

**PLANS DESIGNED TO THE  
2018 NORTH CAROLINA STATE  
RESIDENTIAL BUILDING CODE**

MEAN ROOF HEIGHT: 17'-2" HEIGHT TO RIDGE: 25'-6"

CLIMATE ZONE	ZONE 3A	ZONE 4A	ZONE 5A
PERMEATION U-FACTOR	0.35	0.35	0.35
SKYLIGHT U-FACTOR	0.55	0.55	0.55
GLAZED PERMEATION SPEC.	0.30	0.30	0.30
CEILING R-VALUE	38 OR 30cd	38 OR 30cd	38 OR 30cd
WALL R-VALUE	15	15	19
FLOOR R-VALUE	19	19	30
* BASEMENT WALL R-VALUE	5/13	10/15	10/15
** SLAB R-VALUE	0	10	10
** CRAWL SPACE WALL R-VALUE	5/13	10/15	10/15

\* 1/4"13" MEANS R-10 SHEATHING INSULATION OR R-13 CAVITY INSULATION  
\*\* INSULATION DEPTH WITH MONOLITHIC SLAB 2" OR FROM INSPECTION GAP TO BOTTOM OF FOOTING; INSULATION DEPTH WITH 5" MIN. WALL SLAB 2" OR TO BOTTOM OF FOUNDATION WALL  
DESIGNED FOR WIND SPEED OF 120 MPH, 3 SECOND GUST (101 FASTEST MEAN) EXPOSURE "B"

COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

MEAN ROOF	UP TO 30'	30'-1" TO 35'	35'-1" TO 40'	40'-1" TO 45'				
ZONE 1	14.2	-15.0	14.9	-15.8	15.5	-16.4	15.9	-16.8
ZONE 2	14.2	-18.0	14.9	-18.9	15.5	-19.6	15.9	-20.2
ZONE 3	14.2	-18.0	14.9	-18.9	15.5	-19.6	15.9	-20.2
ZONE 4	15.5	-16.0	16.3	-16.8	16.9	-17.4	17.4	-17.9
ZONE 5	15.5	-20.0	16.3	-21.0	16.9	-21.8	17.4	-22.4

DESIGNED FOR WIND SPEED OF 130 MPH, 3 SECOND GUST (101 FASTEST MEAN) EXPOSURE "B"

COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

MEAN ROOF	UP TO 30'	30'-1" TO 35'	35'-1" TO 40'	40'-1" TO 45'				
ZONE 1	16.7	-18.0	17.5	-18.9	18.2	-19.6	18.7	-20.2
ZONE 2	16.7	-21.0	17.5	-22.1	18.2	-22.9	18.7	-23.5
ZONE 3	16.7	-21.0	17.5	-22.1	18.2	-22.9	18.7	-23.5
ZONE 4	18.2	-19.0	19.1	-20.0	19.8	-20.7	20.4	-21.3
ZONE 5	18.2	-24.0	19.1	-25.0	19.8	-26.2	20.4	-26.9

**ROOF VENTILATION**

SECTION R806

SQUARE FOOTAGE OF ROOF TO BE VENTED = 2,111 SQ.FT.  
NET FREE CROSS VENTILATION NEEDED:  
WITHOUT 50% TO 80% OF VENTING 3'-0" ABOVE EAWE = 14.07 SQ.FT.  
WITH 50% TO 80% OF VENTING 3'-0" ABOVE EAWE; OR WITH CLASS 1 OR II VAPOR RETARDER ON WARM-IN-WINTER SIDE OF CEILING = 7.04 SQ.FT.

**GUARD RAIL NOTES**

SECTION R312

R312.1 Where required. Guards shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.

R312.2 Height. Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) high measured vertically above the adjacent walking surface, adjacent fixed seating or the line connecting the leading edges of the treads.

Exceptions:  
1. Guards on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.

2. Where the top of the guard also serves as a handrail on the open sides of stairs, the top of the guard shall not be not less than 34 inches (864 mm) and not more than 38 inches (965 mm) measured vertically from a line connecting the leading edges of the treads.

R312.3 Opening Limitations. Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches (102 mm) in diameter.

Exceptions:

1. The triangular openings at the open side of a stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter.

2. Guards on the open sides of stairs shall not have openings which allow passage of a sphere 43/8 inches (111 mm) in diameter.

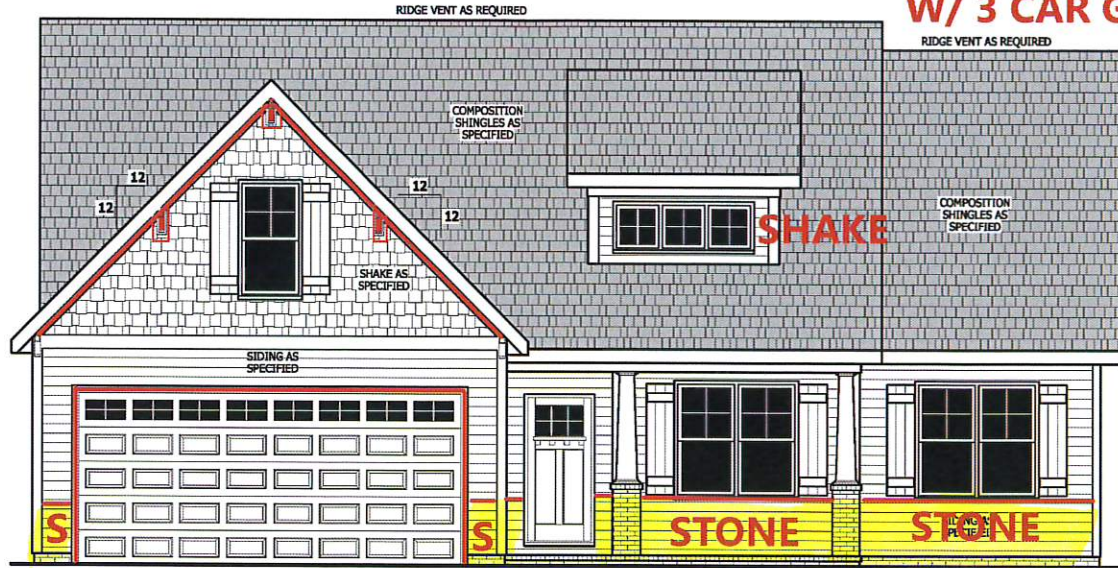
**AIR LEAKAGE**

Section R1102.4

R1102.4.1 Building thermal envelope. The building thermal envelope shall be durably sealed with an air barrier system to limit infiltration. The sealing methods between dissimilar materials shall allow for differential expansion and contraction. For all homes, where present, the following shall be caulked, gasketed, weather striped or otherwise sealed with an air barrier material or solid material consistent with Appendix E-2.4 of this code:

1. Blocking and sealing floor/ceiling systems and under knee walls open to unconditioned or exterior space.  
2. Capping and sealing shafts or chases, including flue shafts.  
3. Capping and sealing soffits or dropped ceiling areas.

**MURRAY FARM 1-D  
W/ 3 CAR GARAGE**



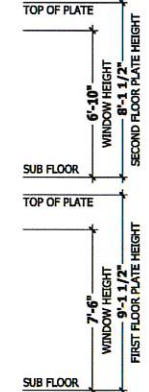
**FRONT ELEVATION**

SCALE 1/4" = 1'-0"



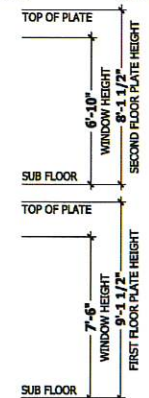
**REAR ELEVATION**

SCALE 1/4" = 1'-0"



**SQUARE FOOTAGE**

HEATED	1351 SQ.FT.
FIRST FLOOR	1351 SQ.FT.
PLATFOOM	221 SQ.FT.
TOTAL	1572 SQ.FT.
HEATED OPTIONAL	
FRONT PORCH	28 SQ.FT.
REAR PORCH	28 SQ.FT.
TOTAL	56 SQ.FT.
UNHEATED	
FRONT PORCH	134 SQ.FT.
GARAGE	447 SQ.FT.
REAR PORCH	113 SQ.FT.
TOTAL	694 SQ.FT.
UNHEATED OPTIONAL	
THIRD GARAGE	307 SQ.FT.
TOTAL	307 SQ.FT.



FRONT & REAR ELEVATIONS  
**SINCLAIR**

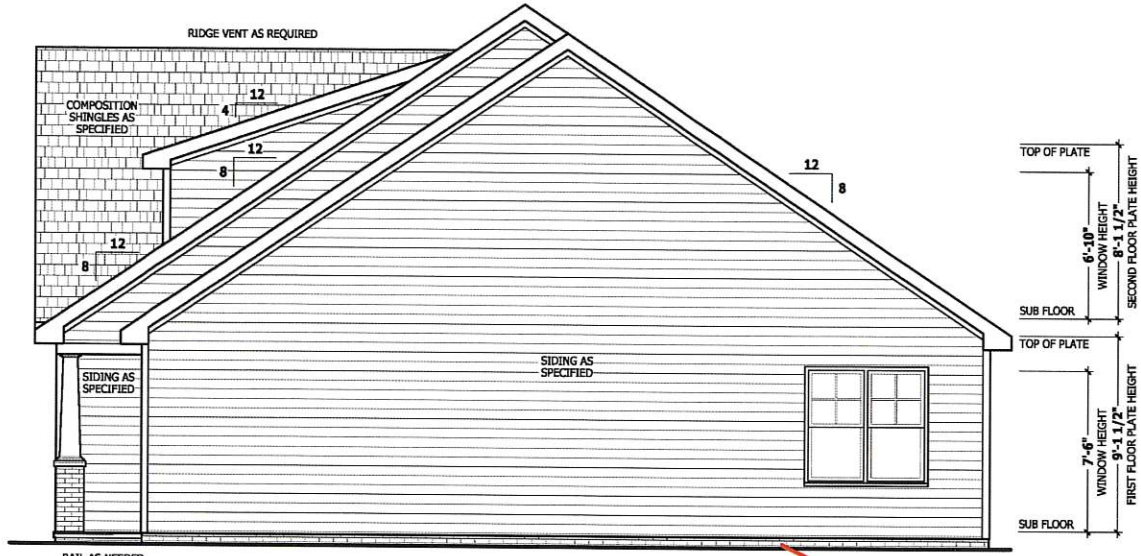
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P.O. Box 709, Wake Forest, NC 27588 • 919.956.6180 • Fax 919.956.4836

SQUARE FOOTAGE	
HEATED	1351 SQ.FT.
FIRST FLOOR	1351 SQ.FT.
PLATFOOM	221 SQ.FT.
TOTAL	1572 SQ.FT.
HEATED OPTIONAL	
FRONT PORCH	28 SQ.FT.
REAR PORCH	28 SQ.FT.
TOTAL	56 SQ.FT.
UNHEATED	
FRONT PORCH	134 SQ.FT.
GARAGE	447 SQ.FT.
REAR PORCH	113 SQ.FT.
TOTAL	694 SQ.FT.
UNHEATED OPTIONAL	
THIRD GARAGE	307 SQ.FT.
TOTAL	307 SQ.FT.

