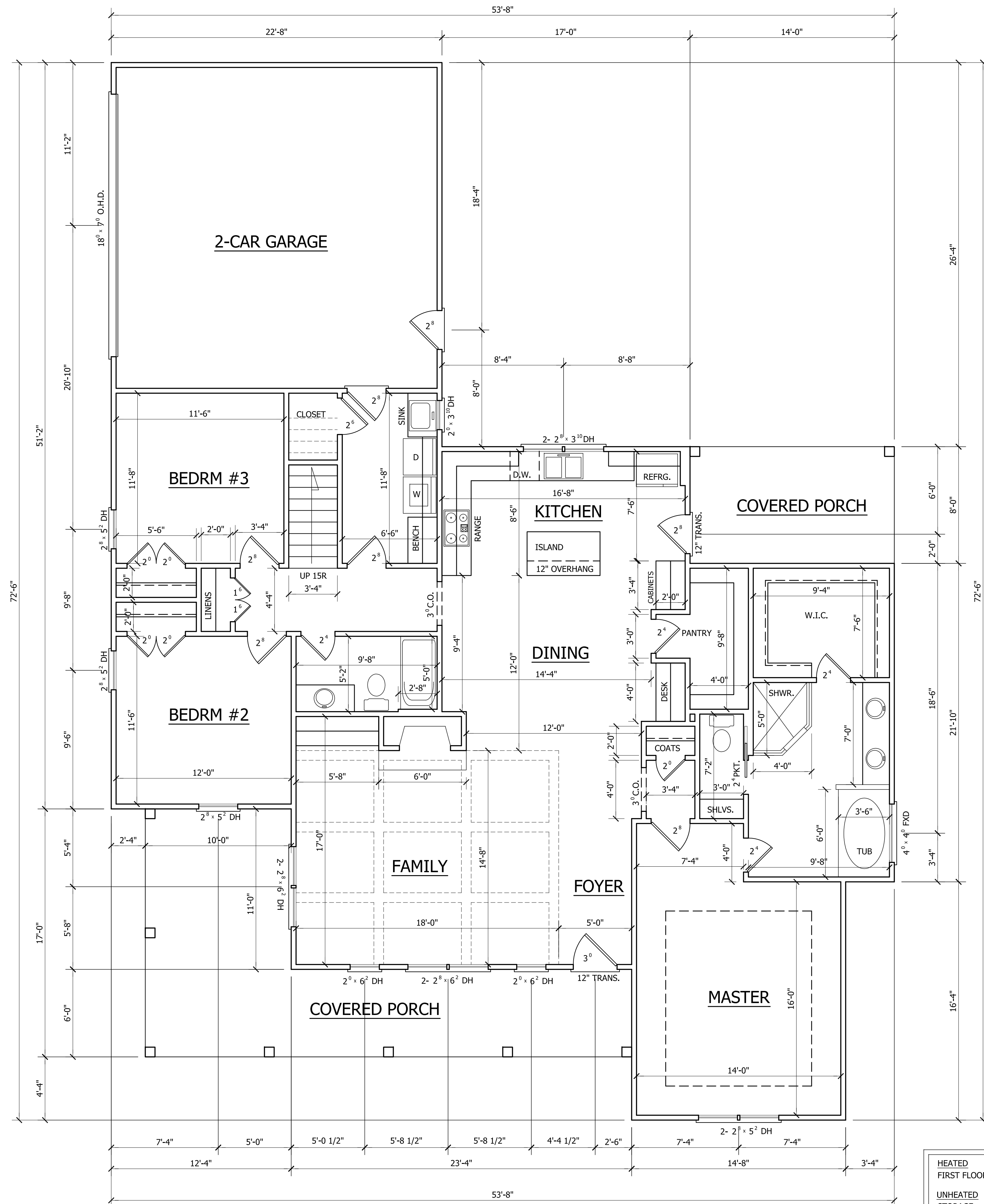
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PLAN NO.
DK1894



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"
8'-0" CLG. HGT.
SET WINDOWS AT 6'-8" A.F.F.



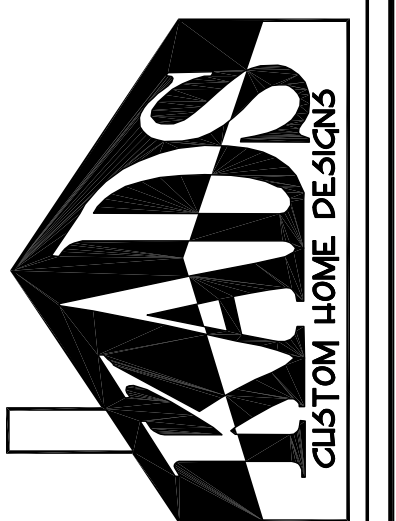
FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"
9'-0" CLG. HGT.
SET WINDOWS AT 7'-10" A.F.F.

HEATED	
FIRST FLOOR HTD. SQ. FT.	= 1894
UNHEATED	
STORAGE	= 346
FRONT PORCH SQ. FT.	= 313
REAR PORCH SQ. FT.	= 112
GARAGE SQ. FT.	= 506

