

ABBREVIATIONS INDEX

ABV ABOVE
 A.C. AREA CONDITIONING
 A.D. AREA DRAIN
 ADJ. ADJUSTABLE
 ALT. ALTERNATE
 ALUM. ALUMINUM
 ARCH. ARCHITECTURAL
 BA. BATHROOM
 B.C. BENCH
 B.F. BIFOLD (DOOR)
 BLDG. BUILDING
 BLK. BLOCK (CMLS)
 BLW. BELOW
 BM. BEAM
 BP. BYPASS (DOOR)
 BOT. BOTTOM
 BTWN. BETWEEN
 CAB. CABINET
 CER. CERAMIC
 C.J. CONTROL JOINT OR CONSTRUCTION JOINT
 CL. CLOSET OR CENTERLINE
 C.C.G. CEILING
 C.K. CASK
 CMU. CONCRETE MASONRY UNIT
 COL. COLUMN
 CONC. CONCRETE
 CR. CRACK
 CR. CRACK RESISTANT
 CSMT. CASSEMENT
 C.T. CERAMIC TILE
 D. DRYER
 DBL. DOUBLE
 DH. DOUBLE HUNG
 DIM. DIMENSION
 DSP. DISPOSAL
 DN. DOWN
 DR. DOOR
 DS. DOWNSPOUT
 DW. DISH WASHER
 DWG. DRAWING
 E. EACH
 ELEV. ELEVATION
 ELEC. ELECTRICAL
 EQ. EQUAL
 EXT. EXTERIOR
 FAU. FORCED AIR UNIT
 F.C. FLOOR CHANGE
 F.D. FLOOR DRAIN
 FFL. FINISH FLOOR LINE
 F.G. FINISHED GRADE
 FLR. FLOORING
 H. HANGING (LIGHT)
 FND. FOUNDATION
 F.O.S. FACE OF STUD
 FTG. FOOTING
 FR. FROD GLASS
 GALV. GALVANIZED
 GAR. GARAGE
 GB. GYPSUM BOARD
 GR. GRADE OR GRADING
 G.D.C. GARAGE DOOR CLOSER
 GP. GROUND FULT INTERRUPTER
 GL. GLASS OR GLAZING
 GYP.BD. GYPSUM BOARD
 HB. HOSE BIB
 HD. HEAD OR HARD
 HDR. HEADER
 HGT. HEIGHT
 H.V.A.C. HEATING VENTILATING AIR COND.
 HWD. HARDWOOD
 INT. INTERIOR
 JT. JOINT
 KIT. KITCHEN

L. LENGTH
 LA. LAUNDRY
 LAV. LAVATORY
 L.V.R. LOUVER
 MAX. MAXIMUM
 MESH. MECHANICAL
 MFR. MANUFACTURER
 M.S. MASONRY
 MISC. MISCELLANEOUS
 N. NORTH
 N.T.S. NOT TO SCALE
 O.G.S. OVERHEAD GARAGE DOOR
 OH. OVERHEAD
 OPT. OPTIONAL
 PAR. PARALLEL
 P.B. PUSH BUTTON
 PDR. POWDER
 PED. PEDestal
 PL. PLATE
 PR. PAIR
 P.T. PRESSURE TREATED WOOD
 P.V.C. POLYVINYL CHLORIDE PIPE
 P.M.T. PAVEMENT
 P.W. PREEWIRE
 P.W.D. PLYWOOD
 RAC. RETURN AIR GRILL
 RES. REST
 REF. REFERENCE
 REFR. REFRIGERATOR
 REQ. REQUIRED
 R.S. SOUTH
 S.D. SINK DETECTOR
 S.G.D. SLIDING GLASS DOOR
 SH. SINGLE HUNG OR SHELF
 SIM. SIMILAR
 SLD. SLIDING
 S.L.F. SLOPE AS SHOWN
 SPEC. SPECIFICATIONS
 STD. STANDARD
 STR. STRUCTURAL
 SQ. SQUARE
 S.W. SLOPE WITH FOUR SIDES
 STAIR. STAIR
 T. TREAD (AT STAIRS) OR TILE
 T.B. TOWEL BAR
 TEMP. TEMPERED (GLASS)
 T&G. TONGUE & GROOVE
 T.O.C. TOP OF CURB
 TV. TELEVISION
 TYP. TYPICAL
 UNO. UNLESS NOTED OTHERWISE
 V.B. VAPOR BARRIER
 VENT. VENTILATION
 V.T.R. VENT THRU ROOF
 W. WASHING MACHINE
 W. WOOD
 W.D.W. WINDOW
 W.H. WATER HEATER
 W. WROUGHT IRON
 W.I.C. WALK-IN CLOSET
 W.W. WITH OR WITHOUT
 WP. WATERPROOFING
 W.M. WELDED WIRE MESH
 R. PROPERTY LINE
 O. ROUND / DIAMETER
 &. AND
 G. CENTERLINE
 #. POUND / NUMBER

BUILDING CODE COMPLIANCE / PROJECT INFORMATION

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

APPLICABLE CODES:
 FOLLOW ALL APPLICABLE STATE AND LOCAL CODES.
 2012 NORTH CAROLINA STATE SUPPLEMENTS AND AMENDMENTS

CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

PRODUCT:
 SINGLE FAMILY RESIDENCE / 3 STORY TOWNHOMES

OCCUPANCY CLASSIFICATION
 RESIDENTIAL-R3

A1.1 1ST FLOOR PLAN
 A1.1.1 1ST FLOOR PLAN
 A1.1.2 1ST FLOOR PLAN OPTIONS

A1.2 2ND FLOOR PLAN
 A1.2.1 2ND FLOOR PLAN
 A1.3 3RD FLOOR PLAN

A1.4 BUILDING SECTIONS
 A1.4.1 BUILDING SECTIONS

A1.8.0 EURO EXTERIOR ELEVATIONS
 A1.8.1 EURO EXTERIOR ELEVATIONS
 A1.8.2 EURO EXTERIOR ELEVATION OPTIONS S

A1.8.5 EURO ROOF PLAN

E1.0 1ST FLOOR UTILITY PLAN
 E1.1 1ST FLOOR UTILITY PLAN OPTIONS
 E2.0 2ND FLOOR UTILITY PLAN

CONSTRUCTION TYPE:
 TYPE V8 (2 HOUR DWELLING SEPARATION BETWEEN UNITS)

ALL CONSULTANT DRAWINGS ACCOMPANYING THESE GMD DESIGN GROUP DRAWINGS HAVE NOT BEEN PREPARED BY OR UNDER THE DIRECTION OF GMD DESIGN GROUP, INC. GMD DESIGN GROUP, INC. THEREFORE ASSUMES NO LIABILITY FOR THE COMPLETENESS OR CORRECTNESS OF THESE DRAWINGS.

GENERAL NOTES: BUILDER SET:

THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR REVISED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK.

ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION IMMEDIATELY.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.

ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.

ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.

ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.

PROVIDE FIREBLOCKING (PER LOCAL CODES)

ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.

PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR, TOWEL RING AND/OR TOILET PAPER HOLDER LOCATIONS, AS SHOWN PER PLAN. TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK.

ELASTOMERIC SHEET WATERPROOFING FURNISH AND INSTALL ALL WATERPROOFING COMPLETE. A 40 MIL SELF-ADHERING MEMBRANE OF RUBBERIZED ASPHALT INTEGRALLY BONDED TO POLYETHYLENE SHEETING, OR EQUAL.

INSTALL PER MANUFACTURERS AND TRADE ASSOCIATIONS PRINTED INSTALLATION INSTRUCTIONS. 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES.

TO THE BEST OF THE DESIGNERS KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.

SHOP DRAWING REVIEW AND DISTRIBUTION, ALONG WITH PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT.

DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF WORK. IN QUESTION, ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.

THE OWNER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOILS REPORT), ON THE STUDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOILS CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE CRITERIA.

ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL OTHER AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.

PROVIDE AN APPROVED WASHER DRAIN PAN AT SECOND FLOOR ONLY THAT DRAINS TO EXTERIOR.

WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR OPENABLE AREA OF 4.0 SQ FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 22" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". GLAZING TOTAL AREA OF NOT LESS THAN 5.0 SQ FT IN THE CASE OF A GROUND WINDOW AND NOT LESS THAN 5.7 SQ FT IN THE CASE OF AN UPPER STORY WINDOW. (PER MIRC SECTION R310.1.1)

ALL HANDRAIL BALLUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALLUSTERS (PER LOCAL CODES)

PROVIDE STAIR HANDRAILS AND GUARDRAILS PER LOCAL CODES.

THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A BUILDER'S SET OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HERINAFTER REFERRED TO AS "PLANS". THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS, AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THEY ARE NOT INTENDED TO SPECIFY PARTICULAR PRODUCTS OR OTHER METHODS OF ANY SPECIFIC MATERIALS, PRODUCT OR METHOD. THE IMPLEMENTATION OF THE PLANS REQUIRES A CLIENT/ CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.

CONSTRUCTION REQUIREMENTS AND QUALITY: PROVIDE WORK OF THE SPECIFIC QUALITY WHERE QUALITY LEVEL IS NOT INDICATED. PROVIDE WORK OF QUALITY CUSTOMARY IN SIMILAR TYPES OF WORK WHERE THE PLANS AND SPECIFICATIONS, CODES, LAWS, REGULATIONS, MANUFACTURERS RECOMMENDATIONS OR INDUSTRY STANDARDS REQUIRE WORK OF HIGHER QUALITY OR PERFORMANCE. PROVIDE WORK COMPLYING WITH THOSE REQUIREMENTS AND QUALITY. WHERE TWO OR MORE QUALITY PROVISIONS OF THOSE REQUIREMENTS CONFLICT WITH THE MOST STRINGENT REQUIREMENT; WHERE REQUIREMENTS ARE DIFFERENT BUT APPARENTLY EQUAL, AND WHERE IT IS UNCERTAIN WHICH REQUIREMENT IS MOST STRINGENT, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

THE FINLEY REVERSE

FINLEY SF - 'EURO'	
Name	Area
1ST FLOOR	1034 SF
2ND FLOOR	1276 SF
Heated	2309 SF
GARAGE	414 SF
OPT-3RD CAR GARAGE	247 SF
OPT-FLUSH PORCH	40 SF
PATIO	157 SF
PORCH	78 SF
Unheated	206 SF



NORTH CAROLINA OFFICE
 1088 NORTH SALEM STREET
 SUITE 203
 APEX, NC 27502
 PHONE: (919) 320-3022

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NO.	DATE	REVISION

PROFESSIONAL SEAL:
LOT 1075 - ACC - ACADEMY

PROJECT TITLE:
THE FINLEY

CONSTRUCTION SET

CLIENTS NAME:
 MCKEE HOMES



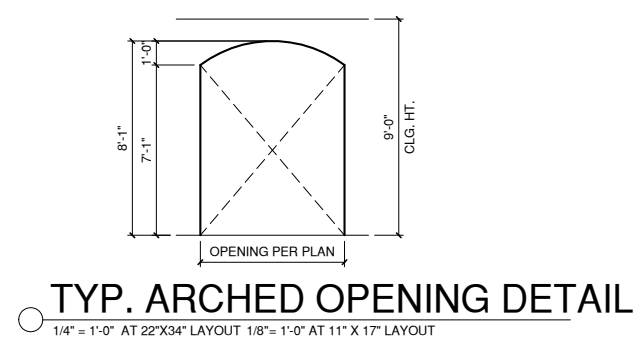
PROJECT NO:
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SHEET TITLE:
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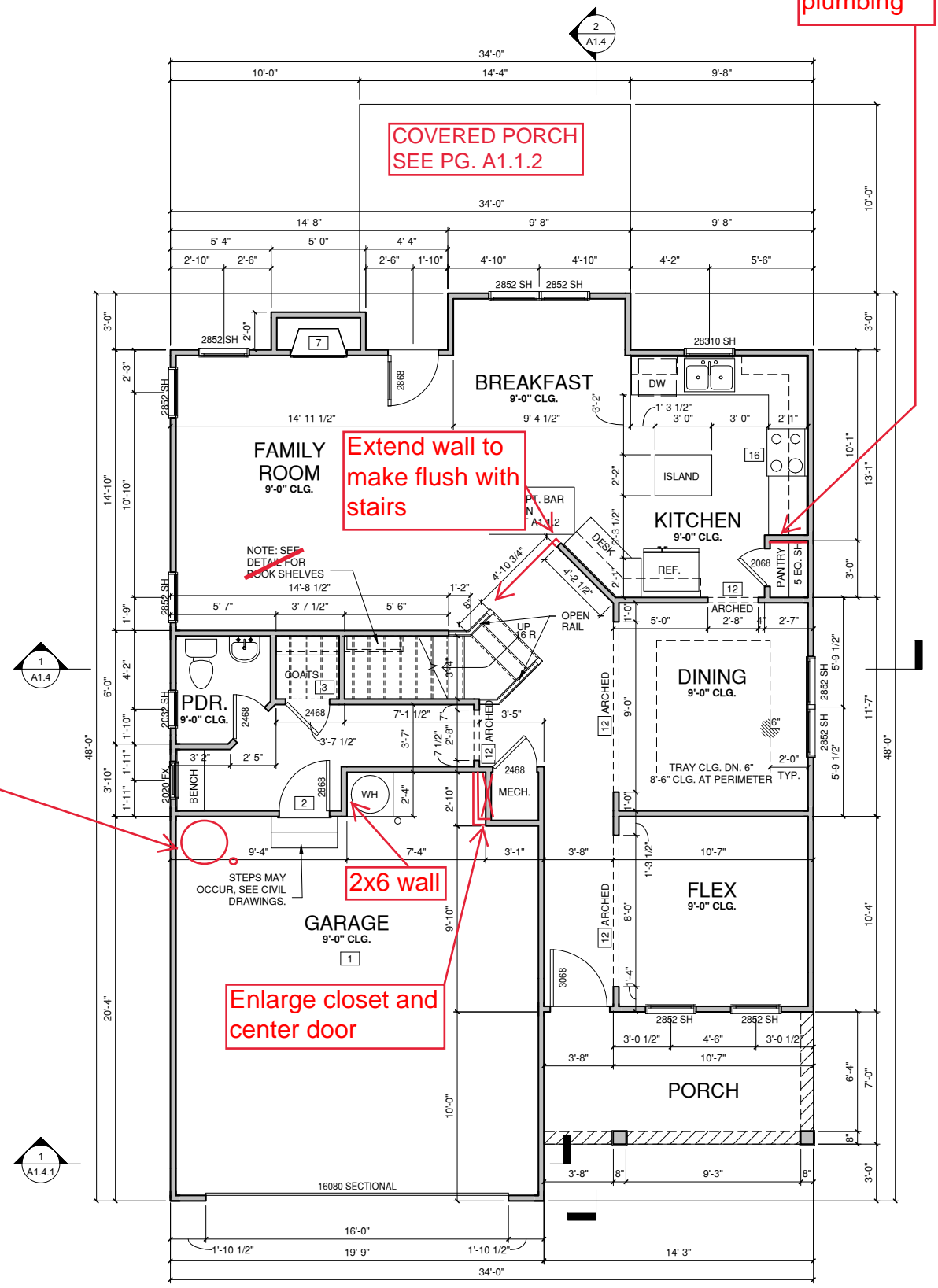
PRINT DATE:
 SEPTEMBER 28, 2016
 SHEET NO. _____

KEY VALUE	KEYNOTE TEXT
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3	BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS
7	PRE-FABRICATED METAL FIREPLACE, INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS
8	ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"x22". FIRE RATED ACCESS AS NOTED. ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES (25 1/2"x54" SIZE)
9	TEMPERED SAFETY GLASS
11	HALF WALL, HEIGHT AS NOTED
12	INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O.
14	TUB-SHOWER COMBO
16	SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS

WALL LEGEND	
	FULL HEIGHT 2X4 WOOD STUD PARTITION
	FULL HEIGHT 2X6 WOOD STUD PARTITION
	STONE VENEER
	BRICK VENEER
	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	DRYWALL OPENING HEIGHT AS NOTED ON PLAN



If gas neighborhood, relocate WH to this corner w/ bollard



FIRST FLOOR PLAN COASTAL EURO ELEVATION SEE PG. A1.1.1
 1/4" = 1'-0" AT 22"x34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



NORTH CAROLINA OFFICE
 108 B NORTH SALEM STREET
 SUITE 203
 APEX, NC 27502
 PHONE: (919) 320-3022

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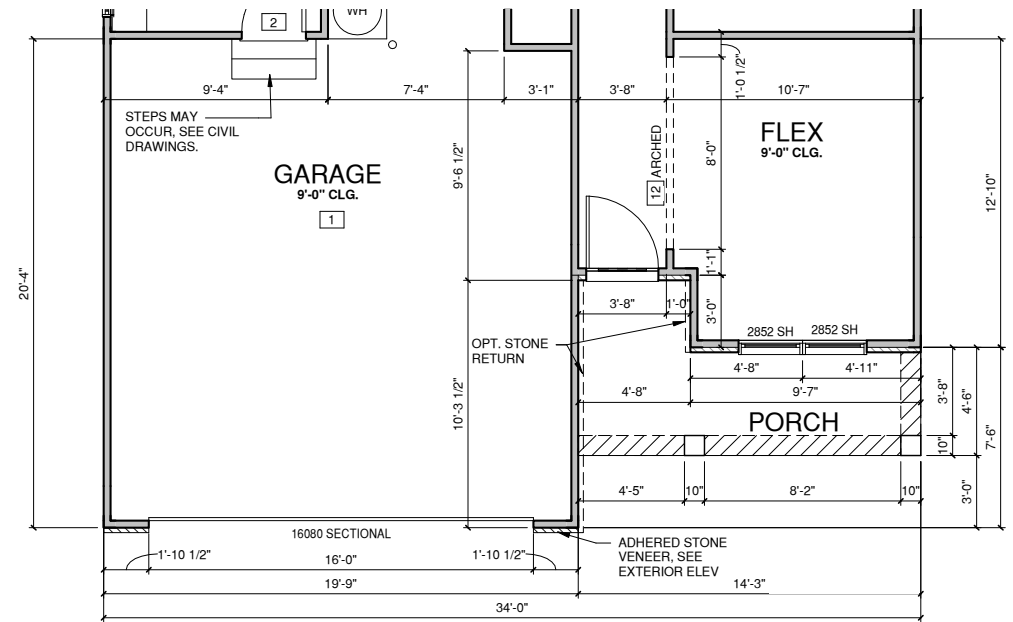
SHEET TITLE:
1ST FLOOR PLAN

PRINT DATE:
 SEPTEMBER 28, 2016
 SHEET NO:

A1.1

FLOOR PLAN KEYNOTE LEGEND	
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	DRYWALL OPENING HEIGHT AS NOTED ON PLAN



② FIRST FLOOR PLAN EURO

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



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108 B NORTH SALEM STREET
SUITE 203
APEX, NC 27502
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**1ST FLOOR
PLAN**

PRINT DATE:
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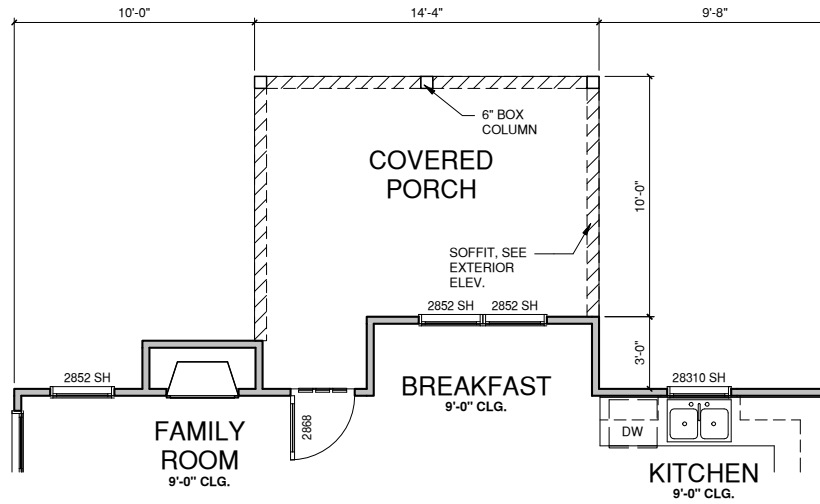
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1 OPT. COVERED PORCH
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 SUITE 203
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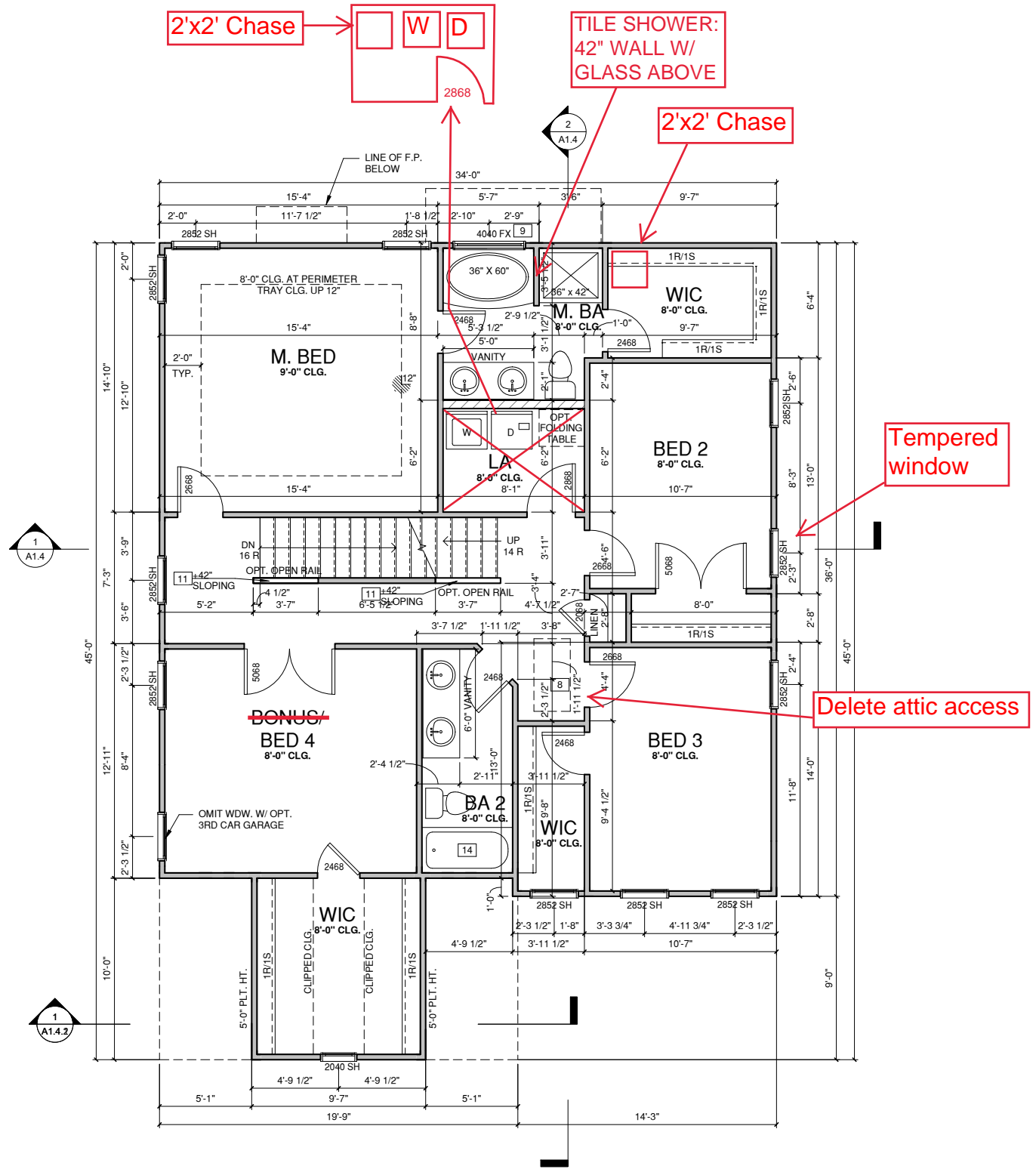
1ST FLOOR PLAN OPTIONS