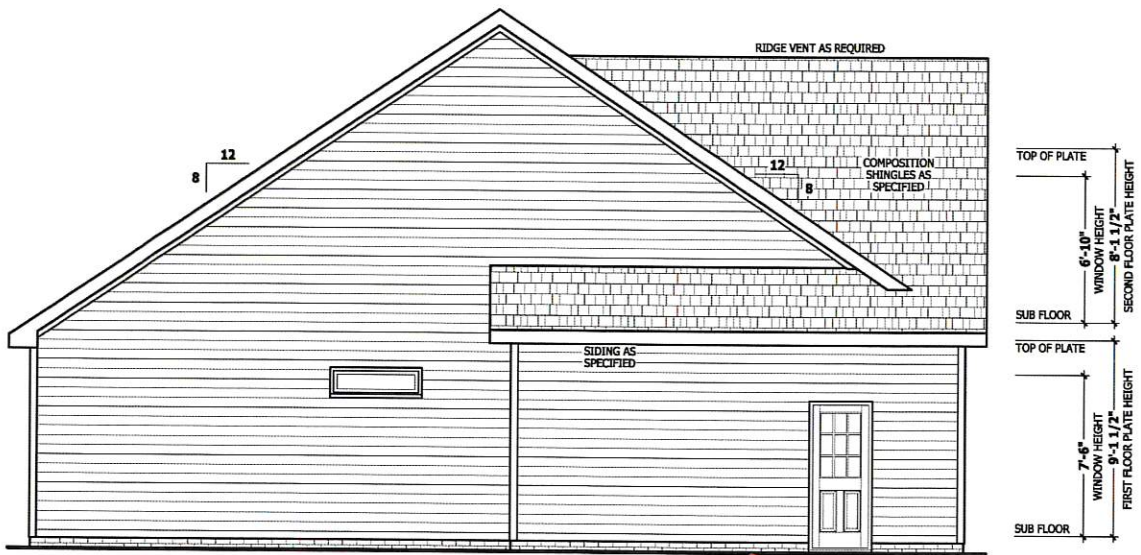


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**RIGHT SIDE ELEVATION** PARGE

SCALE 1/4" = 1'-0"



**LEFT SIDE ELEVATION** PARGE

SCALE 1/4" = 1'-0"

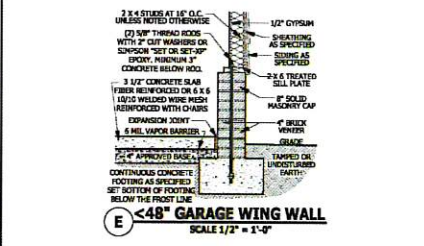
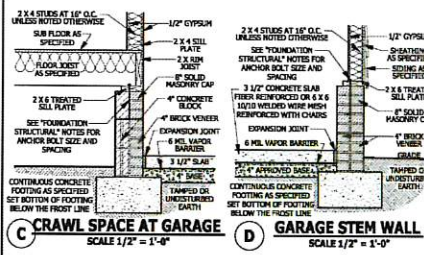
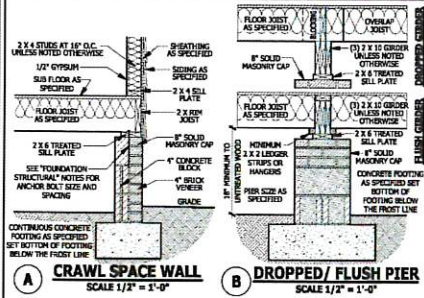
**LEFT & RIGHT ELEVATIONS**  
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SQUARE FOOTAGE	
HEATED	
FIRST FLOOR	1581.50 SQ. FT.
REAR PORCH	23.50 SQ. FT.
TOTAL	1605.00 SQ. FT.
UNHEATED	
FRONT PORCH	28.50 SQ. FT.
REAR PORCH	28.50 SQ. FT.
TOTAL	57.00 SQ. FT.
UNHEATED OPTIONAL	
FRONT PORCH	134.50 SQ. FT.
REAR PORCH	44.50 SQ. FT.
TOTAL	179.00 SQ. FT.
SCREENED	
FRONT PORCH	302.50 SQ. FT.
TOTAL	302.50 SQ. FT.



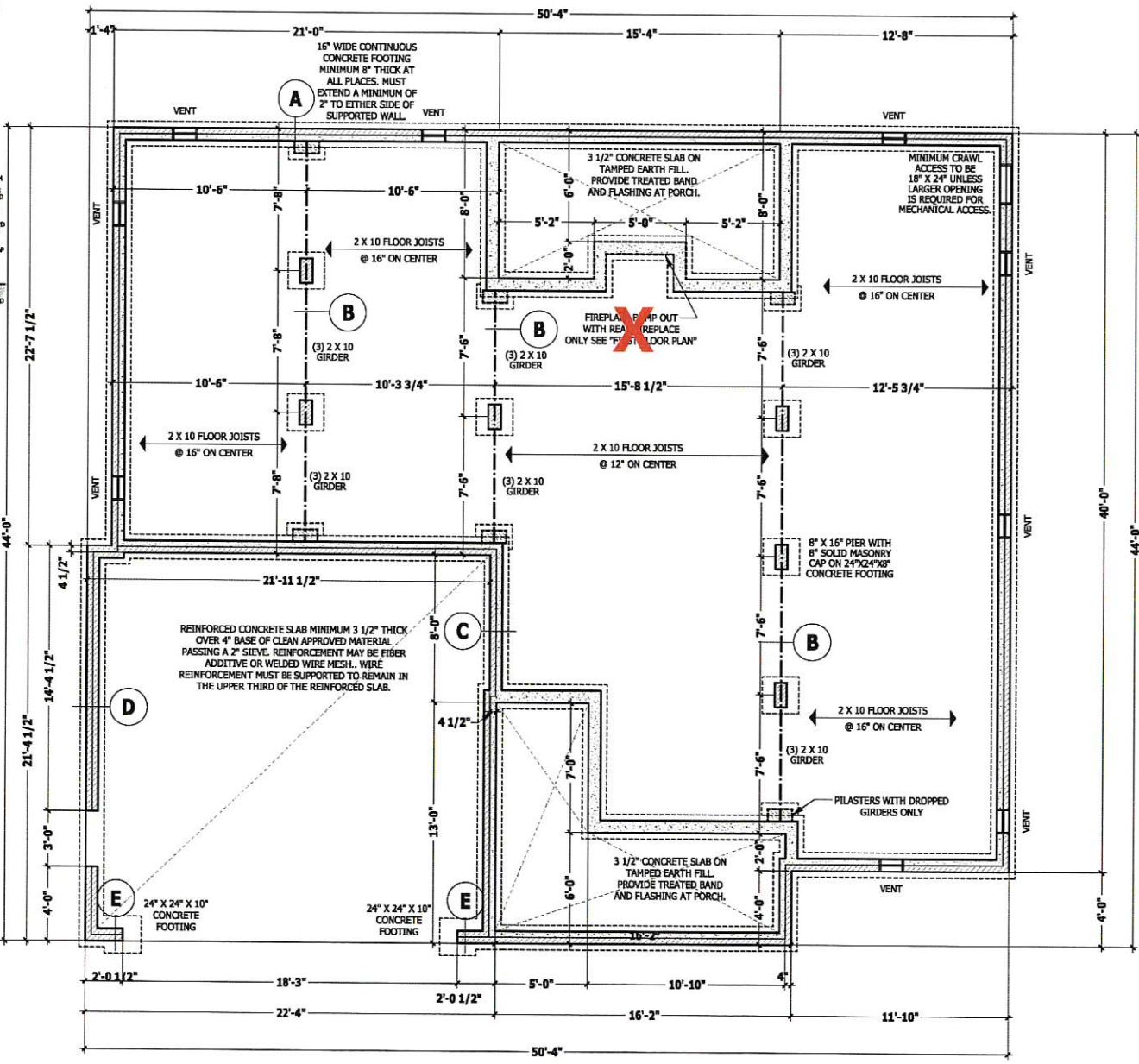


**FOUNDATION STRUCTURAL**

115 to 130 mph wind zone (1 1/2 to 2 1/2 story)  
**CONTINUOUS FOOTING:** 16" wide and 8" thick minimum. 20" wide minimum at brick veneer. Must extend 2" to either side of supported wall.  
**GIRDERS:** (3) 2 X 10 girder unless noted otherwise.  
**PIERS:** 16" X 16" piers with 8" solid masonry cap on 30" X 30" X 10" concrete footing with maximum pier height of 64" with hollow masonry and 160" with solid masonry.  
**POINT LOADS:** ■ designates significant point load and should have solid blocking to pier, girder or foundation wall.  
**115 and 120 MPH ANCHORS BOLTS:** 1/2" diameter anchor bolts embedded minimum 7", maximum 6'-0" on center, within 12" of plate ends, and minimum two anchor bolts per plate.  
**130 MPH ANCHORS BOLTS:** 1/2" diameter anchor bolts embedded minimum 15", maximum 4'-0" on center, within 12" of plate ends, and minimum two anchor bolts per plate.  
**CONCRETE:** Concrete shall have a minimum 28 day strength of 3000 psi and a maximum 5" slump. Air entrained per table 402.2. All concrete shall be in accordance with ACI standards. All samples for pumping shall be taken from the exit end of the pump.  
**SOILS:** Allowable soil bearing pressure assumed to be 2000 PSF. The contractor must contact a geotechnical engineer and a structural engineer if unsatisfactory subsurface conditions are encountered. The surface area adjacent to the foundation wall shall be provided with adequate drainage, and shall be graded so as to drain surface water away from foundation walls.

**WALL VENTED CRAWL SPACES**

**UNDER-FLOOR SPACE (SECTION R408)**  
 SQUARE FOOTAGE OF FOUNDATION TO BE VENTED = 1,296 SQ.FT.  
 WITHOUT CROSS VENTILATION AREA OF VENTING NEEDED = 8.64 SQ.FT.  
 WITH CROSS VENTILATION AREA OF VENTING NEEDED = 0.864 SQ.FT.  
 NOTE: NUMBER OF VENTS NEED WILL VARY DEPENDING ON VENTS USED AND CROSS VENTILATION.



**CRAWL SPACE PLAN**  
 SCALE 1/4" = 1'-0"

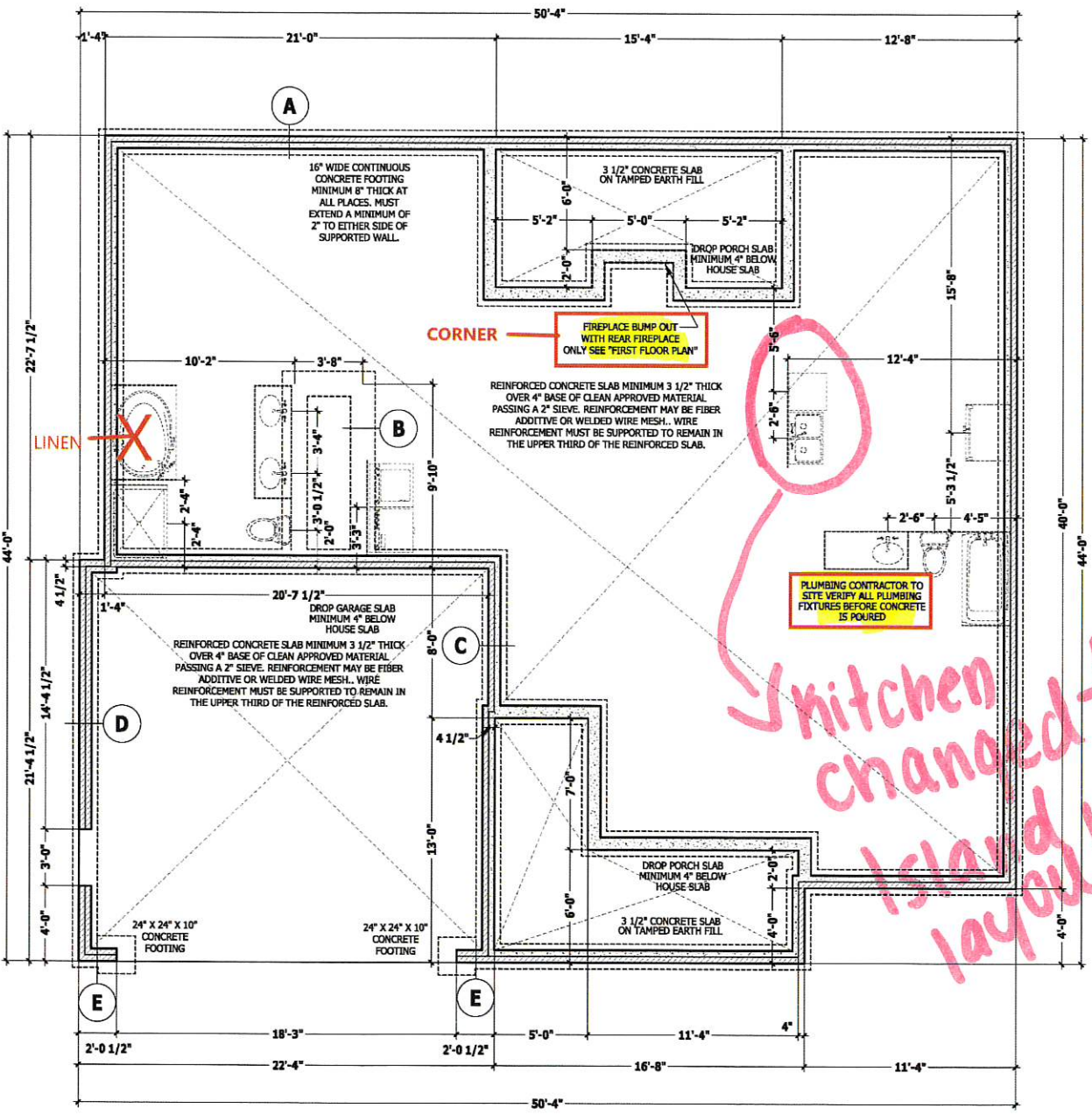
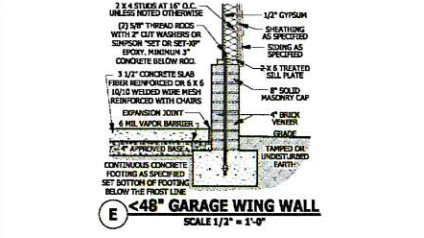
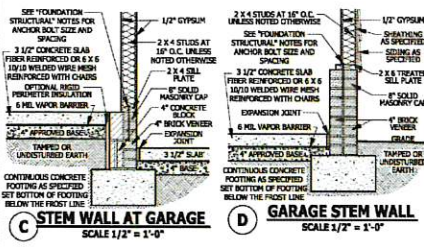
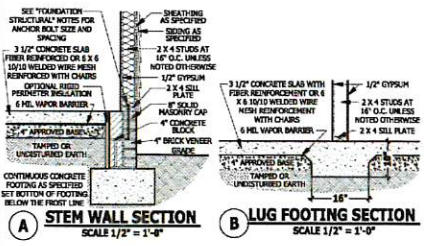
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**FOUNDATION PLAN**  
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SQUARE FOOTAGE	
HEATED	
FIRST FLOOR	1351 SQ.FT.
PORCH	222 SQ.FT.
TOTAL	1573 SQ.FT.
HEATED OPTIONAL	
WALL PAPER	28 SQ.FT.
TOTAL	1601 SQ.FT.
UNHEATED	
PIERCE PORCH	134 SQ.FT.
GAZEBO	448 SQ.FT.
REAR PORCH	113 SQ.FT.
TOTAL	705 SQ.FT.
UNHEATED OPTIONAL	
THIRD GARAGE	302 SQ.FT.
TOTAL	1007 SQ.FT.





