MEAN ROOF HEIGHT: 17'-2	HEIGHT TO RIDGE: 25'-6"		
CLIMATE ZONE	ZONE 3A	ZONE 4A	ZONE 5A
FENESTRATION U-FACTOR	0.35	0.35	0.35
SKYLIGHT U-FACTOR	0.55	0.55	0.55
GLAZED FENESTRATION SHGC	0.30	0.30	0.30
CEILING R-VALUE	38 or 30d	38 or 30d	38 or 30d
WALL R-VALUE	15	15	19
FLOOR R-VALUE	19	19	30
<ul> <li>BASEMENT WALL R-VALUE</li> </ul>	5/13	10/15	10/15
** SLAB R-VALUE	0	10	10
<ul> <li>CRAWL SPACE WALL R-VALUE</li> </ul>	5/13	10/15	10/19

\*\* INSULATION DEPTH WITH MONOLITHIC SLAB 24" OR FROM INSPECTION GAP TO BOTTOM OF FOOTING; DISJULATION DEPTH WITH STEM WALL SLAB 24" OR TO BOTTOM OF FOUNDATION WALL

DESIGNED FOR WIN	D SPEED	OF 120 M	H, 3 5EO	OND GUST	(93 FAST	EST MILE	EXPOSUR	E B
COMPONENT								LOADS
MEAN ROOF	UPT	O 30'	30'-1"	TO 35'	35'-1"	TO 40'	40'-1"	TO 45
ZONE 1	14.2	-15.0	14.9	-15.8	15.5	-16.4	15.9	-16.8
ZONE 2	14.2	-18.0	14.9	-18.9	15.5	-19.6	15.9	-20.2
ZONE 3	14.2	-18.0	14.9	-18.9	15.5	-19.6	15.9	-20.2
ZONE 4	15.5	-16.0	16.3	-16.8	16.9	-17.4	17.4	-17.9
ZONE 5	15,5	-20.0	16,3	-21.0	16,9	-21.8	17.4	-22.4
DESIGNED FOR WAN	D SPEED	OF 130 ME	HL 3 5EO	OND GUST	(101 FAS	TEST NO.	E) EXPOS	RE B
COMPONENT			DESIG	NED FO	R THE	FOLLO	WING	LOADS
	& CLA		DESIG		R THE	FOLLO	WING	LOADS
COMPONENT	& CLA	DDING	DESIG	NED FO	35'-1"	FOLLO TO 40°	WING 40'-1"	LOADS
COMPONENT MEAN ROOF ZONE 1 ZONE 2	& CLA	DDING O 30'	DESIG 30'-1"	NED FO TO 35'	35'-1"	FOLLO TO 40' -19.6	WING 40'-1" 18.7	TO 45' -20.2 -23.5
COMPONENT MEAN ROOF ZONE 1	8 CLA UP T 16.7	DDING O 30' -18.0	DESIG 30'-1' 17.5	NED FC TO 35' -18.9	35'-1" 18.2	FOLLO TO 40' -19.6	WING 40'-1" 18.7 18.7	TO 45' -20.2
COMPONENT MEAN ROOF ZONE 1 ZONE 2	BL CLA UP T 16.7 16.7	DDING O 30' -18.0	DESIG 30'-1' 17.5	NED FO TO 35' -18.9 -22.1	35'-1" 18.2 18.2	FOLLO TO 40' -19.6 -22.9	WING 40'-1" 18.7 18.7	TO 45' -20.2 -23.5

### **ROOF VENTILATION**

SQUARE FOOTAGE OF ROOF TO BE VENTED = 2,111 SQ.FT. NET FREE CROSS VENTILATION NEEDED:

WITHOUT 50% TO 80% OF VENTING 3'-0" ABOVE EAVE = 14.07 SQ.FT. WITH 50% TO 80% OF VENTING 3'-0" ABOVE EAVE; OR WITH CLASS I OR II

### **GUARD RAIL NOTES**

SECTION R312

SECTION R312

R313.1 Where required. Guards shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the odge of the open side. Insect areasing shall not be considered as a guardar state of the control of the contr

RIDGE VENT AS REQUIRED

1. Guards on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the

 Where the top of the *guard* also serves as a handrall on the open sides of stairs, the top of the guard shall not be not less than 34 inches (864 mm) and not more than 38 inches (965 mm) measured vertically from a line connecting the leading edge of the treads.

R312.3 Opening limitations. Required guards shall not have openings from the

walking surface to the required *guard* height which allow passage of a sphere 4 inches (102 mm)in diameter.

The triangular openings at the open side of a stair, formed by the riser, tread and bottom rail of a *guard*, shall not allow passage of a sphere 6 inches (153).

Guards on the open sides of stairs shall not have openings which allow passage of a sphere 43/8 inches (111 mm) in diameter.

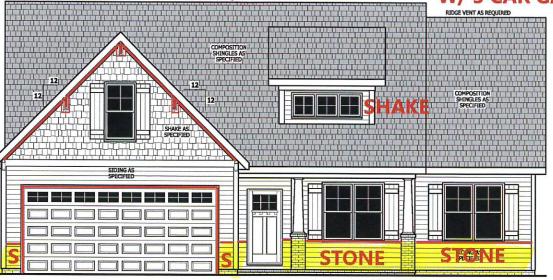
### **AIR LEAKAGE**

Section N1102.4
N1102.4.1 Building thermal envelope. The building thermal NI102.A.1 Bullding thermal envelope. The bullding thermal envelope shall be durably sealed with an air barier system to Simit Infiltration. The sealing methods between dissimilar materials shall allow for differential exponsion and contraction. For all homes, where present, the following shall be caulled, gasketed, weather stripped or otherwise sealed with an air barier material or solid material consistent with Appendix E-2-4 of this code:

1. Biodring and sealing floor/colling systems and under knee wells open to unconditioned or exterior space.

2. Capping and sealing solffit or dropped ceiling areas.

**MURRAY FARM 1-D** W/3 CAR GARAGE RIDGE VENT AS REQUIRED



RAIL AS NEEDED PER CODE

RIDGE VENT AS REQUIRED

FRONT ELEVATION SCALE 1/4" = 1'-0"

**SQUARE FOOTAGE** 

WINDOW HE

TOP OF PLATE

SUB FLOOR TOP OF PLATE

SUB FLOOR

HEATED
FIRST FLOOR 1351
FLAYFOOM 221
TOTAL 1572
HEATED OPTIONAL
HALF BATH 28 1351 SQ.FT. 221 SQ.FT. 1572 SQ.FT.

UNHEATED FRONT PORCH GARAGE REAR PORCH 134 SQ.FT. 447 SQ.FT. 113 SQ.FT. 694 SQ.FT.