PRINT DATE:
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 2016

SHEET NO:
A1.1.2

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EURO ELEVATION
 SEE PG. A1.1.1



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SHEET TITLE:

2ND FLOOR PLAN

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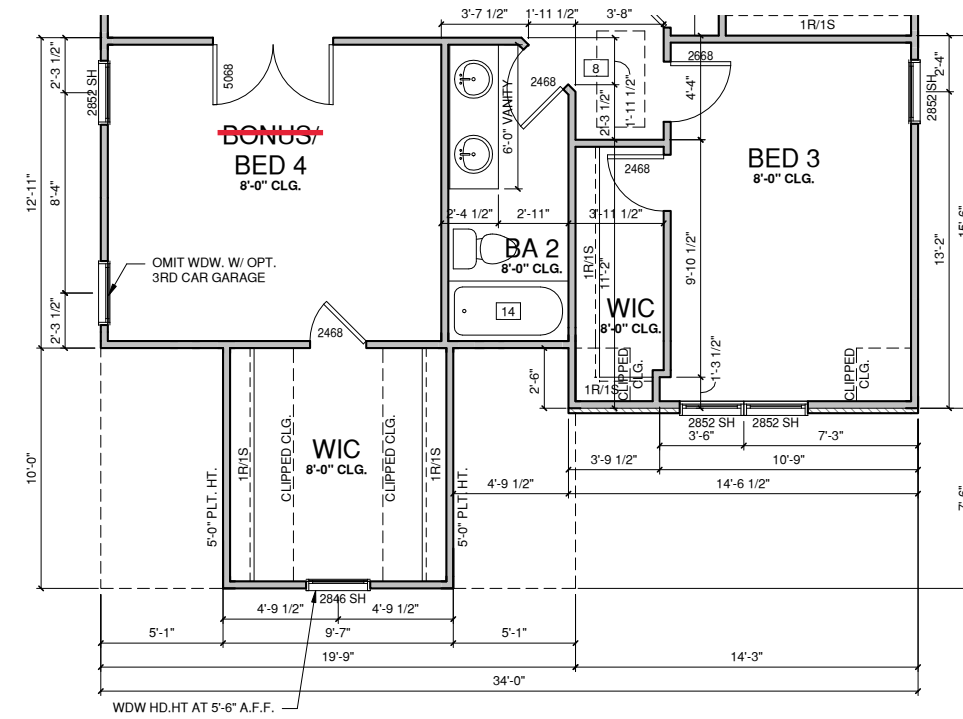
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9	TEMPERED SAFETY GLASS
11	HALF WALL, HEIGHT AS NOTED
12	INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O.
14	TUB-SHOWER COMBO
16	SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS

WALL LEGEND

STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED	



SECOND FLOOR PLAN EURO

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



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SUITE 203
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LOT 1075 - ACC - ACADEMY

PROJECT TITLE:

THE FINLEY

CONSTRUCTION SET

CLIENTS NAME:
MCKEE HOMES



PROJECT NO:
GMD14038RAL

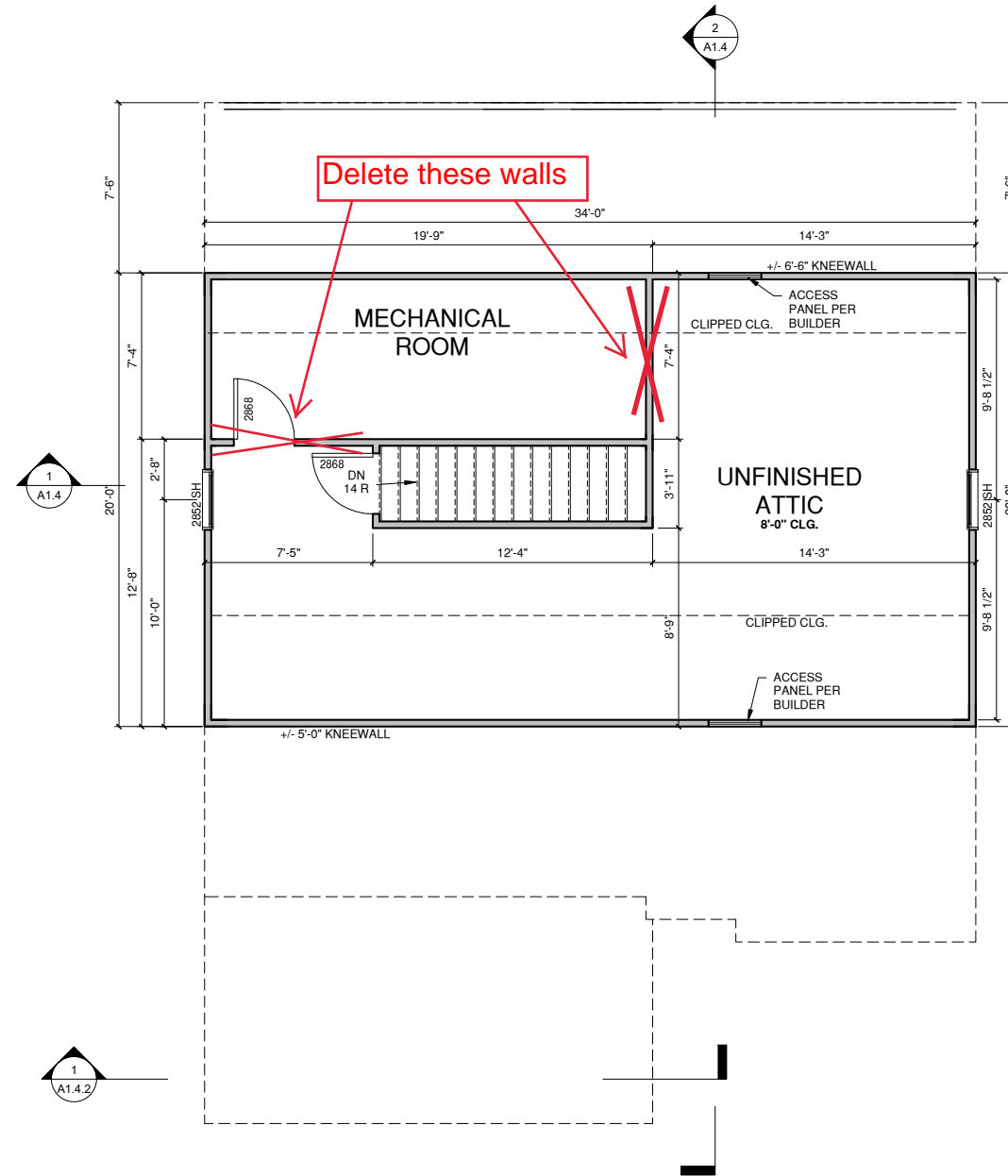
SHEET TITLE:
2ND FLOOR PLAN

PRINT DATE:
SEPTEMBER 28,
2016

SHEET NO:
A1.2.1

FLOOR PLAN KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
1	HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD, GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD
2	HOUSE TO GARAGE DOOR SEPARATION, PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR
3	BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS
7	PRE-FABRICATED METAL FIREPLACE, INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS
8	ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"X22". FIRE RATED ACCESS AS NOTED. ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES (25 1/2"X54" SIZE)
9	TEMPERED SAFETY GLASS
11	HALF WALL, HEIGHT AS NOTED
12	INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O.
14	TUB-SHOWER COMBO
16	SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS

WALL LEGEND	
	FULL HEIGHT 2X4 WOOD STUD PARTITION
	FULL HEIGHT 2X6 WOOD STUD PARTITION
	STONE VENEER
	BRICK VENEER
	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	DRYWALL OPENING HEIGHT AS NOTED ON PLAN



① THIRD FLR. WALK-UP ATTIC
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17' LAYOUT



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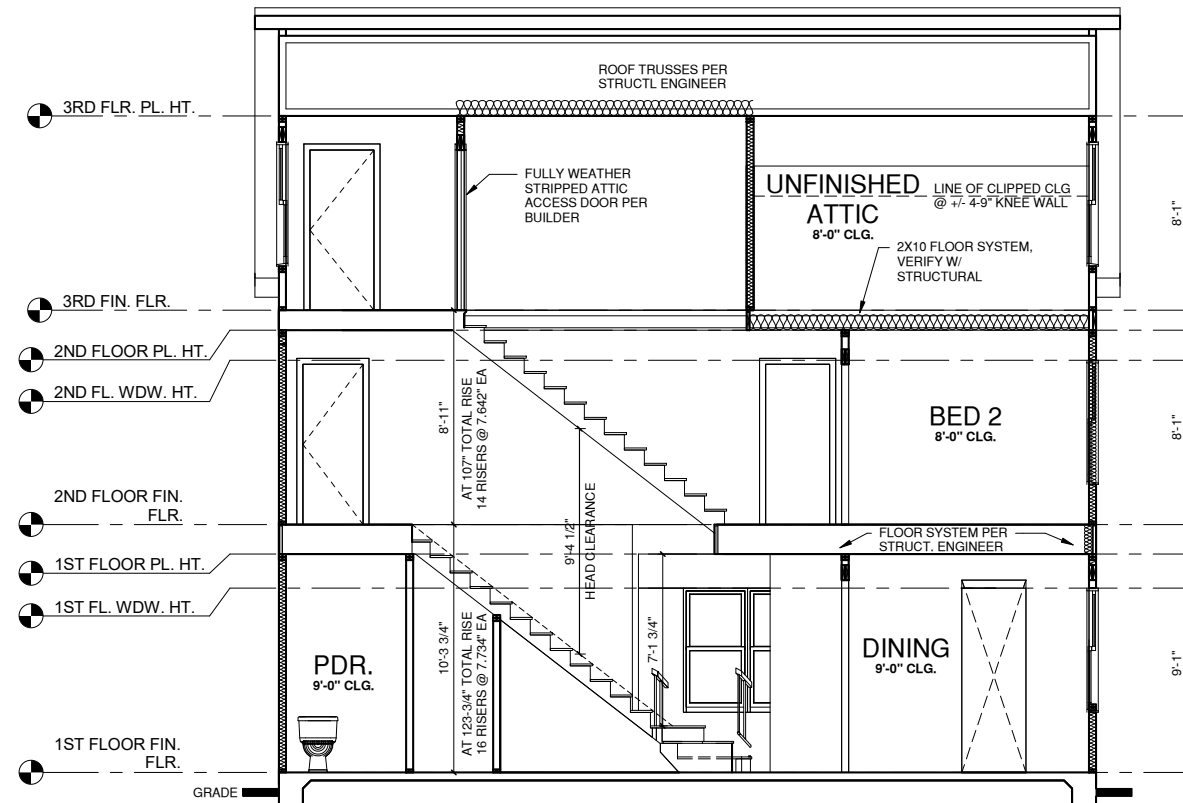


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SHEET TITLE:
3RD FLOOR PLAN

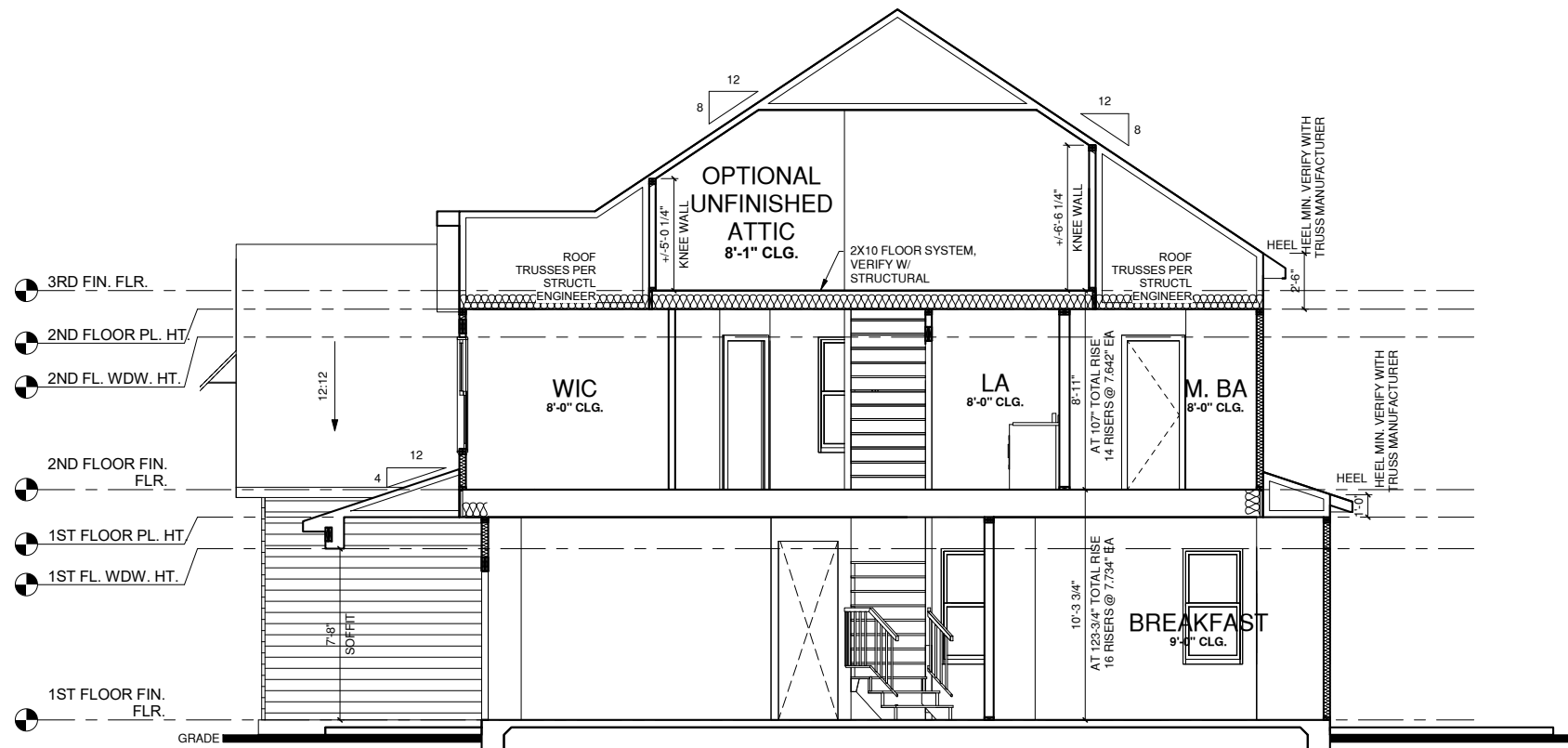
PRINT DATE:
 SEPTEMBER 28, 2016

SHEET NO:
A1.3



BUILDING SECTION 1

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



BUILDING SECTION 2

2 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

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SHEET TITLE:
BUILDING SECTIONS

PRINT DATE:
SEPTEMBER 28,
2016

SHEET NO:
A1.4.1



BUILDING SECTION 3 EURO

③ 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

ELEVATION KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
E1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
E5	ROWLOCK COURSE
E9	CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS
E12	FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
E13	FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
E15	FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C. (VINYL BOARD AND BATTEN SIDING)
E16	5/4X FIBER CEMENT TRIM OR 5/4X WOOD TRIM W/ VINYL CAP OR COIL STOCK, SIZE AS NOTED (SIZES SHOWN ARE NOMINAL WIDTHS)
E17	FALSE WOOD SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED
E18	1X6 FIBER CEMENT BOARD FASCIA OVER 2X4 SUB-FASCIA OR 2X6 FASCIA W/ VINYL CAP OR COIL STOCK

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

NOTES:

-GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.

-WINDOW HEAD HEIGHTS:
 1ST FLOOR = 6'-0" U.N.O. ON ELEVATIONS
 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS
 3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.

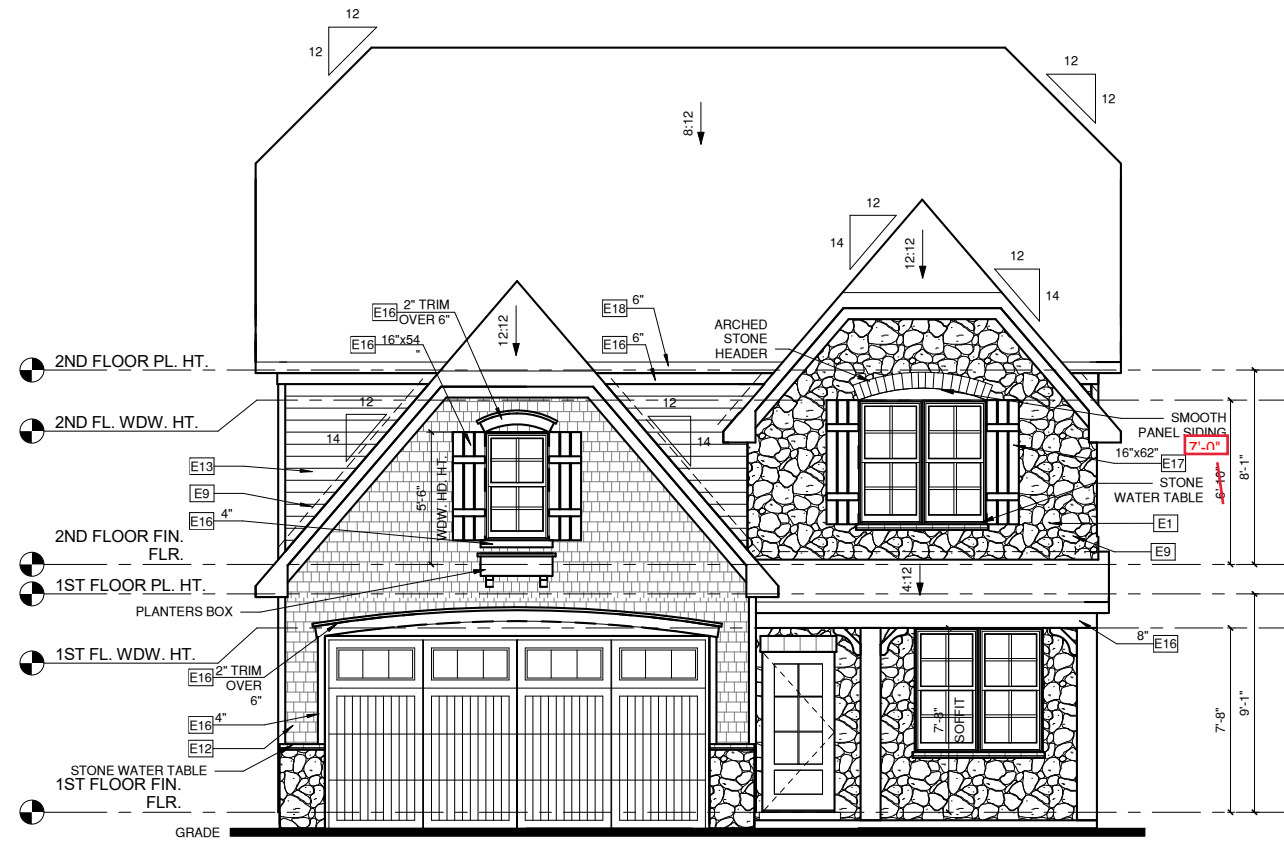
-ROOFING: PITCHED SHINGLES PER BUILDER.

-WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS

-ENTRY DOOR: AS SELECTED BY BUILDER

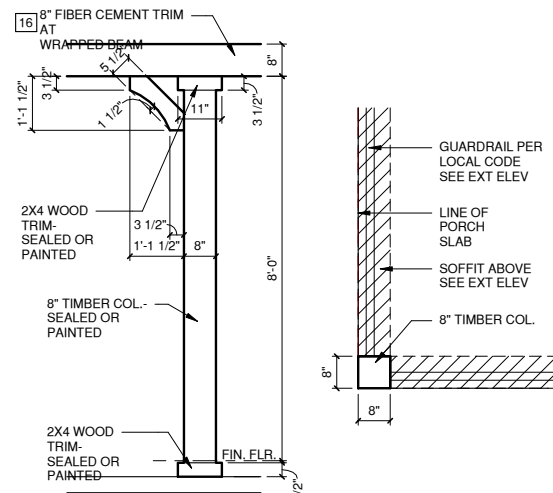
-CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.

-ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.