2nd Floor Rec Room 375

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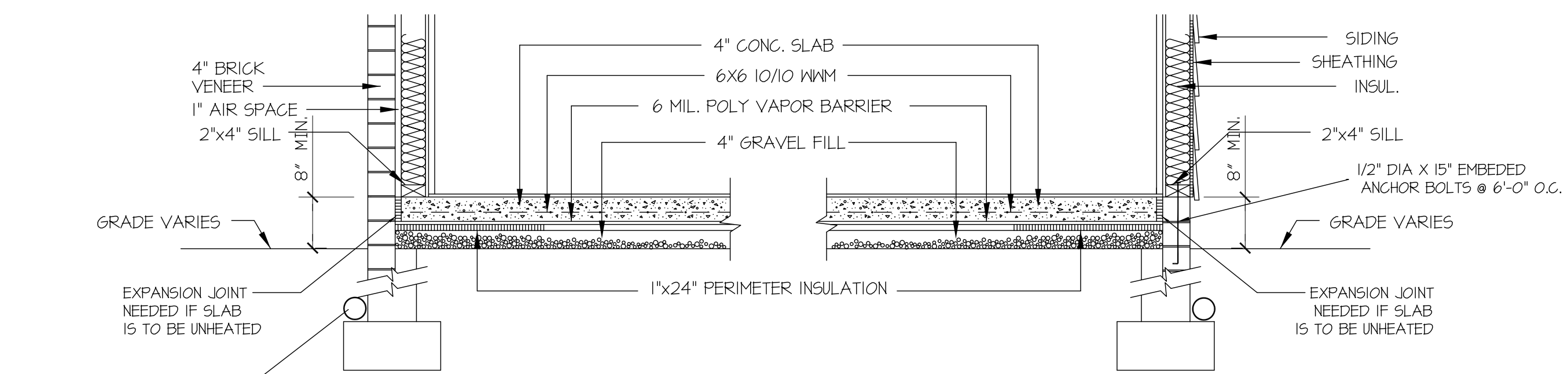
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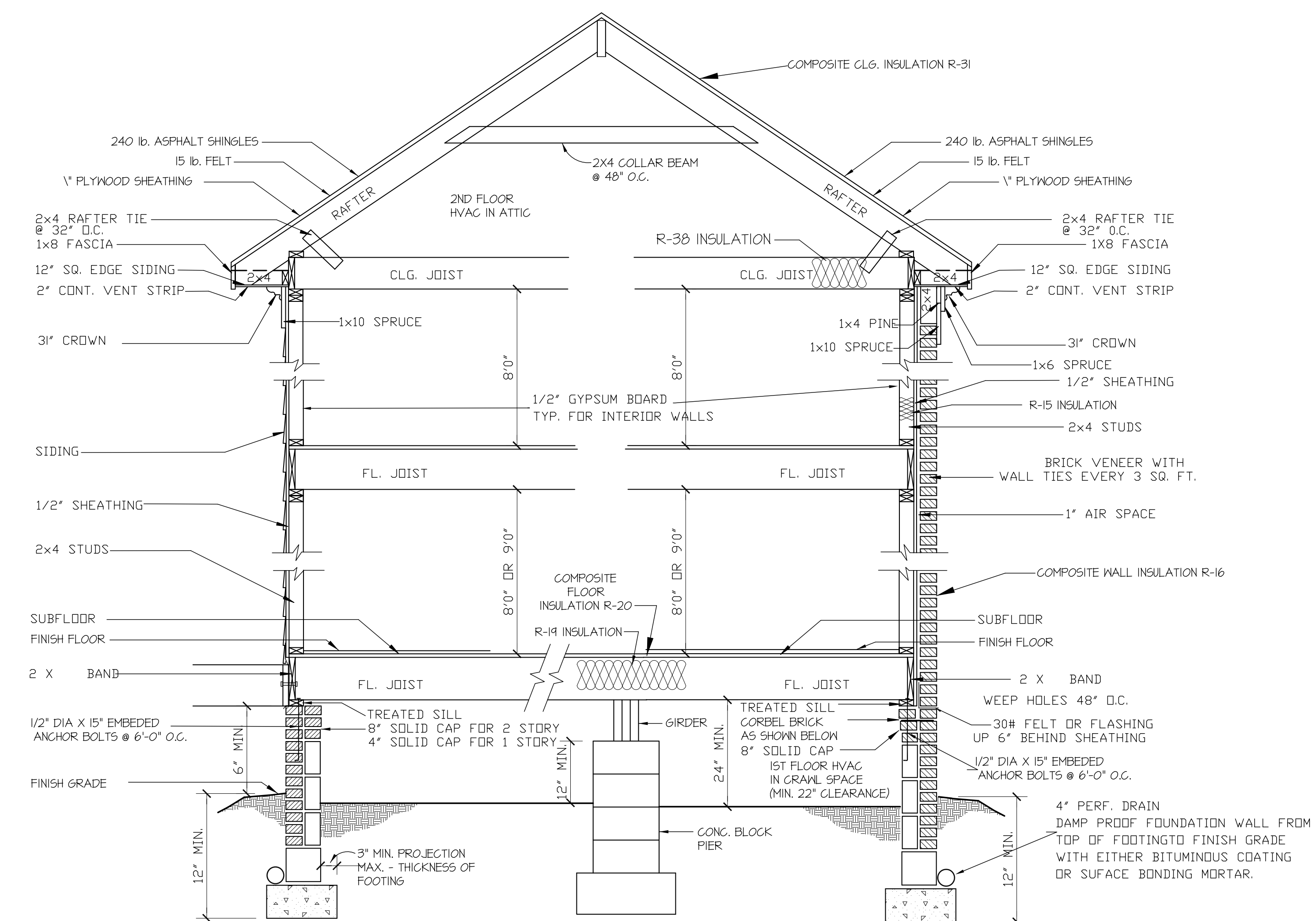
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SLAB FDN. DETAIL