UNHEATED OPTIONAL

307 SQ.FT. 307 SQ.FT. TOP OF PLATE SUB FLOOR TOP OF PLATE

SUB FLOOR

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PAGE 1 OF 8

28 SQ.FT.

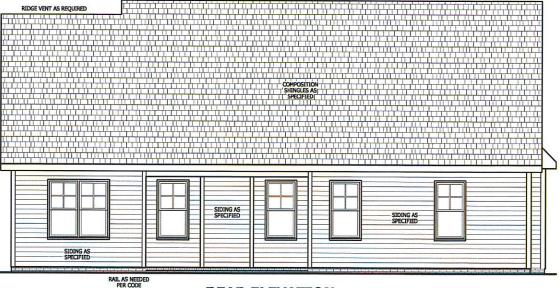
THESE DRAWING ARE INSTRUMENTS OF SERVICE AN AS SUCH SHALL RIPHAIN PROPERTY OF THE DESIGNER

& REAR ELEVATIONS

FRONT

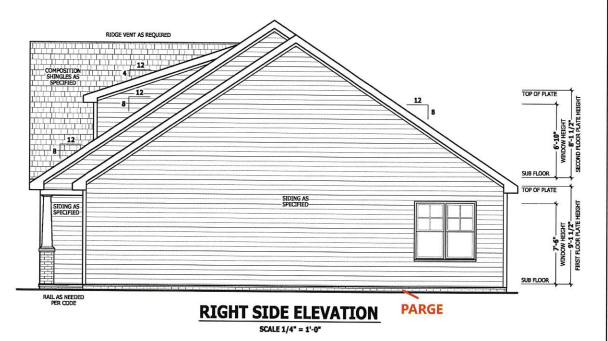
SINCLAIR

UNHEATED OPTIONAL THRO GAME X7 SOFT



**REAR ELEVATION** 

SCALE 1/4" = 1'-0"





LEFT SIDE ELEVATION PARGE SCALE 1/4" = 1'-0"

LEFT & RIGHT ELEVATIONS

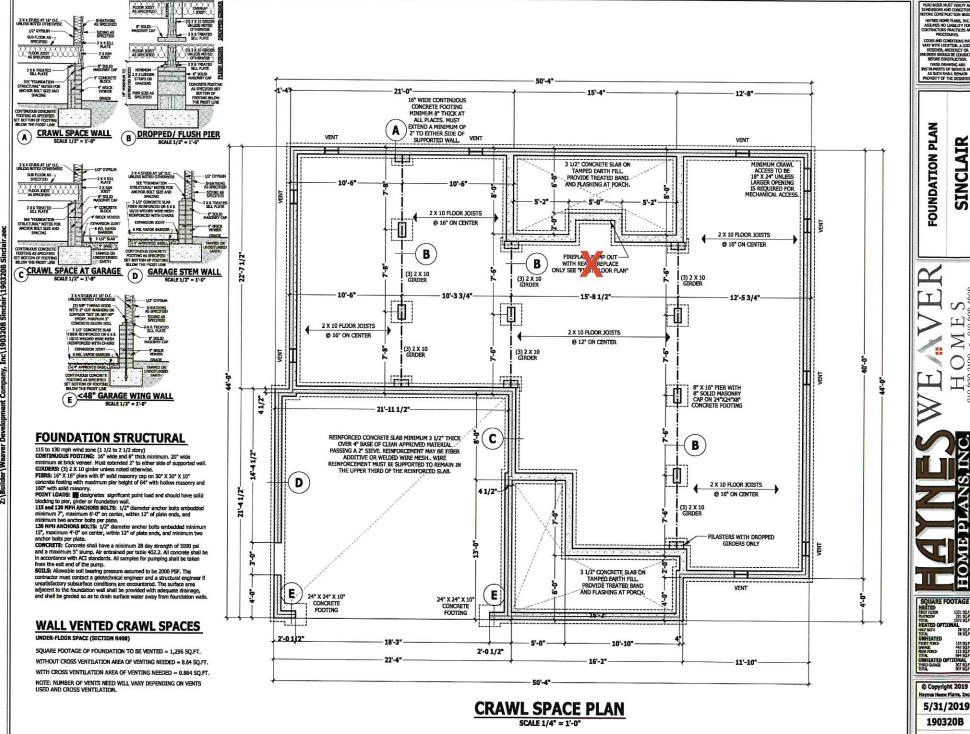
SINCLAIR



SQUARE FOOTAGE
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PAGE 2 OF 8



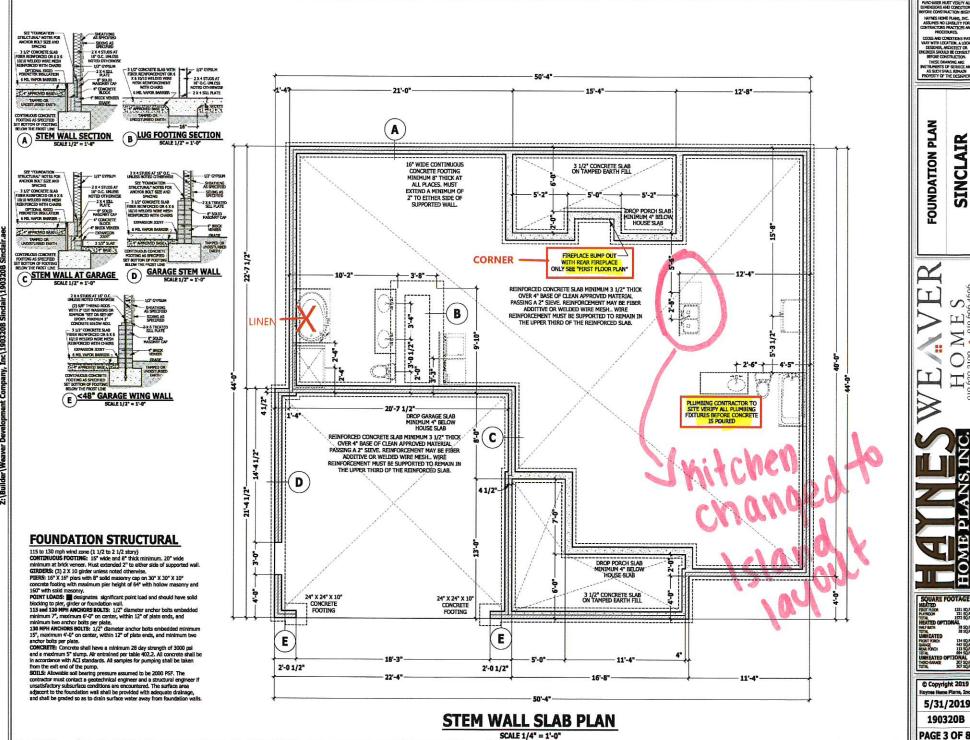
HAYNES HOME PLANS, ENC ASSUMES NO LIABILITY FO ONTRACTORS PRACTICES A PROCEDURES.