**FOUNDATION STRUCTURAL**

115 to 130 mph wind zone (1 1/2 to 2 1/2 story)  
**CONTINUOUS FOOTINGS:** 15" wide and 8" thick minimum. 20" wide minimum at brick veneer. Must extend 2" to either side of supported wall.  
**GIRDERS:** (3) 2 X 10 girder unless noted otherwise.  
**PIERS:** 16" X 16" piers with 8" solid masonry cap on 30" X 30" X 10" concrete footing with maximum pier height of 64" with hollow masonry and 150" with solid masonry.  
**POINT LOADS:** ■ designates significant point load and should have solid blocking to pier, girder or foundation wall.  
**115 and 120 MPH ANCHORS BOLTS:** 1/2" diameter anchor bolts embedded minimum 7", maximum 6'-0" on center, within 12" of plate ends, and minimum two anchor bolts per plate.  
**130 MPH ANCHORS BOLTS:** 1/2" diameter anchor bolts embedded minimum 15", maximum 4'-0" on center, within 12" of plate ends, and minimum two anchor bolts per plate.  
**CONCRETE:** Concrete shall have a minimum 28 day strength of 3000 psi and a maximum 5" slump. Air entrained per table 402.2. All concrete shall be in accordance with ACI standards. All samples for pumping shall be taken from the exit end of the pump.  
**SOILS:** Allowable soil bearing pressure assumed to be 2000 PSF. The contractor must contact a geotechnical engineer and a structural engineer if unsatisfactory subsurface conditions are encountered. The surface area adjacent to the foundation wall shall be provided with adequate drainage, and shall be graded so as to drain surface water away from foundation walls.

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**FOUNDATION PLAN**  
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SQUARE FOOTAGE	
HEATED	
FIRST FLOOR	1351.90 SQ. FT.
PORCH	20.00 SQ. FT.
TOTAL	1371.90 SQ. FT.
UNHEATED	
HALF BATH	28.50 SQ. FT.
TOTAL	28.50 SQ. FT.
UNHEATED	
PORCH	134.90 SQ. FT.
SHED	40.00 SQ. FT.
REAR PORCH	213.50 SQ. FT.
TOTAL	388.40 SQ. FT.
UNHEATED OPTIONAL	
THIRD GARAGE	303.00 SQ. FT.
TOTAL	303.00 SQ. FT.



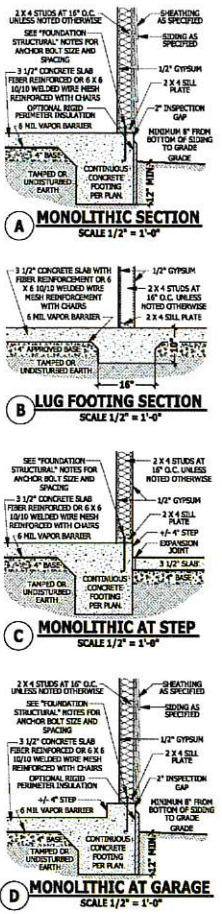
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**MONOLITHIC SLAB PLAN**  
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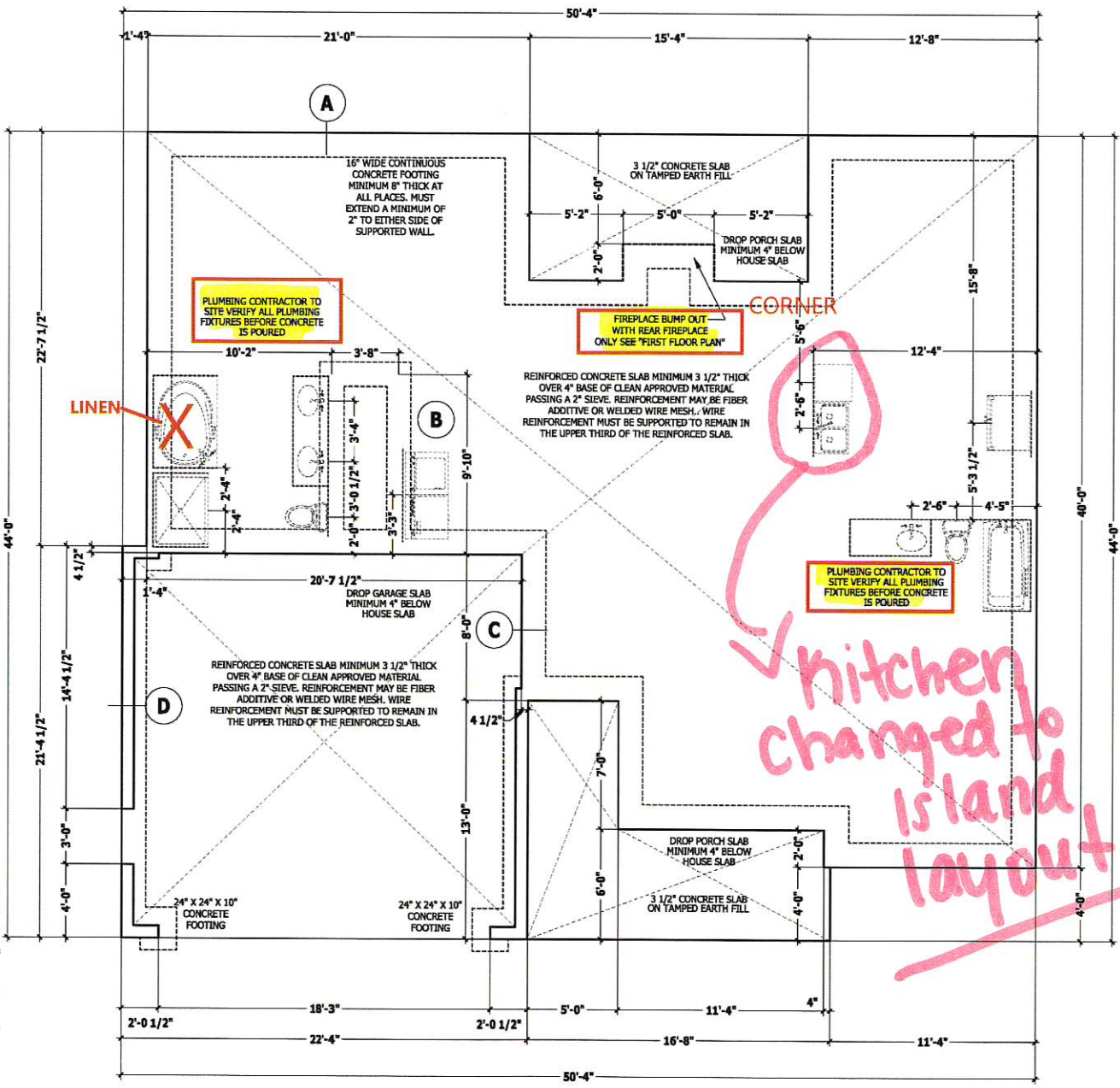
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SQUARE FOOTAGE	
HEATED	
FIRST FLOOR	1381.90 SQ. FT.
REAR PORCH	282.50 SQ. FT.
TOTAL	1664.40 SQ. FT.
UNHEATED	
REAR PORCH	134.50 SQ. FT.
ORANGE	440.50 SQ. FT.
REAR PORCH	113.50 SQ. FT.
TOTAL	688.50 SQ. FT.
UNHEATED OPTIONAL	
REAR PORCH	307.50 SQ. FT.
TOTAL	307.50 SQ. FT.



**FOUNDATION STRUCTURAL**

115 to 130 mph wind zone (1 1/2 to 2 1/2 story)  
**CONTINUOUS FOOTING:** 16" wide and 8" thick minimum. 20" wide minimum at brick veneer. Must extend 2" to either side of supported wall.  
**GIRDERS:** (3) 2 X 10 girder unless noted otherwise.  
**PIERS:** 16" X 16" piers with 8" solid masonry cap on 30" X 30" X 10" concrete footing with maximum pier height of 64" with hollow masonry and 160" with solid masonry.  
**POINT LOADS:** ■■ designates significant point load and should have solid blocking to pier, girder or foundation wall.  
**115 and 120 MPH ANCHORS BOLTS:** 1/2" diameter anchor bolts embedded minimum 7", maximum 6'-0" on center, within 12" of plate ends, and minimum two anchor bolts per plate.  
**130 MPH ANCHORS BOLTS:** 1/2" diameter anchor bolts embedded minimum 15", maximum 4'-0" on center, within 12" of plate ends, and minimum two anchor bolts per plate.  
**CONCRETE:** Concrete shall have a minimum 28 day strength of 3000 psi and a maximum 5' slump. Air entrained per table 402.2. All concrete shall be in accordance with ACI standards. All samples for pumping shall be taken from the exit end of the pump.  
**SOILS:** Allowable soil bearing pressure assumed to be 2000 PSF. The contractor must contact a geotechnical engineer and a structural engineer if unsatisfactory subsurface conditions are encountered. The surface area adjacent to the foundation wall shall be provided with adequate drainage, and shall be graded so as to drain surface water away from foundation walls.



**MONOLITHIC SLAB PLAN**  
SCALE 1/4" = 1'-0"



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FIRST FLOOR PLAN  
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**SQUARE FOOTAGE**

HEATED	1351 SQ.FT.
FIRST FLOOR	1351 SQ.FT.
PLAYROOM	221 SQ.FT.
TOTAL	1572 SQ.FT.
HEATED OPTIONAL	
HALF BATH	28 SQ.FT.
TOTAL	28 SQ.FT.
UNHEATED	28 SQ.FT.
FRONT PORCH	134 SQ.FT.
GARAGE	447 SQ.FT.
REAR PORCH	113 SQ.FT.
TOTAL	694 SQ.FT.
UNHEATED OPTIONAL	
THIRD GARAGE	307 SQ.FT.
TOTAL	307 SQ.FT.