SCALE: 1\"/>



SIDING SECTION

BRICK SECTION

WALL SECTION

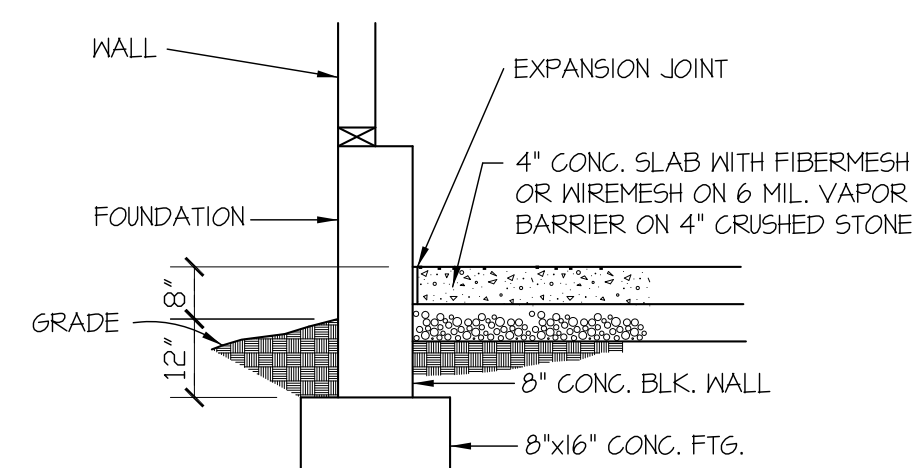
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CRAWL SPACE VENTILATION
 PROVIDE AT LEAST 1.0 SQ. FT. NET FREE VENTILATION AREA FOR EACH 150 SQ. FT. OF CRAWL SPACE.
 CRAWL SPACE AREA = 1894 SQ.FT.
 1894/150 = 12.62 SQ. FT. REQ'D.
 REDUCE REQUIRED AREA TO 1.0 SQ. FT NET FREE VENTILATION AREA FOR EACH 1,500 SQ. FT. OF CRAWL SPACE WITH APPROVED VAPOR BARRIER.
 PROVIDE (1) VENT WITHIN 3'-0" OF EACH CORNER.
 REFER TO MANUFACTURER SPECIFICATIONS FOR ACTUAL VENTS USED TO DETERMINE NUMBER OF VENTS REQUIRED.

ROOF VENTILATING REQUIREMENTS
 $\frac{2825}{150} = 18.84 \text{ SQ. FT. REQ'D}$

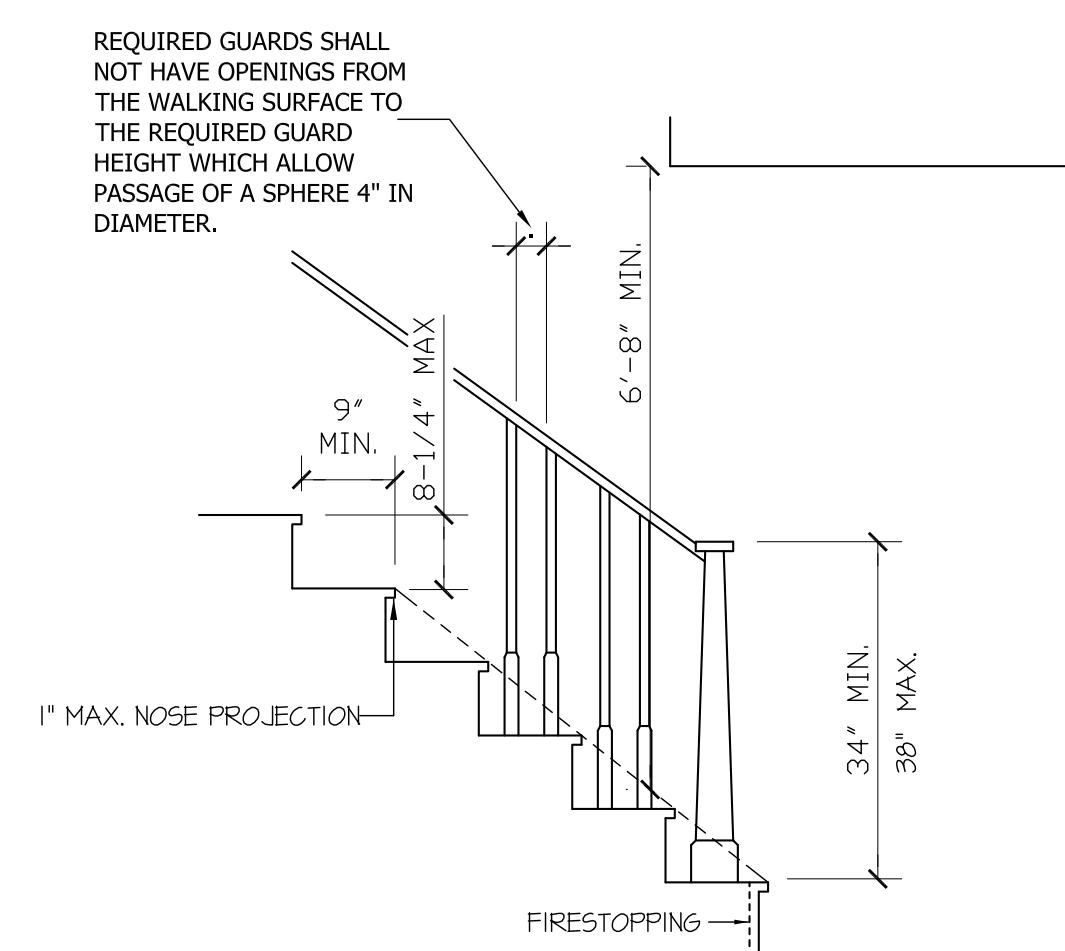
ROOF VENTILATING REQUIREMENTS
 (POWER ROOF VENTILATOR REQUIRED)
 $\frac{2825}{300} = 9.42 \text{ SQ. FT. REQ'D}$

BUILDER TO PROVIDE APPROPRIATE VENTILATING AS REQUIRED.