CODES AND CONDITIONS MAN MARY WITH LOCATION, A LOCA DESIGNER, ARCHITECT OR VIDLERS SHOULD BE CONSULT BEFORE CONSTRUCTION

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SQUARE FOOTAGE A SOFT UNHEATED OPTIONAL
THROGARAGE 307 SOFT

Haynes Home Plans, Inc 5/31/2019 190320B PAGE 3 OF 7

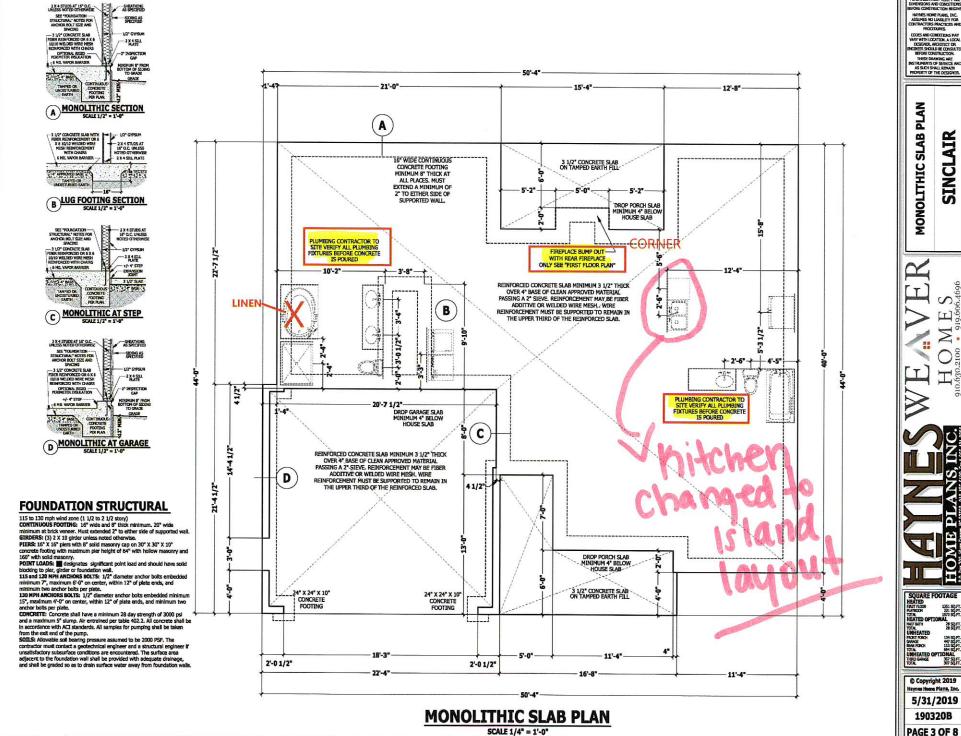




28 SOF

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PAGE 3 OF 8



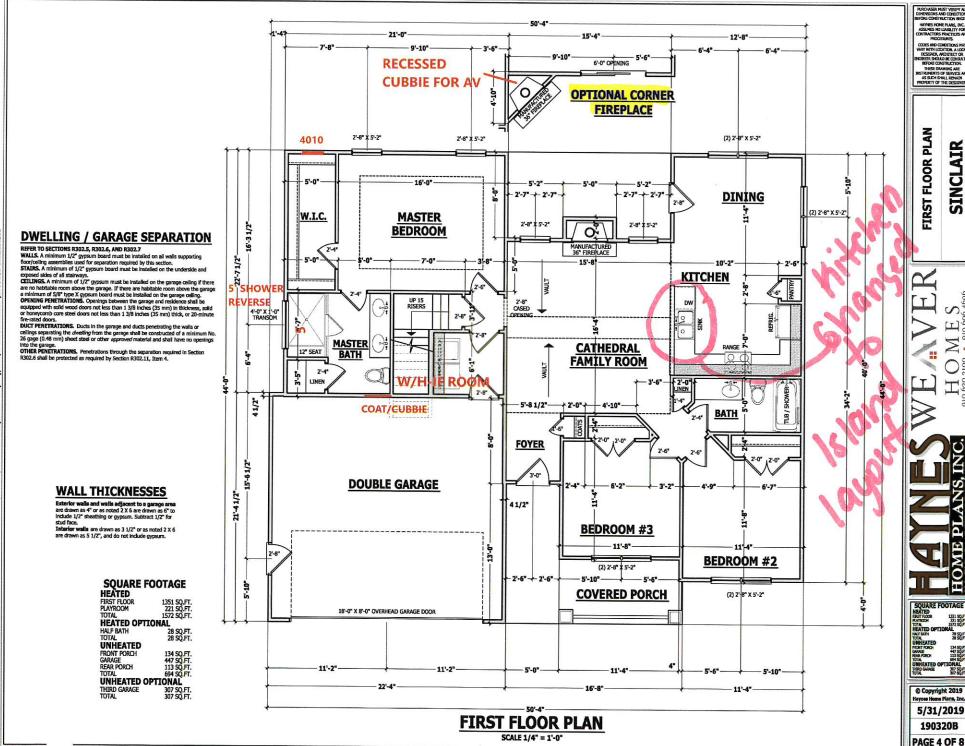
Development Company, Inc\190320B Sindair\190320B

SINCLAIR MONOLITHIC SLAB

SQUARE FOOTAGE
HEATED
PRIT ROOR 1361 SQLFT
PLATROON 221 SQLFT 28 SO.FT 134 50 FT 447 50 FT 113 50 FT 10 NAL 367 50 FT 367 50 FT

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PAGE 3 OF 8



HAYNES HOME PLANS, IN

SINCLAIR

28 SO FT UNITATED
PRONT FORD: 134 SQ.FT.
GARAGE 447 SQ.FT.
RSAR FORD: 113 SQ.FT.
TOTAL
UNITATED OPTIONAL
THEO GARAGE 327 SQ.FT.
TOTAL 307 SQ.FT.

5/31/2019 190320B

PAGE 4 OF 8

All construction shall conform to the latest requirements of the 2018 North Carolina Residential Building Code, plus all local codes and regulations. This document in no way shall be construed to supersede the code. JOB SITE PRACTICES AND SAFETY: Haynes Home Plans, Inc. assumes no liability for contractors practices and procedures or safety program. Haynes Home Plans, Inc. takes no responsibility for the contractor's failure to carry out the construction work in accordance with the contract documents. All members shall be framed, anchored, and braced in accordance with good

DESIGN LOADS	LIVE LOAD	DEAD LOAD	DEFLECTION	
USE	(PSF)	(PSF)	(LL)	
Attics without storage	10		L/240	
Attics with limited storage	20	10	L/360	
Attics with fixed stairs	40	10	L/360	
Balconies and decks	40	10	L/360	
Fire escapes	40	10	L/360	
Guardrails and handrails	200	_		
Guardrail in-fill components	50	-	-	
Passenger vehicle garages	50	10	L/360	
Rooms other than sleeping	40	10	L/360	
Sleeping rooms	30	10	L/360	
Stairs	40	-	L/360	
Snow	20	-	-	

FRAMING LUMBER: All non treated framing lumber shall be SPF #2 (Fb = 875 PSI) or SYP #2 (Fb = 750 PSI) and all treated lumber shall be SYP #2 (Fb = 750 PSI) unless noted other wise. ENGINEERED WOOD BEAMS:

Evaluates Level our Berther (N.1) = F0-2000 PSI, PV-285 PSI, E=1.9x10° PSI
Parallel strand lumber (SSI) = F0-2000 PSI, FV-285 PSI, E=2.9x10° PSI
Luminated strand lumber (SSI) = F0-2001 PSI, FV-290 PSI, E=2.0x10° PSI
Luminated strand lumber (SSI) = F0-2001 PSI, FV-200 PSI, E=1.5x10° PSI
Instal all connections or manufactures instructions.
Instal all connections of manufactures instructions.