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**5/31/2019**  
**1903208**  
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**DWELLING / GARAGE SEPARATION**

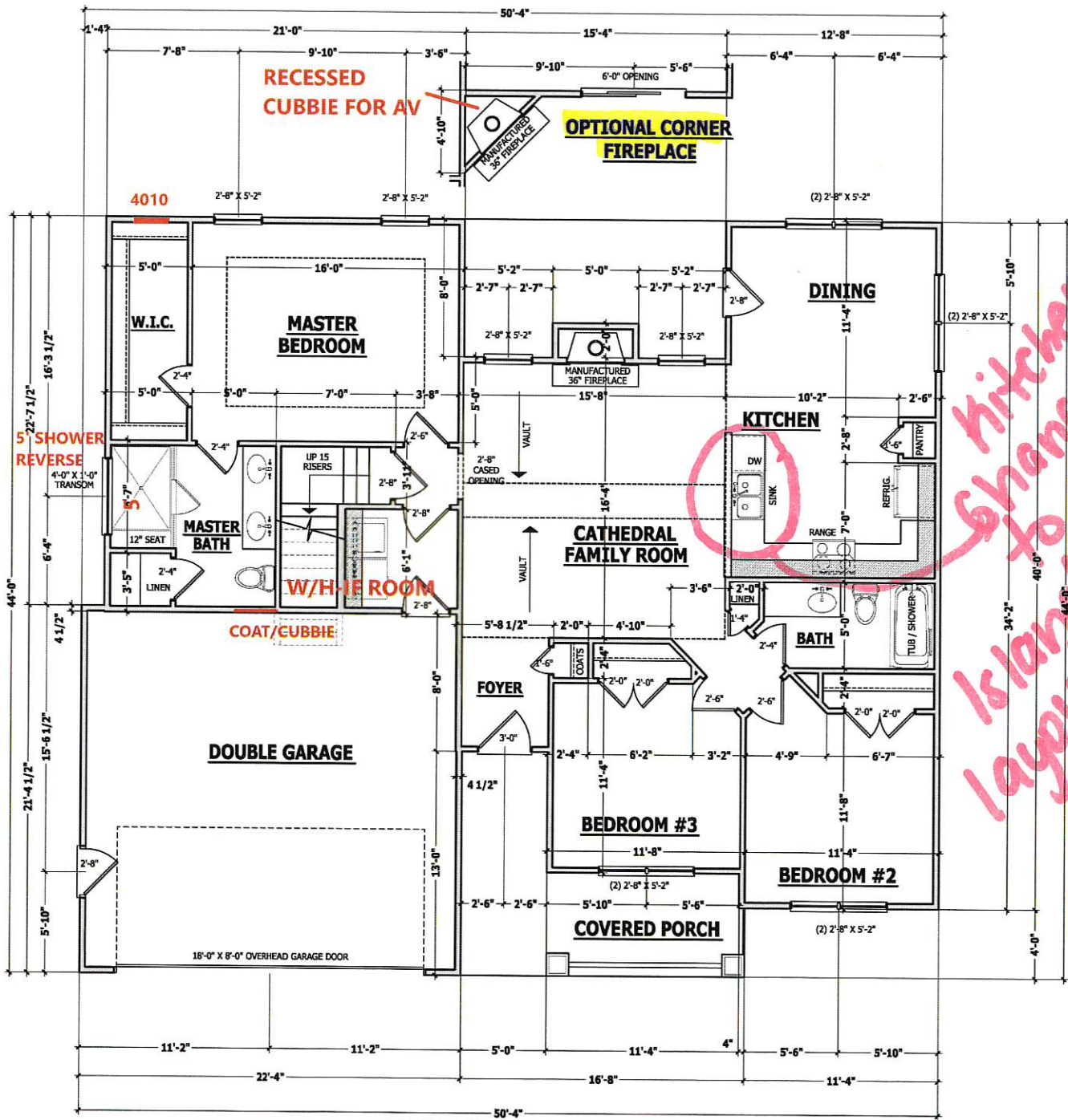
REFER TO SECTIONS R302.5, R302.6, AND R302.7  
**WALLS.** A minimum 1/2" gypsum board must be installed on all walls supporting floor/ceiling assemblies used for separation required by this section.  
**STAIRS.** A minimum of 1/2" gypsum board must be installed on the underside and exposed sides of all stairways.  
**CEILING.** A minimum of 1/2" gypsum must be installed on the garage ceiling if there are no habitable room above the garage. If there are habitable room above the garage a minimum of 5/8" type X gypsum board must be installed on the garage ceiling.  
**OPENING PENETRATIONS.** Openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 1 3/8 inches (35 mm) thick, or 20-minute fire-rated doors.  
**DUCT PENETRATIONS.** Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gauge (0.48 mm) sheet steel or other approved material and shall have no openings into the garage.  
**OTHER PENETRATIONS.** Penetrations through the separation required in Section R302.6 shall be protected as required by Section R302.11, Item 4.

**WALL THICKNESSES**

Exterior walls and walls adjacent to a garage area are drawn as 4" or as noted 2 X 6 are drawn as 6" to include 1/2" sheathing or gypsum. Subtract 1/2" for stud face.  
 Interior walls are drawn as 3 1/2" or as noted 2 X 6 are drawn as 5 1/2", and do not include gypsum.

**SQUARE FOOTAGE**

HEATED	1351 SQ.FT.
FIRST FLOOR	1351 SQ.FT.
PLAYROOM	221 SQ.FT.
TOTAL	1572 SQ.FT.
HEATED OPTIONAL	
HALF BATH	28 SQ.FT.
TOTAL	28 SQ.FT.
UNHEATED	
FRONT PORCH	134 SQ.FT.
GARAGE	447 SQ.FT.
REAR PORCH	113 SQ.FT.
TOTAL	694 SQ.FT.
UNHEATED OPTIONAL	
THIRD GARAGE	307 SQ.FT.
TOTAL	307 SQ.FT.



**FIRST FLOOR PLAN**  
 SCALE 1/4" = 1'-0"



## STRUCTURAL NOTES

All construction shall conform to the latest requirements of the 2018 North Carolina Residential Building Code, plus all local codes and regulations. This document in no way shall be construed to supersede the code.

**JOB SITE PRACTICES AND SAFETY:** Haynes Home Plans, Inc. assumes no liability for contractor practices and procedures or safety program. Haynes Home Plans, Inc. takes no responsibility for the contractor's failure to carry out the construction work in accordance with the contract documents. All members shall be framed, anchored, and braced in accordance with good construction practice and the building code.

DESIGN LOADS	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (I)
Attics without storage	10	10	L/240
Attics with limited storage	20	10	L/360
Attics with fixed stairs	40	10	L/360
Balconies and decks	40	10	L/360
Fire escapes	40	10	L/360
Guardrails and handrails	200	-	-
Guardrail in-fill components	50	-	-
Passenger vehicle garages	50	10	L/360
Rooms other than sleeping	40	10	L/360
Sleeping rooms	30	10	L/360
Stairs	40	-	L/360
Snow	20	-	-

**FRAMING LUMBER:** All non treated framing lumber shall be SPF #2 (Fb = 875 PSI) or SYP #2 (Fb = 750 PSI) and all treated lumber shall be SYP #2 (Fb = 750 PSI) unless noted other wise.

### ENGINEERED WOOD BEAMS:

Laminated veneer lumber (LVL) = Fb=2600 PSI, Fv=285 PSI, E=1.9x10<sup>6</sup> PSI  
Parallel strand lumber (PSL) = Fb=2900 PSI, Fv=290 PSI, E=2.0x10<sup>6</sup> PSI  
Laminated strand lumber (LSL) = Fb=2250 PSI, Fv=400 PSI, E=1.55x10<sup>6</sup> PSI

Install all connections per manufacturer's instructions.

**TRUSS AND I-JOIST MEMBERS:** All roof truss and I-joint layouts shall be prepared in accordance with this document. Trusses and I-joints shall be installed according to the manufacturer's specifications. Any change in truss or I-joint layout shall be coordinated with Haynes Home Plans, Inc.

**LIMITS:** Brick lintels shall be 3 1/2" x 3 1/2" x 1/4" steel angle for up to 6'-0" span, 6" x 4" x 5/16" steel angle with 6" leg vertical for spans up to 9'-0" unless noted otherwise. 3 1/2" x 3 1/2" x 1/4" steel angle with 1/2" bolts at 2'-0" on center for spans up to 18'-0" unless noted otherwise.

**FLOOR SHEATHING:** OSB or CDX floor sheathing minimum 1/2" thick for 16" on center joist spacing, minimum 5/8" thick for 19.2" on center joist spacing, and minimum 3/4" thick for 24" on center joist spacing.

**ROOF SHEATHING:** OSB or CDX roof sheathing minimum 3/8" thick for 16" on center rafters and 7/16" for 24" on center rafters.

**CONCRETE AND SOILS:** See foundation notes.

## BRACE WALL PANEL NOTES

**EXTERIOR WALLS:** All exterior walls to be sheathed with CS-WSP or CS-SFB in accordance with section R602.10.3 unless noted otherwise.

**GYPSUM:** All interior sides of exterior walls and both sides interior walls to have 1/2" gypsum installed. When not using method GB gypsum to be fastened per table R702.3.5. Method GB to be fastened per table R602.10.1.

**REQUIRED LENGTH OF BRACING:** Required brace wall length for each side of the dimensioned rectangle are interpolated per table R602.10.3. Methods CS-WSP and CS-SFB contribute their actual length. Method GB contributes 0.5 its actual length. Method PF contributes 1.5 times its actual length.

**HD:** 800 lbs hold down hold down device fastened to the edge of the brace wall panel closets to the corner.

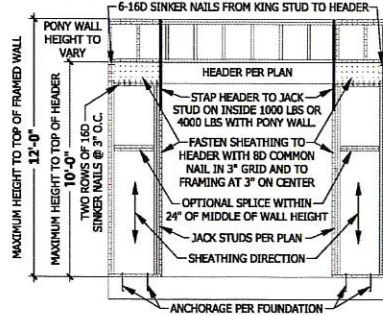
**Methods per Table R602.10.1**

**CS-WSP:** Shall be minimum 3/8" OSB or CDX nailed at 6" on center at edges and 12" on center at intermediate supports with 6d common nails or 8d(2 1/2" long x 0.113" diameter).

**CS-SFB:** Shall be minimum 1/2" structural fiber board nailed at 3" on center at edges and 3" on center at intermediate supports with 1 1/2" long x 0.12" diameter galvanized roofing nails.

**GB:** Interior walls show as GB are to have minimum 1/2" gypsum board on both sides of the wall fastened at 7" on center at edges and 7" on center at intermediate supports with minimum 5d cooler nails or #6 screws.

**PF:** Portal frame per figure R602.10.1.



**PF PORTAL FRAME AT OPENING**  
(METHOD PF PER FIGURE AND SECTION R602.10.1)  
SCALE 1/4" = 1'-0"

## EXTERIOR HEADERS

(2) 2 X 6 WITH 1 JACK STUD EACH END UNLESS NOTED OTHERWISE

KING STUDS EACH END PER TABLE BELOW

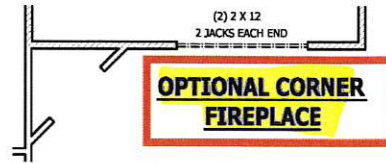
HEADER SPAN < 3' 3'-4' 4'-8' 8'-12' 12'-16'

KING STUD(S) 1 2 3 5 6

## INTERIOR HEADERS (2)

LOAD BEARING HEADERS (2) 2 X 6 WITH 1 JACK STUD AND 1 KING STUD EACH END UNLESS NOTED OTHERWISE

NON LOAD BEARING HEADERS TO BE LADDER FRAMED



## ROOF TRUSS REQUIREMENTS

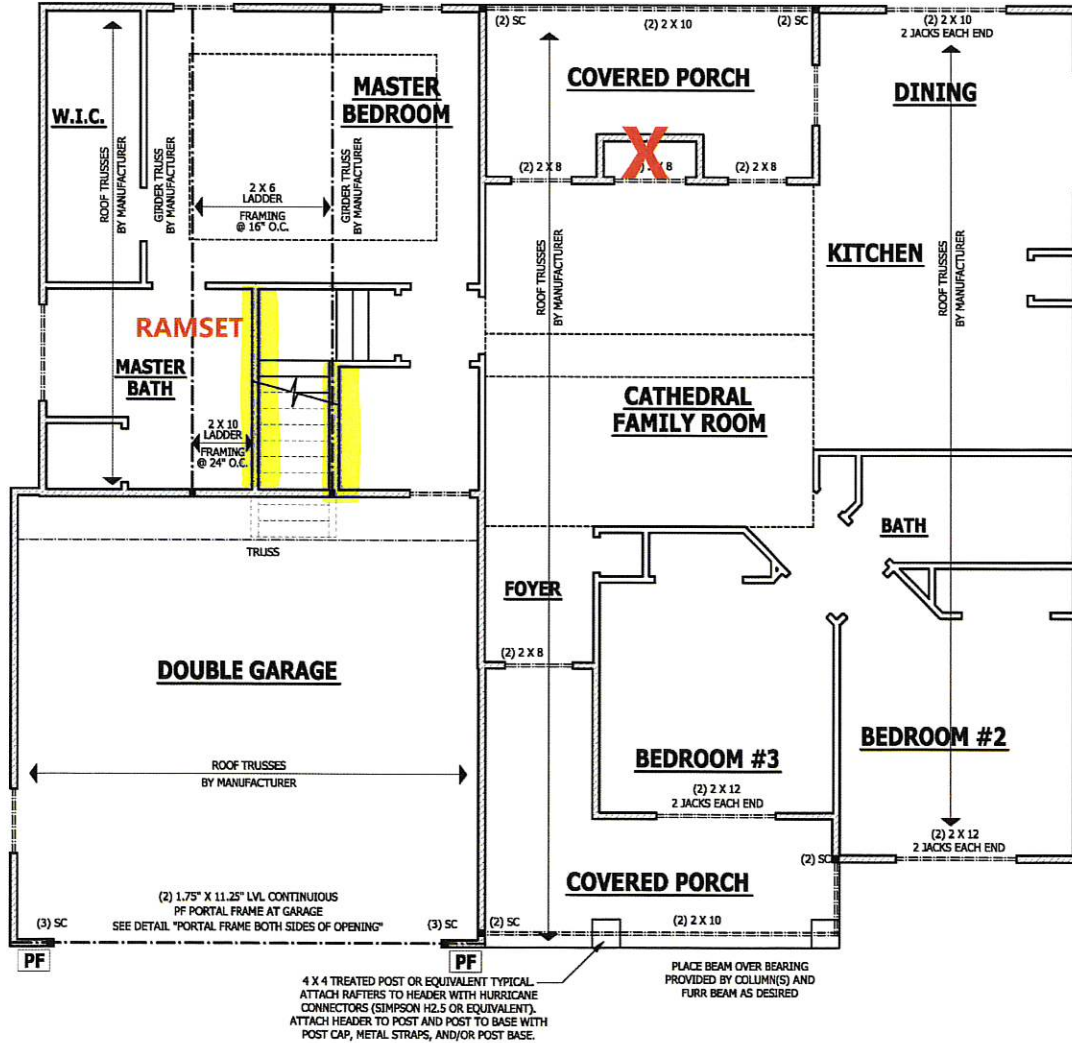
**TRUSS DESIGN:** Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plan, Inc. attention before construction begins.