GARAGE SLAB

SCALE: NTS



NOTE:
 Stairways shall not be less than 36 inches in clear width at all points above the permitted handrail height and below the required headroom height. Handrails shall not project more than 4.5 inches on either side of the stairway and the minimum clear width of the stairway at and below the handrail height, including treads and landings, shall not be less than 31-1/2 inches where a handrail is installed on one side and 27 inches where handrails are provided on both sides.

STAIR DETAIL

SCALE: NTS

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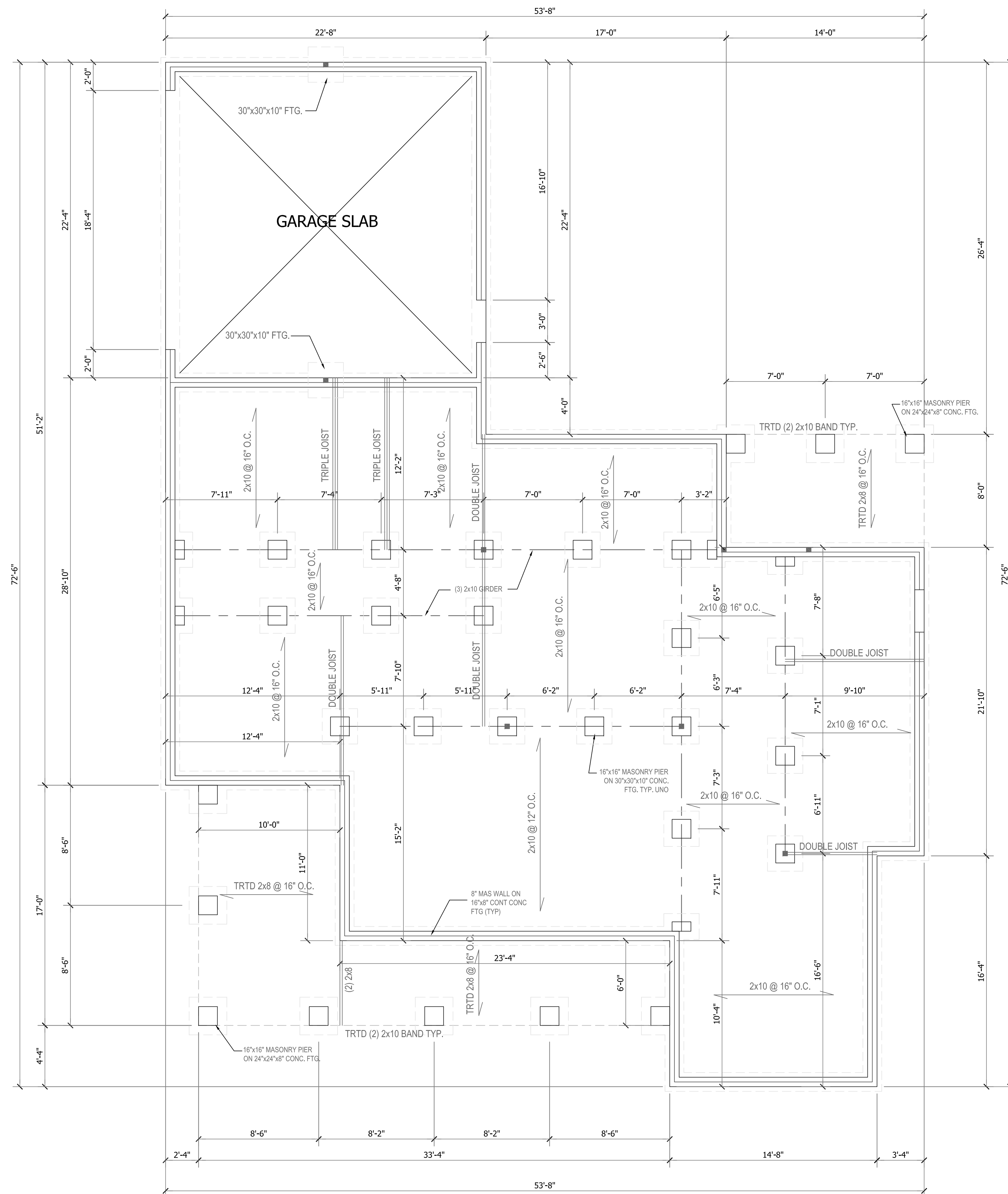
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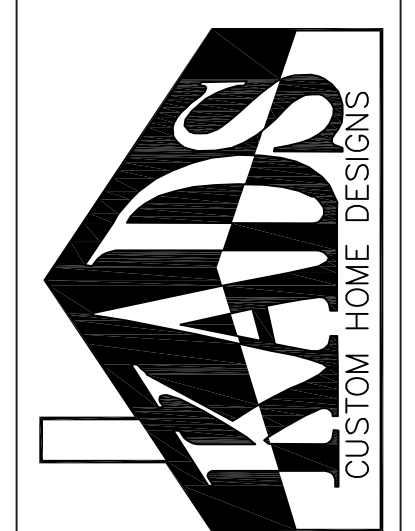

 Mark E. Jones

Structural Engineering by:
 Mark E. Jones, PE
 6425 Glen Dean Court
 Raleigh, NC 27603
 Phone: (919) 395-5618
 Project No. 20-077

*Engineers seal applies only to structural components on this document. Seal does not include construction means, methods, techniques, sequences, or safety precautions.
 **Any deviations or discrepancies on plans are to be brought to the immediate attention of Mark E. Jones, PE. Failure to do so will void Mark E. Jones, PE liability.
 Structural analysis based on NC Residential Building Code 2018.