FRONT ELEVATION

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



COLUMN DETAIL

1/2" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



REAR ELEVATION

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

COVERED PORCH
SEE PG. A1.8.2



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PROJECT NO:
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SHEET TITLE:

**EURO
EXTERIOR
ELEVATIONS**

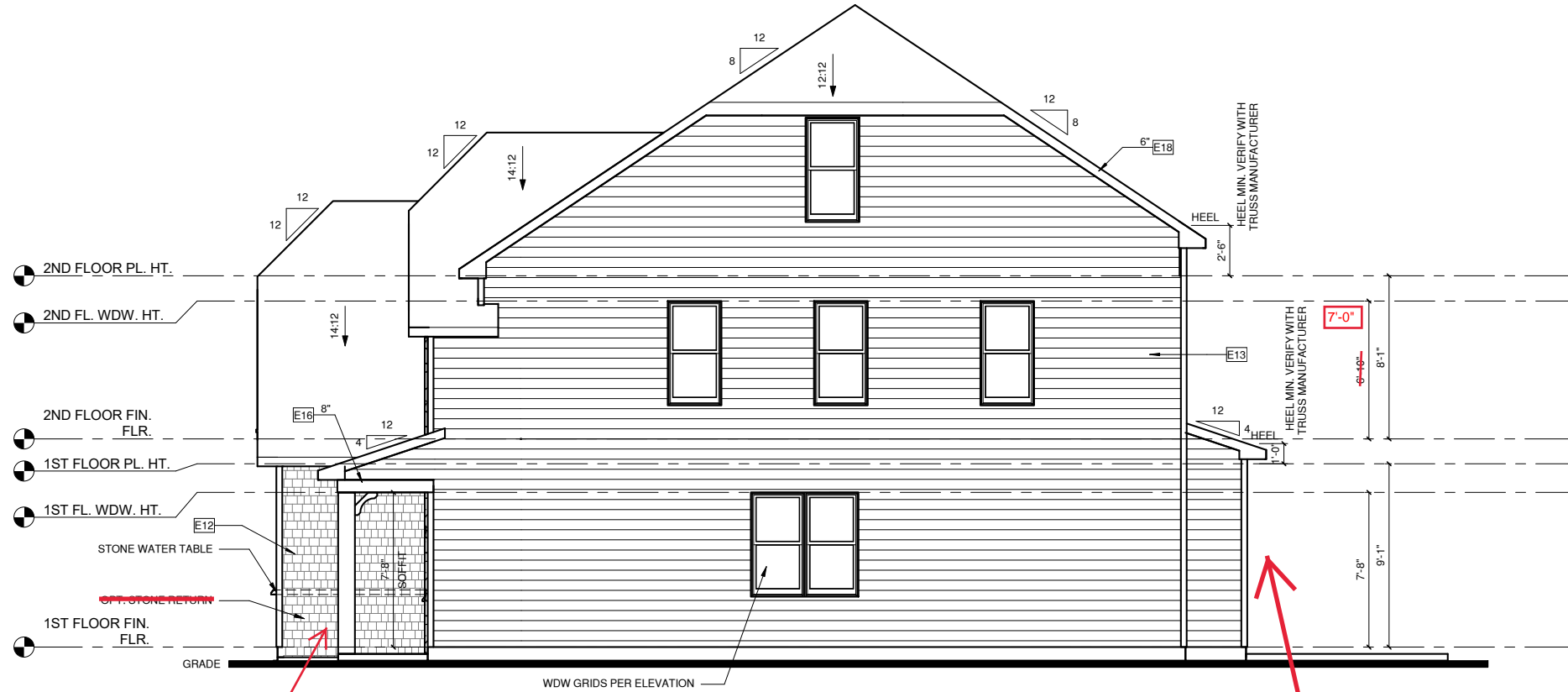
PRINT DATE:
SEPTEMBER 28,
2016
SHEET NO:

A1.8.0

ELEVATION KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
E1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
E5	ROWLOCK COURSE
E9	CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS
E12	FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
E13	FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
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E18	1X6 FIBER CEMENT BOARD FASCIA OVER 2X4 SUB-FASCIA OR 2X6 FASCIA W/ VINYL CAP OR COIL STOCK

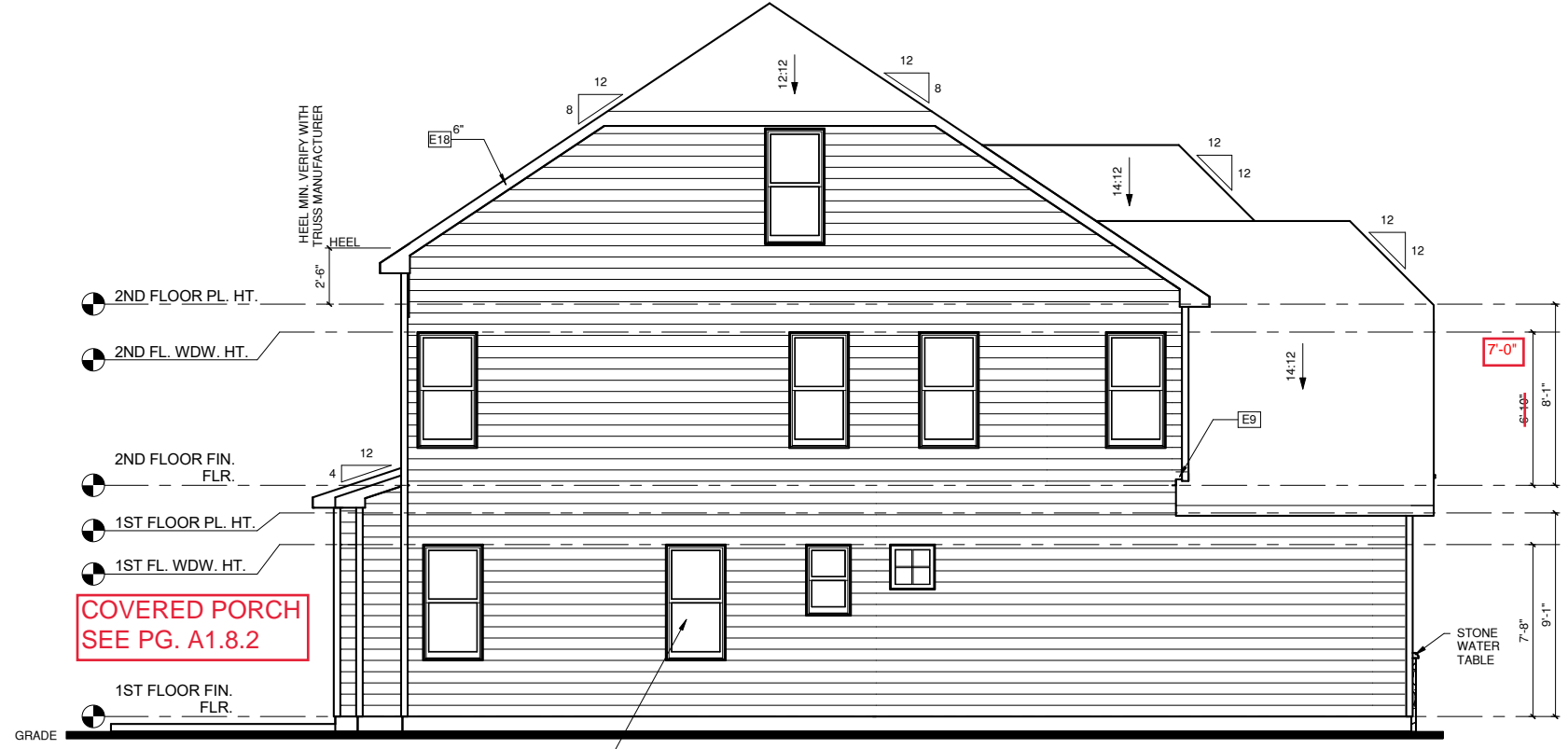
ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

- NOTES:**
- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
 - WINDOW HEAD HEIGHTS:
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS
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 - ROOFING: PITCHED SHINGLES PER BUILDER.
 - WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
 - ENTRY DOOR: AS SELECTED BY BUILDER
 - CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
 - ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.



NO STONE RETURN

COVERED PORCH SEE PG. A1.8.2



COVERED PORCH SEE PG. A1.8.2



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CLIENTS NAME:
MCKEE HOMES

PROJECT NO:
GMD14038RAL
SHEET TITLE:

EURO EXTERIOR ELEVATIONS

PRINT DATE:
SEPTEMBER 28, 2016
SHEET NO:
A1.8.1

KEY VALUE	KEYNOTE TEXT
E1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
E5	ROWLOCK COURSE
E9	CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS
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E13	FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
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 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS
 3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.

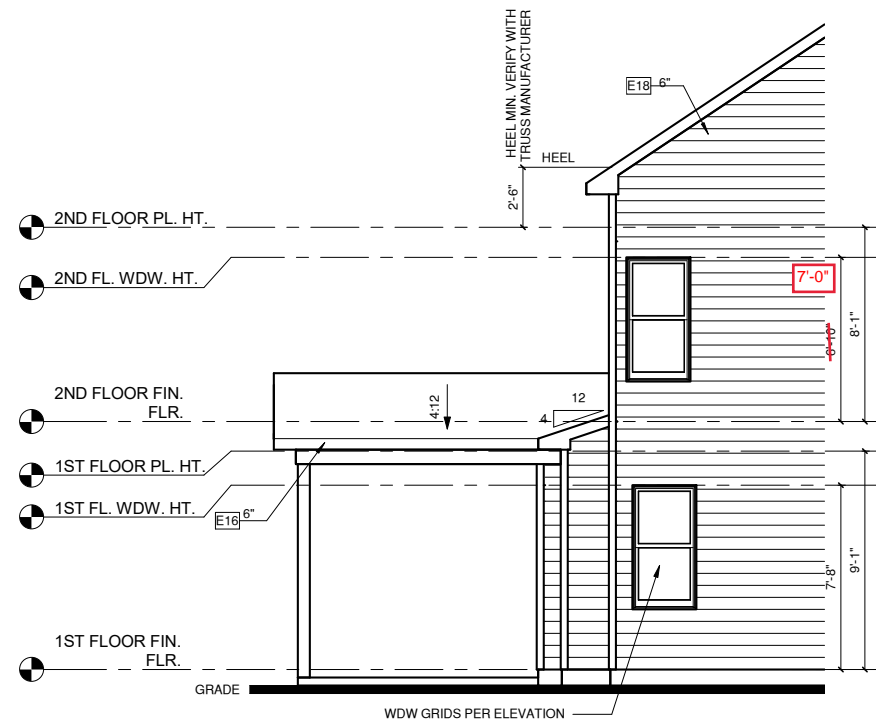
-ROOFING: PITCHED SHINGLES PER BUILDER.

-WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS

-ENTRY DOOR: AS SELECTED BY BUILDER

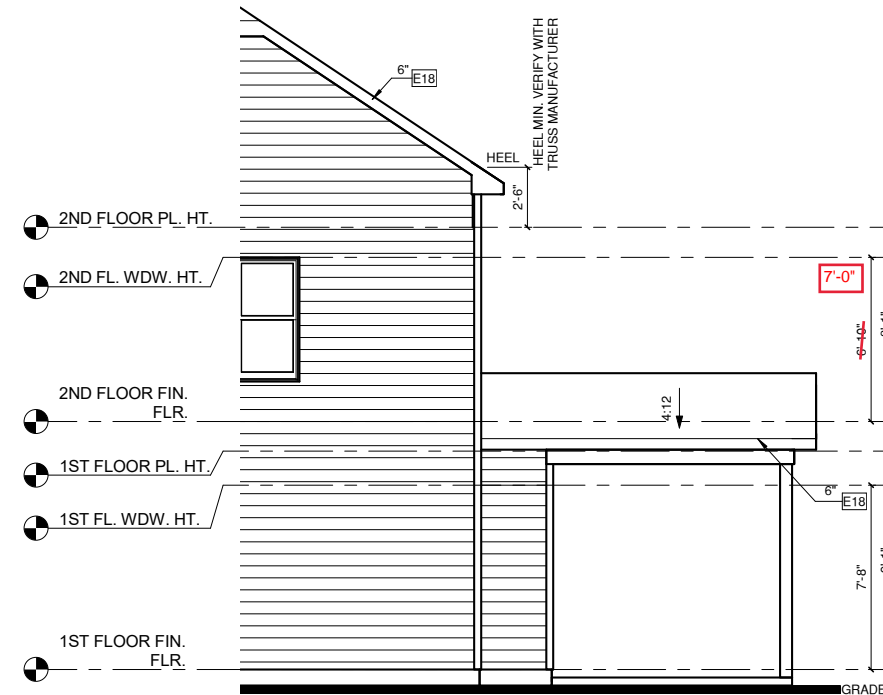
-CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.

-ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.



LEFT ELEVATION W/ OPT. COVERED PORCH

1 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



RIGHT ELEVATION W/ OPT. COVERED PORCH

3 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



RIGHT ELEVATION W/ OPT. COVERED PORCH

2 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



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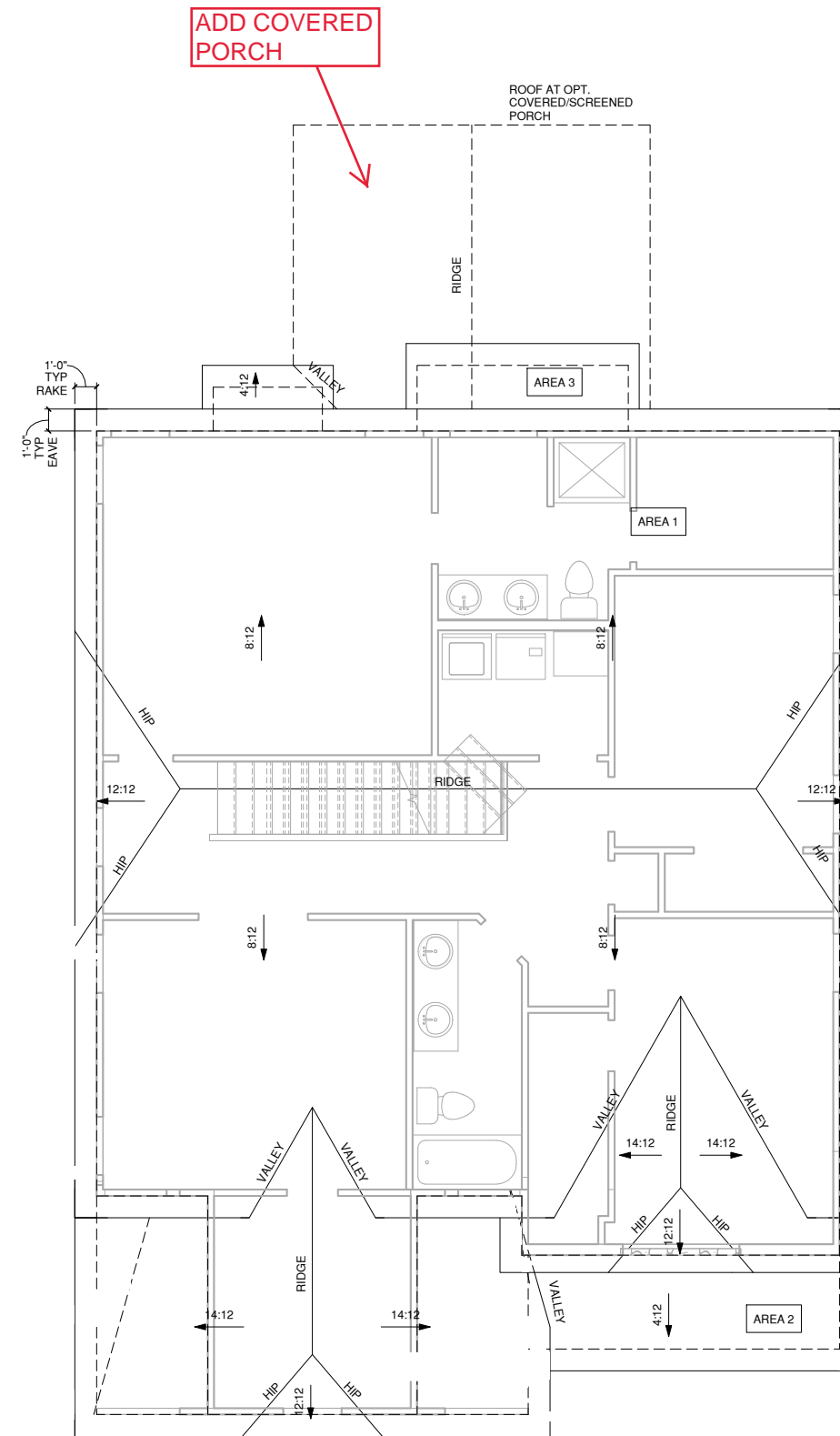
EURO EXTERIOR ELEVATION OPTIONS

PRINT DATE:
 SEPTEMBER 28, 2016
 SHEET NO:

A1.8.2

<p>1/150 RATIO</p> <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>	<p>1/300 RATIO</p> <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>
<p>NOTES:</p> <ul style="list-style-type: none"> □ ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY. □ DASHED LINES INDICATE WALL BELOW. □ LOCATE GUTTER AND DOWNSPOUTS PER BUILDER. □ PITCHED ROOFS AS NOTED. 	
<ul style="list-style-type: none"> □ TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWING TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS. □ ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE. 	

ROOF VENT CALC ELEV 'D'			
Name	Area	1/300 RATIO FOR HIGH & LOW	1/150 RATIO FOR HIGH & LOW
AREA 3	29 SF	7 in ²	14 in ²
AREA 1	1423 SF	342 in ²	683 in ²
AREA 2	64 SF	15 in ²	31 in ²
AREA 4	196 SF	47 in ²	94 in ²
AREA 5	247 SF	59 in ²	118 in ²



1 ROOF PLAN EURO
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



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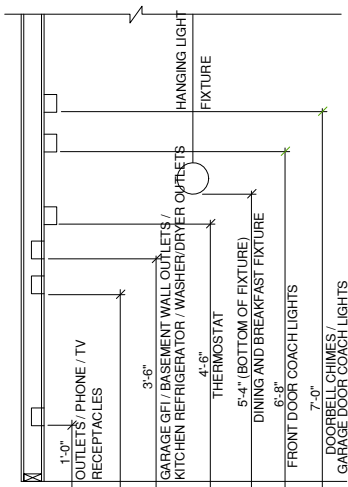
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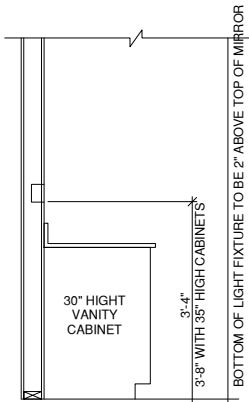
EURO ROOF PLAN

PRINT DATE:
 SEPTEMBER 28,
 2016

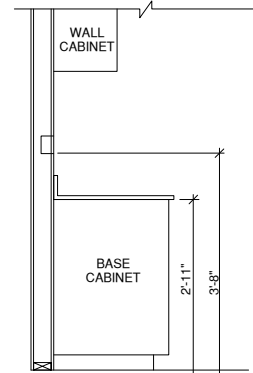
SHEET NO:
A1.8.5



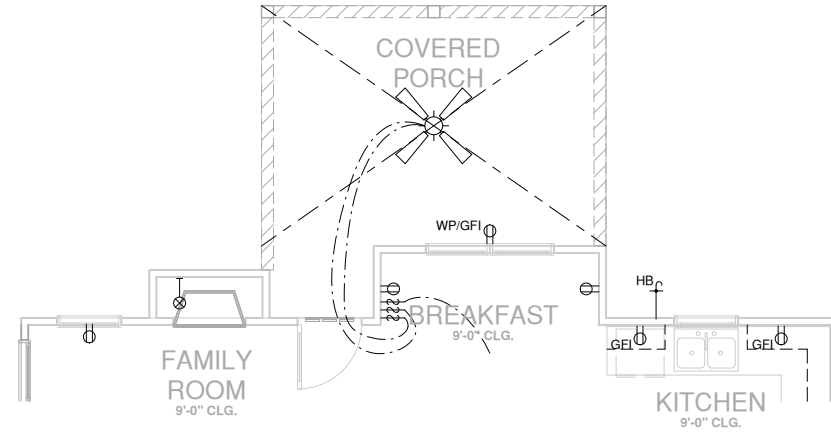
STANDARD ELECTRICAL BOX HEIGHTS



SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS



SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS

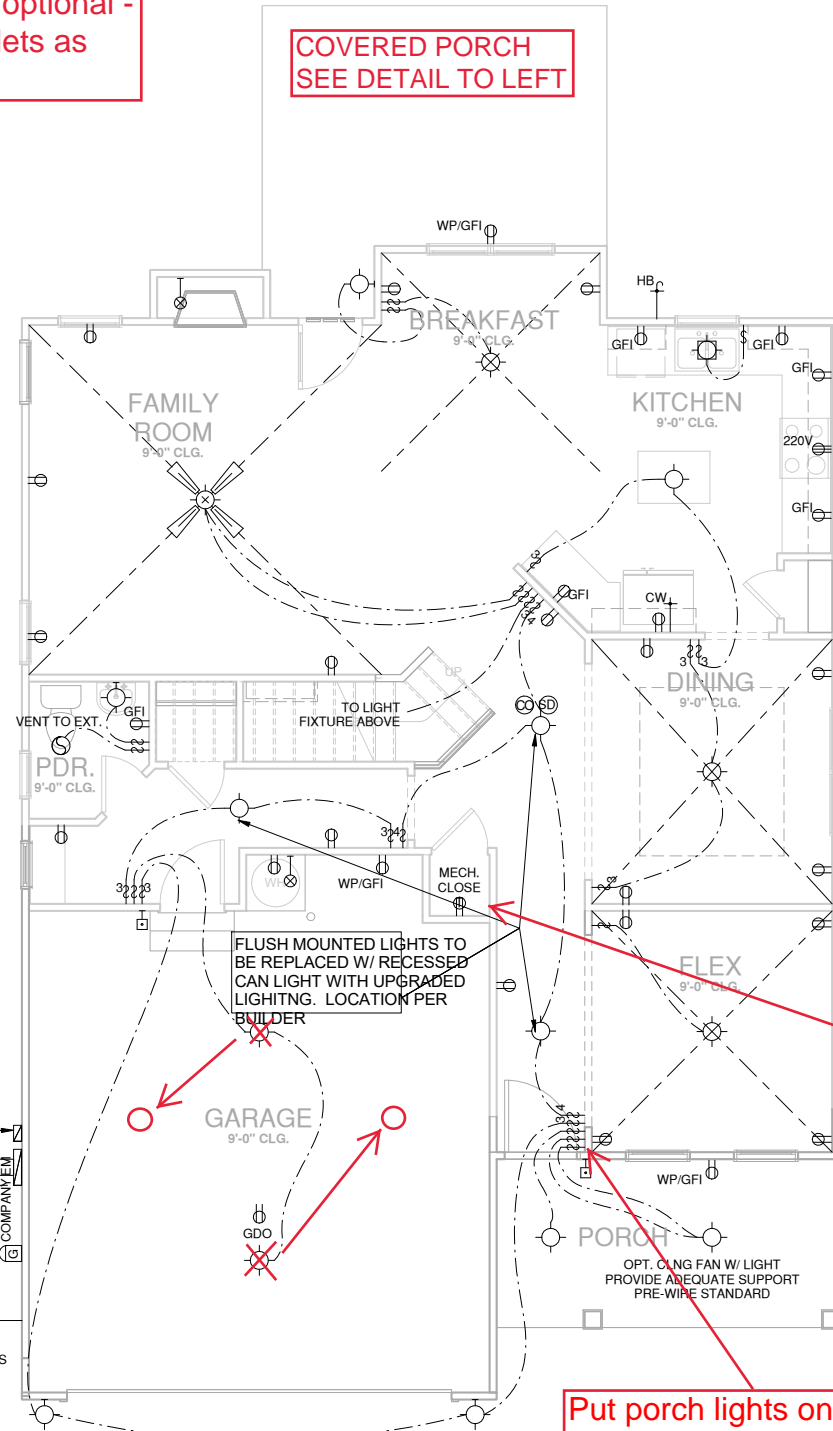


OPT. COVERED PORCH UTILITY PLAN

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

Only one phone line included in base house

Undercabinet lighting is optional - install outlets as standard



COVERED PORCH SEE DETAIL TO LEFT

Relocate outlet to side wall

Put porch lights on one switch, Eliminate one switch

NOTES:

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS
- FAN/LIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAINING TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATON DUE TO FIELD CONDITIONS.
- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

LEGEND:

⊕	DUPLEX OUTLET	⊙	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
⊕ WP/GFI	WEATHERPROOF GFI DUPLEX OUTLET	⊙	WALL MOUNTED INCANDESCENT LIGHT FIXTURE
⊕ GFI	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET	⊙	RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF
⊕	HALF-SWITCHED DUPLEX OUTLET	⊙	EXHAUST FAN (VENT TO EXTERIOR)
⊕ 220V	220 VOLT OUTLET	⊙	EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)
⊕	REINFORCED JUNCTION BOX	⊙	FLUORESCENT LIGHT FIXTURE
⊕	WALL SWITCH	⊙	TECH HUB SYSTEM
⊕ 3	THREE-WAY SWITCH	⊙	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
⊕ 4	FOUR-WAY SWITCH	⊙	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕ CH	CHIMES	⊕	GAS SUPPLY WITH VALVE
⊕	PUSHBUTTON SWITCH	⊕	HOSE BIBB
⊕	110V SMOKE DETECTOR W/ BATTERY BACKUP	⊕	1/4" WATER STUB OUT
⊕	CO2 DETECTOR	⊕	WALL SCONCE
⊕	THERMOSTAT		
⊕ PH	TELEPHONE		
⊕ TV	TELEVISION		
⊕	ELECTRIC METER		
⊕	ELECTRIC PANEL		
⊕	DISCONNECT SWITCH		



www.gmddesigngroup.com

NORTH CAROLINA OFFICE
108 B NORTH SALEM STREET
SUITE 203
APEX, NC 27502
PHONE: (919) 320-3022

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NO: DATE: REVISION:

PROFESSIONAL SEAL:

LOT 1075 - ACC - ACADEMY

PROJECT TITLE:

THE FINLEY

CONSTRUCTION SET

CLIENTS NAME:
MCKEE HOMES



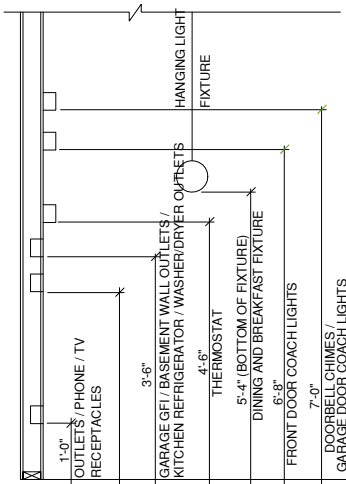
PROJECT NO:
GMD14038RAL

SHEET TITLE:

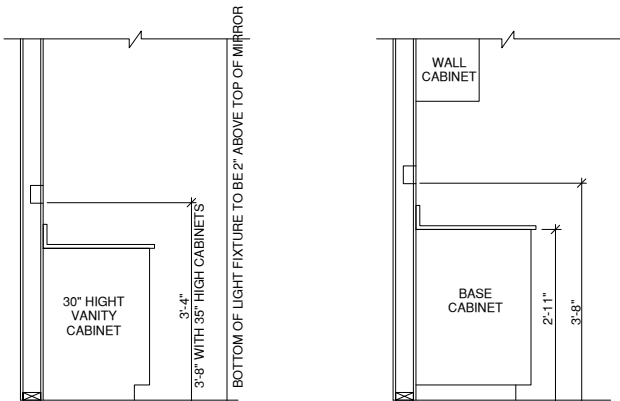
1ST FLOOR UTILITY PLAN

PRINT DATE:
SEPTEMBER 28, 2016

SHEET NO:
E1.0



STANDARD ELECTRICAL BOX HEIGHTS

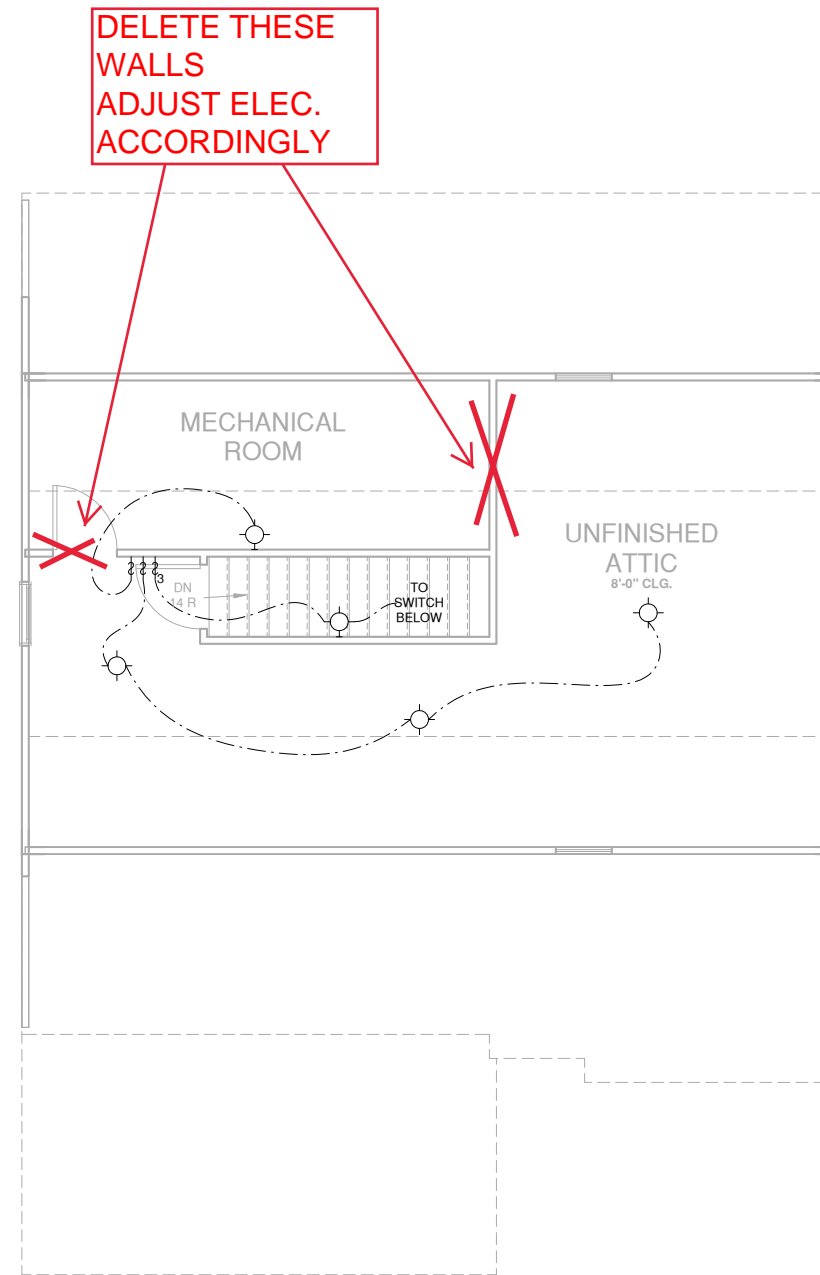


SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS **SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS**

- NOTES:**
- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
 - PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 - ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS
 - FAN/LIGHTS IN WET/DAMP LOCATIONS SHALL BE LABLED "SUITABLE FOR WET OR DAMP LOCATIONS."
 - ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
 - PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 - PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 - ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
 - HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
 - ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAINING TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATON DUE TO FIELD CONDITIONS.
 - PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

LEGEND:

⊕	DUPLEX OUTLET	⊙	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
⊕WP/GFI	WEATHERPROOF GFI DUPLEX OUTLET	⊙	WALL MOUNTED INCANDESCENT LIGHT FIXTURE
⊕GFI	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET	⊙	RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF
⊕	HALF-SWITCHED DUPLEX OUTLET	⊙	EXHAUST FAN (VENT TO EXTERIOR)
⊕ 220V	220 VOLT OUTLET	⊙	EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)
⊕	REINFORCED JUNCTION BOX	⊙	FLUORESCENT LIGHT FIXTURE
⊕	WALL SWITCH	⊙	TECH HUB SYSTEM
⊕3	THREE-WAY SWITCH	⊙	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
⊕4	FOUR-WAY SWITCH	⊙	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕CH	CHIMES	⊙	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕	PUSHBUTTON SWITCH	⊙	GAS SUPPLY WITH VALVE
⊕	110V SMOKE DETECTOR W/ BATTERY BACKUP	⊙	HOSE BIBB
⊕	CO2 DETECTOR	⊙	1/4" WATER STUB OUT
⊕	THERMOSTAT	⊙	WALL SCONCE
⊕PH	TELEPHONE		
⊕TV	TELEVISION		
⊕	ELECTRIC METER		
⊕	ELECTRIC PANEL		
⊕	DISCONNECT SWITCH		



THIRD FLR. UTILITY PLAN
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

LOT 1075 - ACC - ACADEMY

PROJECT TITLE:

THE FINLEY

CONSTRUCTION SET

CLIENTS NAME:
 MCKEE HOMES



PROJECT NO:
 GMD14038RAL

SHEET TITLE:

3RD FLOOR UTILITY PLAN

PRINT DATE:
 SEPTEMBER 28, 2016

SHEET NO:

E3.0

FOUNDATION NOTES:

- FOUNDATIONS TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 4 OF THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE WITH ALL LOCAL AMENDMENTS.
- STRUCTURAL CONCRETE TO BE $F_c = 3000$ PSI, PREPARED AND PLACED IN ACCORDANCE WITH ACI STANDARD 318.
- FOOTINGS TO BE PLACED ON UNDISTURBED EARTH BEARING A MINIMUM OF 12" BELOW ADJACENT FINISHED GRADE, OR AS OTHERWISE DIRECTED BY THE CODE ENFORCEMENT OFFICIAL.
- FOOTING SIZES BASED ON A PRESUMPTIVE SOIL BEARING CAPACITY OF 1000 PSF. CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE SUITABILITY OF THE SITE SOIL CONDITIONS AT THE TIME OF CONSTRUCTION.
- FOOTINGS AND PIERS SHALL BE CENTERED UNDER THEIR RESPECTIVE ELEMENTS, PROVIDE 2" MINIMUM FOOTING PROJECTION FROM THE FACE OF MASONRY.
- MAXIMUM DEPTH OF UNBALANCED FILL AGAINST MASONRY WALLS TO BE AS SPECIFIED IN SECTION R404.1 OF THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.
- FILASTERS TO BE BONDED TO PERIMETER FOUNDATION WALL.
- PROVIDE FOUNDATION WATERPROOFING, AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS.
- PROVIDED PERIMETER INSULATION FOR ALL FOUNDATIONS PER 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.
- CORBEL FOUNDATION WALL AS REQUIRED TO ACCOMMODATE BRICK VENEERS.
- CRAWL SPACE TO BE GRADED LEVEL, AND CLEARED OF ALL DEBRIS.
- FOUNDATION ANCHORAGE SHALL BE A MIN. OF 1/2" DIA. ANCHOR BOLTS AND SHALL EXTEND A MIN. OF 1" INTO MASONRY OR CONCRETE. BOLTS SHALL BE 6'-0" O.C. AND WITH IN 12" OF ALL PLATE SPLICES, MIN. (2) ANCHOR BOLTS PER PLATE SECTION.

TS = TIMBER STRAND
 SC = STUD COLUMN
 EE = EACH END
 TJ = TRIPLE JOIST
 CL = CENTER LINE

DJ = DOUBLE JOIST
 DR = DOUBLE RAFTER
 TR = TRIPLE RAFTER
 OC = ON CENTER
 FL = POINT LOAD

- ALL PIERS TO BE 16"x16" MASONRY AND ALL FILASTERS TO BE 8"x16" MASONRY, TYPICAL. (UNO)
- WALL FOOTINGS TO BE CONTINUOUS CONCRETE, SIZES PER STRUCTURAL PLAN.
- A FOUNDATION EXCAVATION OBSERVATION SHOULD BE CONDUCTED BY A PROFESSIONAL GEOTECHNICAL ENGINEER, OR HIS QUALIFIED REPRESENTATIVE. IF ISOLATED AREAS OF YIELDING MATERIALS AND/OR POTENTIALLY EXPANSIVE SOILS ARE OBSERVED IN THE FOOTING EXCAVATIONS AT THE TIME OF CONSTRUCTION, SUMMIT ENGINEERING, LABORATORY & TESTING, P.C. MUST BE PROVIDED THE OPPORTUNITY TO REVIEW THE FOOTING DESIGN PRIOR TO CONCRETE PLACEMENT.
- ALL FOOTINGS & SLABS ARE TO BEAR ON UNDISTURBED SOIL OR 95% COMPACTED FILL, VERIFIED BY ENGINEER OR CODE OFFICIAL.

REFER TO BRACED WALL PLAN FOR PANEL LOCATIONS AND ANY REQUIRED HOLDINGS. ADDITIONAL INFORMATION PER SECTION R602.10.8 AND FIGURE R602.10.1 OF THE 2018 NCR. C.

NOTE: ALL EXTERIOR FOUNDATION DIMENSIONS ARE TO FRAMING AND NOT BRICK VENEER, UNO

REINFORCE GARAGE PORTAL WALLS PER FIGURE R602.10.9 OF THE 2018 NCR. C.

BEAM POCKETS MAY BE SUBSTITUTED FOR MASONRY FILASTERS AT GIRDER ENDS. BEAM POCKETS SHALL HAVE A MINIMUM 4" SOLID MASONRY BEARING.

NOTE: REDUCE JOIST SPACING UNDER TILE FLOORS, GRANITE COUNTERTOPS AND/OR ISLANDS.

18"x24" MIN. CRAWL SPACE ACCESS DOOR TO BE LOCATED IN FIELD PER BUILDER. PROVIDE MIN. (2) 2"x10" HEADER OVER DOOR w/ MIN. 4" BEARING EACH END. AVOID SHOWN POINT LOADS.

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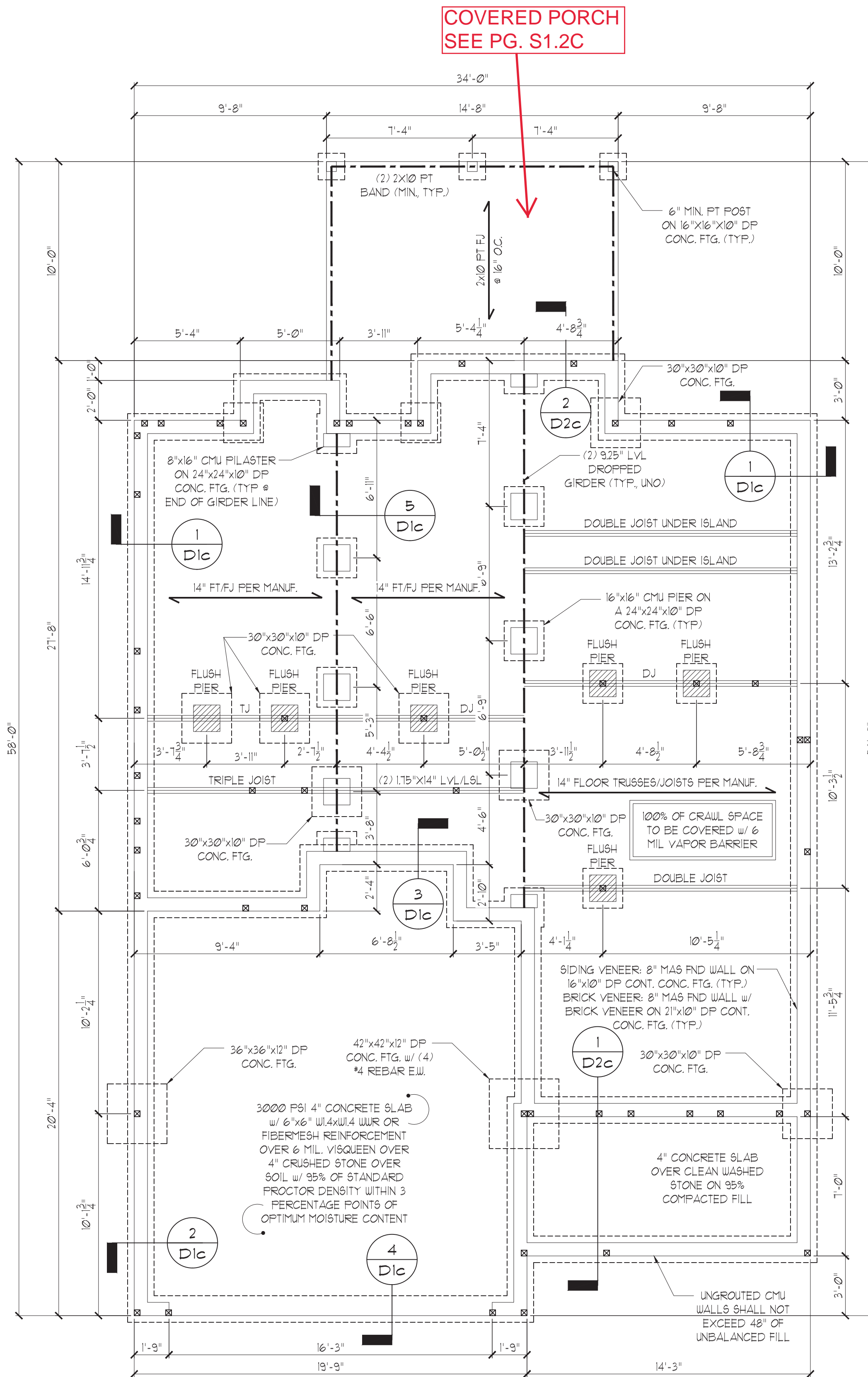
STRUCTURAL MEMBERS ONLY

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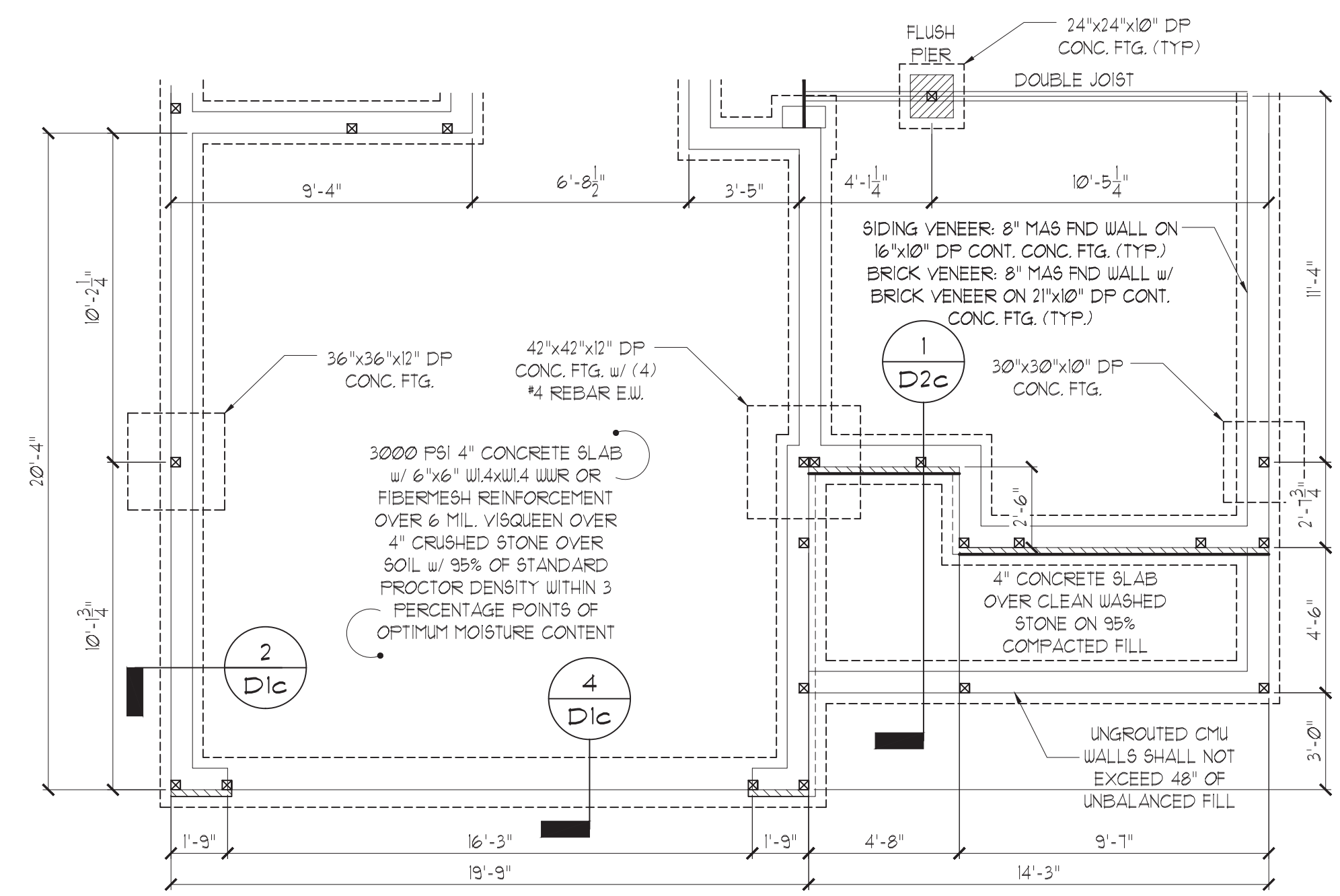
STRUCTURAL ANALYSIS BASED ON 2018 NCR. C.

CRAWL SPACE FOUNDATION PLAN

SCALE: 1/4"=1'-0" ON 22'x34' OR 1/8"=1'-0" ON 11'x11'



**EURO ELEVATION
SEE PG. S1.1C**



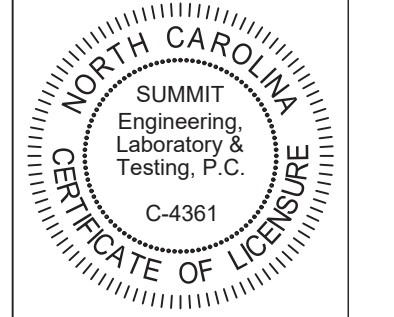
EURO

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STRUCTURAL ANALYSIS BASED ON 2018 NCR. C.

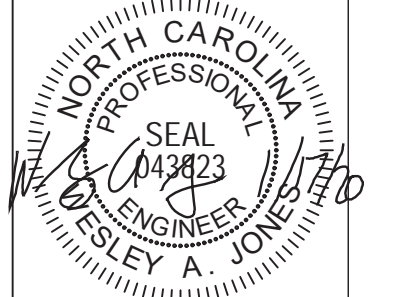
CRAWL SPACE FOUNDATION PLAN

SCALE: 1/4"=1'-0" ON 22"x34" OR 1/8"=1'-0" ON 11"x17"



CLIENT:
 McKee Homes
 109 Hqs. Dr., Suite 201
 Fayetteville, NC 28301

PROJECT:
 Finley I - LH
 Crawl Space Foundation



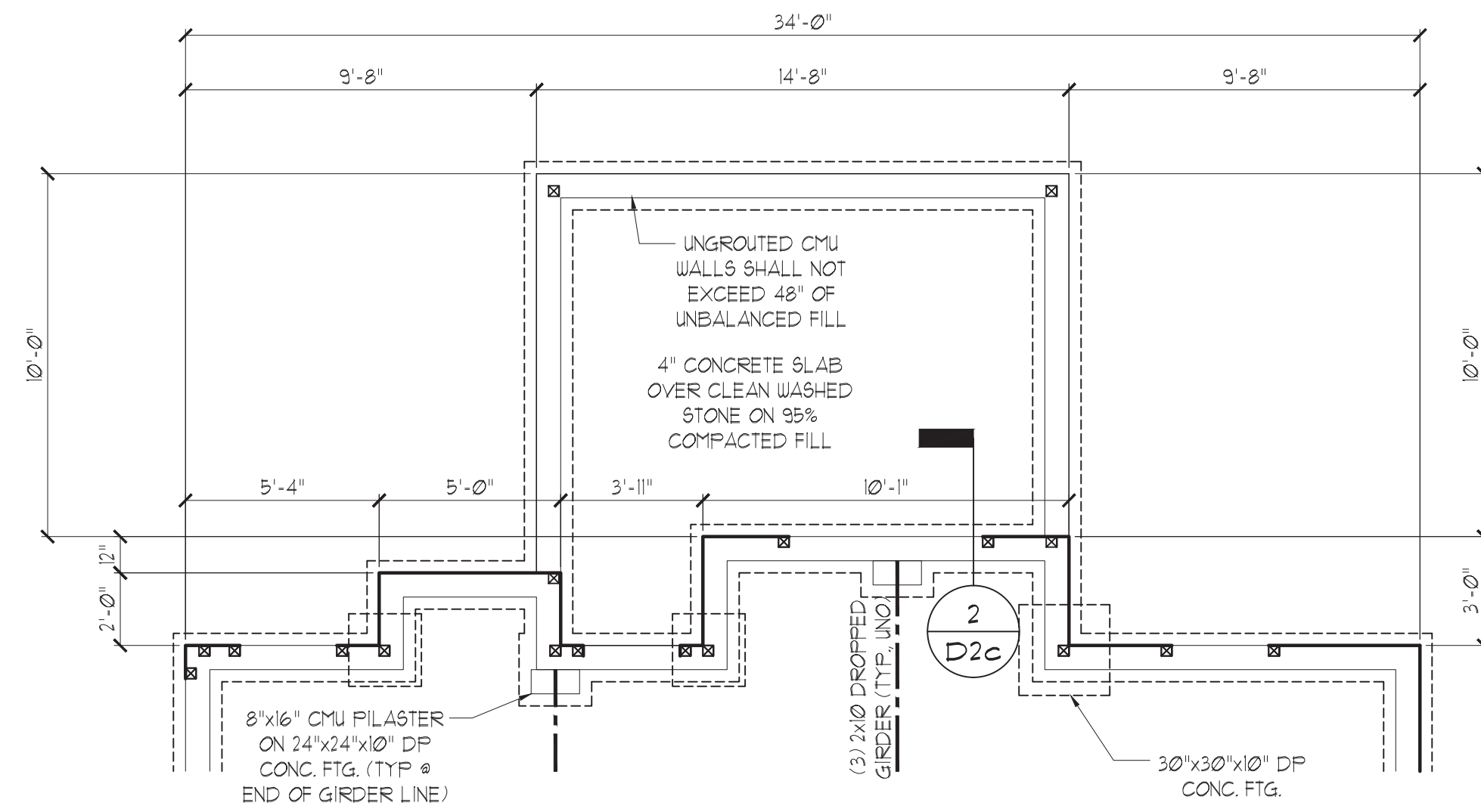
STRUCTURAL MEMBERS ONLY

DRAWING
 DATE: 01/17/2020
 SCALE: 22x34 1/4"=1'-0" / 11x17 1/8"=1'-0"
 PROJECT #: 26363
 DRAWN BY: EPB
 CHECKED BY: HAJ

ORIGINAL INFORMATION
 PROJECT # DATE
 26363 05/28/2018

REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

SHEET
 51.c



OPT. COVERED PORCH

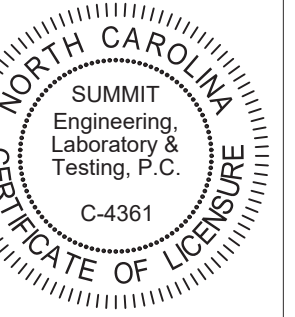
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STRUCTURAL ANALYSIS BASED ON 2018 NCR. C.

