

40'PLANS

IESSAMINE -



of georgia

ATLANTA, GEORGIA LOCATIONI 1845 SATELLITE BLVD SATE 850 DULITH, GA 30047 PHONE: TIO-975-739

NO	DATE	REVISION.
Δ	05.5U6	FIRST SUMMITAL
Δ	10.0436	SRD GAR GARAGE OPTIONS ADDED
⋬	11.2916	FRAME HALK GWISES

PLAN CHANGES:

DATE DESCRIPTION 0531.16 FIRST SUBMITTAL 10.04.16 - 9RD CAR GARAGE OPTION ADDED - FRAMING WALK COMMENTS FROM HICKORY PLAN CARRIED THROUGH THIS PLAN SET 40' Plans

PROJECT TITLE

CONSULTANTS:

BUILDER H&H HOMES 2919 BREEZEWOOD AVE, STE 400 FAYETTEVILLE, NC. 28303 PHONE: (910) 486-4864 CONTACT: JAMIE GODWIN

GMD DESIGN GROUP 1845 SATELLITE BLVD, STE 850 DULUTH, GA. 3009 PHONE: (TTO) 375-7351

DESIGNER

CONTACTI DONALD J. MCGRATH EMAIL: DONNIEGGMDDESIGNGROUP.COM STRUCTURAL ENGINEER KSE ENGINEERING 1900 AM DR. STE 201 QUAKERTOWN, PA. 1895 PHONE: (215) 541-2211

CONTACT: KENNETH KEEN

KSE ENGINEERING

CLIENTS NAME:

ISSUED FOR/PERMIT CONSTRUCTION

# GENERAL NOTES DESIGNER:

THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, CAPILICATED, ALTERED, HODIFIED OR REVISED IN ANY MAY WITHOUT THE EXPRESSED MRITTEN APPROVAL OF THE DESIGNER.

CONTRACTOR SHALL YEARY ALL CONDITIONS AND DIMENSIONS AT THE SHE AND ALL INCOMESSTRICES SHALL BE BROWNET TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK.

ANY ERRORS OR OMESICHE FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION INVEDIGITLY. DO NOT SCALE DRAMINGS, HRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED

ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.

ALL TRUS DRAMMES TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.

ALL OR BOULD SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.

ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED PROVIDE FIRSTS OCKING (FER LOCAL CODE)

ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.

PROVIDE BLOCKING AND/OR BACKING AT ALL TOVEL BAR, TOVEL RING AND/OR TOILET PAPER HOLDER LOCATIONS, AS SKONN PER PLAN, TYPICAL AT ALL BATHROOMS AND POWDER ROOMS, VERIFY LOCATIONS AT FRAMING WALK.

ELASTOMERIC SHEET MATERIPROOFING, FURNISH AND INSTALL ALL MATERIPROOFING COMPLETE. A 40 MILL SELF-ADHERING MEMBRANE OF RUBBERIZED ASPIALT INTEGRALLY BONDED TO POLYETHYLENE SHEETING, OR EQUAL. INSTALLATION INSTRUCTIONS, 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES.

TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REGULREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.

SICP DRAME REVIEW ND DISTRIBUSTION, ALCHE MITH PRODUCT SUPPLIFIALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, WLESS DIRECTED OTHERWISE WIDER A SEPARATE ASREEMENT.

DEMATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF HORK! IN CHESTION, ANY DEVANTIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLIDING THE MORK AND MATERIALS FIRMISHED BY SUBCONTRACTORS AND VENDORS.

THE BULDER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE THE BALLIARS SHALL REGISTER ANY AND ALL REPORTS RECEIVED FROM THE GOTTICHNOL. BISHERS (FOLIS REPORT), ON THE SIDDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GEDERAL COMPRACTOR, IN THE EVENT THE GEOTICHNICAL REPORTS DO NOT DESIGN, THE SOLIS CONDITION SHALL BE ASSIVED TO BE A MINIMAN DESIGN SOIL RESIDERES STATED BY THE STRUCTURAL BENEAUX OF RECORD FOR THE PROPOSE OF STRUCTURAL DESIGN. GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE CRITERIA.