**KNEE WALL AND CEILING HEIGHTS:** All finished knee wall heights and ceiling heights are shown furred down 10" from roof decking for insulation. If for any reason the truss manufacturer fails to meet or exceed designated heel heights, finished knee wall heights, or finished ceiling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Haynes Home Plans, Inc. attention, so a suitable solution can be reached before construction begins. Any variation due to these conditions not being met is the responsibility of the truss manufacturer.

**ANCHORAGE:** All required anchors for trusses due to uplift or bearing shall meet the requirements as specified on the truss schematics.

**BEARING:** All trusses shall be designed for bearing on SPF #2 plates or ledgers unless noted otherwise.

**Plate Heights & Floor Systems:** See elevation page(s) for plate heights and floor system thicknesses.



## FIRST FLOOR STRUCTURAL

SCALE 1/4" = 1'-0"

PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTOR PRACTICES AND PROCEDURES. CODES AND ORDINANCES MAY VARY WITH LOCALITY. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

FIRST FLOOR STRUCTURAL  
SINCLAIR

WEAVER  
HOMES  
HOME PLANS, INC.  
910.630.2100 • 919.606.4096

HAYNES  
HOME PLANS, INC.  
P.O. BOX 102, WAKE FOREST, NC 27788 919-355-8100 FAX 919-355-4010

SQUARE FOOTAGE	
HEATED	
FIRST FLOOR	1381 SQ.FT.
SECOND FLOOR	1273 SQ.FT.
TOTAL	2654 SQ.FT.
UNHEATED	
SCREENED PORCH	78 SQ.FT.
REAR PORCH	28 SQ.FT.
TOTAL	106 SQ.FT.
UNHEATED OPTIONAL	
SCREENED PORCH	134 SQ.FT.
REAR PORCH	44 SQ.FT.
TOTAL	178 SQ.FT.
UNHEATED GARAGE	207 SQ.FT.
TOTAL	2861 SQ.FT.

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190320B  
PAGE 5 OF 8



## STRUCTURAL NOTES

All construction shall conform to the latest requirements of the 2018 North Carolina Residential Building Code, plus all local codes and regulations. This document in no way shall be construed to supersede the code.

**JOBSITE PRACTICES AND SAFETY:** Haynes Home Plans, Inc. assumes no liability for contractors practices and procedures or safety program. Haynes Home Plans, Inc. takes no responsibility for the contractor's failure to carry out the construction work in accordance with the contract documents. All members shall be framed, anchored, and braced in accordance with good construction practice and the building code.

DESIGN LOADS	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (L)
Attics without storage	10	10	L/240
Attics with limited storage	20	10	L/360
Attics with fixed stairs	40	10	L/360
Balconies and decks	40	10	L/360
Fine escapes	40	10	L/360
Guardrails and handrails	200	-	-
Guardrail in-fill components	50	-	-
Passenger vehicle garages	50	10	L/360
Rooms other than sleeping	40	10	L/360
Sleeping rooms	30	10	L/360
Stairs	40	-	L/360
Snow	20	-	-

**FRAMING LUMBER:** All non treated framing lumber shall be SPF #2 (Fb = 875 PSI) or SYP #2 (Fb = 750 PSI) and all treated lumber shall be SYP #2 (Fb = 750 PSI) unless noted otherwise.

### ENGINEERED WOOD BEAMS:

Laminated veneer lumber (LVL) = Fb=2600 PSI, Pv=285 PSI, E=1.9x10<sup>6</sup> PSI  
 Parallel strand lumber (PSL) = Fb=2900 PSI, Pv=290 PSI, E=2.0x10<sup>6</sup> PSI  
 Laminated strand lumber (LSL) Fb=2250 PSI, Pv=400 PSI, E=1.55x10<sup>6</sup> PSI  
 Install all connectors per manufacturer's instructions.

**TRUSS AND I-JOIST MEMBERS:** All roof truss and I-joist layouts shall be prepared in accordance with this document. Trusses and I-joists shall be installed according to the manufacturer's specifications. Any change in truss or I-joist layout shall be coordinated with Haynes Home Plans, Inc.

**LINTELS:** Brick lintels shall be 3 1/2" x 3 1/2" x 1/4" steel angle for up to 6'-0" span, 6" x 4" x 5/16" steel angle with 6" leg vertical for spans up to 9'-0" unless noted otherwise. 3 1/2" x 3 1/2" x 1/4" steel angle with 1/2" bolts at 2'-0" on center for spans up to 18'-0" unless noted otherwise.

**FLOOR SHEATHING:** OSB or CDX floor sheathing minimum 1/2" thick for 16" on center joist spacing, minimum 5/8" thick for 19.2" on center joist spacing, and minimum 3/4" thick for 24" on center joist spacing.

**ROOF SHEATHING:** OSB or CDX roof sheathing minimum 3/8" thick for 16" on center rafters and 7/16" for 24" on center rafters.

**CONCRETE AND SOILS:** See foundation notes.

## ROOF TRUSS REQUIREMENTS

**TRUSS DESIGN:** Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plans, Inc. attention before construction begins.

**KNEE WALL AND CEILING HEIGHTS:** All finished knee wall heights and ceiling heights are shown turned down 10" from roof decking for insulation. If for any reason the truss manufacturer fails to meet or exceed designated net heights, finished knee wall heights, finished ceiling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Haynes Home Plans, Inc. attention, so a suitable solution can be reached before construction begins. Any variation due to these conditions not being met is the responsibility of the truss manufacturer.

**ANCHORAGE:** All required anchors for trusses due to uplift or bearing shall meet the requirements as specified on the truss schematics.

**BEARING:** All trusses shall be designed for bearing on SPF #2 plates or ledgers unless noted otherwise.

**Plate Heights & Floor Systems:** See elevation page(s) for plate heights and floor system thicknesses.

## EXTERIOR HEADERS

- (2) 2 X 6 WITH 1 JACK STUD EACH END UNLESS NOTED OTHERWISE

- KING STUDS EACH END PER TABLE BELOW

HEADER SPAN	< 3'	3'-4'	4'-8'	8'-12'	12'-16'
KING STUD(S)	1	2	3	5	6

## INTERIOR HEADERS

- LOAD BEARING HEADERS (2) 2 X 6 WITH 1 JACK STUD AND 1 KING STUD EACH END UNLESS NOTED OTHERWISE

- NON LOAD BEARING HEADERS TO BE LADDER FRAMED

## ATTIC ACCESS

### SECTION R807

**R807.1 Attic access.** An attic access opening shall be provided to attic areas that exceed 400 square feet (37.16 m<sup>2</sup>) and have a vertical height of 60 inches (1524 mm) or greater. The net clear opening shall not be less than 20 inches by 30 inches (508 mm by 762 mm) and shall be located in a hallway or other readily accessible location. A 30-inch (762 mm) minimum unobstructed headroom in the attic space shall be provided at some point above the access opening. See Section M1305.1.3 for access requirements where mechanical equipment is located in attics.

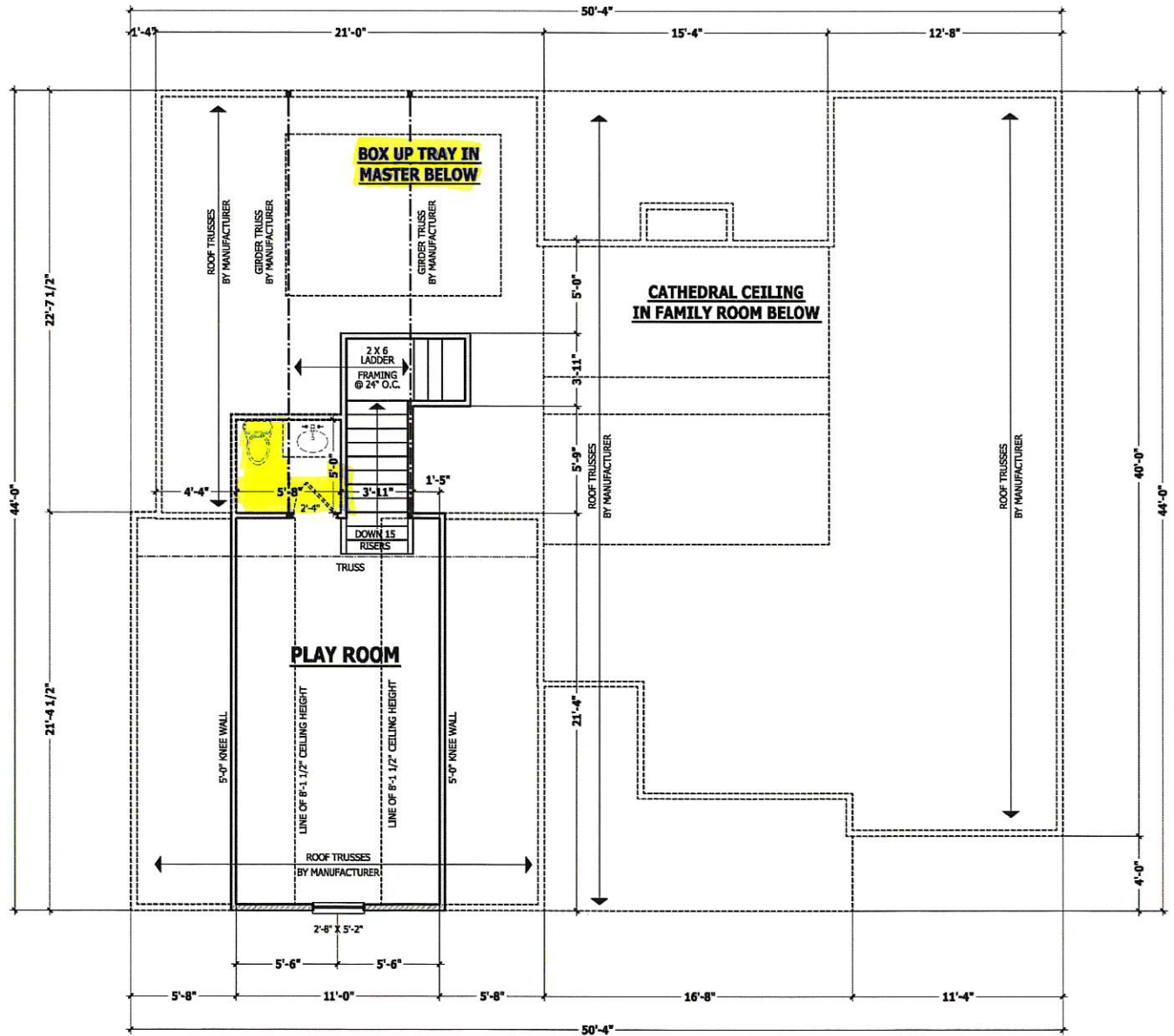
### Exceptions:

1. Concealed areas not located over the main structure including porches, areas behind knee walls, dormers, bay windows, etc. are not required to have access.
2. Pull down stair treads, stringers, handrails, and hardware may protrude into the net clear opening.