TUSS all connections of the PSI PSI A first of the SSI and 1-joint layouts shall be

prepared in accordance with this document. Trusses and 1-joists shall be installed according to the manufacture's specifications. Any change in truss or 1-joist layout shall be condinated with highes Homes Plans, Inc. LINTELS: Brick lintels shall be 3 1/2" x 3 1/2" x 1/4" steel angle for up to LINTIELS: finct linkers shall be 3 1/2" x 3 1/4" x 1/4" stoke angle for up to 6-0" span. 6" x " x 5/16" steel angle with 0" leg up retired for spans up to 9-0" unless notate otherwise. 3 1/2" x 3 1/2" x 1/4" steel angle with 1/2" bolts at 2"-0" on center for spans up to 18-0" unless noted otherwise. FLOOR SHEATHLING: OSB or CDX floor sheathing minimum 1/2" thick for 15 on center joint specing, and minimum 3/4" thick for 24" on center joint spacing, and minimum 3/4" thick for 3 feet of sheathing minimum 3/8" thick for 16" on center joint called a feet of sheathing minimum 3/8" thick for 16" on center rates and 71% for 24" on center rates.

### **BRACE WALL PANEL NOTES**

EXTERIOR WALLS: All exterior walls to be sheathed with CS-WSP or CS-SFB in accordance with section R602.10.3 unless noted otherwise.

GYPSUN: All Interior sides of exterior walls and both sides

interior walls to have 1/2" gypsum installed. When not using method GB gypsum to be fastened per table R702.3.5. Method

GB to be fastened per table R502.10.1.
REQUIRED LENGTH OF BRACING: Required brace wall length for each side of the circumscribed rectangle are interpolated per table R602.10.3. Methods CS-WSP and CS-SFB contribute their actual length. Method GB contributes 0.5 it's actual length. Method PF contributes 1.5 times its actual length.

HD: 800 lbs hold down hold down device fastened to the edge

of the brace wall panel closets to the corner.

Methods Per Table R602.10.1

CS-WSP: Shall be minimum 3/8" OSB or CDX nailed at 6" on CS-WB\*: Shall be minimum 39° USA or CLX naised at 0° on center at edges and 12° on center at intermediate supports with 6d common nails or 8d(2 1/2° long x 0.113" diameter). CS-SFB: Shall be minimum 1/2° structural fiber board nailed at 3° on center at degies and 3° on center at intermediate supports with 1 1/2° long x 0.12° diameter galvanized roofing

GB: Interior walls show as GB are to have minimum 1/2" gypsum board on both sides of the wall fastened at 7" on center at edges and 7" on center at intermediate supports with minimum 5d cooler nails or #6 screws

PF: Portal fame per figure R602.10,1

-6-16D SINKER NATI S FROM KING STUD TO HEADER-HEIGHT TO HEADER PER PLAN STUD ON INSIDE 1000 LBS OR TO P OF 4000 LBS WITH PONY WALL. -FASTEN SHEATHING TO-HEADER WITH 8D COMMON NAIL IN 3" GRID AND TO FRAMING AT 3" ON CENTER - OPTIONAL SPLICE WITHIN -24" OF MIDDLE OF WALL HEIGHT - JACK STUDS PER PLAN -SHEATHING DIRECTION-ANCHORAGE PER FOUNDATION

> PORTAL FRAME AT OPENING ( METHOD PF PER FIGURE AND SECTION R602.10.1 ) SCALE 1/4" = 1'-0"

**EXTERIOR HEADERS** 

(2) 2 X 6 WITH 1 JACK STUD EACH END UNLESS NOTED OTHERWISE

- KING STUDS EACH END PER TABLE BELOW HEADER SPAN < 3' 3'-4' 4'-8' 8'-12' 12'-16' KING STUD(S) 1 2 3 5 6

### **INTERIOR HEADERS**

- LOAD BEARING HEADERS (2) 2 X 6 WITH 1 JACK STUD AND 1 KING STUD EACH END UNLESS NOTED OTHERWISE
- NON LOAD BEARING HEADERS TO BE



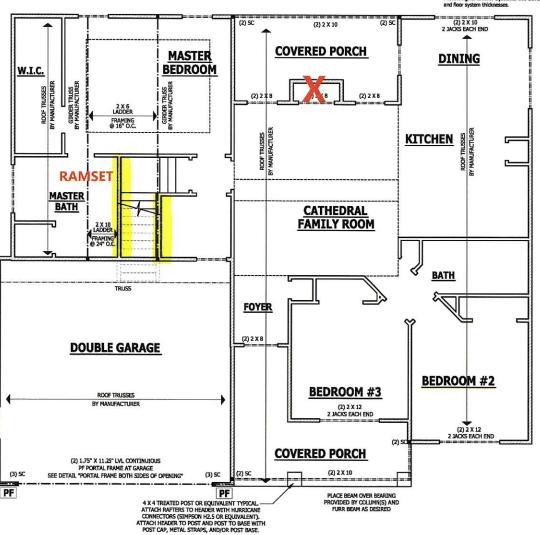
**ROOF TRUSS REQUIREMENTS** 

TRUSS DESIGN. Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plan, Inc. attention before construction begins. KNEE WALL AND CEILING HEIGHTS. All finished lone wall heights and KNEE WALL AND CELLING HEIGHTS. A Rinished knee wall heights and celling heights are shown fured down 10° from root decking for Insulation. If for any reason the truss manufacture falls to meet or exceed designated heel heights, finished knee wall heights, or finished celling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Heimes Home Plans, Inc. attention, so a suitable solution can be reached before construction begins. Any variation due to these conditions not being met is the reasonability of the truss manufacturer.

ANCHORAGE. All required anchors for trusses due to uplift or bearing

shall meet the requirements as specified on the truss schematics. BEARING. All trusses shall be designed for bearing on SPF #2 plates or ledgers unless noted otherwise.