ALL WORK PERFORMED BY THE SENERAL CONTRACTOR SHALL COMPLY AND COMPORTH NITH LOCAL. AND STATE BUILDING CODES, ORDINALES AND REGULATIONS, ALONG NITH ALL OTHER AUTHORITIES HAVING JUSPICITION. THE GENERAL CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REGULRENENTS AND GOVERNING REGULATIONS.

MINDOM SUPPLIER TO VERIFY AT LEAST ONE MINDOM IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.1 SQ FT WITH MIX. DIMENSION OF 24" IN HEIGHT AND 20" IN MIDTH. SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR, (FOR LOCAL CODE). ALL HANDRAIL BALLISTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETHEEN BALLISTERS, (PER LOCAL CODE)

PROVIDE STAIR HANDRAILS AND GUARDRAILS PER

# BUILDER SET:

THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A "BUILDER'S SET" OF CONSTRUCTION DOCUMENTS AND GENERAL MOTES HEREINAFTER REFERRED TO AS "PLANS". IT IS SET OF RAMS IS SETFICIENT TO OBTAIN A BUILDING FERRINT; HOWEVER, ALL HATERIALS AND HERHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT DECESSARY. TO THE PLANS DELINEARE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF HATERIALS, AND GENERAL AND RESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF HATERIALS, AND GENERAL METHODS OF ASSET HATERIALS, AND GENERAL METHODS OF ORDER METHODS OF MAJES OF THE PLANS REQUIRED AND THE METHOD SET AND THE M

AND PERIODS OF COREINGUING PECUPIC ID HIS PRODUCT HOR AND THE OF CARGINGUING CONSTRUCTION REQUIRE PETTS AND CITAL UTIL PROVIDE PLOYS OF THE SPECIFIC GUALITY. HERE GUALITY LEVEL IS NOT INDICATED, PROVIDE WORK OF GUALITY CUSTOMARY IN SHILLAR TYPES OF HOKK, HERE IN ET JANS AND SECEPIFICATIONS, COPES, LIANS, REGULATIONS, HALLAR TYPES OF HOKE PLAYS AND SECEPIFICATIONS, COPES, LIANS, REGULATIONS, AND LIANS OF HIGHER CALLITY OF PERFORMANCE, PROVIDE WORK COPE, TIME MIT HIS OFFICIAL PROPRIET AND GUALITY, HERE TWO OR MORE GUALITY PROVISIONS OF THOSE REGULARD-HITS ACCORDING TO STRINGEN EQUIPMENT HIGH PROPER REQUIREMENTS AND CHERKENT BY APPARENTLY EQUIPMENT HIGH PROPERTY OF THE OFFICIAL PROPERTY OF

GLODI II III	1 000 H W		
AREA	ELEV 'A'	ELEV B'	BLEY 'C'
Ist FLOOR	1344 SF	1344 SF	1349 SF
2nd FLOOR	1503 SF	1503 SF	1503 SF
TOTAL LIMING	2852 SF	2852 SF	2852 SF
GARAGE	42I SF	421 SF	421 SF
PORCH	101 SF	101 SF	107 SF
OPT, COVERED PATIO	+120 SF	+120 SF	+120 SF
OPT, WRAP-AROUND FORCH	+108 SF	1108 SF	+108 SF
OPT, 3-CAR GARAGE	240 SF	240 SF	240 SF

AREA CALCULATIONS:

JESSAMINE SQUARE FOOTAGES

PROJECT NO: GMD-GAI6014

TITLE SHEET

Jan 1, 2019

T-1

#### NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN, BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS, IST FLOOR = 6'-10" UNLO, ON ELEVATIONS, 2ND FLOOR = 6'-10" UNLO, ON ELEVATIONS,
- ROOFING, PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER, DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS - ENTRY DOOR, AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- CHINEY AS OCCURS, TOP OF CHINEYS TO BE A MINIMAM OF 24' ABOVE ANY ROOF MITHIN 10'-0' OF CHINEY,
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY: (ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLIDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)