FOUNDATION PLAN
 SCALE: 1/4"=1'-0"

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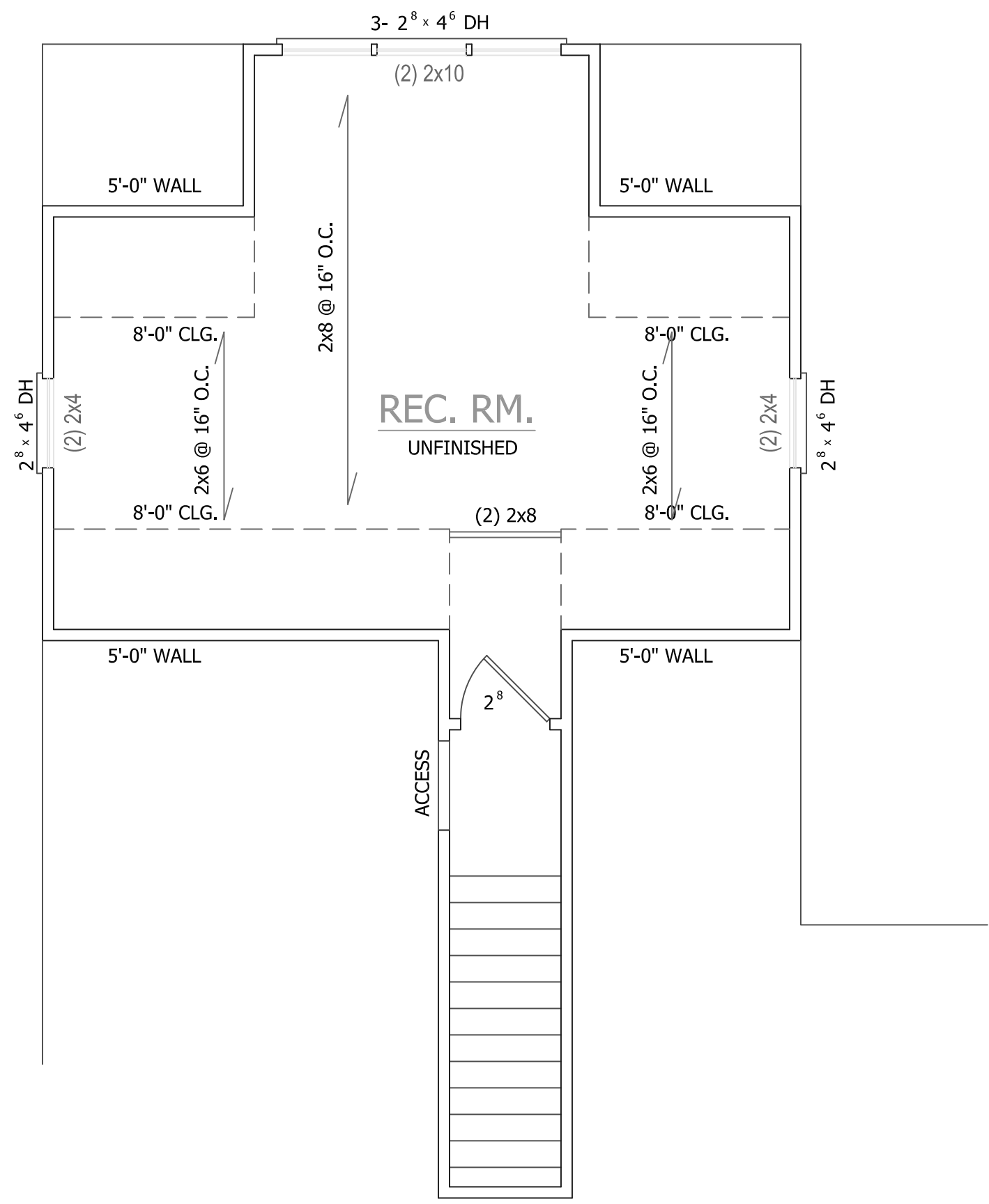
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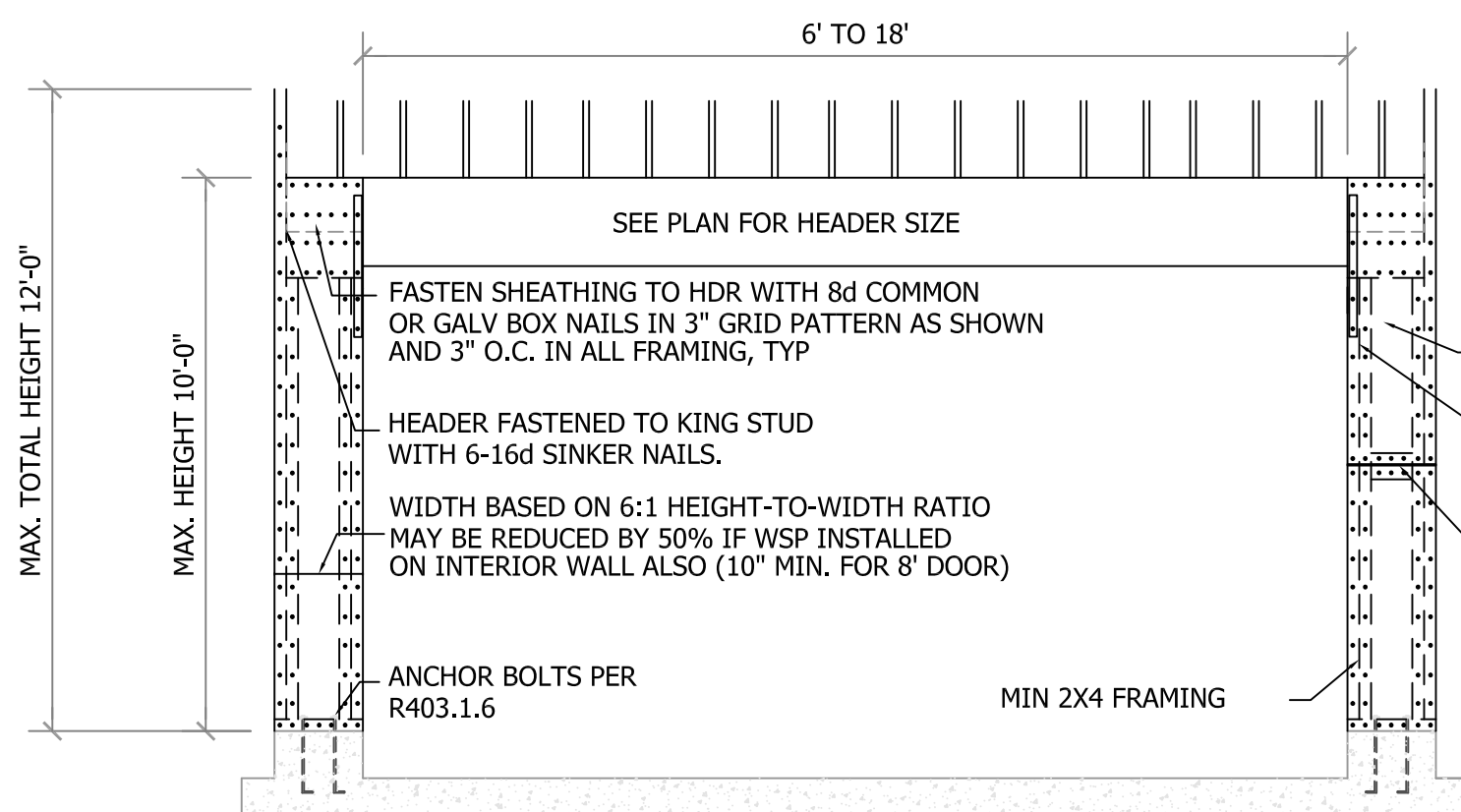
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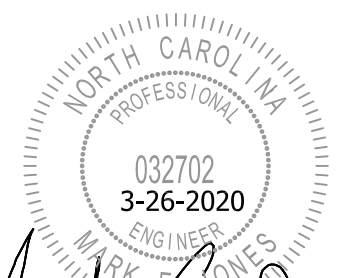


SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"
8'-0" CLG. HGT.
SET WINDOWS AT 6'-8" A.F.F.



PORTAL FRAME DETAIL

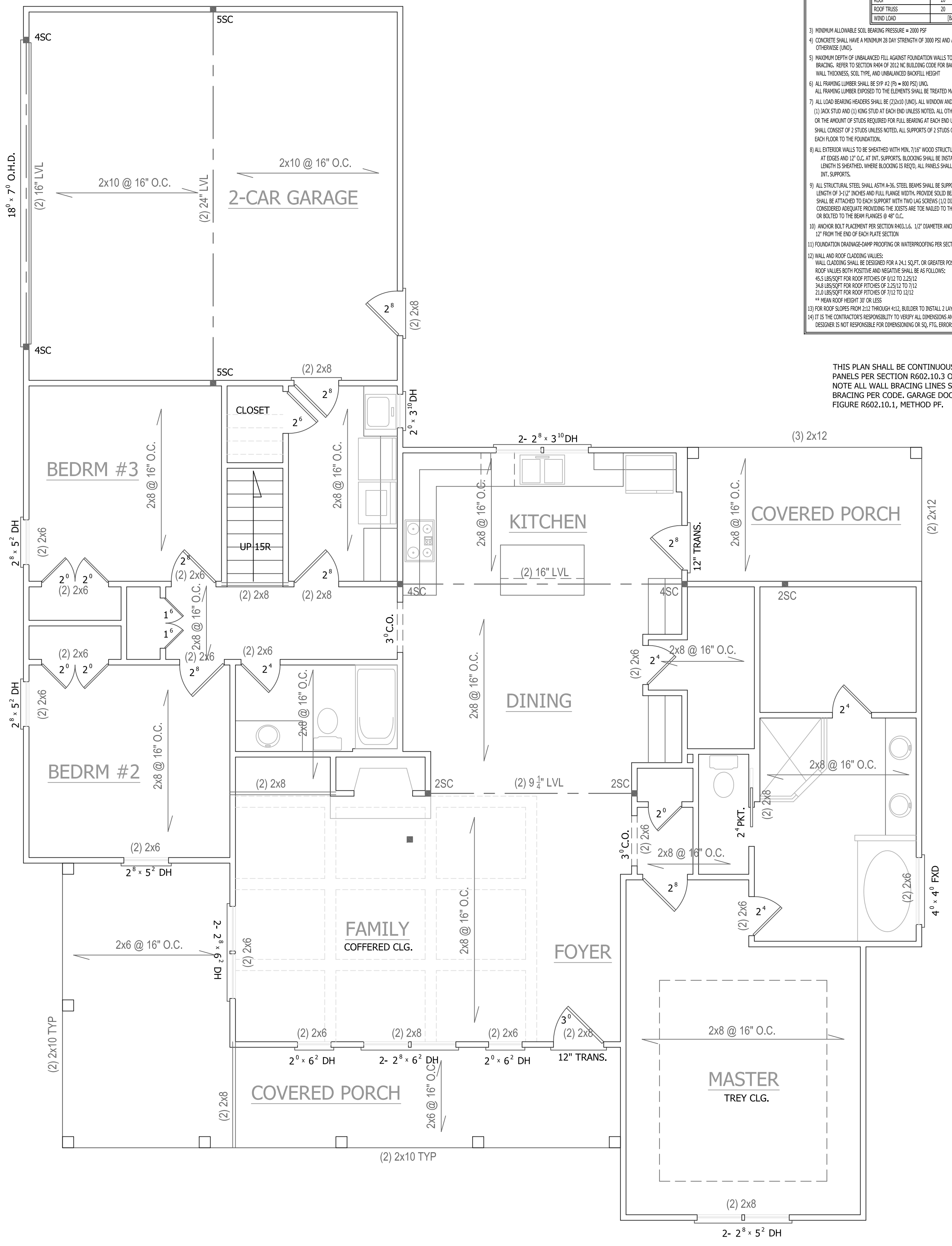


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FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"
9'-0" CLG. HGT.
SET WINDOWS AT 7'-10" A.F.F.