Plate Heights & Floor Systems. See elevation page(s) for plate heights



## FIRST FLOOR STRUCTURAL

SCALE 1/4" = 1'-0"

CODES AND CONDITIONS MAY VARY WITH LOCATION, A LOCAL DESIGNER, ARCHITECT OR NIGHEER SHOULD BE CONSULTI BEFORE CONSTRUCTION. THESE DRAWING ARE
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> FLOOR STRUCTURAL SINCLAIR FIRST





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190320B PAGE 5 OF 8

construction practice and the bu	moning case.		
DESIGN LOADS	LIVE LOAD	DEAD LOAD	DEFLECTION
USE	(PSF)	(PSF)	(山)
Attics without storage	10		L/240
Attics with limited storage	20	10	L/360
Attics with fixed stairs	40	10	L/360
Balconies and decks	40	10	L/360
Fire escapes	40	10	L/360
Guardralls and handralls	200	-	-
Guardrail In-fill components	50		_
Passenger vehicle garages	50	10	L/360
Rooms other than sleeping	40	10	L/360
Sleeping rooms	30	10	L/360
Stairs	40	-	1/360

FRAMING LUMBER: All non treated framing lumber shall be SPF #2 (Fb = 875 PSI) or SYP #2 (Fb = 750 PSI) and all treated lumber shall be SYP #2 (Fb = 750 PSI) unless noted other wise.
ENGINEERED WOOD BEAMS:

prepared in accordance with this document. Trusses and I-joists shall be installed according to the manufacture's specifications. Any change in truss or I-joist layout shall be coordinated with Haynes Homes Plans, Inc. LINTELS: Brick lintels shall be 3 1/2" x 3 1/2" x 1/4" steel angle for up to 6-0" span. 6" x 4" x 5/16" steel angle with 6" leg vertical for spans up to 9"-0" unless noted otherwise. 3 1/2" x 3 1/2" x 1/4" steel angle with 1/2" bolts at 2"-0" on center for spans up to 18"-0" unless noted otherwise. FLOOR SHEATHING: OSB or CDX floor sheathing minimum 1/2" thick for 16" on center joist spacing, minimum 5/8" thick for 19.2" on center joist spacing, and minimum 3/4" thick for 24" on center joist spacing. ROOF SHEATHING: OSB or CDX roof sheathing minimum 3/8" thick for 16" on center rafters and 7/16" for 24" on center rafters.

CONCRETE AND SOILS: See foundation notes.

### **ROOF TRUSS REQUIREMENTS**

TRUSS DESIGN. Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plan, Inc. attention before construction begins. to Haynes Home Plan, Inc. attention before construction begins.

MIXEE WALL AND CEILING HEIGHTS. All firshed innee wall heights and
ceiling heights are shown furmed down 10° from roof decking for
insulation. If for any reason the truss manufacturer fails to meet or
exceed designated heel heights, finished knee well heights, or finished
ceiling heights shown on these drawings the finished square footage may
vary. Any discrepancy must be brought to Haynes Home Plans, Inc.
attention, so a suitable solution can be reached before construction
begins. Any variation due to these conditions not being met is the
reasonability of the miss manufacturer. Ity of the truss manufacturer. ANCHORAGE. All required anchors for trusses due to uplift or bearing

Anturovette. An required another for trusses due to upint or bearing shall meet the requirements as specified on the truss schematics. BEARING. All trusses shall be designed for bearing on SPF #2 plates or

ledgers unless noted otherwise.

Plate Heights & Floor Systems. See elevation page(s) for plate heights

### **EXTERIOR HEADERS**

- (2) 2 X 6 WITH 1 JACK STUD EACH END UNLESS NOTED OTHERWISE - KING STUDS EACH END PER TABLE BELOW

HEADER SPAN < 3' 3'-4' 4'-8' 8'-12' 12'-16' KING STUD(S) 1 2 3 5 6

### **INTERIOR HEADERS**

- LOAD BEARING HEADERS (2) 2 X 6 WITH 1 JACK STUD AND 1 KING STUD EACH END
- UNLESS NOTED OTHERWISE
- NON LOAD BEARING HEADERS TO BE LADDER FRAMED

### **ATTIC ACCESS**

protrude into the net clear opening

SECTION R807

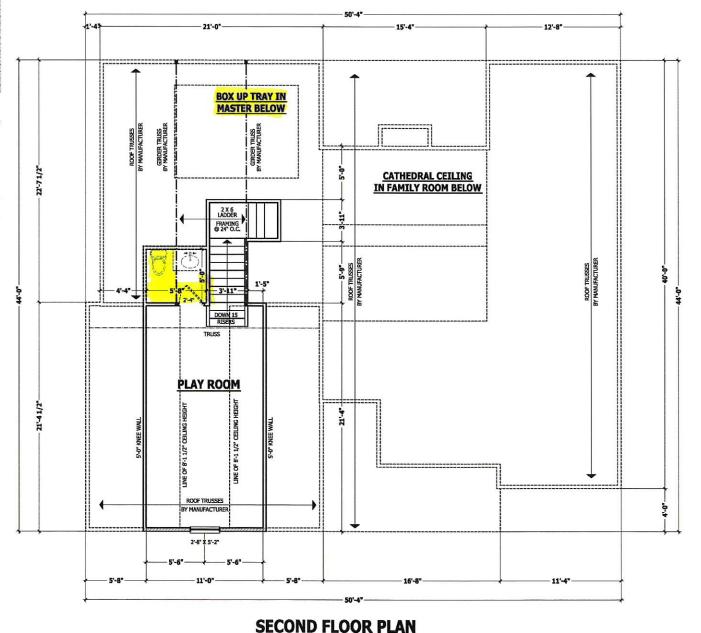
R807.1 Attic access. An attic access opening shall be provided to attic areas that exceed 400 square feet (37.16 m2) and have a vertical height of 60 inches (1524 mm) or greater. The net clear opening shall not be less than 20 inches by 30 inches (508 mm by 762 mm) and shall be located in a hallway or other readily accessible location. A 30-inch (762 mm) minimum unobstructed headroom in the attic space shall be provided at some point above the access opening. See Section M1305.1.3 for access requirements where mechanical equipment is located

 Concealed areas not located over the main structure including porches, areas behind knee walls, dormers, bay windows, etc. are not required to have access.

2. Pull down stair treads, stringers, handrails, and hardware may **WALL THICKNESSES** 

Exterior walls and walls adjacent to a garage area are drawn as 4° or as noted 2 X 6 are drawn as 6° to include 1/2° sheathing or gypsum. Subtract 1/2° for stud face.

Interior walls are drawn as 3 1/2" or as noted 2 X 6 are drawn as 5 1/2", and do not include gypsum.



SCALE 1/4" = 1'-0"

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HAYNES HOME PLANS, INC.

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PROPERTY OF THE DESIGNER

SECOND FLOOR PLAN SINCLAIR



SQUARE FOOTAGE HEATED FIRST ROOK 2351 SQ.FT. PARTOCK 221 SQ.FT. 28 SOFT.