#### KEY NOTES:

- MASONRYI

  DIFFERD STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED,
- 2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
- 3 MASONRY FULL STONE AS SELECTED BY DEVELOPER, HEIGHT AS NOTED,
- 4 8' SOLDIER COURSE.
- 5 ROWLOCK COURSE
- 6 DECORATIVE KEY, SEE DETAIL.
- TYPICALS:

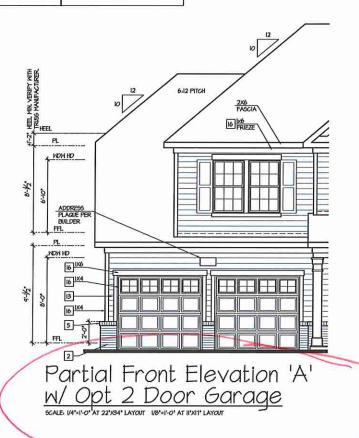
  TOPICALS:

  CORROSION RESISTANT SCREEN LOWERED VENTS, SIZE AS NOTED.
- [B] CODE APPROVED TERMINATION CHIMNEY CAP.
- (4) CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF, WALL INTERSECTIONS,
- STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- DECORATIVE HROUGHT IRON, SEE DETAILS,

#### SIDING

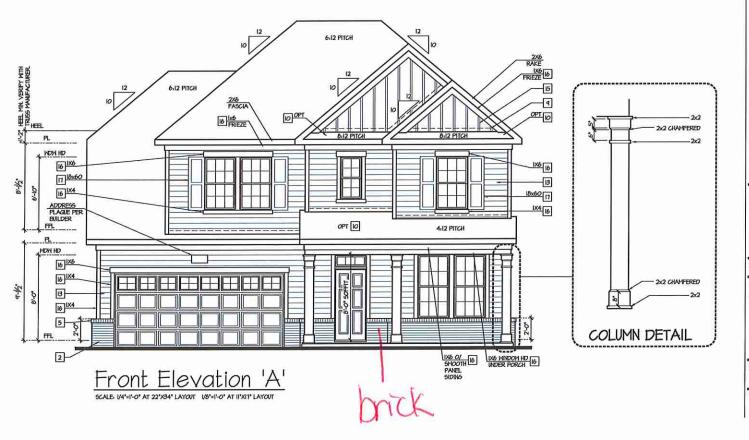
- VINTL OR FIBER CENENT SHAKE SIDING PER DEVELOPER
- 13 VINYL OR FIBER CEMENT LAP SIDING PER DEVELOPER
- IN VINTL OR FIBER CEMENT WAVY SIDING PER DEVELOPER
- [5] VINYL OR FIBER CENENT PANEL SIDING W IX3 BATTS AT 12" O.C.
- (6) VINTL OR IX FIBER CEMENT TRIM OR EQUAL, UN.O. SIZE AS NOTED
- [17] VINYL SHUTTERS OR PER BUILDER, TYPE AS SHOWN, SIZE AS NOTED,

ALL HINDOMS MICSE OPENINS IS LESS THAN 24" ABOVE THE FINISH FLOOR AND MICSE OPENINS IS GREATER THAN 12" ABOVE THE OUTSIDE MALKING SURFACE MIST HAVE MIDDOM OPENING LIMITING DEVICES COMPLYING WITH THE LOCAL CODES





Rear Elevation 'A'





of georgia

ATLANTA, GEORGIA LOCATIONI 1845 SATELLITE BLYD SATE 850 DALITH, GA 30041 PHONE: TIO-315-1351

THESE PLANS AND SPECIFICATIONS ARE PROTECTED UNDER PEDERAL COPTRISHT LANS. (2) GND DESIGNATION OF SECRETAL INC. HANTANIS OMBESSION OF SIXH AND ALL RIGHTS AND PRIVILEGES

TAL.
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B

PROJECT TITLE:

40' Plans

ISSUED FOR/PERMIT CONSTRUCTION

CLIENTS NAME:

PROJECT NO: GMD-GAI6014

JESSAMINE - LH

**EXTERIOR ELEVATIONS 'A'** 

Jan 1, 2019

A1.5

## NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN, BUILDER SHALL VERIETY AND COORDINATE PER ACTUAL SITE CONDITIONS, INDIVIDUAL PERMITS, IST FLOOR = 6-10° UNLO, ON ELEVATIONS, 2ND FLOOR = 6-10° UNLO, ON ELEVATIONS,

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   GARAGE DOORS, AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.