CRAWL SPACE FOUNDATION PLAN

SCALE: 1/4"=1'-0" ON 22"x34" OR 1/8"=1'-0" ON 11"x17"



CLIENT:
McKee Homes
109 Hsu St, Suite 301
Fayetteville, NC 28301

PROJECT:
Finley 1 - LH
Crawl Space Foundation



STRUCTURAL MEMBERS ONLY

DRAWING
DATE: 01/17/2020
SCALE: 22/34 1/4"=1'-0"
11/17 1/8"=1'-0"
PROJECT #: 16363
DRAWN BY: EPB
CHECKED BY: HAJ

ORIGINAL INFORMATION
PROJECT # DATE
1640 05/28/2020

REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

SHEET

S12c

GENERAL STRUCTURAL NOTES:

- CONSTRUCTION SHALL CONFORM TO 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE WITH ALL LOCAL AMENDMENTS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS. CONTRACTOR SHALL COMPLY WITH THE CONTENTS OF THE DRAWING FOR THIS SPECIFIC PROJECT. ENGINEER IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THIS PLAN.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY BRACING REQUIRED TO RESIST ALL FORCES ENCOUNTERED DURING ERECTION. THE FOLLOWING DESIGN LOADS ARE USED:

ROOF LOAD	20 PSF LL	20 PSF DL
FLOOR LOAD	40 PSF LL	15 PSF DL
ATTIC LOAD	20 PSF LL	10 PSF DL
EXTERIOR BALCONY	40 PSF LL	10 PSF DL
WIND LOAD	100 MPH	

- PROPERTIES USED IN THE DESIGN ARE AS FOLLOWS:
MICROLAM (LVL): $F_b = 2600$ PSI, $F_v = 295$ PSI, $E = 1.9 \times 10^6$ PSI
PARALLAM (PSL): $F_b = 2900$ PSI, $F_v = 290$ PSI, $E = 1.25 \times 10^6$ PSI
- ALL WOOD MEMBERS SHALL BE #2 SYP UNLESS NOTED ON PLAN. ALL STUD COLUMNS AND JOISTS SHALL BE #2 SYP (UNO).
- ALL BEAMS SHALL BE SUPPORTED WITH A (2) 2x4 #2 SYP STUD COLUMN AT EACH END UNLESS NOTED OTHERWISE.
- COMPRESSIVE STRENGTH OF CONCRETE SHALL BE A MINIMUM OF 3000 PSI AT 28-DAYS.
- SOIL BEARING CAPACITY TO BE A MINIMUM OF 3000 PSF.
- ALL REINFORCING STEEL SHALL BE GRADE 60 BARS CONFORMING TO ASTM A615 AND SHALL HAVE A MINIMUM COVER OF 3".
- FOOTINGS AND PIERS SHALL BE CENTERED AROUND THEIR RESPECTIVE ELEMENTS, PROVIDED A MINIMUM OF 2" FOOTING PROJECTION FROM FACE OF MASONRY.
- MAXIMUM DEPTH OF UNBALANCED FILL AGAINST MASONRY WALLS TO BE AS SPECIFIED IN THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE TABLE R402.1.1.
- FOUNDATION ANCHORAGE SHALL BE CONSTRUCTED PER THE 2018 NORTH CAROLINA RESIDENTIAL CODE SECTION R403.1.6, 1/2" DIA. BOLTS SPACED AT 6'-0" CENTERS WITH A 1" MINIMUM EMBEDMENT INTO MASONRY OR CONCRETE. ANCHOR BOLTS SHALL BE 12" FROM THE END OF EACH PLATE SECTION. MINIMUM (2) ANCHOR BOLTS PER PLATE SECTION.
- POSITIVE AND NEGATIVE WALL CLADDING DESIGN VALUES FOR 100 MPH, CATEGORY B, AND MEAN ROOF HEIGHT 30 FEET OR LESS ARE 18 AND 24) RESPECTIVELY.
- COMPONENTS AND CLADDING DESIGNED FOR THE FOLLOWING LOADS: (IN PSF)

MEAN ROOF HT.	UP TO 30'	30'-1'-35'	35'-1'-40'	40'-1'-45'
ZONE 1	16.7-18.0	17.5-18.9	18.2-19.6	18.7-20.2
ZONE 2	16.7-21.0	17.5-22.1	18.2-22.9	18.7-23.5
ZONE 3	16.7-21.0	17.5-22.1	18.2-22.9	18.7-23.5
ZONE 4	18.2-19.0	19.2-20.0	19.9-20.7	20.4-21.3
ZONE 5	18.2-24.0	19.2-25.2	19.9-26.1	20.4-26.9

BASIC DESIGN WIND VELOCITY = 100 MPH, EXPOSURE B

- CONTRACTOR TO PROVIDED LOOKOUTS WHEN CEILING JOISTS SPAN PERPENDICULAR TO RAFTERS.
- FLITCH BEAMS, 4-PLY LVL'S AND 3-PLY SIDE LOADED LVL'S SHALL BE BOLTED TOGETHER WITH 1/2" DIA. THRU BOLTS SPACED AT 24" O.C. (MAX) STAGGERED OR EQUIVALENT CONNECTIONS PER DETAIL 1/D3f. MIN. EDGE DISTANCE SHALL BE 2" AND (2) BOLTS SHALL BE LOCATED MINIMUM 6" FROM EACH END OF THE BEAM.
- ALL NON-LOAD BEARING INTERIOR DOOR HEADERS SHALL BE FLAT (1) 2x4 SYP #2 DROPPED HEADERS UNLESS NOTED OTHERWISE.
- ABBREVIATIONS:

TS = TIMBER STRAND	DJ = DOUBLE JOIST
SC = STUD COLUMN	DR = DOUBLE RAFTER
EE = EACH END	TR = TRIPLE RAFTER
TJ = TRIPLE JOIST	OC = ON CENTER
CL = CENTER LINE	PL = POINT LOAD

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NOTE: NUMBER IN PARENTHESES REPRESENTS NUMBER OF STUD COLUMNS REQUIRED

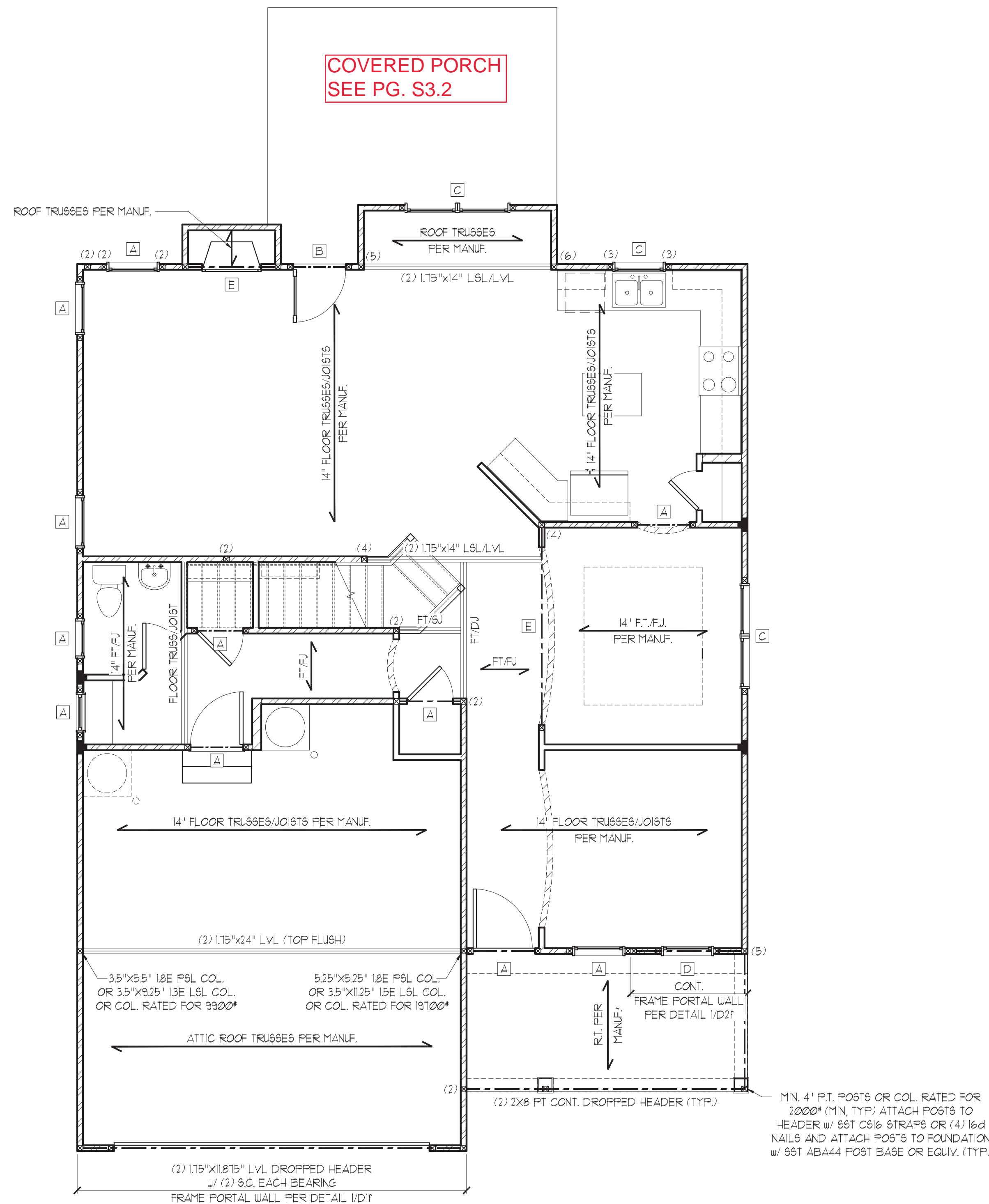
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STRUCTURAL ANALYSIS BASED ON 2018 NCR. C.

FIRST FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22'x34" OR 1/8"=1'-0" ON 11'x11"



COASTAL
*ROOF COMPLETES FLOOR SYSTEM

EURO ELEVATION
SEE PG. S3.1

HEADER SCHEDULE

TAG	SIZE	JACKS (EACH END)
A	(2) 2x6	(1)
B	(2) 2x8	(2)
C	(2) 2x10	(2)
D	(2) 2x12	(2)
E	(2) 9-1/4" L&L/LVL	(3)
F	(3) 2x6	(1)
G	(3) 2x8	(2)
H	(3) 2x10	(2)
I	(3) 2x12	(2)

HEADER SIZES SHOWN ON PLANS ARE MINIMUMS. GREATER HEADER SIZES MAY BE USED FOR EASE OF CONSTRUCTION. ALL HEADERS TO BE DROPPED UNLESS NOTED OTHERWISE.

ALL HEADERS WHERE BRICK IS USED, TO BE:
① LINTEL (UNO.)

LINTEL SCHEDULE:

STEEL ANGLES TO HAVE MIN. 4" BEARING ONTO BRICK AT EACH END.

- L3x3x1/4"
- L5x3-1/2"x5/16"
- L6x4x5/16"
- L5x3-1/2"x5/16" ROLLED OR EQUAL ARCHED COMPONENT.

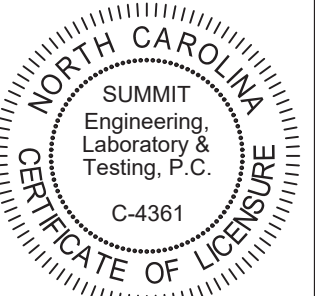
SECURE LINTEL TO HEADER w/ (2) 1/2" DIAMETER LAG SCREWS STAGGERED @ 16" O.C. (TYP FOR ③)

NOTE:
----- DESIGNATES JOIST SUPPORTED LOAD BEARING WALL ABOVE. PROVIDE BLOCKING UNDER JOIST SUPPORTED LOAD BEARING WALL.

NOTE: SHADED WALLS INDICATE LOAD BEARING WALLS

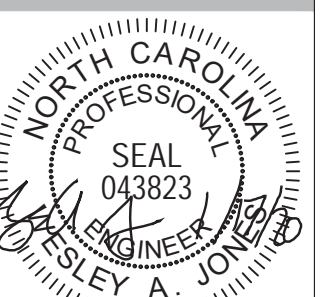
JOIST & BEAM SIZES SHOWN ARE MINIMUMS. BUILDER MAY INCREASE DEPTH FOR EASE OF CONSTRUCTION.

TWO STORY WALL NOTE: 2x4 STUDS @ 12" O.C. OR 2x6 STUDS @ 16" O.C. w/ CROSS BRACING @ 6'-0" O.C. VERT.



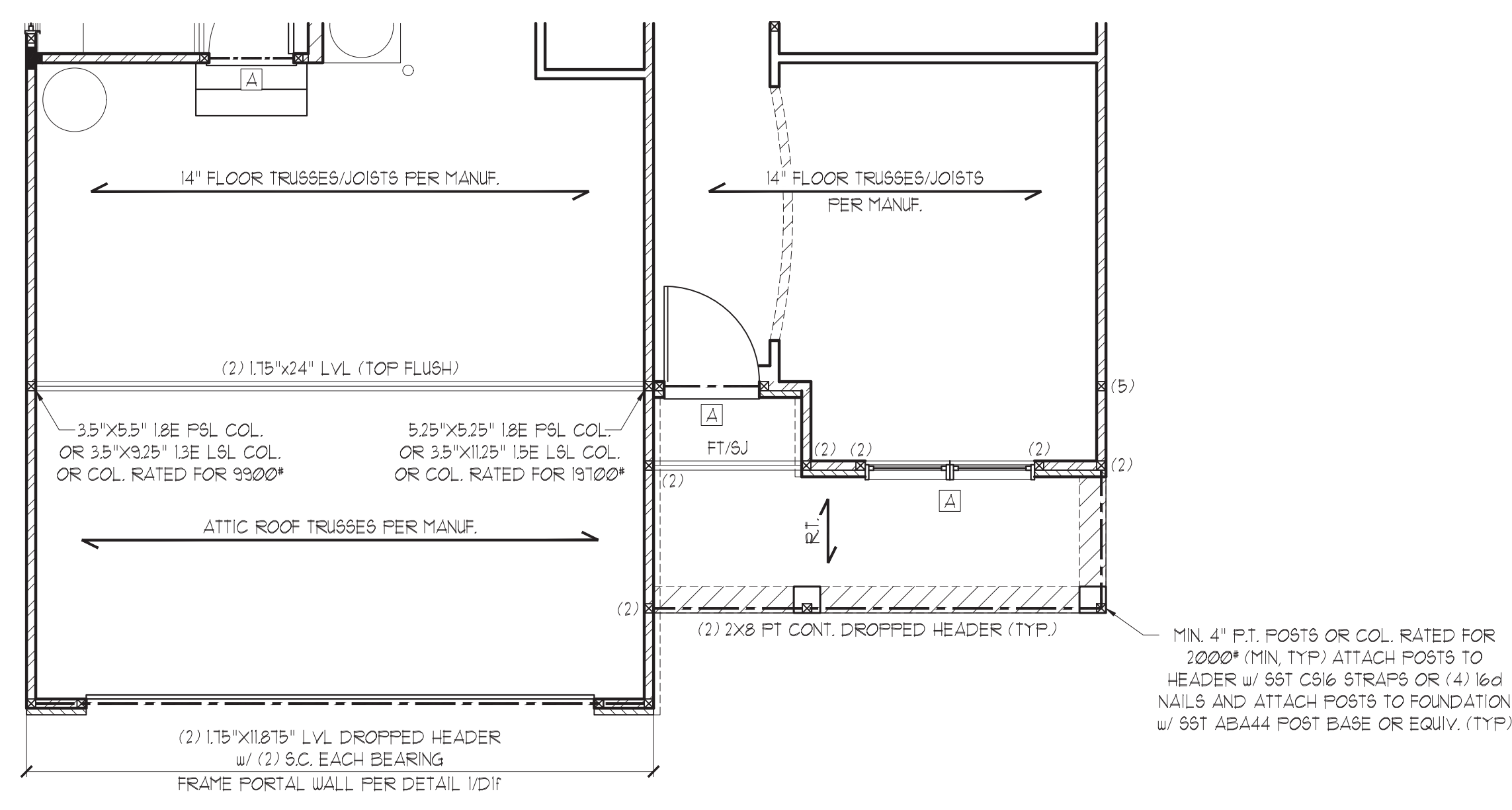
CLIENT:
McKee Homes
109 Hwy 51, Suite 301
Fayetteville, NC 28501

PROJECT:
Finley - LH
First Floor Framing Plan



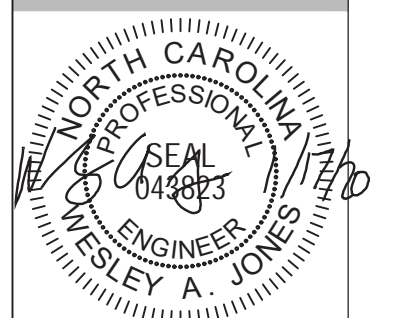
STRUCTURAL MEMBERS ONLY

DATE	09/28/2016
SCALE	1/4"=1'-0" / 1/8"=1'-0"
PROJECT #	16363
DRAWN BY	EPB
CHECKED BY	WJW
ORIGINAL INFORMATION	
PROJECT #	DATE
16363	09/28/2016
REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS	
SHEET	
53.0	



EURO

PROJECT:
Finley 1 - LH
First Floor Framing Plan



STRUCTURAL MEMBERS ONLY

DRAWING
DATE: 01/17/2010
SCALE: 20/24 1/4"=1'-0"
1/4"=1'-0"
PROJECT #: 16363
DRAWN BY: EPB
CHECKED BY: HAJ

ORIGINAL INFORMATION
PROJECT # DATE
1640 05/26/2010

REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

SHEET
S3.1

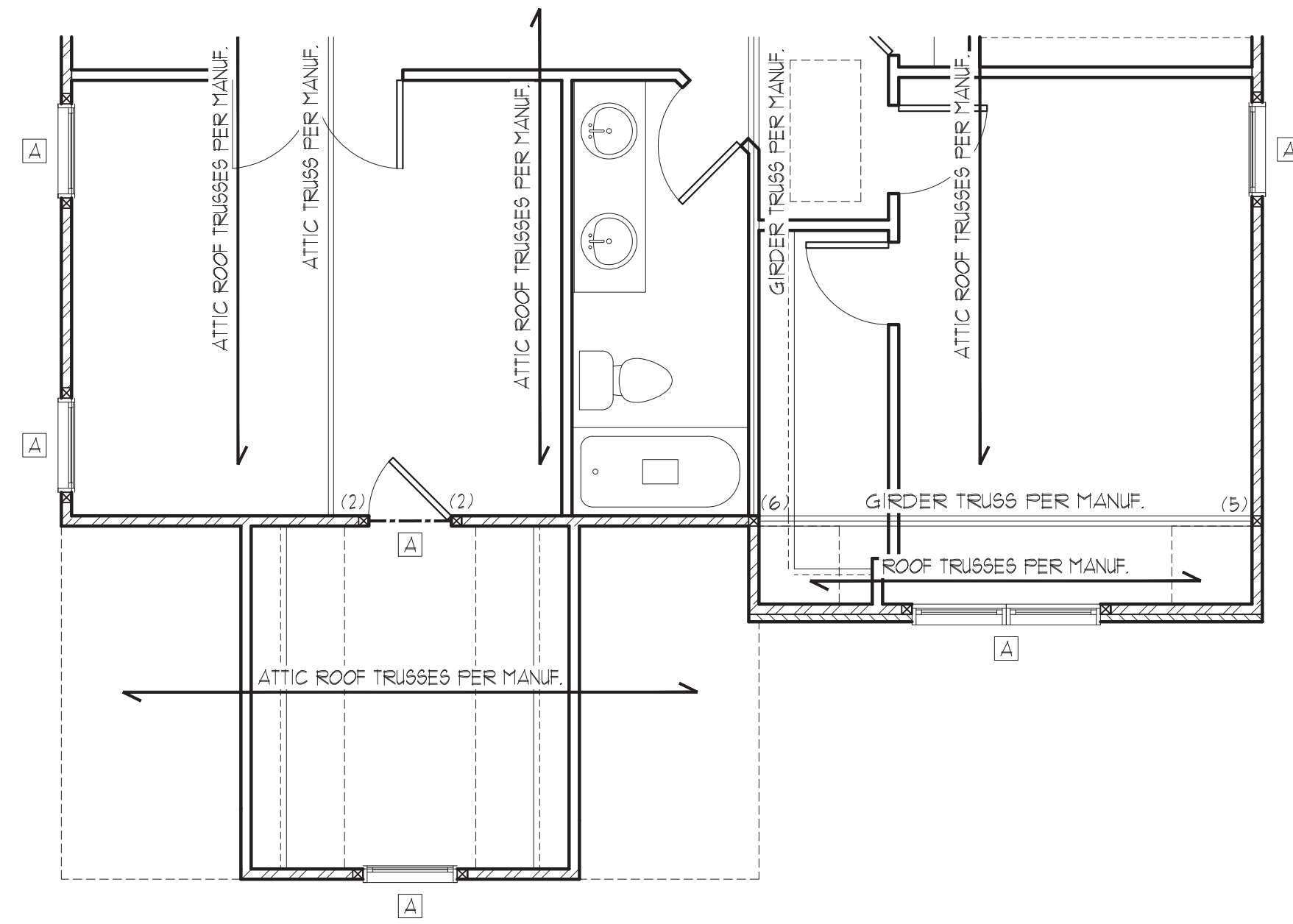
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STRUCTURAL ANALYSIS BASED ON 2018 NCRC.

FIRST FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22"x34" OR 1/8"=1'-0" ON 11"x17"



EURO

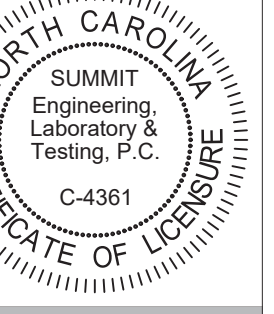
STRUCTURAL MEMBERS ONLY

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STRUCTURAL ANALYSIS BASED ON 2018 NCRC.