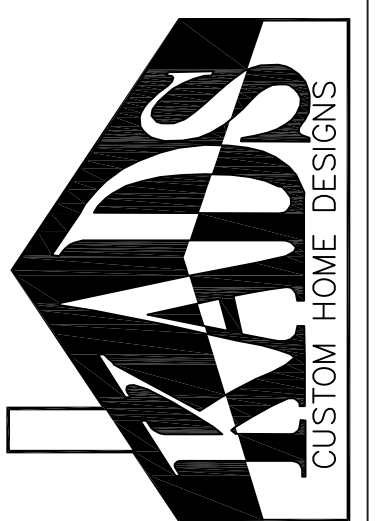
STRUCTURAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF NORTH CAROLINA STATE 2018 RESIDENTIAL BUILDING CODE, IN ADDITION TO ALL LOCAL CODES AND REGULATIONS.
- DESIGN LOADS:

	DLR LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (DL & LL)
ALL FLOORS	10	10	L/360
ATTIC (NO ACCESS)	20	10	L/240
ATTIC (NO ACCESS)	10	5	L/240
EXTERNAL BALCONY	60	10	L/360
ROOF	20	10	L/180
ROOF TRUSS	20	20	L/240
WIND LOAD	(BASED ON 120 MPH (3-second gust))		
- MINIMUM ALLOWABLE SOIL BEARING PRESSURE = 2000 PSF
- CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI AND A MAXIMUM SLOPE OF FIVE INCHES UNLESS NOTED OTHERWISE (L/40).
- MAXIMUM DEPTH OF UNBALANCED FILL AGAINST FOUNDATION WALLS TO BE LESS THAN 6" WITHOUT USING SUFFICIENT WALL BRACING. REFER TO SECTION 904.04 OF 2018 NC BUILDING CODE FOR BACKFILL LIMITATIONS BASED ON WALL HEIGHT, WALL THICKNESS, SOIL TYPE, AND UNBALANCED BACKFILL HEIGHT.
- ALL FRAMING LUMBER EXPOSED TO THE ELEMENTS SHALL BE TREATED MATERIAL.
- ALL LIFT FRAMING MEMBERS SHALL BE (2)X4 (2)X6. ALL WINDOW AND DOOR HEADERS SHALL BE SUPPORTED BY 2 STUDS OR THE AMOUNT OF STUDS REQUIRED FOR FULL BRACING AT EACH END UNLESS NOTED POINT LOADS (STIFF KNEES, ETC.) SHALL CONSIST OF 2 STUDS UNLESS NOTED. ALL SUPPORTS OF 2 STUDS OR MORE SHALL BE TRANSFERRED THROUGH EACH FLOOR TO THE FOUNDATION.
- ALL EXTERIOR WALLS TO BE SHEATHED WITH MIN. 1/2" WOOD STRUCTURAL PANELS FASTENED WITH NO WALS 8" O.C. AT EDGES AND 12" O.C. AT INT. SUPPORTS. BLOOMING SHALL BE INSTALLED BY LESS THAN 50 PERCENT OF THE WALL LENGTH IS SHEATHED WHERE BLOOMING IS REQ'D. ALL PANELS SHALL BE FASTENED AT 7" O.C. AT EDGES AND 6" O.C. AT INT. SUPPORTS.
- ALL STRUCTURAL STEEL SHALL ASTM A36. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3-1/2" INCHES AND FULL FLANGE WIDTH. PROVIDE SLOTTED BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED TO EACH SUPPORT WITH TWO (2) 3/8" DIAMETER AND 1/2" LONG LATERAL SUPPORTS. BEAMS SHALL BE CONSIDERED ADEQUATE PROVIDING THE JOISTS ARE NAILED TO THE SLOTTED PLATES, AND THE SLOTTED PLATES ARE NAILED OR BOLTED TO THE BEAM FLANGES @ 4" O.C.
- ANCHOR BOLT ATTACHMENT PER SECTION 905.1.1.1. 1/2" DIAMETER ANCHOR BOLTS SPACED AT 6" O.C. AND PLACED 12" FROM THE END OF EACH PLATE SECTION.
- FOUNDATION DRAINAGE/SUMP PROOFING OR WATERPROOFING PER SECTION 405 AND 406 OF 2018 NC BUILDING CODE.
- WALL AND ROOF CLADDING VALUES:
WALL CLADDING SHALL BE DESIGNED FOR A 2.41 PSF, OR GREATER POSITIVE AND NEGATIVE PRESSURE.
ROOF VALUES BOTH POSITIVE AND NEGATIVE SHALL BE AS FOLLOWS:
4-5.5 LBS/SQ FT FOR ROOF PITCHES OF 1/12 TO 2/12
3-6.4 LBS/SQ FT FOR ROOF PITCHES OF 2/12 TO 3/12
2-1.0 LBS/SQ FT FOR ROOF PITCHES OF 1/12 TO 1/12
*MIN. ROOF HEIGHT 8' OR LESS.
13) FOR ROOF SLOPES FROM 2:12 THROUGH 4:12, BUILDER TO INSTALL 1 LAYER OF 15# FELT PAPER.
14) IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND SQ. FTG. ARE CORRECT PRIOR TO CONSTRUCTION. DESIGNER IS NOT RESPONSIBLE FOR CONSTRUCTION OR SQ. FTG. ERRORS DUE TO CONSTRUCTION ERRORS.