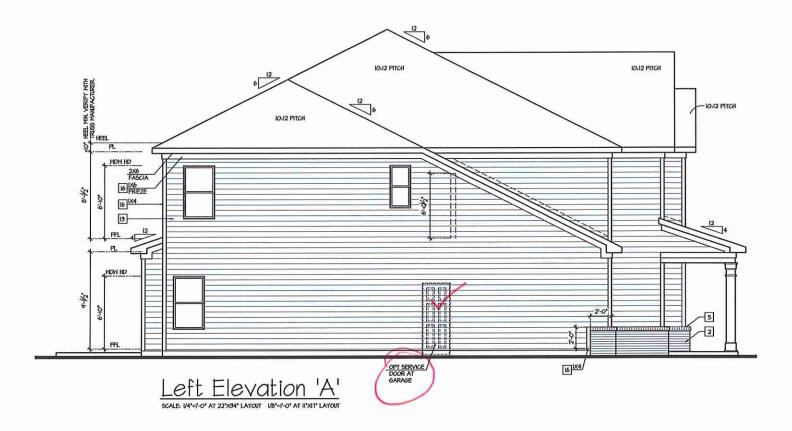
- CHIMMEY AS OCCURS: TOP OF CHIMMEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN IO'-O' OF CHIMMEY.
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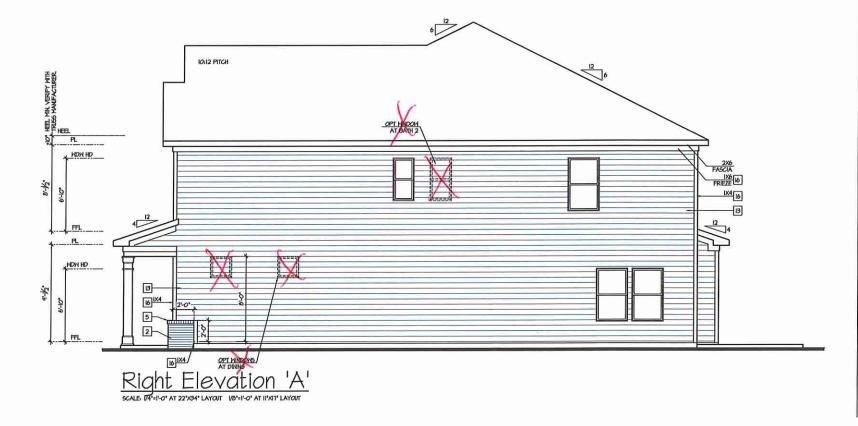
#### KEY NOTES:

#### MASONRY

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- O STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS
- III DECORATIVE WROUGHT IRON, SEE DETAILS,
- 12 VINTL OR FIBER CEMENT SHAKE SIDING PER DEVELOPER
- (I) VINTL OR FIBER CEMENT LAP SIDING PER DEVELOPER
- III VINTL OR FIBER CEMENT WAYY SIDING PER DEVELOPER
- IS VINYL OR FIBER CEMENT PANEL SIDING W IX3 BATTS AT 12' O.C. [6] VINYL OR IX FIBER CEMENT TRIM OR EQUAL, UND. SIZE AS NOTED
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of georgia

Atlanta, Georgia Location. 1845 Satellite Blvd 9ate 850 Dalith, Ga. 3004t Prione: Tio-315-1351

NO	DATE	REVISION:
Δ	05.5136	FIRST SUMITAL
⋬	10.0436	SRD CAR GARAGE OPTIONS ADDED
⅓	11.2336	FRAME HALK GWIGES

PROJECT TITLE:

40' Plans

CLIENTS NAME:

PROJECT NO: GMD-GAI6014

JESSAMINE - LH **EXTERIOR ELEVATIONS 'A'** 

PRINT DATE:

A1.5.1

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#### MASONRY

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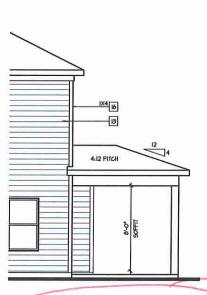
  2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
- [3] MASONRY FULL STONE AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
- A SOLDIER COURSE.
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  TOPICALS:

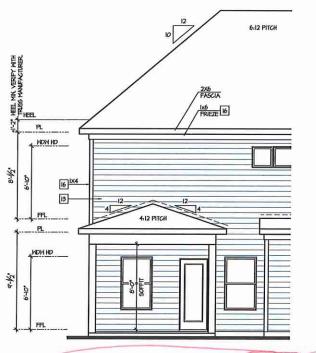
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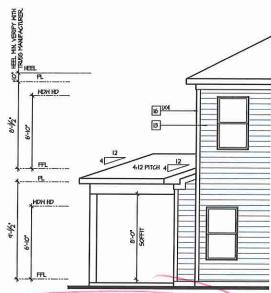
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Partial Right Elevation W/Opt Covered Patio SCALE 144-11-01-147 227594\* LAYOUT 1854-11-01-147 11751\* LAYOUT



Partial Rear Elevation W/ Opt Covered Pations 122/2541 LAYOUT UB'=1-0' AT II/317 LAYOUT