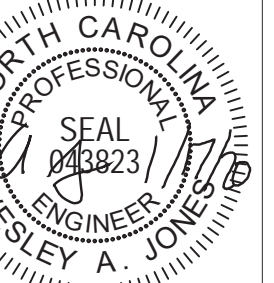
SECOND FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22"x34" OR 1/8"=1'-0" ON 11"x17"



CLIENT:
McKee Homes
109 Hsu St, Suite 201
Fayetteville, NC 28301

PROJECT:
Finley I - LH
Second Floor Framing Plan



STRUCTURAL MEMBERS ONLY

DRAWING
DATE: 01/17/2020
SCALE: 22/34 1/4"=1'-0"
11/17 1/8"=1'-0"
PROJECT #: 16363
DRAWN BY: EPB
CHECKED BY: HAJ
ORIGINAL INFORMATION
PROJECT # DATE
1640 05/28/2018

REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

SHEET
S4.1

HEADER SCHEDULE		
TAG	SIZE	JACKS (EACH END)
A	(2) 2x6	(1)
B	(2) 2x8	(2)
C	(2) 2x10	(2)
D	(2) 2x12	(2)
E	(2) 9-1/4" LSL/LVL	(3)
F	(3) 2x6	(1)
G	(3) 2x8	(2)
H	(3) 2x10	(2)
I	(3) 2x12	(2)

HEADER SIZES SHOWN ON PLANS ARE MINIMUMS. GREATER HEADER SIZES MAY BE USED FOR EASE OF CONSTRUCTION. ALL HEADERS TO BE DROPPED UNLESS NOTED OTHERWISE.

ALL HEADERS WHERE BRICK IS USED, TO BE:

① LINTEL (UNO.)

LINTEL SCHEDULE:

STEEL ANGLES TO HAVE MIN. 4" BEARING ONTO BRICK AT EACH END.

- ① L3x3x1/4"
- ② L5x3-1/2"x5/16"
- ③ L6x4x5/16"
- ④ L5x3-1/2"x5/16" ROLLED OR EQUAL ARCHED COMPONENT.

SECURE LINTEL TO HEADER w/ (2) 1/2" DIAMETER LAG SCREWS STAGGERED @ 16" O.C. (TYP FOR ③)

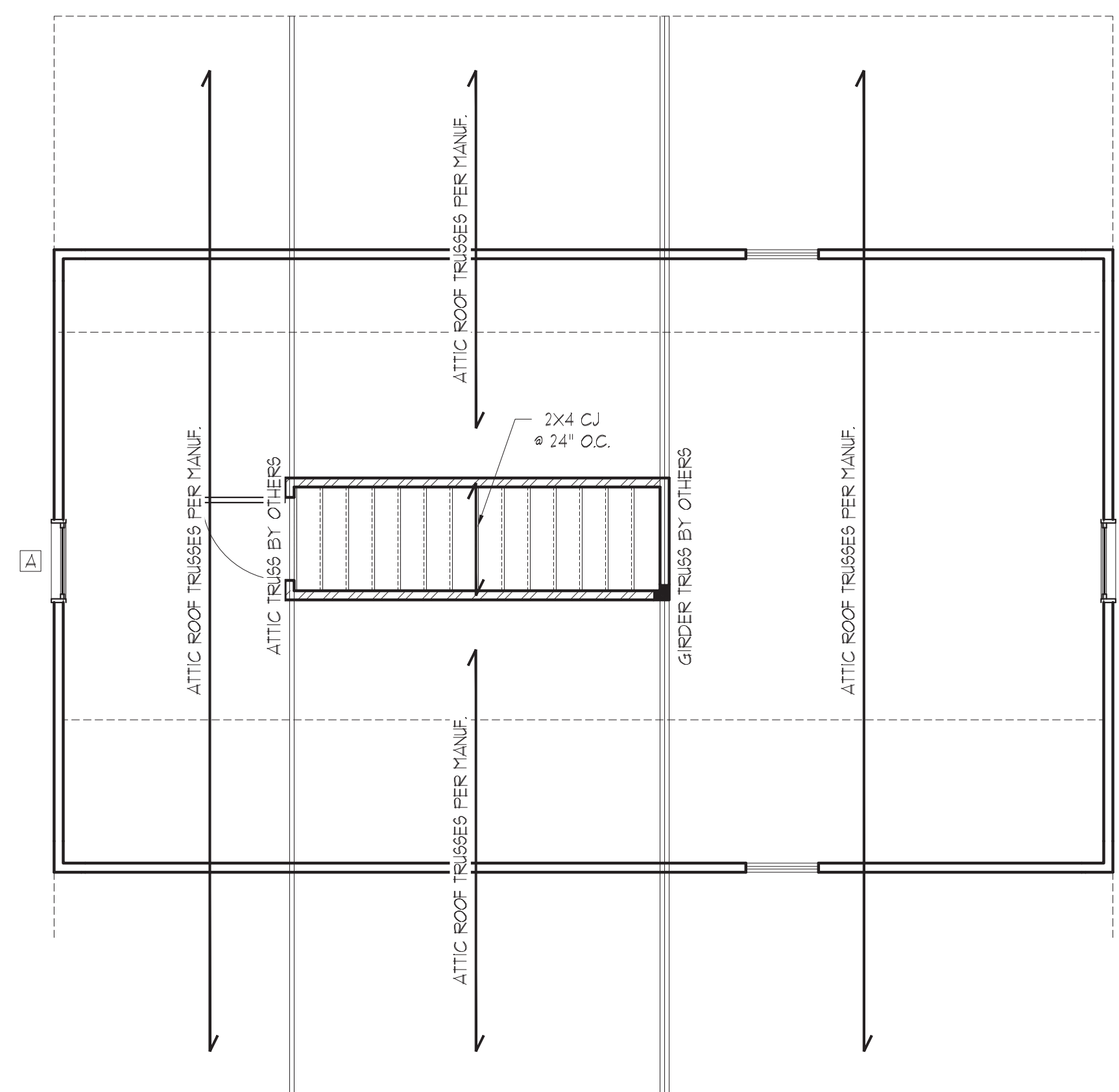
NOTE: SHADED WALLS INDICATE LOAD BEARING WALLS

JOIST & BEAM SIZES SHOWN ARE MINIMUMS. BUILDER MAY INCREASE DEPTH FOR EASE OF CONSTRUCTION.

TWO STORY WALL NOTE: 2x4 STUDS @ 12" O.C. OR 2x6 STUDS @ 16" O.C. w/ CROSS BRACING @ 6'-0" O.C. VERT.

THESE PLANS ARE DESIGNED IN ACCORDANCE WITH ARCHITECTURAL PLANS PROVIDED BY MCKEE HOMES COMPLETED/REVISED ON 09/28/2016. IT IS THE RESPONSIBILITY OF THE CLIENT TO NOTIFY SUMMIT ENGINEERING, LABORATORY & TESTING, P.C. IF ANY CHANGES ARE MADE TO THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. SUMMIT ENGINEERING, LABORATORY & TESTING, P.C. CANNOT GUARANTEE THE ADEQUACY OF THESE STRUCTURAL PLANS WHEN USED WITH ARCHITECTURAL PLANS DATED DIFFERENTLY THAN THE DATE LISTED ABOVE.

NOTE: NUMBER IN PARENTHESES REPRESENTS NUMBER OF STUD COLUMNS REQUIRED



ALL ELEVATIONS

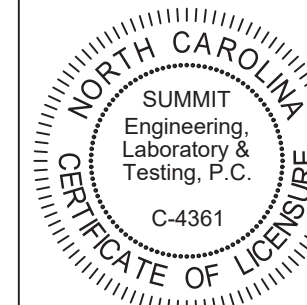
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STRUCTURAL ANALYSIS BASED ON 2018 NCRC.

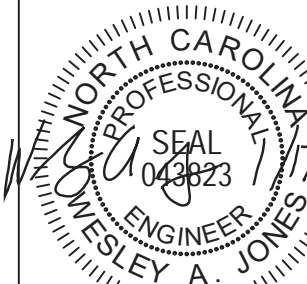
WALK-UP ATTIC FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22"x34" OR 1/8"=1'-0" ON 11"x17"



CLIENT:
McKee Homes
109 Hqs. Dr., Suite 201
Fayetteville, NC 28301

PROJECT:
Finley 1 - LH
Walk-up Attic Framing Plan



STRUCTURAL MEMBERS ONLY

DRAWING
DATE: 08/17/2016
SCALE: 22x34 1/4"=1'-0"
11x17 1/8"=1'-0"
PROJECT #: 16363
DRAWN BY: EPB
CHECKED BY: GAJ

ORIGINAL INFORMATION
PROJECT # DATE
1640 09/28/2016

REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

SHEET

MAX. GIRDER TRUSS REACTION (LBS)

NO TBE, 5YP #2 TOP PLATE		
# OF FLYS	2x4 WALL	2x6 WALL
2	5134	1013
3	1102	10513
4	10269	14025
WITH TBE, 5YP #2 TOP PLATE		
2	1045	8333
3	9622	12433
4	12183	15945

GIRDER TRUSS FLYS SHOWN ARE FOR ILLUSTRATION ONLY. PLEASE REFER TO TRUSS LAYOUT DRAWINGS PROVIDED BY TRUSS MANUF. FOR ACTUAL NUMBER OF FLYS REQ'D.

TRUSS UPLIFT CONNECTOR SCHEDULE

MODEL #	MAX. UPLIFT (LBS)
H1	585
H2A	575
H2BT	545
H4	360
H10A*	1140
H16*	1470
HT520*	1450

USE BELOW ONLY FOR 2-FLY OR GREATER GIRDER TRUSSES THAT EXCEEDS THE UPLIFT REQUIREMENTS ABOVE.

MODEL #	MAX. UPLIFT (LBS)	PLY #
LGT2*	2050	2
LGT3-SDS2.5*	3685	3
LGT4-SDS3*	4060	4
HGT-2*	10980	2
HGT-3*	10530	3
HGT-4*	9250	4

1. SST PRODUCTS SHOWN. EQUIV. PRODUCTS MAY BE USED PROVIDING UPLIFT REQUIREMENTS ARE MET.
2. VALUES SHOWN ARE FOR A SINGLE ANCHOR DBL ANCHORS MAY BE USED TO DBL THE UPLIFT CAPACITY SHOWN ABOVE, ONLY IF THE MEMBER IS A MIN THICKNESS OF 2-1/2".
3. UPLIFT VALUES ARE FOR 5YP #2 WOOD SPECIES. PLEASE CONTACT ENGINEER OR TRUSS MANUFACTURER IF USING DIFFERENT SPECIES OR GRADE.
4. GIRDER TRUSS-GIRDER TRUSS CONNECTIONS ARE TO BE SPECIFIED AND SUPPLIED BY THE TRUSS COMPANY. THE ENGINEER IS NOT RESPONSIBLE FOR THESE CONNECTIONS.
5. ITEMS DENOTED WITH "*" MAY NOT BE DOUBLED TO INCREASE LOAD CAPACITY.

NOTE: 1ST FLY OF ALL SHOWN GIRDER TRUSSES TO ALIGN WITH INSIDE FACE OF WALL (TYP, UNO)

NOTE: ROOF TRUSSES SHALL BE SPACE TO SUPPORT FALSE FRAMED DORMER WALLS (TYP, UNO)

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NOTE: REFER TO DETAIL 5/D31 FOR EYEBROW, RETURN OR SHED ROOF FRAMING REQUIREMENTS. (TYP, FOR ROOFS PROTRUDING MAX. 2'-0" FROM STRUCTURE)

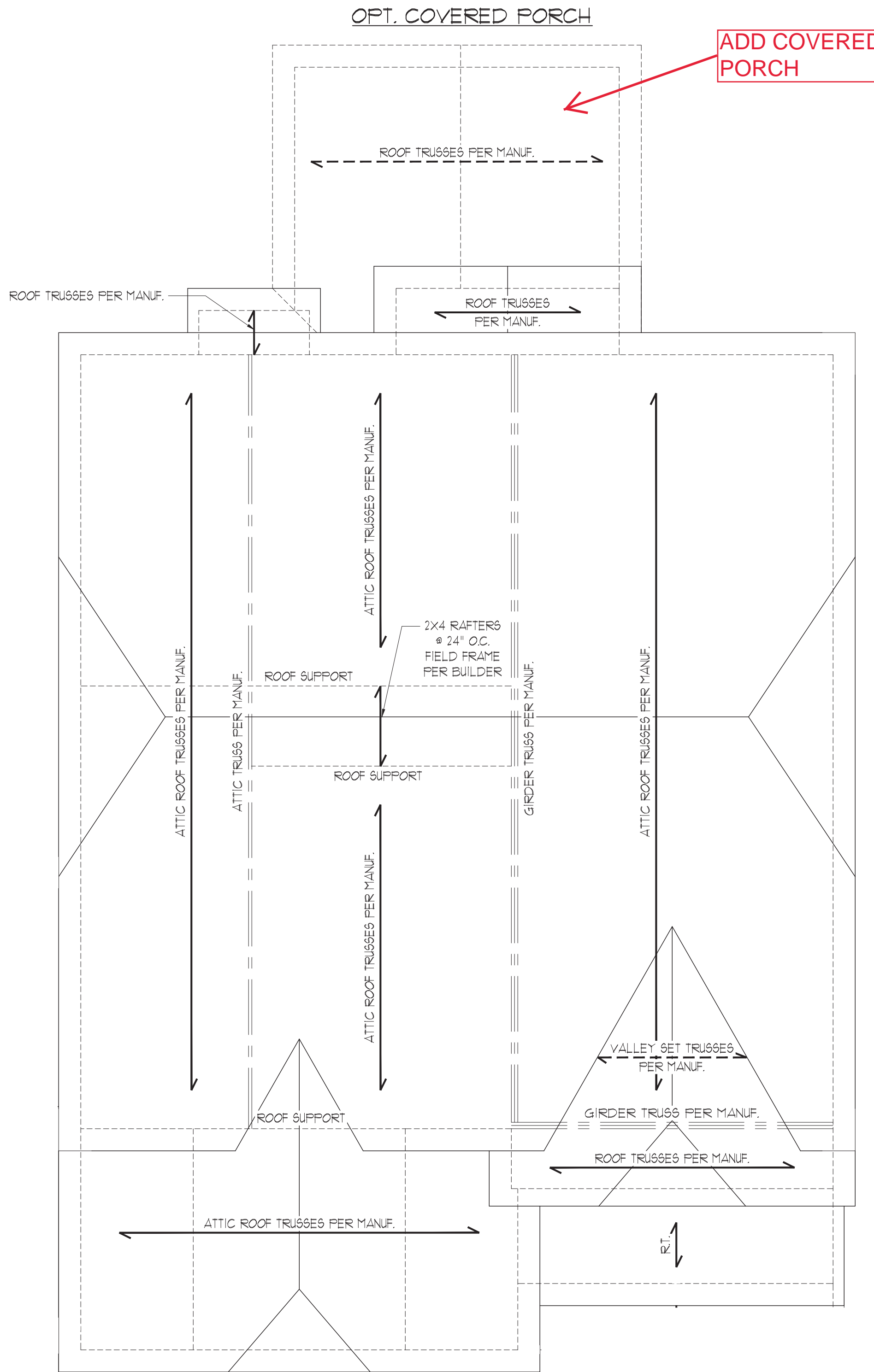
STRUCTURAL MEMBERS ONLY

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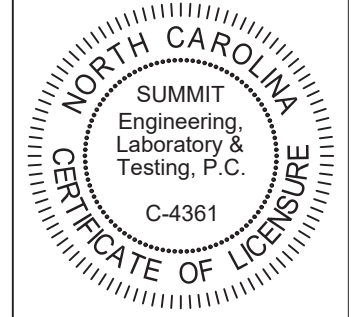
STRUCTURAL ANALYSIS BASED ON 2018 NCR. C.

ROOF FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22'x34" OR 1/8"=1'-0" ON 11'x11'



EURO



CLIENT:
McKee Homes
109 Hqs. Dr., Suite 201
Fayetteville, NC 28301

PROJECT:
Finley 1 - LH
Roof Framing Plan



STRUCTURAL MEMBERS ONLY

DATE	01/17/2020
SCALE	1/4"=1'-0" 1/8"=1'-0"
PROJECT #	16363
DRAWN BY	EPB
CHECKED BY	ILAJ
ORIGINAL INFORMATION	
PROJECT #	DATE
1640	03/28/2016

REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

SHEET
55.2

REQUIRED BRACED WALL PANEL CONNECTIONS				
METHOD	MATERIAL	MIN. THICKNESS	REQUIRED CONNECTION	
			# PANEL EDGES	# INTERMEDIATE SUPPORTS
CS-U&FP	WOOD STRUCTURAL PANEL	3/8"	6d COMMON NAILS @ 6" O.C.	6d COMMON NAILS @ 12" O.C.
GB	GYP-SUM BOARD	1/2"	5d COOLER NAILS** @ 1" O.C.	5d COOLER NAILS** @ 1" O.C.
U&FP	WOOD STRUCTURAL PANEL	3/8"	6d COMMON NAILS @ 6" O.C.	6d COMMON NAILS @ 12" O.C.
FF	WOOD STRUCTURAL PANEL	1/16"	PER FIGURE R602.10.1	PER FIGURE R602.10.1

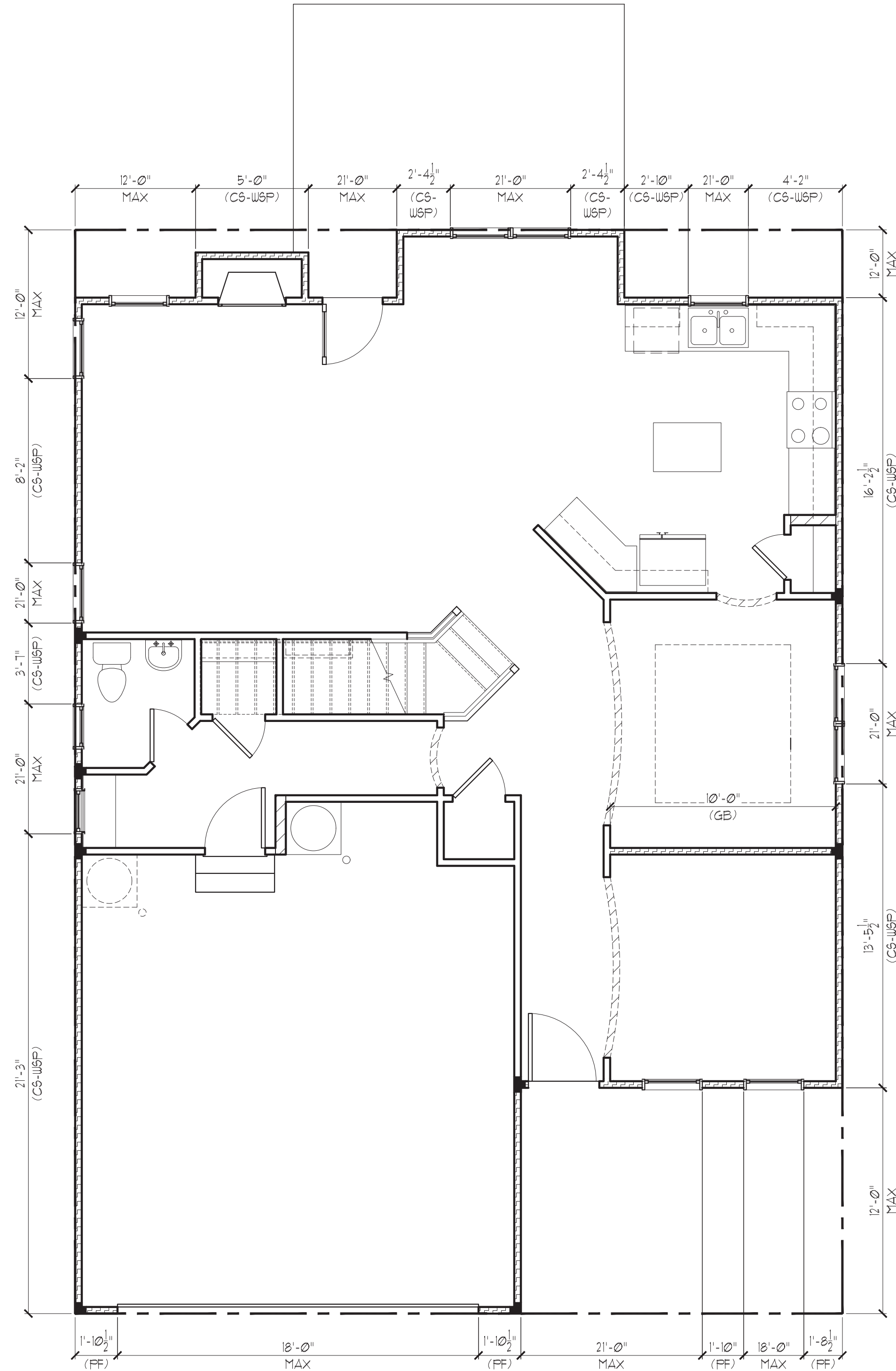
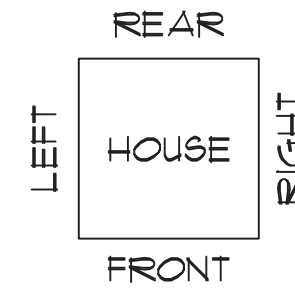
**OR EQUIVALENT PER TABLE R102.3.5

BRACED WALL NOTES:

- WALLS SHALL BE DESIGNED IN ACCORDANCE WITH SECTION R602.10 FROM THE 2018 NORTH CAROLINA RESIDENTIAL CODE.
- WALLS ARE DESIGNED FOR SEISMIC ZONES A-C AND ULTIMATE WIND SPEEDS UP TO 130 MPH.
- REFER TO ARCHITECTURAL PLAN FOR DOOR/WINDOW OPENING SIZES.
- BRACING MATERIALS, METHODS AND FASTENERS SHALL BE IN ACCORDANCE WITH TABLE R602.10.1.
- ALL BRACED WALL PANELS SHALL BE FULL WALL HEIGHT AND SHALL NOT EXCEED 10 FEET FOR ISOLATED PANEL METHOD AND 12 FEET FOR CONTINUOUS SHEATHING METHOD WITHOUT ADDITIONAL ENGINEERING CALCULATIONS.
- MINIMUM PANEL LENGTH SHALL BE PER TABLE R602.10.1.
- THE INTERIOR SIDE OF EXTERIOR WALLS AND BOTH SIDES OF INTERIOR WALLS SHALL BE SHEATHED CONTINUOUSLY WITH MINIMUM 1/2" GYPSUM BOARD (UNO).
- FOR CONTINUOUS SHEATHING METHOD, EXTERIOR WALLS SHALL BE SHEATHED ON ALL SHEATHABLE SURFACES INCLUDING INFILL AREAS BETWEEN BRACED WALL PANELS, ABOVE AND BELOW WALL OPENINGS, AND ON GABLE END WALLS.
- FLOORS SHALL NOT BE CANTILEVERED MORE THAN 24" BEYOND THE FOUNDATION OR BEARING WALL BELOW WITHOUT ADDITIONAL ENGINEERING CALCULATIONS.
- A BRACED WALL PANEL SHALL BE LOCATED WITHIN 12 FEET OF EACH END OF A BRACED WALL LINE.
- THE MAXIMUM EDGE DISTANCE BETWEEN BRACED WALL PANELS SHALL NOT EXCEED 21 FEET.
- MASONRY OR CONCRETE STEM WALLS WITH A LENGTH OF 48" OR LESS SUPPORTING A BRACED WALL PANEL SHALL BE DESIGNED IN ACCORDANCE WITH FIGURE R602.10.4.3 OF THE 2018 NCRC OR DETAIL 21/D21.
- BRACED WALL PANEL CONNECTIONS TO FLOOR/CEILING SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R602.10.4.4.
- BRACED WALL PANEL CONNECTIONS TO ROOF SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R602.10.4.5.
- CRIPPLE WALLS AND WALK OUT BASEMENT WALLS SHALL BE DESIGNED IN ACCORDANCE WITH SECTION R602.10.4.6.
- PORTAL WALLS SHALL BE DESIGNED IN ACCORDANCE WITH FIGURE R602.10.1 (UNO).
- ON SCHEMATIC, SHADED WALLS INDICATE BRACED WALL PANELS.
- ABBREVIATIONS:

GB = GYPSUM BOARD U&FP = WOOD STRUCTURAL PANEL
CS-XXX = CONT. SHEATHED ENG = ENGINEERED SOLUTION
FF = PORTAL FRAME FF-ENG = ENG. PORTAL FRAME

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COASTAL

EURO ELEVATION
SEE PG. S7.1

STRUCTURAL MEMBERS ONLY

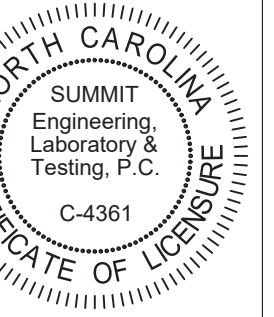
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STRUCTURAL ANALYSIS BASED ON 2012 NCRC.