## WALL THICKNESSES

Exterior walls and walls adjacent to a garage area are drawn as 4" or as noted 2 X 6 are drawn as 6" to include 1/2" sheathing or gypsum. Subtract 1/2" for stud face.

Interior walls are drawn as 3 1/2" or as noted 2 X 6 are drawn as 5 1/2", and do not include gypsum.



## SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"

PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS.  
 HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTOR PRACTICES AND PROCEDURES.  
 CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION.  
 THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

SECOND FLOOR PLAN  
**SINCLAIR**

**HAYNES WEAVER HOMES**  
 HOME PLANS, INC.  
 910.630.2100 • 919.606.4696  
 1000 W. WILSON ROAD, SUITE 100, WILSON, NC 27597

SQUARE FOOTAGE	
FIRST FLOOR	1381 SQ.FT.
SECOND FLOOR	1272 SQ.FT.
TOTAL	2653 SQ.FT.
HEATED OPTIONAL	
HALF BATH	28 SQ.FT.
UNHEATED	28 SQ.FT.
FRONT PORCH	124 SQ.FT.
SCREENED	440 SQ.FT.
REAR PORCH	113 SQ.FT.
TOTAL	585 SQ.FT.
UNHEATED OPTIONAL	
TRUSS GARAGE	207 SQ.FT.
TOTAL	792 SQ.FT.

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**5/31/2019**  
**190320B**  
**PAGE 6 OF 8**

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### ROOF TRUSS REQUIREMENTS

**TRUSS DESIGN.** Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plans, Inc. attention before construction begins.

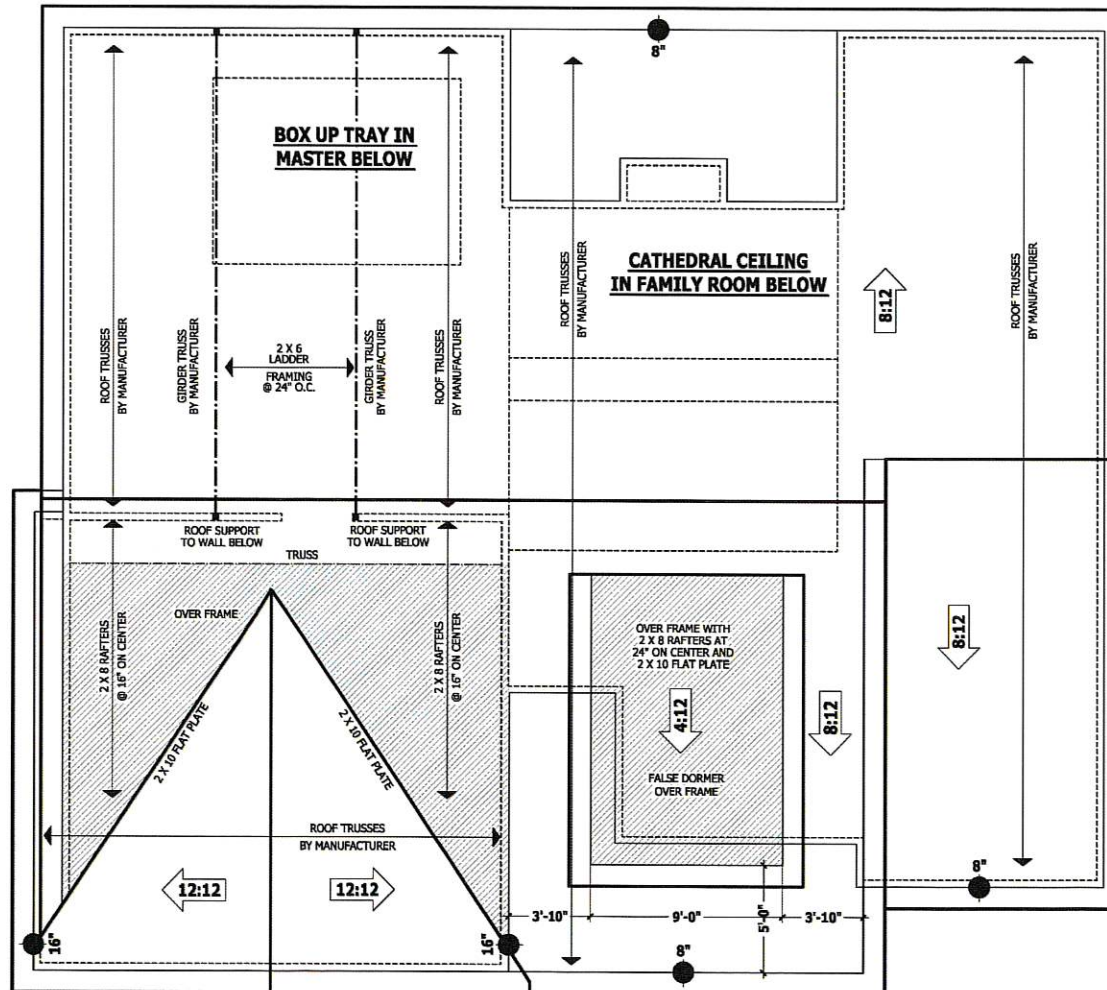
**KNEE WALL AND CEILING HEIGHTS.** All finished knee wall heights and ceiling heights are shown furred down 10" from roof decking for insulation. If for any reason the truss manufacturer fails to meet or exceed designated heel heights, finished knee wall heights, or finished ceiling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Haynes Home Plans, Inc. attention, so a suitable solution can be reached before construction begins. Any variation due to these conditions not being met is the responsibility of the truss manufacturer.

**ANCHORAGE.** All required anchors for trusses due to uplift or bearing shall meet the requirements as specified on the truss schematics.

**BEARING.** All trusses shall be designed for bearing on SPF #2 plates or ledgers unless noted otherwise.

Plate Heights & Floor Systems. See elevation page(s) for plate heights and floor system thicknesses.

- HEEL HEIGHT ABOVE FIRST FLOOR PLATE
- HEEL HEIGHT ABOVE SECOND FLOOR PLATE



### ROOF PLAN

SCALE 1/4" = 1'-0"

PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTOR'S PRACTICES AND PROCEDURES. CODES AND CONDITIONS MAY VARY WITH LOCATION. A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

ROOF PLAN  
**SINCLAIR**

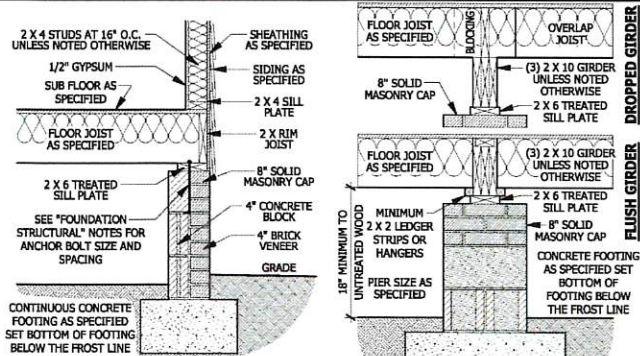
**HAYNES WEAVER HOMES**  
HOME PLANS, INC.  
910-630-2100 • 919-606-4696

**HAYNES WEAVER HOME PLANS, INC.**  
P.O. BOX 102, LIME ROCK, NC 27888 919-636-1180 FAX 919-636-4143

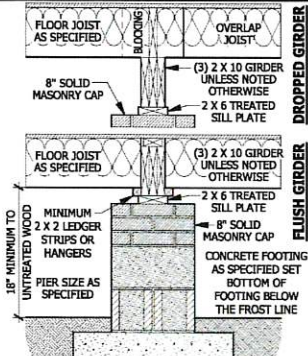
SQUARE FOOTAGE	
HEATED FIRST FLOOR	1351 SQ. FT.
PLANITOCK	221 SQ. FT.
TOTAL HEATED	1572 SQ. FT.
UNHEATED	28 SQ. FT.
TOTAL UNHEATED	28 SQ. FT.
PORCH PERCH	134 SQ. FT.
GARAGE	343 SQ. FT.
REAR PORCH	113 SQ. FT.
TOTAL UNHEATED OPTIONAL	618 SQ. FT.
TOTAL GARAGE	343 SQ. FT.
TOTAL	2214 SQ. FT.

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**5/31/2019**  
**1903208**  
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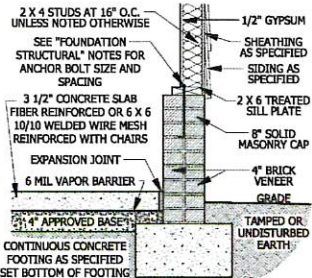




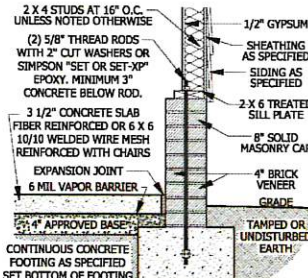
**A CRAWL SPACE WALL**  
SCALE 3/4" = 1'-0"



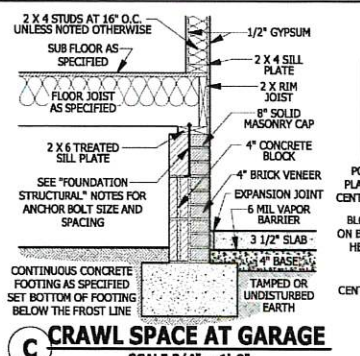
**B DROPPED/ FLUSH PIER**  
SCALE 3/4" = 1'-0"



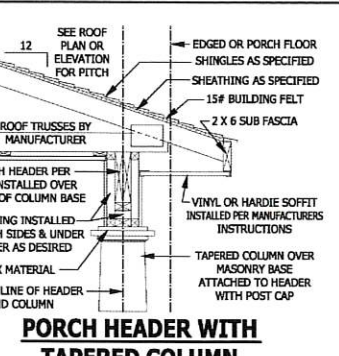
**D GARAGE STEM WALL**  
SCALE 3/4" = 1'-0"



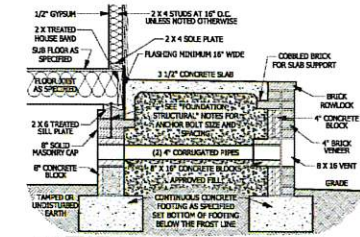
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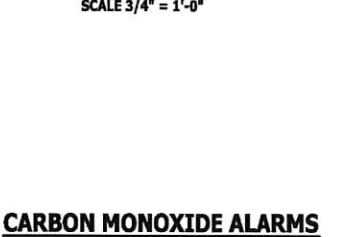
**C CRAWL SPACE AT GARAGE**  
SCALE 3/4" = 1'-0"



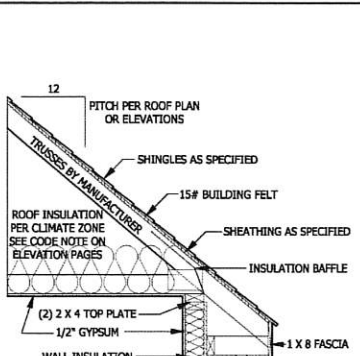
**PORCH HEADER WITH TAPERED COLUMN**  
SCALE 3/4" = 1'-0"



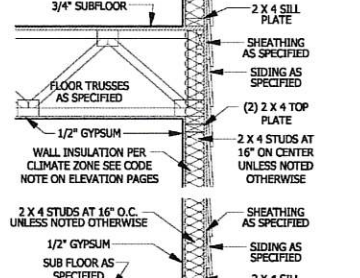
**F FILLED PORCH SECTION WITH VENT**  
SCALE 1/2" = 1'-0"



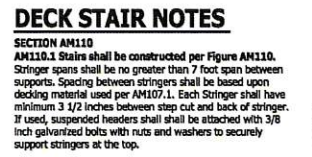
**CARBON MONOXIDE ALARMS**



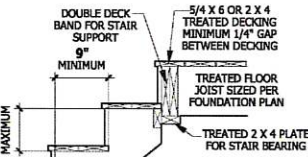
**TYPICAL WALL DETAIL**  
SCALE 3/4" = 1'-0"



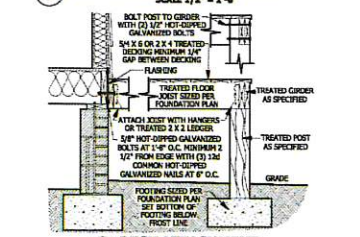
**TYPICAL WALL DETAIL**  
SCALE 3/4" = 1'-0"