Partial Left Elevation

W/ Opt Covered Patio



of georgia

INCH	DATE	REVISION:
Δ	05.51.00	FIRST SEMITTAL
҈∆	10.0436	SRD CAR GARAGE OPTIONS ADDED
⋬	11.2336	FRAME HALK CHANGES

40' Plans

ISSUED FOR/PERMIT CONSTRUCTION

क **HOMES** 

PROJECT NO: GMD-GAIGOI4

JESSAMINE - LH **EXTERIOR ELEVATIONS** OPTIONS

PRINT DATE: Jan 1, 2019

A1.5.7



ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

#### WALL LEGEND:

FULL HEIGHT 2X4 HOOD STUD PARTITION FULL HEIGHT 2X6 HOOD STUD PARTITION

BRICK / STONE VENEER

STUD HALL BELOW HEIGHT AND STUD SIZE AS NOTED

8771 LON GYPSIN BOARD HALL HEIGHT AND STUD SIZE AS NOTED DRYNALL OPENING, HEIGHT AS NOTED ON PLAN.

### KEY NOTES:

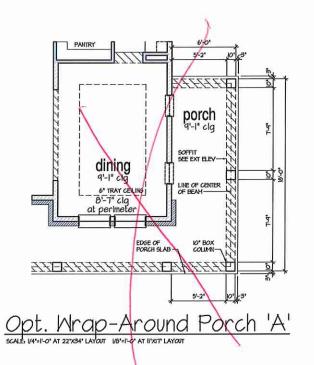
#### FIRE PROTECTION

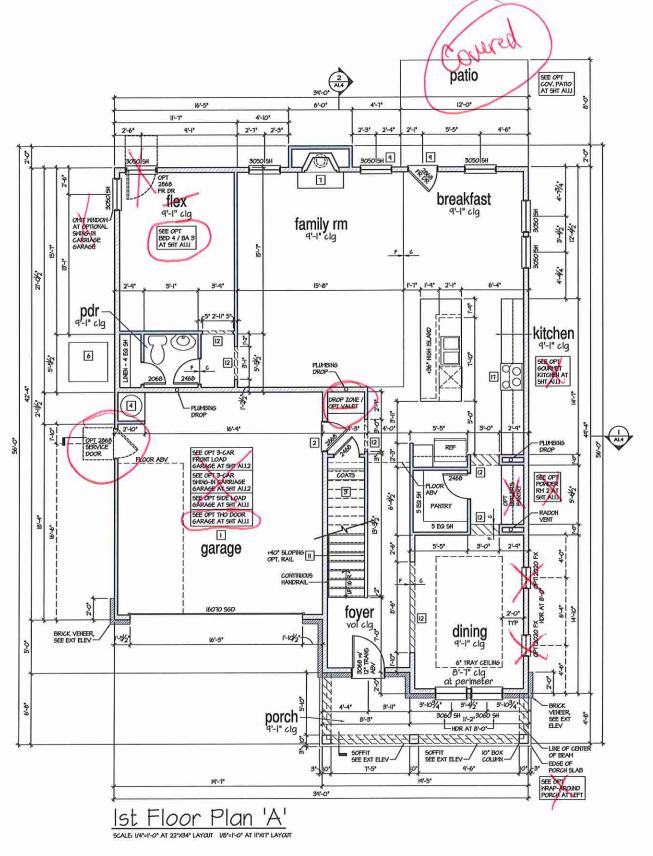
- HOUSE TO GARAGE FIRE SEPARATION GARAGEAROUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (I) LAYER 1/2" GYPSIM BOARD. (PER LOCAL CODE) GARAGENCUSE SEPARATION AT HORIZONTIAL SURFACES SHALL BE PROTECTED WITH ONE (I) LAYER 510° TYPE 'X' GYPSUM BOARD, (PER LOCAL CODE)
- A HOUSE TO GARAGE DOOR SEPARATION PROVIDE I-9/8\* SOLID CORE DOOR OR APPROVED 20 HINTE RATED DOOR (PER LOCAL CODE)
- BENEATH STAIRS AND LANDINGS, 1/2' GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS, (PER LOCAL CODE)
- FOR THE USE OF EXPOSED GAS MATER HEATERS IN THE GARAGE, BATALL THE MATER HEATER PER LOCAL CODE, IN THIS HEATFORM, PROTECT THE GAS APPLIANCE FROM MOTOR VEHICLE INPACT PROTECTION PER LOCAL CODE.
- | IF FAU I PROTECTION THE LOCAL CODE: | SPAI DONE PLATFORM VERIFY WHIT TRUES HANDACTIRER: | (6-6)\* NIN. CLEAR FEIGHT TO HORIZONTAL HEMBERS, 2"%6" OVER 2"X4" BOTTOM CHORD, OF TRUES, VERIFY W TRUESES) | AC CONDENSER PAD. (MERIFY)
- PRE-FABRICATED METAL FIREPLACE.
  INSTALL PER HAWLFACTURER'S WRITTEN INSTRUCTIONS.
- ATTIC ACCESS LARGE BIXUSH TO REPOYDE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30 X22". FIRE RATED ACCESS AS NOTED, (FIRE ICAAL COOP).

  ATTIC ACCESS LARGE NOVAL COOP ATTIC ACCESS LADDER, VERLIFT LOCATION AND SIZE WITH TRUSSES, (25 Jul 7 Sur 9 Sur 9). TYPICALS:

  TEMPERED SAFETY GLASS, (PER LOCAL CODE)
- PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER, HEIGHT AS NOTED.
- III HALF WALL, HEIGHT AS NOTED.
- [2] INTERIOR SOFFITS: FFL = 8'-1' UNO. SFL = T'-6' UNO. BATHS
- 13 SHOWER TEMPERED GLASS ENCLOSURE.
- [14] TUB-SHOWER COMBO. TEMPERED GLASS ENCLOSURE.
- (5) CERAMIC TILE SHOWER AND FLOOR, TEMPERED GLASS ENCLOSURE.
- 6 GARDEN TUB IS A SLIDE IN FIBERGLASS MODEL PER BUILDER
- 30' FREE STANDING ELECTRICAL RANGE OR OPT. 6AS RANGE VENT FER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- JO' ELECTRICAL COOKTOP OR OPT. GAS COOKTOP AND HOOD VEHT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- P ELECTRIC OVEN WITH HICROWAVE OVEN

9'-|" STAIR NOTE: (NEE IN' T.J INTH 3/4" PLYMOOD SUPPLOOR) IS TREADS AT IO' EACH VERIFY IS RISER'S AT I-0' T.T.I' = 124 I/4" TOTAL RISER VERIFY







ATLANTA, GEORGIA LOCATION, 1845 SATELLITE BLVD SATE 850 DULITH, GA 3009T PHONE, TIO-375-7351

THESE PLANS AND SPECIFICATIONS
AND PROTECTED WINDER PEDERAL
COPPRISHT LANS. (© 64D DESIGN
GROUP OF GEORGIA INC.
HANKTAINS ON MERSHIP OF SUCH
AND ALL RIGHTS AND PRIVILEGES.