### **ROOF TRUSS REQUIREMENTS**

TRUSS DESIGN. Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be trought to thaynes them Plan, Inc. etterdon before construction begins. KINE WALL AND CEILING HEIGHTS. All finished knee well heights and ceiling heights are shown furred down 10° from roof decking for insulation. If for any reason the trus manufacturer falls to meet or exceed designated heel heights, finished newe wall heights, or finished ceiling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Haynes home Plans, fine attornion, so a suitable solution can be reached before construction begins. Any varietion due to these conditions not being met is the heigh met if the begins. Any varieties of which the second translation of the other conditions not being met is the

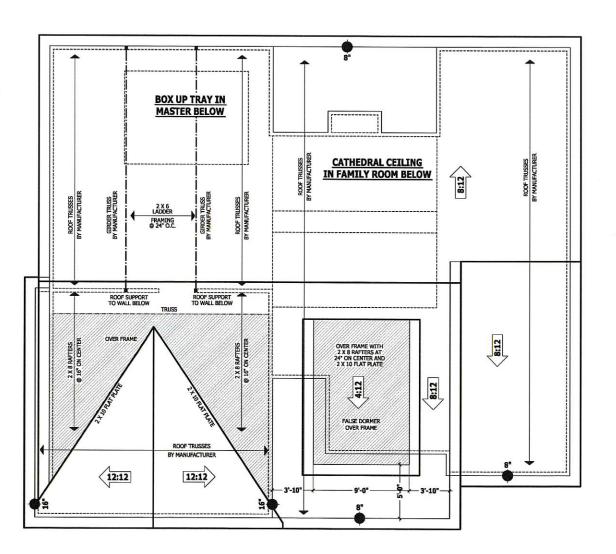
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ANCHORAGE, All required archivos for trusses due to uplift or bearing and the second of the second of the trust of the second of the bass schematics. BEARTIME, All trusses short designed for bearing on SFF #2 plates or lockers unless south of brownish.

ledgers unless noted otherwise.

Plate Heights & Floor Systems. See elevation page(s) for plate heights and floor system thicknesses.

HEEL HEIGHT ABOVE FIRST FLOOR PLATE HEEL HEIGHT ABOVE SECOND FLOOR PLATE



ROOF PLAN
SCALE 1/4" = 1'-0"

PURCHASER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION BEGIN HAYNES HOME PLANS, INC. ASSUMES NO LIABILITY FOR

PROCEDURES.

CODES AND CONDITIONS MA
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ROOF PLAN

SINCLAIR

WEAVER HOMES 910.630.2100 1.910.606.4696



SQUARE FOOTAGE
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#### **GARAGE STEM WALL** D SCALE 3/4" = 1'-0"

### **DECK STAIR NOTES**

AM110.1 Stairs shall be constructed per Figure AM110. Stringer spans shall be no greater than 7 foot span between supports. Spacing between stringers shall be based upon decking material used per AM107.1. Each Stringer shall have minimum 3 1/2 inches between step cut and back of stringer. If used, suspended headers shall shall be attached with 3/8 Inch nalvanized holts with nuts and washers to securely

### **DECK BRACING**

SECTION AM109

AM109.1 Deck bracing. Decks shall be braced to provide lateral stability. The following are acceptable means to provide lateral stability.

AM109.1.1. When the deck floor height is less than 4'-0'

above finished grade per Figure AM109 and the deck is attached to the structure in accordance with Section AM104, lateral bracing is not required.

AM109.1.2. 4 x 4 wood knee braces may be provided on

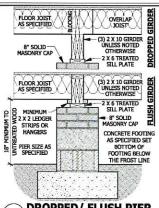
each column in both directions. The knee braces shall attach to each post at a point not less than 1/3 of the post length from the top of the post, and the braces shall be angled between 45 degrees and 60 degrees from the horizontal. Knee braces shall be bolted to the post and the oirder/double band with one 5/8 inch hot dipo galvanized bolt with nut and washer at both ends of the e AM109.1

AM109.1.3. For freestanding decks without knee braces or AS SPECIFIED diagonal bracing, lateral stability may be provided by embedding the post in accordance with Figure AM109.2

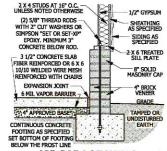
POST	TRUBUTARY	MAX. POST HEIGHT	EMBEDMENT DEPTH	CONCRETE
4X4	48 SF	4'-0"	2'-6"	1'-0"
6 X 6	120 SF	6'-0"	3'-6"	1'-8"

be provided in two perpendicular directions for freestanding decks or parallel to the structure at the exterior column line for attached decks. The 2 x 6's shall be attached to the posts with one 5/8 Inch hot dipped palvanized bolt with nut and washer at each end of each bracing member per Figure AM109.3.

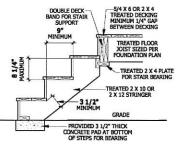
AM109.1.5. For embedment of piles in Coastal Regions, see Chanter 45.



#### **DROPPED/FLUSH PIER** B SCALE 3/4" = 1'-0"



#### <48" GARAGE WING WALL SCALE 3/4" = 1'-0"



### FIGURE AM110 TYPICAL DECK STAIR DETAIL

SCALE 3/4" = 1'-0"

STONE VEENER

AS SPECIFIED

VAPOR BARRIER

WEEP SCREED

MINIMUM 4" TO

GROUND OR 2"

TO PAVEMENT

SHEATHING AS SPECIFIED

LATH

SEE FOLINDATION

DETAILS

WEEP SCREED

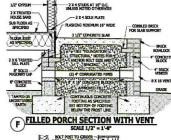
SCALE 3/4" = 1'-0"

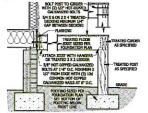
### WEEP SCREEDS

All weep screeds and stone veneer to be installed per manufactures instructions and per the 2012 North Carolina Residential

R703.6.2.1 - A minimum 0.019-inch (0.5 mm) (No. 26 galvanized sheet gage), corrosion-resistant weep screed or plastic eo screed, with a minimum vertical attachment flange of 31/2 inches (89 mm) shall be provided at or below the ion plate line on ext In accordance with ASTM C 926. The ween screed shall be placed a minimum of 4 Inches (102 mm) above the earth or 2 inches (51 mm) above paved areas and shall be of a type that will allow trapped water to drain to the exterior of the building. The weather-resistant barrier shall lap the attachment flange. The exterior lath shall cover and terminate on the attachment flange of the weep screed

2 X 4 STUDS AT 16" O.C. -UNLESS NOTED OTHERWISE 1/2" GYPSUM SEE ROOF 12 PLAN OR SUB FLOOR AS-PLATE SPECIFIED FOR PITCH 2 X RIM JOIST FLOOR JOIST AS SPECIFIED 8" SOLID MASONRY CAP ROOF TRUSSES BY 4" CONCRETE BLOCK 2 X 6 TREATED SILL PLATE PORCH HEADER PER 4" BRICK VENEER SEE \*FOUNDATION PLAN INSTALLED OVER STRUCTURAL" NOTES FOR EXPANSION JOINT CENTER OF COLUMN BASE ANCHOR BOLT SIZE AND 6 MIL VAPOR BARRIER BLOCKING INSTALLED-**SPACING** ON BOTH SIDES & UNDER 3 1/2" SLAB HEADER AS DESIRED 4" BASE CONTINUOUS CONCRETE 1 X MATERIAL -TAMPED OR FOOTING AS SPECIFIED CENTER LINE OF HEADER UNDISTURBED SET BOTTOM OF FOOTIN AND COLUMN EARTH BELOW THE FROST LINE **PORCH HEADER WITH** CRAWL SPACE AT GARAGE C **TAPERED COLUMN** SCALE 3/4" = 1'-0"





G DECK ATTACHMENT

### **SMOKE ALARMS**

SECTION R314

R314.1 Smoke detection and notification. All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with the provisions of this code and the household fire warning ment provisions of NFPA 72.