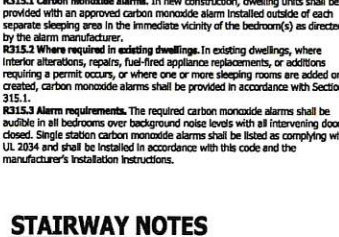
**DECK STAIR NOTES**



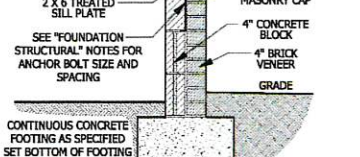
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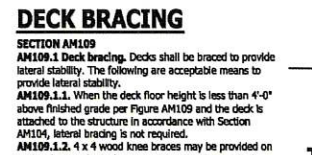
**G DECK ATTACHMENT**  
SCALE 1/2" = 1'-0"



**SMOKE ALARMS**



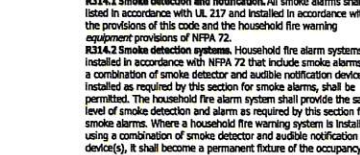
**TYPICAL WALL DETAIL**  
SCALE 3/4" = 1'-0"



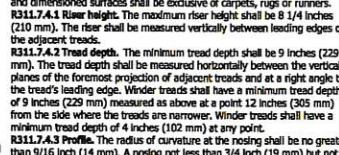
**DECK BRACING**



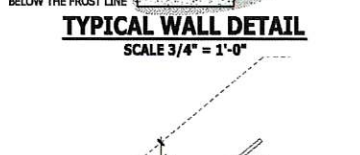
**FIGURE AM110 TYPICAL DECK STAIR DETAIL**  
SCALE 3/4" = 1'-0"



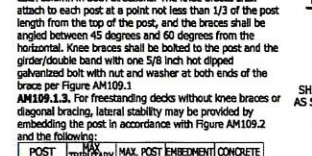
**WEEP SCREEDS**



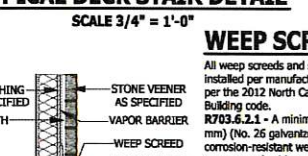
**STAIRWAY NOTES**



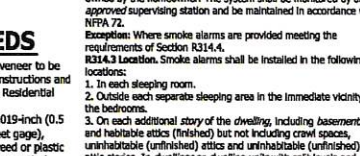
**TYPICAL WALL DETAIL**  
SCALE 3/4" = 1'-0"



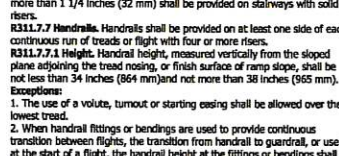
**WEEP SCREED**  
SCALE 3/4" = 1'-0"



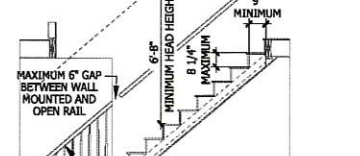
**TYPICAL STAIR DETAIL**  
SCALE 1/4" = 1'-0"



**SMOKE ALARMS**



**STAIRWAY NOTES**



**TYPICAL WALL DETAIL**  
SCALE 3/4" = 1'-0"

POST SIZE	TRIMMERY DEPTH	WALL POST EMBEDMENT DEPTH	CONCRETE DIAMETER	
4 X 4	48 SF	41-0"	2'-6"	1'-0"
4 X 4	48 SF	41-0"	2'-6"	1'-0"
6 X 6	120 SF	6'-0"	3'-6"	1'-8"

POST SIZE	TRIMMERY DEPTH	WALL POST EMBEDMENT DEPTH	CONCRETE DIAMETER	
4 X 4	48 SF	41-0"	2'-6"	1'-0"
4 X 4	48 SF	41-0"	2'-6"	1'-0"
6 X 6	120 SF	6'-0"	3'-6"	1'-8"

POST SIZE	TRIMMERY DEPTH	WALL POST EMBEDMENT DEPTH	CONCRETE DIAMETER	
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POST SIZE	TRIMMERY DEPTH	WALL POST EMBEDMENT DEPTH	CONCRETE DIAMETER	
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POST SIZE	TRIMMERY DEPTH	WALL POST EMBEDMENT DEPTH	CONCRETE DIAMETER	
4 X 4	48 SF	41-0"	2'-6"	1'-0"
4 X 4	48 SF	41-0"	2'-6"	1'-0"
6 X 6	120 SF	6'-0"	3'-6"	1'-8"

PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTORS PRACTICES AND METHODS.

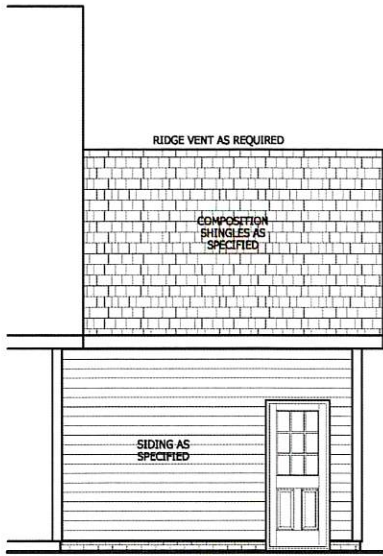
COOKS AND CONTRACTORS MUST VERIFY WITH LOCAL AGENCY DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

**TYPICAL DETAILS SINCLAIR**

**HAYNES WEAVER HOMES HOME PLANS, INC.**

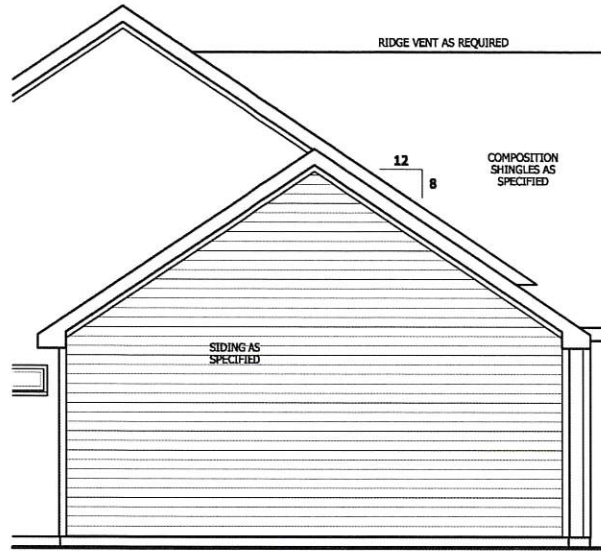
HEATED	UNHEATED
FIRST FLOOR	1351 SQ FT
SECOND FLOOR	1579 SQ FT
TOTAL	2930 SQ FT
HEATED OPTIONAL	78 SQ FT
UNHEATED	78 SQ FT
PORCH/PORCH	124 SQ FT
SCREEN	402 SQ FT
REAR PORCH	133 SQ FT
TOTAL	897 SQ FT
UNHEATED OPTIONAL	897 SQ FT
TOTAL	3827 SQ FT





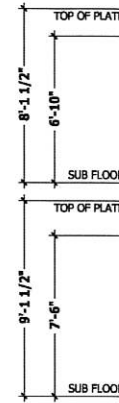
**REAR ELEVATION**

SCALE 1/4" = 1'-0"



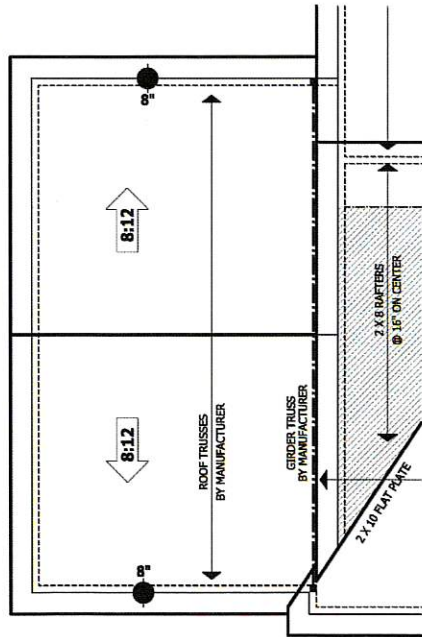
**LEFT SIDE ELEVATION**

SCALE 1/4" = 1'-0"



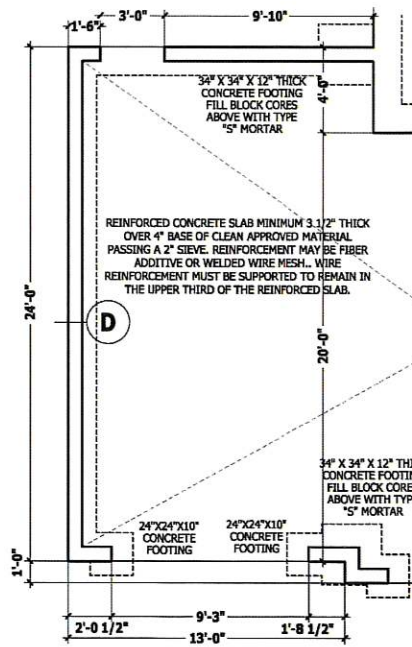
**FRONT ELEVATION**

SCALE 1/4" = 1'-0"



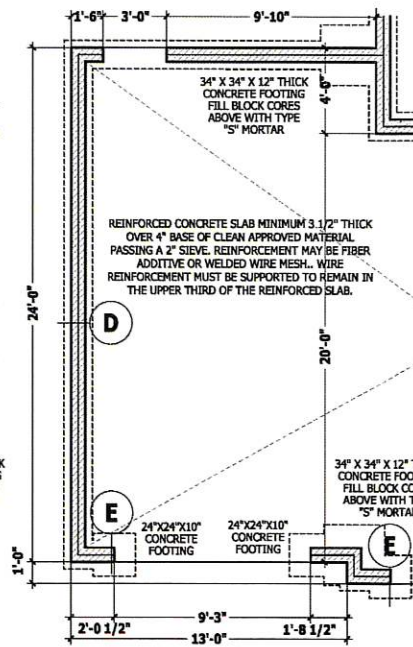
**ROOF PLAN**

SCALE 1/4" = 1'-0"



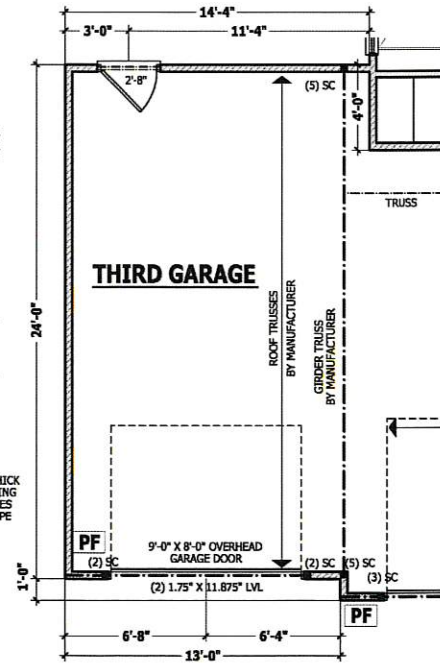
**MONOLITHIC PLAN**

SCALE 1/4" = 1'-0"



**CRAWL / STEMWALL PLAN**

SCALE 1/4" = 1'-0"



**FIRST FLOOR PLAN**

SCALE 1/4" = 1'-0"

PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGINS. HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR CONTRACTORS PRACTICES AND PROCEDURES. CODES AND CONDITIONS MAY VARY WITH LOCATION, A LOCAL DESIGNER, ARCHITECT OR ENGINEER SHOULD BE CONSULTED BEFORE CONSTRUCTION. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN PROPERTY OF THE DESIGNER.

**THIRD CAR GARAGE  
SINCLAIR**

**HAYNES WEAVER  
HOMES**  
910.630.2100 • 919.606.4696

**HAYNES WEAVER  
HOME PLANS, INC.**  
P.O. BOX 102, WACE FORD, NC 27888 919-355-5160 FAX 919-355-4916

SQUARE FOOTAGE	
HEATED FIRST FLOOR	1361 SQ. FT.
HEATED SECOND FLOOR	2722 SQ. FT.
TOTAL HEATED	4083 SQ. FT.
UNHEATED	28 SQ. FT.
HEATED PORTCH	134 SQ. FT.
UNHEATED PORTCH	44 SQ. FT.
REAR PORTCH	213 SQ. FT.
TOTAL UNHEATED	281 SQ. FT.
TOTAL UNHEATED OPTIONAL	265 SQ. FT.
TOTAL	4343 SQ. FT.