FIRST FLOOR BRACING PLAN

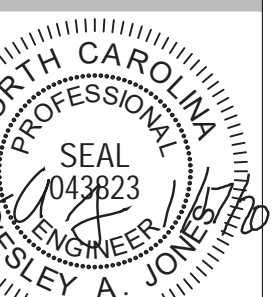
SCALE: 1/4"=1'-0" ON 22"x34" OR 1/8"=1'-0" ON 11"x17"

FIRST FLOOR BRACING (FT)		
	CONTINUOUS SHEATHING METHOD	
	REQUIRED	PROVIDED
FRONT	15.3	15.9
LEFT	11.3	33.0
REAR	15.3	16.1
RIGHT	11.3	29.6



CLIENT:
McKee Homes
109 Hqs. Dr., Suite 301
Fayetteville, NC 28301

PROJECT:
Finley 1 - LH
First Floor Bracing Plan



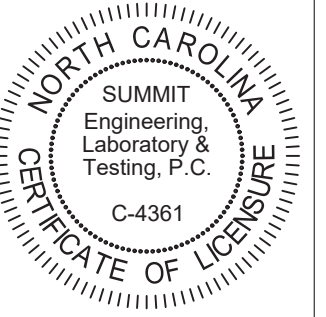
STRUCTURAL MEMBERS ONLY

DRAWING
DATE: 01/17/2020
SCALE: 20/34 1/4"=1'-0" 1/8"=1'-0"
PROJECT #: 16363
DRAWN BY: EPB
CHECKED BY: IAU
ORIGINAL INFORMATION
PROJECT # DATE
1640 03/28/2016

REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

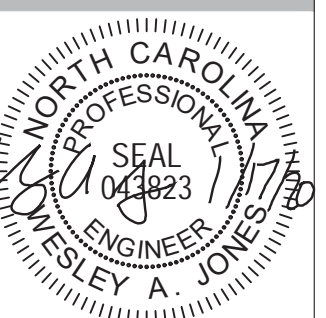
SHEET

57.0



CLIENT:
 McKee Homes
 109 Hwy 51, Suite 201
 Fayetteville, NC 28301

PROJECT:
 Finley 1 - LH
 First Floor Bracing Plan



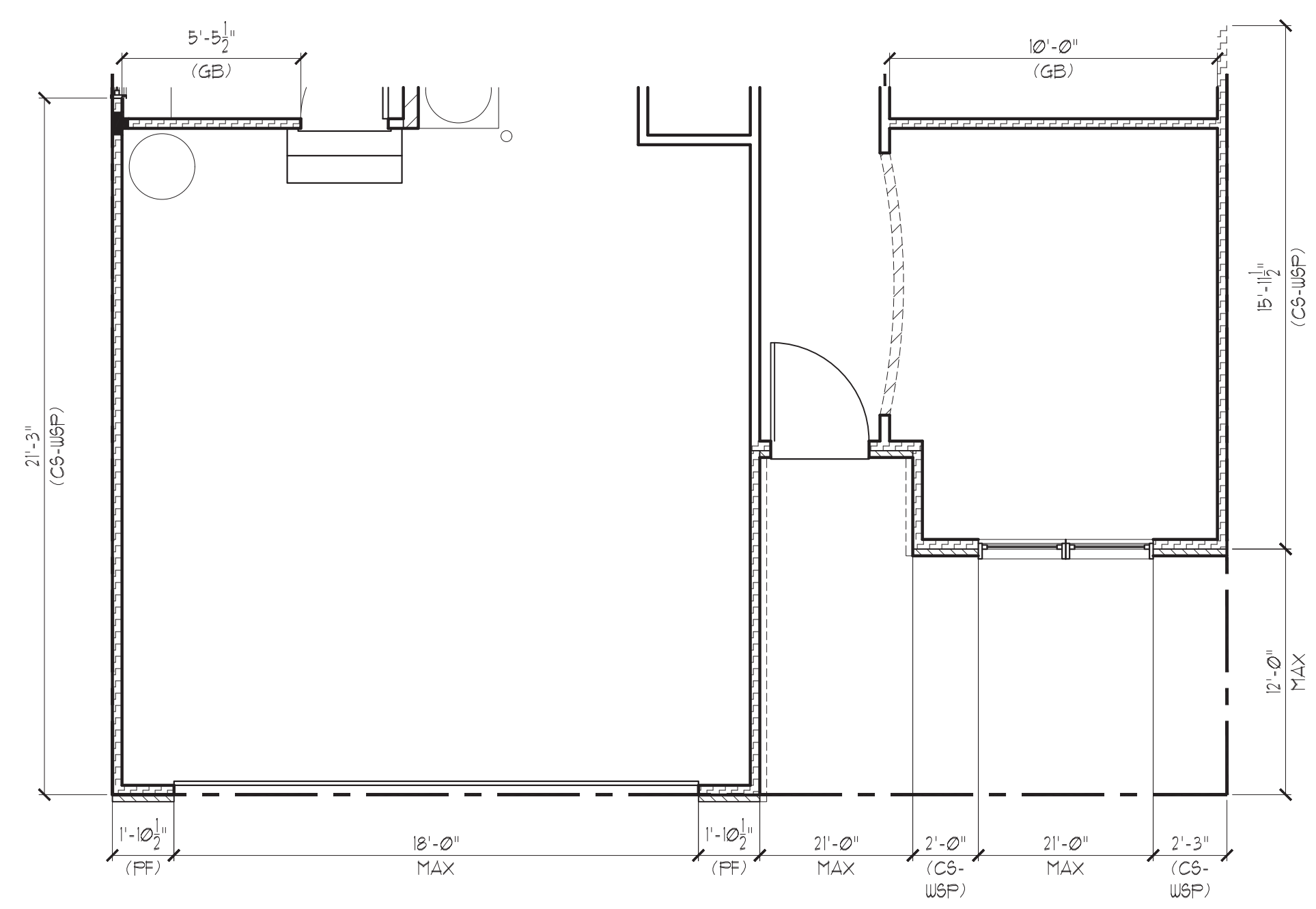
STRUCTURAL MEMBERS ONLY

DRAWING
 DATE: 08/17/2010
 SCALE: 20/34 1/4"=1'-0"
 1/8"=1'-0"
 PROJECT #: 16363
 DRAWN BY: EPB
 CHECKED BY: ILJ

ORIGINAL INFORMATION
 PROJECT # DATE
 1640 05/26/2010

REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

SHEET
 ST.1



EURO

FIRST FLOOR BRACING (FT)		
CONTINUOUS SHEATHING METHOD		
	REQUIRED	PROVIDED
FRONT	15.3	11.6
LEFT	11.3	33.0
REAR	15.3	23.9
RIGHT	11.3	32.1

STRUCTURAL MEMBERS ONLY

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STRUCTURAL ANALYSIS BASED ON 2012 NCRC.

FIRST FLOOR BRACING PLAN

SCALE: 1/4"=1'-0" ON 22"x34" OR 1/8"=1'-0" ON 11"x17"

REQUIRED BRACED WALL PANEL CONNECTIONS				
METHOD	MATERIAL	MIN. THICKNESS	REQUIRED CONNECTION	
			@ PANEL EDGES	@ INTERMEDIATE SUPPORTS
CS-U&P	WOOD STRUCTURAL PANEL	3/8"	6d COMMON NAILS @ 6" O.C.	6d COMMON NAILS @ 12" O.C.
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FF	WOOD STRUCTURAL PANEL	1/16"	PER FIGURE R602.10.1	PER FIGURE R602.10.1

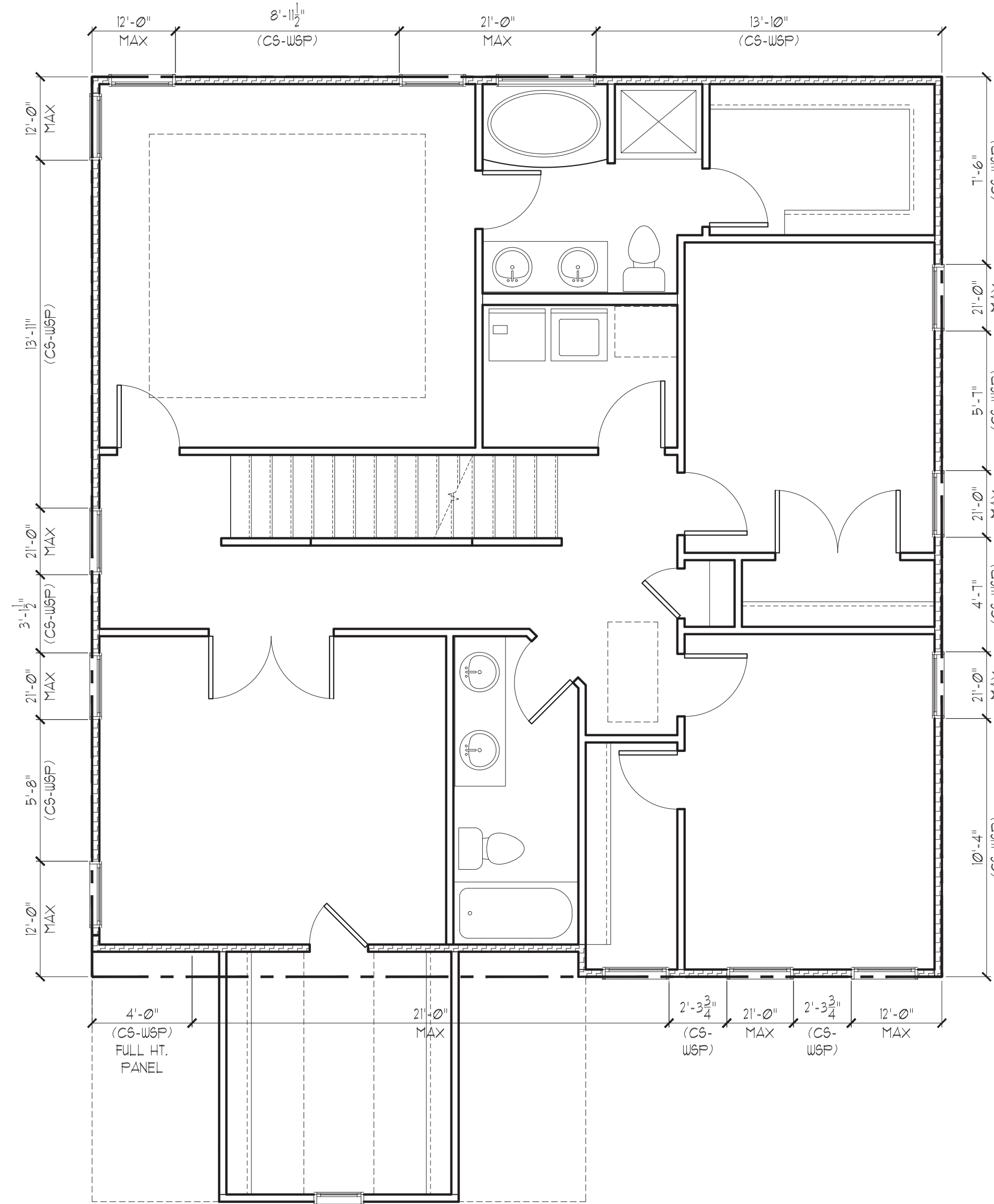
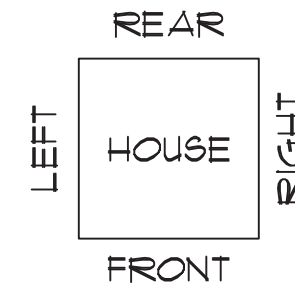
**OR EQUIVALENT PER TABLE R102.3.5

BRACED WALL NOTES:

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- BRACED WALL PANEL CONNECTIONS TO ROOF SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R602.10.4.5.
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~~COASTAL~~
EURO ELEVATION
 SEE PG. S8.1

STRUCTURAL MEMBERS ONLY

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STRUCTURAL ANALYSIS BASED ON 2012 NCRC.

SECOND FLOOR BRACING PLAN

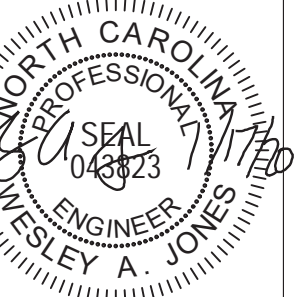
SCALE: 1/4"=1'-0" ON 22"x34" OR 1/8"=1'-0" ON 11"x17"

SECOND FLOOR BRACING (FT.)		
	CONTINUOUS SHEATHING METHOD	
	REQUIRED	PROVIDED
FRONT	5.1	8.6
LEFT	5.0	22.1
REAR	5.1	22.1
RIGHT	5.0	28.0



CLIENT:
 McKee Homes
 109 Hqs. Dr., Suite 201
 Fayetteville, NC 28401

PROJECT:
 Finley 1 - LH
Second Floor Bracing Plan



STRUCTURAL MEMBERS ONLY

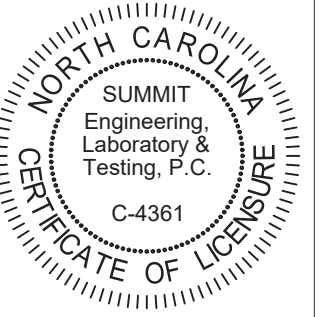
DRAWING
 DATE: 01/17/2020
 SCALE: 22/34 1/4"=1'-0" / 11/17 1/8"=1'-0"
 PROJECT #: 16363
 DRAWN BY: EPB
 CHECKED BY: HAJ

ORIGINAL INFORMATION
 PROJECT # DATE
 1640 03/28/2016

REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

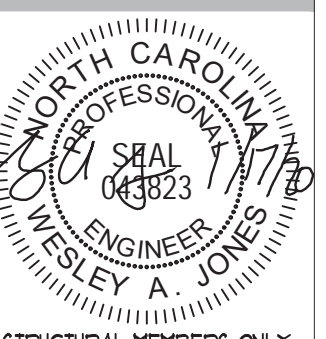
SHEET

58.0



CLIENT:
 McKee Homes
 109 Hsu St, Suite 301
 Fayetteville, NC 28301

PROJECT:
 Finley I - LH
 Second Floor Bracing Plan

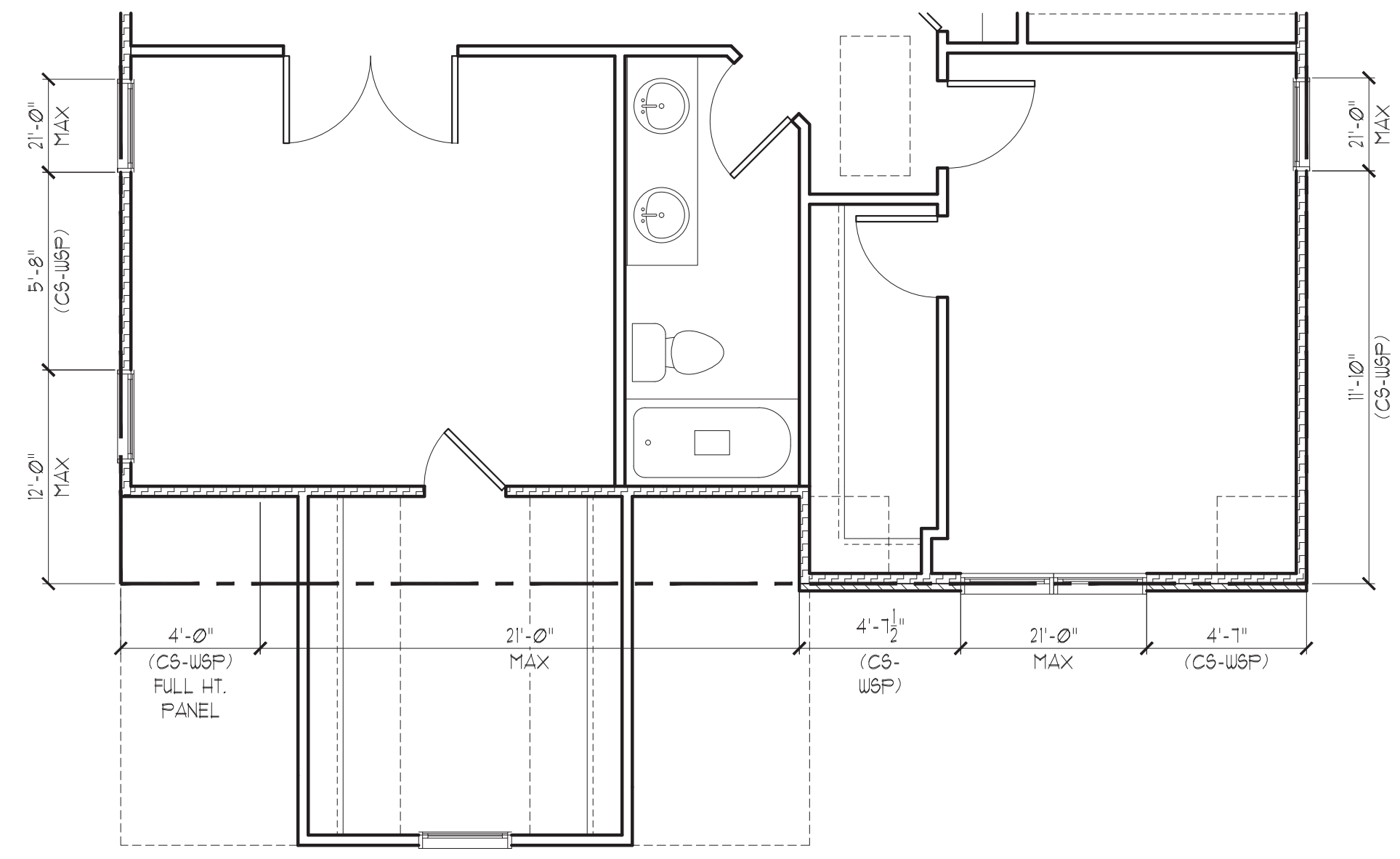


STRUCTURAL MEMBERS ONLY

DRAWING
 DATE: 09/17/2020
 SCALE: 22/34 1/4"=1'-0"
 1/8"=1'-0"
 PROJECT #: 26363
 DRAWN BY: EPB
 CHECKED BY: IAU
 ORIGINAL INFORMATION
 PROJECT # DATE
 26363 09/22/2020

REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

SHEET
 58.1



EURO

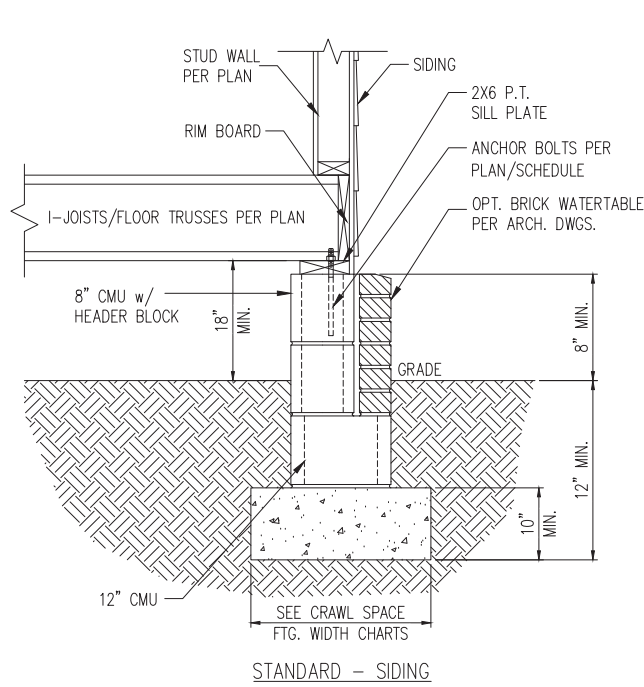
SECOND FLOOR BRACING (FT)		
CONTINUOUS SHEATHING METHOD		
	REQUIRED	PROVIDED
FRONT	5.9	13.2
LEFT	5.0	22.1
REAR	5.9	22.1
RIGHT	5.0	29.5

STRUCTURAL MEMBERS ONLY
 ENGINEERING SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS ON THIS DOCUMENT. SEAL DOES NOT INCLUDE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS. ANY DEVIATIONS OR DISCREPANCIES ON PLANS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF SUMMIT ENGINEERING, LABORATORY & TESTING, P.C. FAILURE TO DO SO WILL VOID SUMMIT ELT LIABILITY.

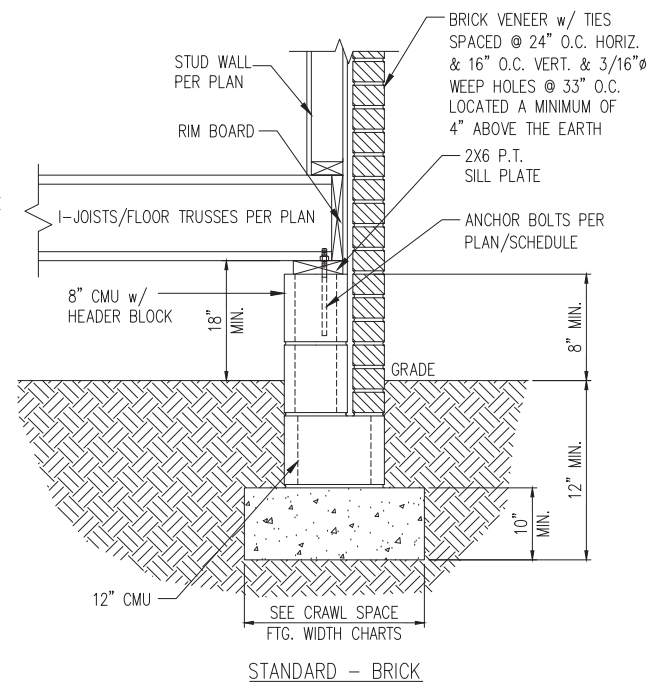
STRUCTURAL ANALYSIS BASED ON 2012 NCR.