R314.2 Smoke detection systems. Household fire alarm system NASAL2 amous desection systems. Household the alarm systems installed in accordance with NFPA 72 that include smoke alarms, a combination of smoke detector and audible notification device installed as required by this section for smoke alarms, shall be permitted. The household fire alarm system shall provide the same level of smoke detection and alarm as required by this section for smoke alarms. Where a household fire warning system is installed using a combination of smoke detector and audible notification e(s), it shall become a permanent fixture of the occupancy an owned by the homeowner. The system shall be monitored by an approved supervising station and be maintained in accordance with NFPA 72.

Exception: Where smoke alarms are provided meeting the

requirements of Section R314.4.
R314.3 Location. Smoke alarms shall be installed in the following

1. In each sleeping room.

2. Outside each separate sleeping area in the immediate vicinity of

3. On each additional story of the dwelling, including basements 3. On each advances assay or me unearray, including case representations and habitable attics (finished) but not including crawl spaces, uninhabitable (unfinished) attics and uninhabitable (unfinished) attics stories. In dwellings or dwelling units with spitt levels and without an intervening door between the adjacent levels, a smoke alarm installed on the unper level shall suffice for the adi level provided that the lower level is less than one full story

When more than one smoke alarm is required to be installed within an individual olvelling unit the alarm devices shall be interconnecte in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit.

R314.4 Power source. Smoke alarms shall receive their primary power from the building witing when such wiring is served from a commercial source, and when primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for rrent protection. Smoke alarms shall be into

# CARBON MONOXIDE ALARMS

SCALE 3/4" = 1'-0"

- EDGED OR PORCH FLOOR

SHINGLES AS SPECIFIED

-SHEATHING AS SPECIFIED

- 15# BUILDING FELT

~ 2 X 6 SUB FASCIA

VINYL OR HARDIE SOFFIT

INSTALLED PER MANUFACTURERS

INSTRUCTIONS

TAPERED COLUMN OVER

MASONRY RASE

ATTACHED TO HEADER

WITH POST CAP

PITCH PER ROOF PLAN

ROOF INSULATION

(2) 2 X 4 TOP PLATE

- 1/2" GYPSUM

WALL INSULATION

PER CLIMATE ZONE

SEE CODE NOTE ON

ELEVATION PAGES

3/4" SUBFLOOR

FLOOR TRUSSES

AS SPECIFIED

- 1/2" GYPSUM

WALL INSULATION PER

CLIMATE ZONE SEE CODE

NOTE ON ELEVATION PAGES

2 X 4 STUDS AT 16" O.C. INLESS NOTED OTHERWIS

1/2" GYPSUN

SUB FLOOR AS-

SPECIFIED

FLOOR JOIST

AS SPECIFIED

2 X 6 TREATED

SEE "FOUNDATION

STRUCTURAL" NOTES FOR

ANCHOR BOLT SIZE AND

SPACING

CONTINUOUS CONCRETE

FOOTING AS SPECIFIED

SET BOTTOM OF FOOTING

BELOW THE FROST LINE

MAXINUM 6" GAP

MOUNTED AND

CONTINUOUS HANDRAIL

34 TO 38 INCHES ABOVE TREAD NOSING

TYPICAL STAIR DETAIL

PER CLIMATE ZONE

SEE CODE NOTE ON

ELEVATION PAGES

SHINGLES AS SPECIFIED

15# BUILDING FELT

SHEATHING AS SPECIFIED

SOFFIT

SOFFIT VENTING

OPTIONAL 1 X 4 FRIEZE

SIDING AS

(2) 2 X 4 TOP

PLATE

2 X 4 STUDS AT

16" ON CENTER

UNLESS NOTED

OTHERWISE

AS SPECIFIED

SIDING AS

2 X 4 SILL PLATE

2 X RIM

8" SOLID MASONRY CAP

" CONCRETE BLOCK

INSULATION BAFFLE

1 X 8 FASCIA

provided with an approved carbon monoxide alarm installed outside of each separate sleeping area in the immediate vicinity of the bedroom(s) as directed

by the alarm manufacturer.

R315.2 Where required in existing dwellings. In existing dwellings, where Interior alterations, repairs, fluel-fired appliance replacements, or additions requiring a permit occurs, or where one or more stepring rooms are after or created, carbon monoxide alarms shall be provided in accordance with Section

R315.3 Alarm requirements. The required carbon monoxide alarms shall be RSIAS AWARTE FOUNDAMENT FOR THE PROPERTY AND AN ARTHUR STATE OF THE STATE OF T UL 2034 and shall be installed in accordance with this code and the manufacturer's installation instructions.

### STAIRWAY NOTES

R311.7.2 Headroom. The minimum headroom in all parts of the stairway shall not be less than 6 feet 8 inches (2032 mm) measured vertically fr the stoped line adjoining the tread nosing or from the floor surface of the landing or platform on that portion of the stairway.

R311.7.4 Stair treads and risers. Stair treads and risers shall meet the requirements of this section. For the purposes of this section all dimension and dimensioned surfaces shall be exclusive of carpets, rugs or runners. R311.7.4.1 Risen height. The maximum riser height shall be 8 1/4 Inches (210 mm). The riser shall be measured vertically between leading edges.

R311.7.4.2 Tread depth. The minimum tread depth shall be 9 inches (229 mm). The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. Winder treads shall have a minimum tread depth of 9 inches (229 mm) measured as above at a point 12 inches (305 mm) from the side where the treads are narrower, Winder treads shall have a minimum tread depth of 4 inches (102 mm) at any point.

R311.7.4.3 Profile. The radius of curvature at the nosing shall be no greater

than 9/16 Inch (14 mm). A nosing not less than 3/4 Inch (19 mm) but not more than 1 1/4 Inches (32 mm) shall be provided on staliways with solid

R311.7.7 Handralls. Handralls shall be provided on at least one side of each ix311.7 remorase. Handrais strain by provided on at least one side of ear continuous run of treads or flight with four or more risers. R311.7.1 Height. Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of arms slope, shall be not less than 34 inches (864 mm)and not more than 38 inches (965 mm).