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Haynes Home Plans, Inc.  
5/31/2019  
190320B  
ADDENDUM



Weaver Homes  
 Sinclair Left 2020 Plan  
 Kitchen 36" WALLS

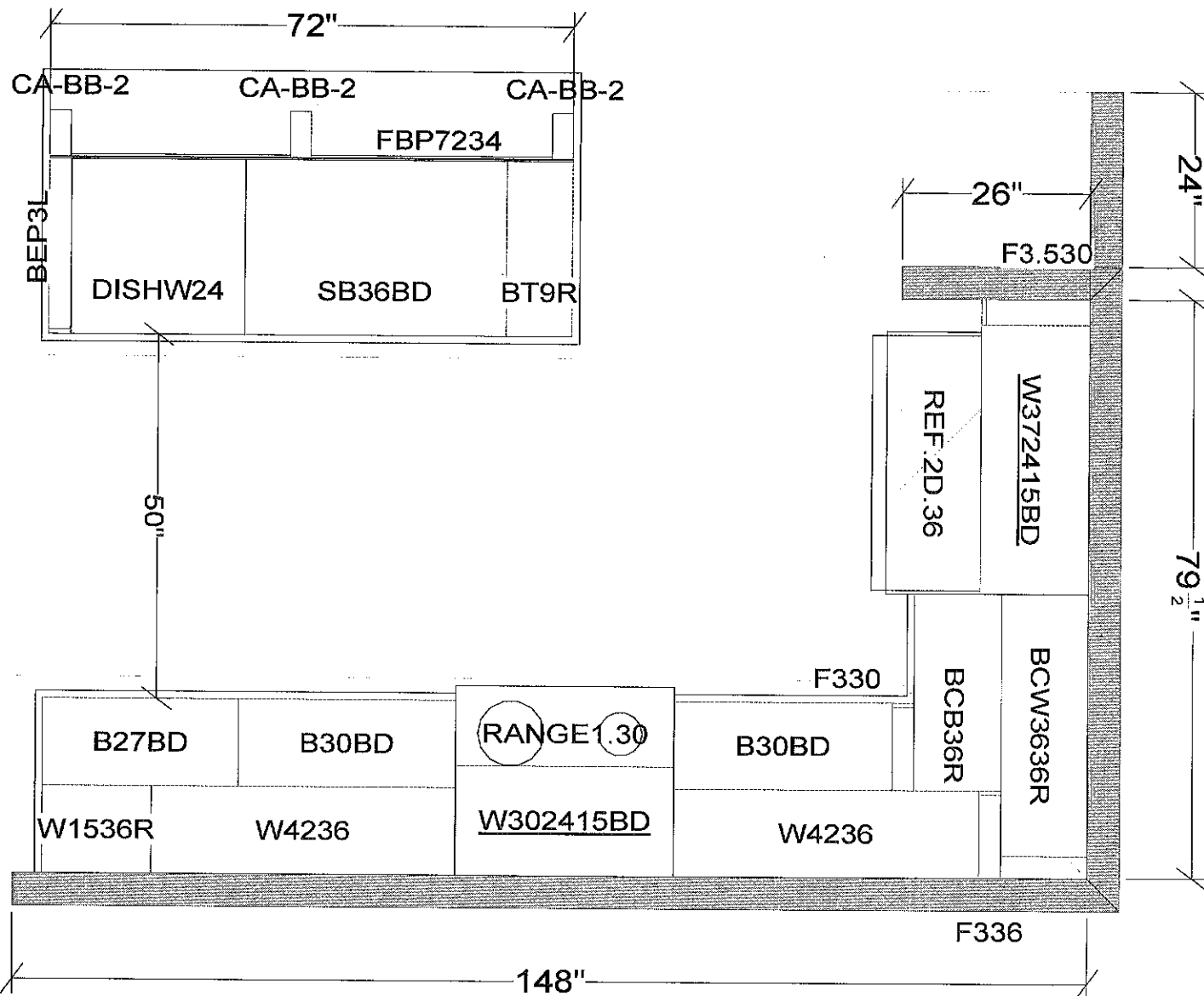
OXFORD Standard Overlay  
 Maple / ??  
 Plywood Dovetail Drawers

- (4) SDCM8
- (3) BTS
- (4) PS3/4
- (1) F342
- (5) SM (Leave on Wall Cabinets)
- (2) TUK

- (2) 2x4
- (1) 1x6 Deadwood

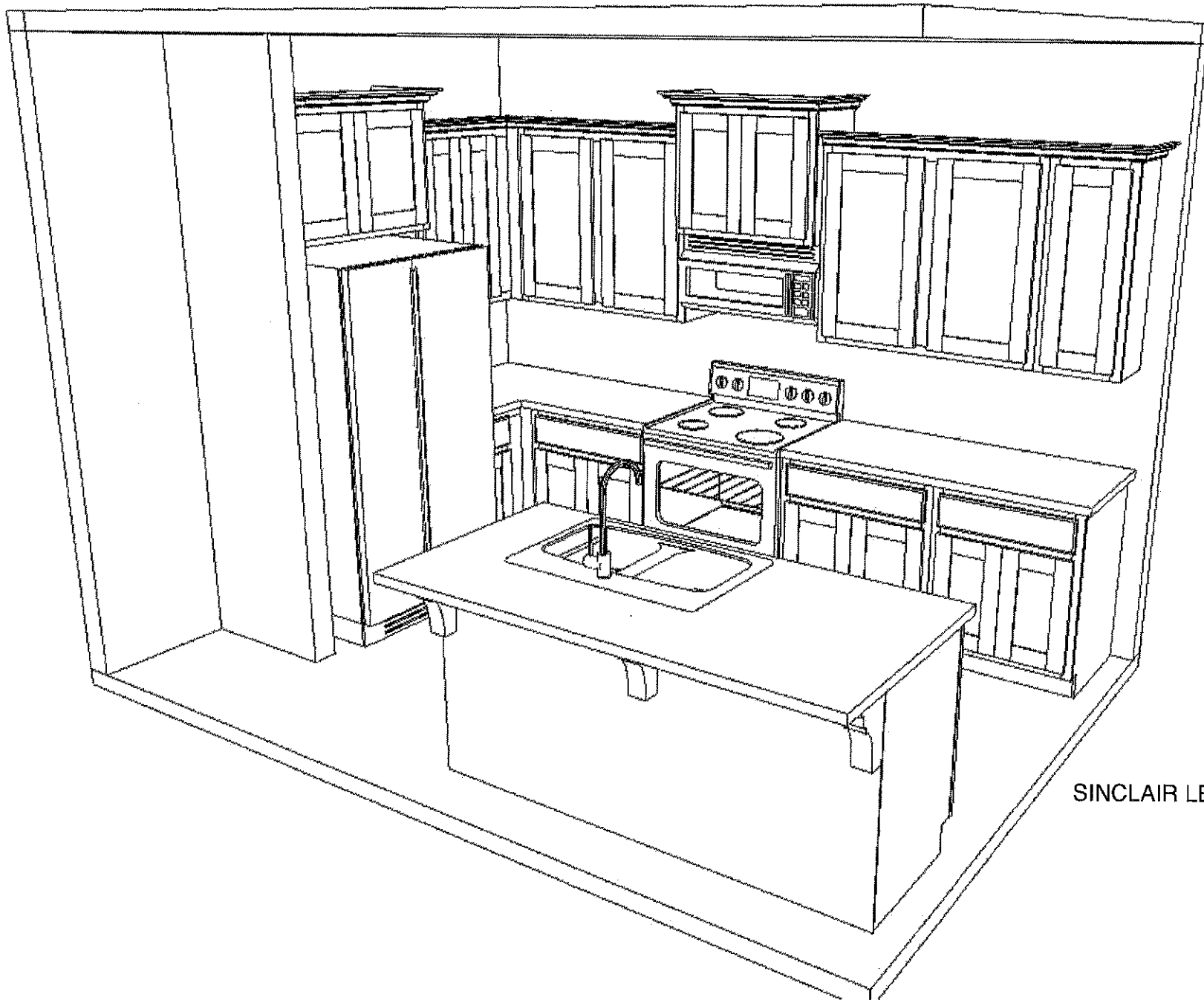
Hardware:  
 (21) - Doors -  
 (6) - Drawers -

Space Corbels Evenly  
 Do NOT Raise Base Cabinets  
 Use 1 TUK and Leave 2nd  
 in Ref. Cabinet



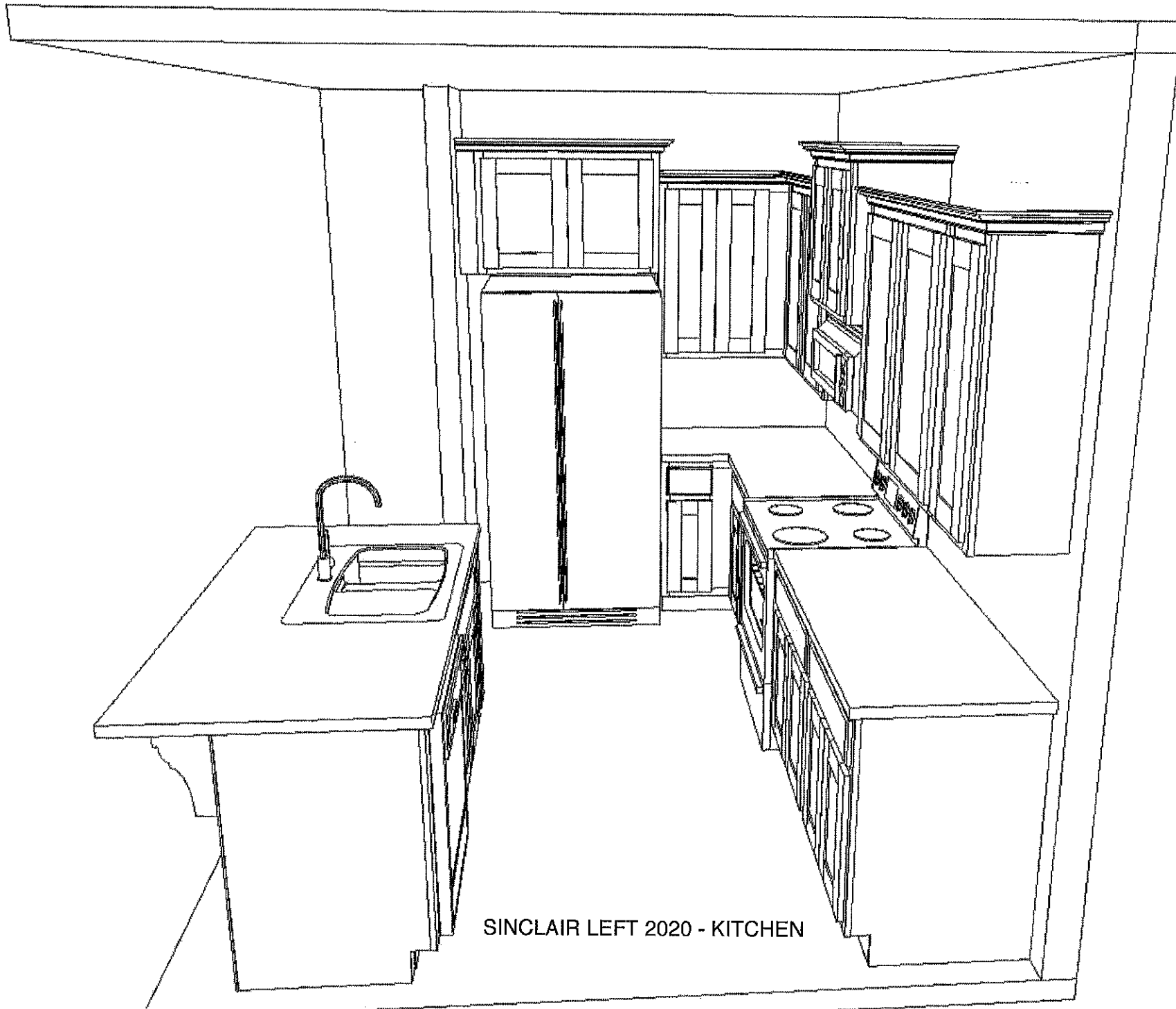
<p>All dimensions size designations given are subject to verification on job site and adjustment to fit job conditions.</p>	<p>2020</p>	<p>This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.</p>	<p>Designed: 2/24/2020          Printed: 2/24/2020</p>
<p>Sinclair Kitchen</p>		<p>All</p>	<p>Drawing #: 1 No Scale.</p>





SINCLAIR LEFT 2020 - KITCHEN





SINCLAIR LEFT 2020 - KITCHEN



SINCLAIR LEFT 2020 - KITCHEN