SECOND FLOOR BRACING PLAN

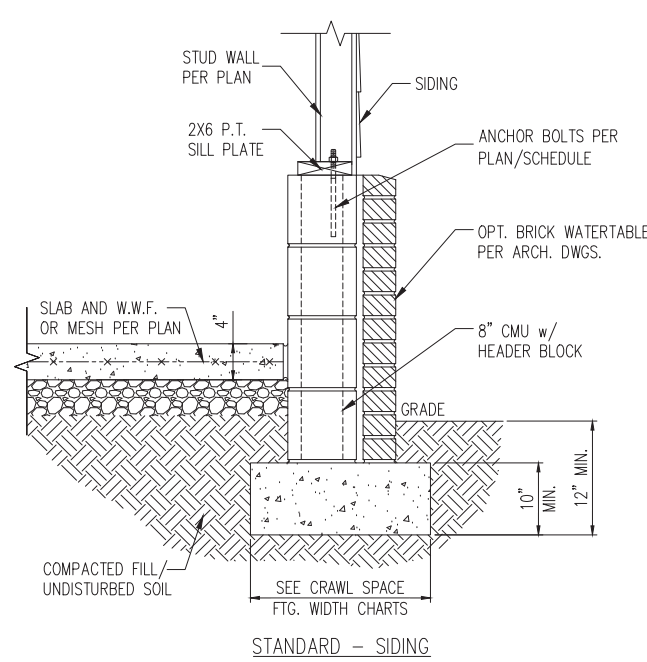
SCALE: 1/4"=1'-0" ON 22"x34" OR 1/8"=1'-0" ON 11"x17"



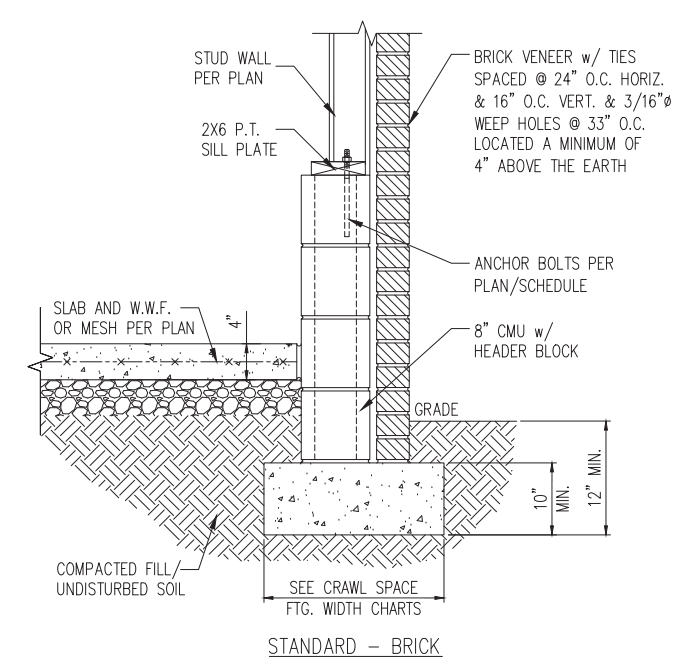
STANDARD - SIDING



STANDARD - BRICK



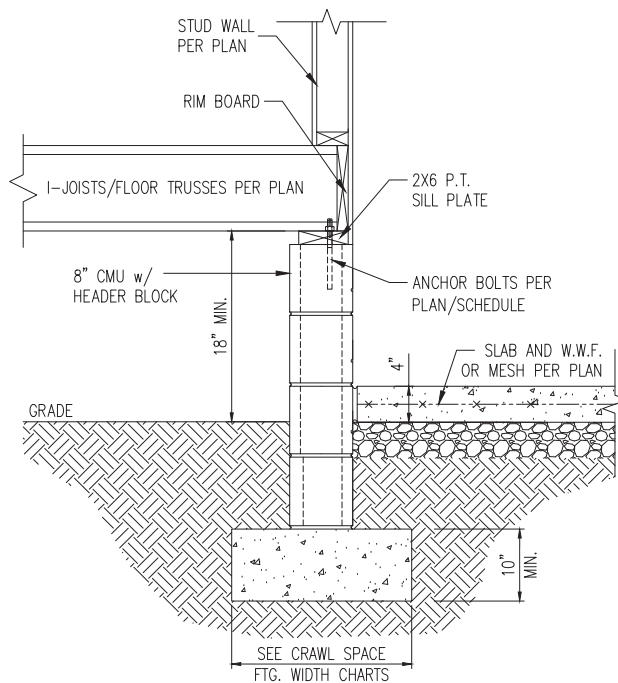
STANDARD - SIDING



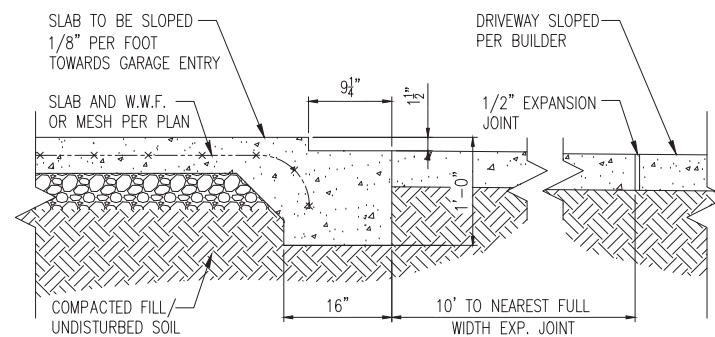
STANDARD - BRICK

1 TYP. FOUNDATION WALL DETAIL
D1c N.T.S.

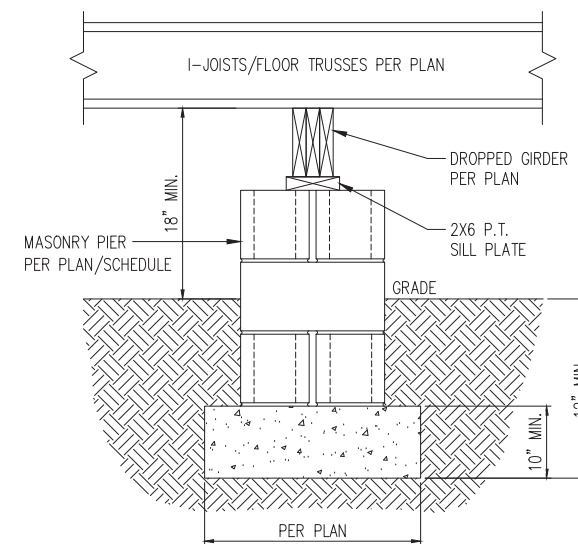
2 TYP. GARAGE CURB DETAIL
D1c N.T.S.



3 HOUSE/GARAGE WALL DETAIL
D1c N.T.S.



4 SLAB AT GARAGE DOOR
D1c N.T.S.



5 TYP. PIER & GIRDER DETAIL
D1c N.T.S.

PIER SIZE AND HEIGHT SCHEDULE

SIZE	HOLLOW	SOLID
8"x16"	UP TO 32" HEIGHT	UP TO 5'-0" HEIGHT
12"x16"	UP TO 48" HEIGHT	UP TO 9'-0" HEIGHT
16"x16"	UP TO 64" HEIGHT	UP TO 12'-0" HEIGHT*
24"x24"	UP TO 96" HEIGHT	UP TO 12'-0" HEIGHT*

* (4) #4 CONT. REBAR w/ #3 STIRRUPS @ 16" O.C. AND 24" MIN. LAP JOINTS

CRAWL SPACE FOOTING WIDTH

# OF STORIES	WIDTH BASED ON SOIL BEARING CAPACITY		
	1500 PSF	2000 PSF	2500 PSF
1 STORY - STD.	16"	16"	16"
1 STORY - BRICK VENEER	21"*	21"*	21"*
2 STORY - STD.	16"	16"	16"
2 STORY - BRICK VENEER	21"*	21"*	21"*
3 STORY - STD.	23"	18"	18"
3 STORY - BRICK VENEER	32"*	24"*	24"*

*5" BRICK LEDGE HAS BEEN ADDED TO THE CRAWL SPACE FOOTING WIDTH FOR BRICK SUPPORT

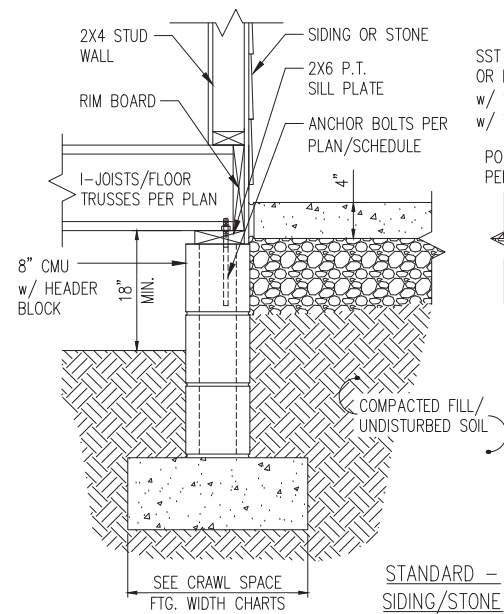
WALL ANCHOR SCHEDULE

TYPE OF ANCHOR	MIN. CONC. EMBEDMENT	SPACING EMBEDMENT	INTERIOR WALL	EXTERIOR WALL
1/2" Ø A307 BOLTS w/ STD. 90° BEND	7"	6'-0"	YES	YES
SST - MAS	4"	5'-0"	NO	YES
HILTI KWIK BOLT KBI 1/2-2-3/4	2-1/4"	6'-0"	YES	NO
1/2" Ø HILTI THREADED ROD w/ HIT HY150 ADHESIVE	7"	6'-0"	YES	YES

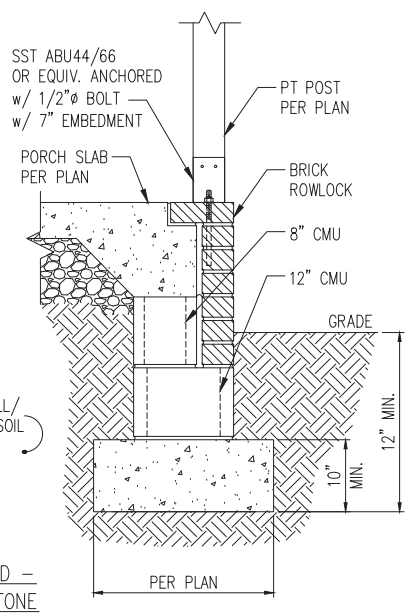
NOTE: INSTALL ALL ANCHORS 12" MAX. FROM ALL BOTTOM PLATE ENDS AND JOINTS.

NOTES:

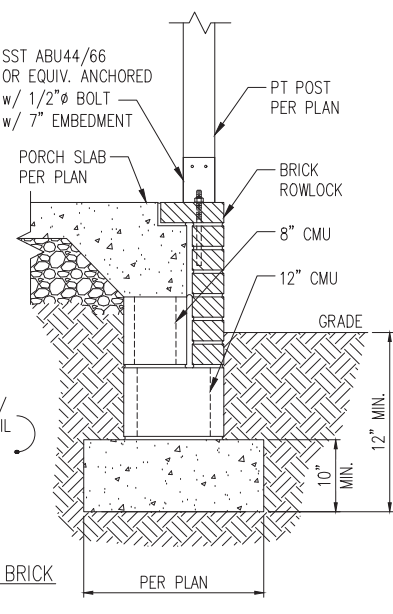
- REFER TO GENERAL NOTES & SPECIFICATIONS ON COVERSHEET FOR ADDITIONAL INFORMATION.
- PROVIDE 6 MIL VAPOR BARRIER UNDER ALL SLABS-ON-GRADE.
- SEE ARCH. DWGS. FOR ALL TOP OF THE SLAB ELEVATIONS, SLOPES AND DEPRESSIONS.
- REFER TO STRUCTURAL PLANS AND FRAMING DETAILS FOR BRACED WALL PANEL LAYOUT, DIMENSIONS, ATTACHMENT AND CONNECTIONS
- REFER TO LOCAL AND STATEWIDE CODES FOR ADDITIONAL AMENDMENTS AND REQUIREMENTS NOT SHOWN
- PERIMETER INSULATION SHOWN AS REQUIRED BY LOCAL CLIMATE ZONE. INSTALL PER TABLE N1102.2.10 OF THE 2018 NCRS



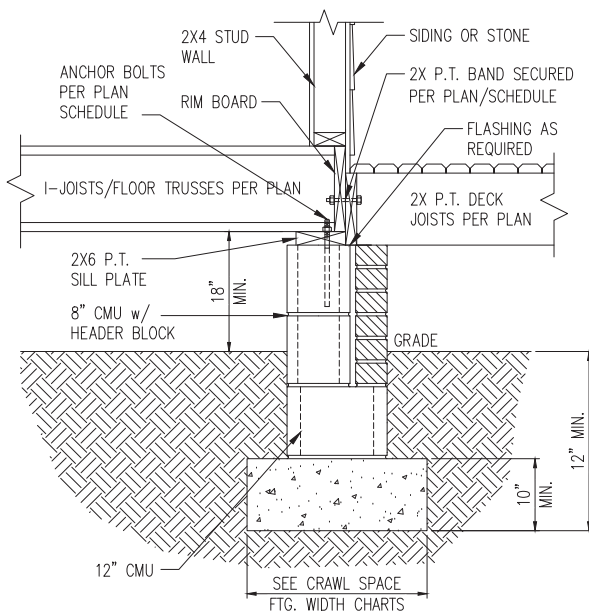
STANDARD - SIDING/STONE



STANDARD - BRICK



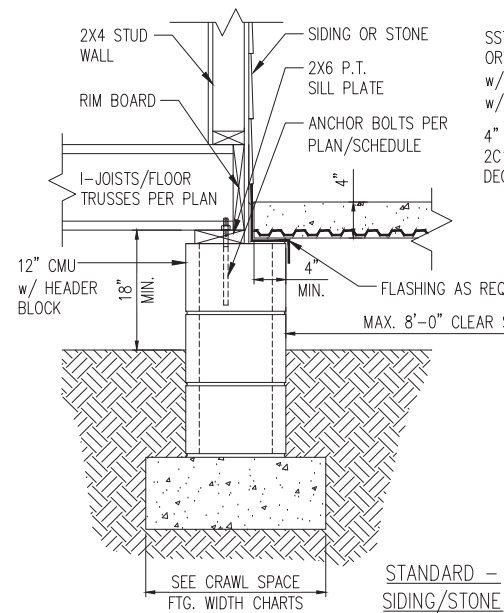
STANDARD - SIDING/STONE



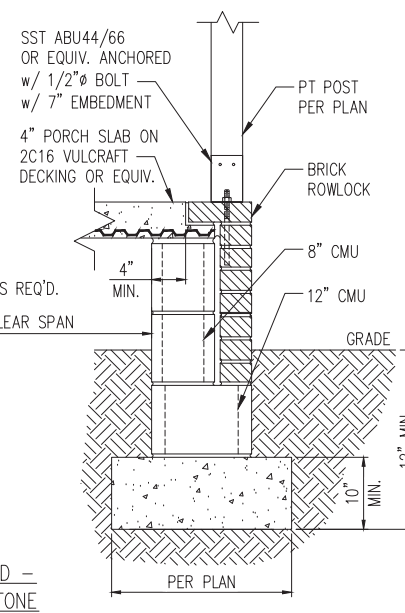
STANDARD - BRICK

1 TYP. FRONT PORCH DETAIL
D2c N.T.S.

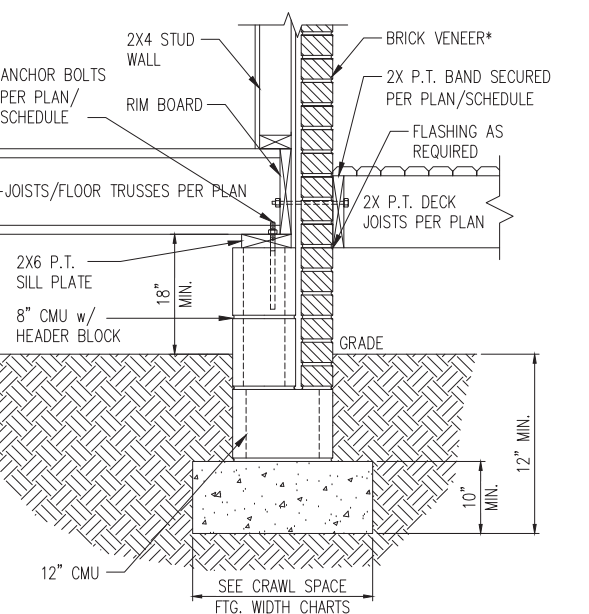
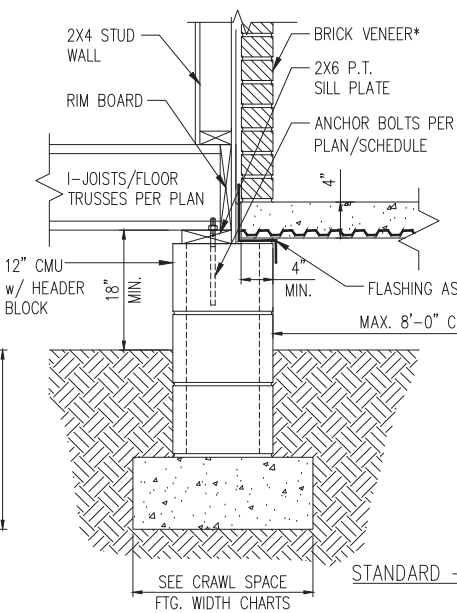
2 DECK ATTACHMENT DETAIL
D2c N.T.S.



STANDARD - SIDING/STONE



STANDARD - BRICK



STANDARD - BRICK

1a FRONT PORCH DETAIL w/ SUSPENDED SLAB
D2c N.T.S.

3 DECK ATTACHMENT DETAIL W/ BRICK
D2c N.T.S.

DECK ATTACHMENT SCHEDULE (ALL STRUCTURES EXCEPT BRICK)

FASTENERS	MAX. 8'-0" JOIST SPAN	MAX. 16'-0" JOIST SPAN
5/8" GALV. BOLTS w/ NUT & WASHER ^b	(1) @ 3'-6" O.C.	(1) @ 1'-8" O.C.
AND	AND	AND
12d COMMON GALV. NAILS ^c	(2) @ 8" O.C.	(3) @ 6" O.C.

- a. ATTACHMENT INTERPOLATION BETWEEN 8' AND 16' JOIST SPANS IS ALLOWED.
- b. MINIMUM EDGE DISTANCE FOR BOLTS IS 2 1/2".
- c. NAILS MUST PENETRATE THE SUPPORTING STRUCTURE BAND A MINIMUM OF 1 1/2"

DECK ATTACHMENT SCHEDULE (BRICK STRUCTURES)

FASTENERS	MAX. 8'-0" JOIST SPAN	MAX. 16'-0" JOIST SPAN
5/8" GALV. BOLTS w/ NUT & WASHER ^b	(1) @ 2'-4" O.C.	(1) @ 1'-4" O.C.

- a. ATTACHMENT INTERPOLATION BETWEEN 8' AND 16' JOIST SPANS IS ALLOWED.
- b. MINIMUM EDGE DISTANCE FOR BOLTS IS 2 1/2".

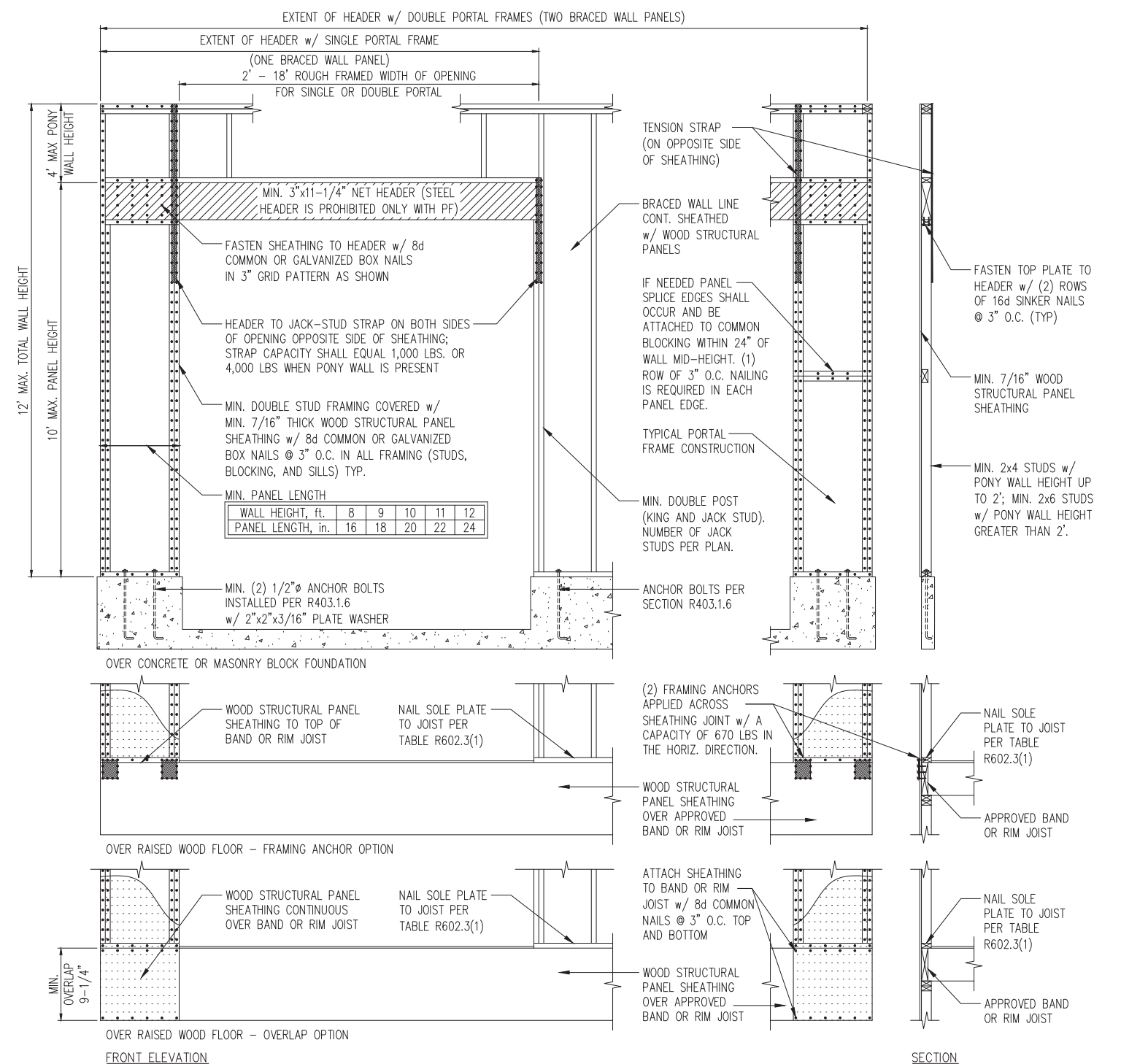
CRAWL SPACE FOOTING WIDTH

# OF STORIES	WIDTH BASED ON SOIL BEARING CAPACITY		
	1500 PSF	2000 PSF	2500 PSF
1 STORY - STD.	16"	16"	16"
1 STORY - BRICK VENEER	21"*	21"*	21"*
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2 STORY - BRICK VENEER	21"*	21"*	21"*
3 STORY - STD.	23"	18"	18"
3 STORY - BRICK VENEER	32"*	24"*	24"*

*5" BRICK LEDGE HAS BEEN ADDED TO THE CRAWL SPACE FOOTING WIDTH FOR BRICK SUPPORT

*BRICK TIES SPACED @ 24" O.C. HORIZ. & 16" O.C. VERT. AND 3/16" WEEP HOLES @ 33" O.C. LOCATED A MINIMUM OF 4" ABOVE THE EARTH

- NOTES:
- REFER TO GENERAL NOTES & SPECIFICATIONS ON COVERSHEET FOR ADDITIONAL INFORMATION.
 - PROVIDE 6 MIL VAPOR BARRIER UNDER ALL SLABS-ON-GRADE.
 - SEE ARCH. DWGS. FOR ALL TOP OF THE SLAB ELEVATIONS, SLOPES AND DEPRESSIONS.
 - REFER TO STRUCTURAL PLANS AND FRAMING DETAILS FOR BRACED WALL PANEL LAYOUT, DIMENSIONS, ATTACHMENT AND CONNECTIONS
 - REFER TO LOCAL AND STATEWIDE CODES FOR ADDITIONAL AMENDMENTS AND REQUIREMENTS NOT SHOWN
 - PERIMETER INSULATION SHOWN AS REQUIRED BY LOCAL CLIMATE ZONE. INSTALL PER TABLE N1102.2.10 OF THE 2018 NCRS



1 METHOD PF: PORTAL FRAME DETAIL
D1f 3/8" = 1'-0"