The use of a volute, turnout or starting easing shall be allowed over the

lowest tread.

2. When handrall fittings or bendings are used to provide continuous transition between flights, the transition from handrall to quartirall, or used at the start of a flight, the handrall height at the fittings or bendings shall be permitted to exceed the maximum height.

Stall 11.7.2.12 Centinally, Handralls for stallways shall be continuous for the full keight of the flight, from a point directly above the top riser of the flight to a point directly above the lowest riser of the flight. Headrall ends shall be a point directly above the lowest riser of the flight. Headrall ends shall be shall

between the wall and the handrails Handralls shall be permitted to be interrupted by a newel post. 2. The use of a volute, turnout, starting easing or starting newel shall be

allowed over the lowest tread.

3. Two or more separate rails shall be considered continu termination of the rails occurs within 6 inches (152 mm) of each other. If transitioning between a wall-mounted handrail and a guardrail/handrail, the HAYNES HOME PLANS, IN ASSUMES NO LIABILITY FO INTRACTORS PRACTICES

CODES AND CONDITIONS MAY VARY WITH LOCATION, A LOCAL DESIGNER, ARCHITECT OR INGINER, SHOULD BE CONSULTE BEFORE CONSTRUCTION.

DETAIL **IYPICAL** 

SINCLAIR

T  $\geq$ 85 85

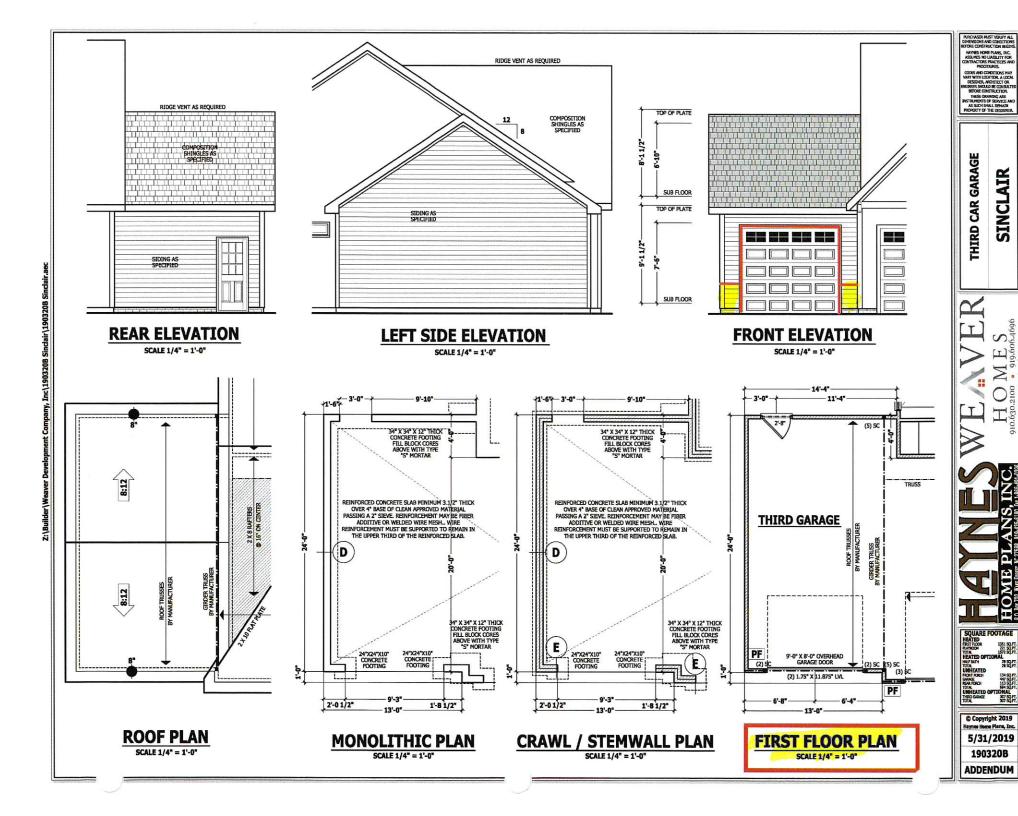
SQUARE FOOTAGE A SOFT 134 SOFT 447 SOFT 113 SOFT 684 SOFT 70 NAL 307 SOFT 307 SOFT

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Inc\190320B Sindair\190320B Company, SECTION AM110

4" BRICK VENEER GRADE TYPICAL WALL DETAIL SCALE 3/4" = 1'-0"



Weaver Homes Sinclair Left 2020 Plan Kitchen 36" WALLS

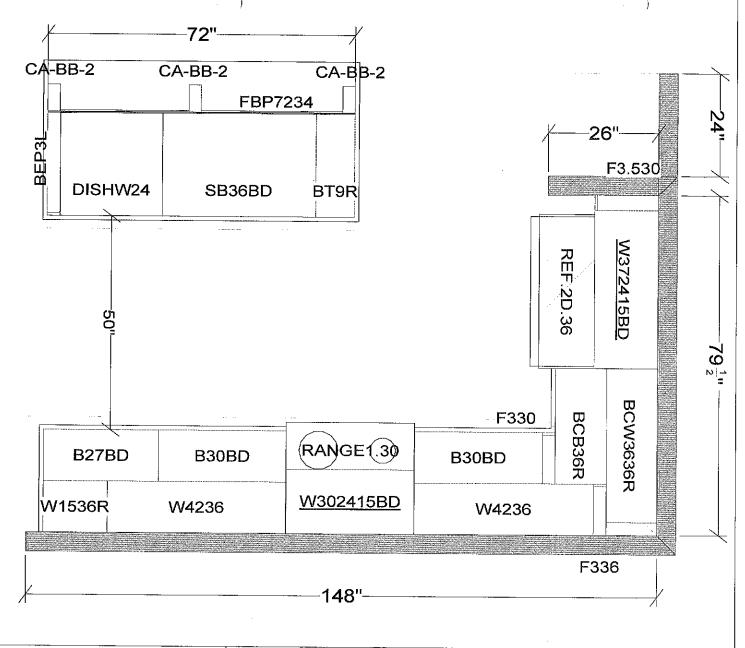
OXFORD Standard Overlay Maple / ?? Plywood Dovetail Drawers

- (4) SDCM8
- (3) BTS
- (4) PS3/4
- (1) F342
- (5) SM (Leave on Wall Cabinets)
- (2) TUK
- (2) 2x4
- (1) 1x6 Deadwood

Hardware:

- (21) Doors -
- (6) Drawers -

Space Corbels Evenly
Do NOT Raise Base Cabinets
Use 1 TUK and Leave 2nd
in Ref. Cabinet



All dimensions \_size designations given are subject to verification on job site and adjustment to fit job conditions.

2020

This is an original design and must not be released or copied unless applicable fee has been paid or job order placed. Designed: 2/24/2020 Printed: 2/24/2020

Printed: 2/24/2020

Sinclair Kitchen

All

Drawing #: 1 No Scale.