THIS PLAN SHALL BE CONTINUOUSLY BRACED WITH WOOD STRUCTURAL PANELS PER SECTION 902.0.3 OF THE NC RESIDENTIAL BUILDING CODE. NOTE ALL WALL BRACING LINES SATISFY THE MINIMUM AMOUNTS OF WALL BRACING PER CODE. GARAGE DOOR HEADER SHALL BE CONSTRUCTED PER FIGURE 902.10.1, METHOD PF.

ROY RESIDENCE



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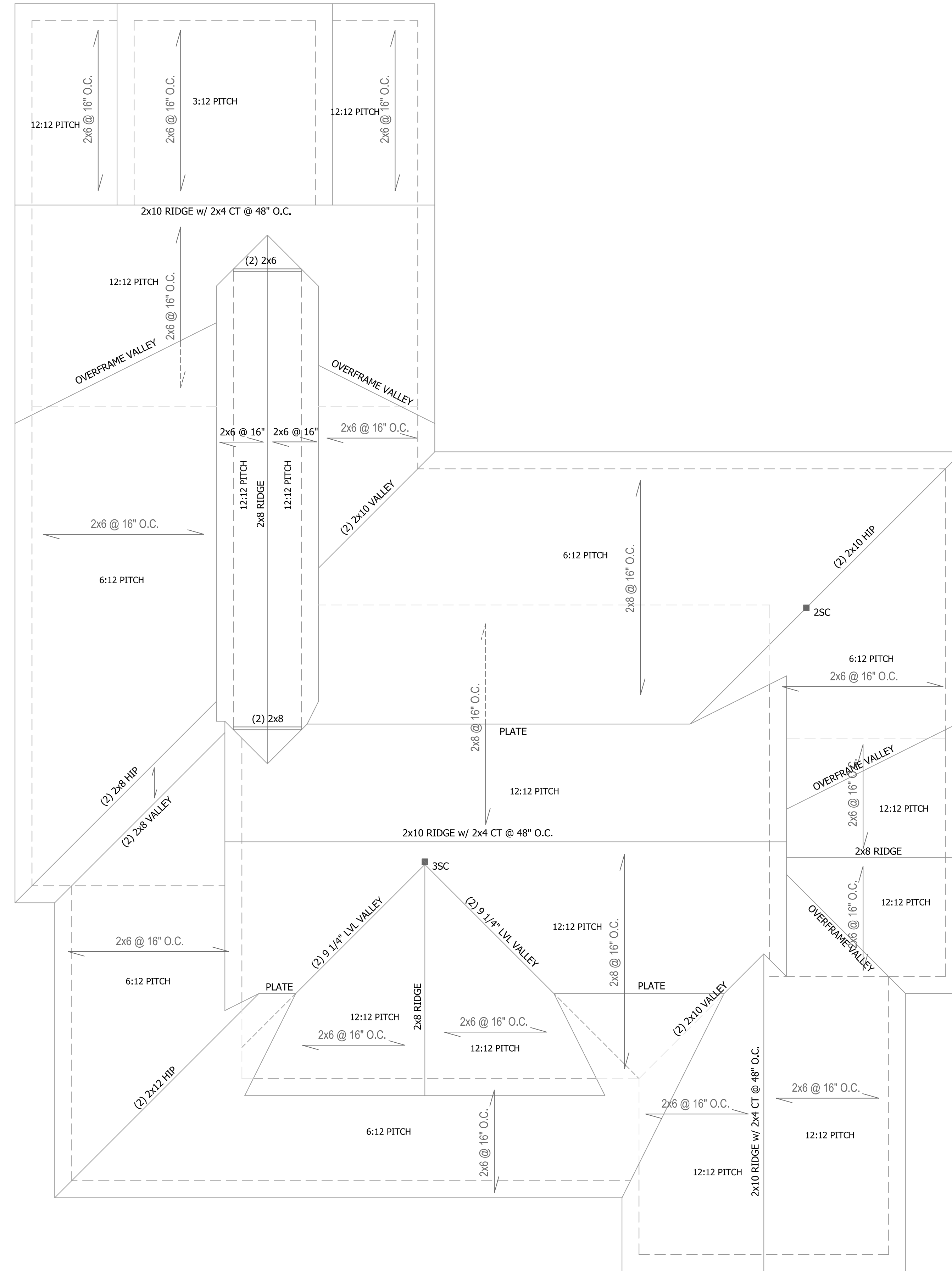
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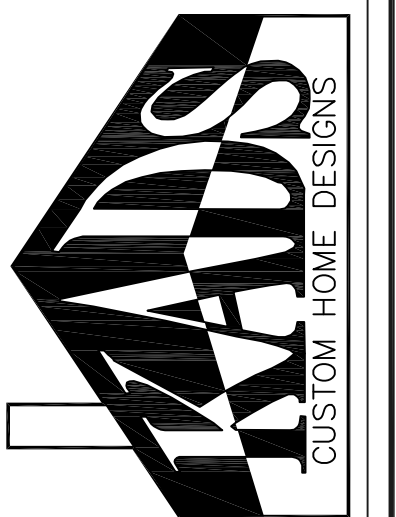
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ROOF PLAN
 SCALE: 1/4"=1'-0"

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