Δ	05306	FRST SUMITAL
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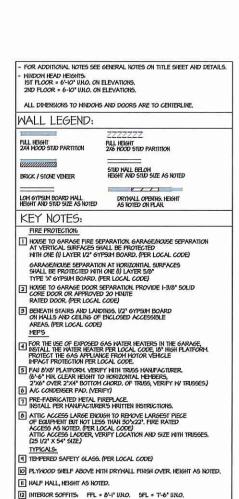
છ **HOMES** 

PROJECT NO: GMD-GAIGOI4

JESSAMINE - LH 1st FLOOR PLAN'A'

Jan 1, 2019

A1.1



BATHS:

[8] SHOWER, TEMPERED GLASS ENCLOSURE.

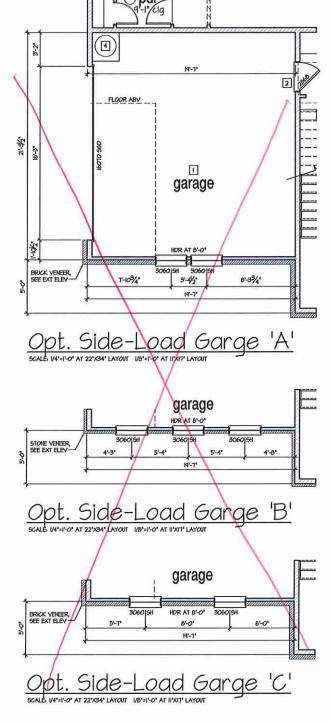
H ELECTRIC OVEN WITH MICROWAVE OVEN

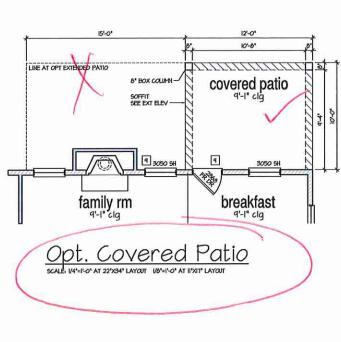
IN TUB-SHOWER COMBO. TEMPERED GLASS ENCLOSURE. [5] CERAMIC TILE SHOWER AND FLOOR, TEMPERED GLASS ENCLOSURE

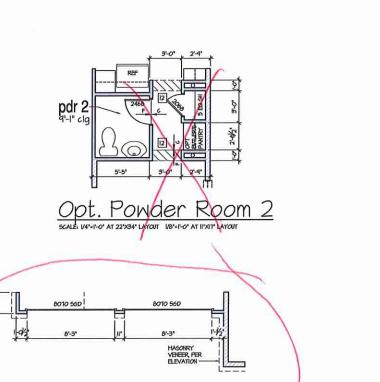
16 GARDEN TUB IS A SLIDE IN FIBERGLASS MODEL PER BUILDER TO 30' FREE STANDING ELECTRICAL RANGE OR OPT. GAS RANGE VENT FER MANUFACTURER'S MRITTEN INSTRUCTIONS.

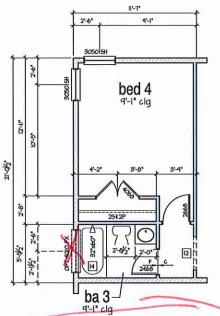
D 30' ELECTRICAL COOKTOP OR OPT. 6AS COOKTOP AND HOOD VENT PER HANDFACTIRER'S WRITTEN INSTRUCTIONS.

9'-1" STAIR NOTE: (NE I4" TJ WITH 3/4" PLYMOOD SUBFLOOR 15 TREADS AT IC! EACH VERIFY IS RISERS AT 4-1 T.TT! = 124 I/4" TOTAL RISE VERIFY









<u>Opt. Bed 4 / Bath 3</u> SCALE, V4"=1'-0" AT 22'X34" LAYOUT V8"=1'-0" AT II'XIT' LAYOUT

Opt. Gourmet Kitchen







-kitchen

ISSUED FOR/PERMIT CONSTRUCTION

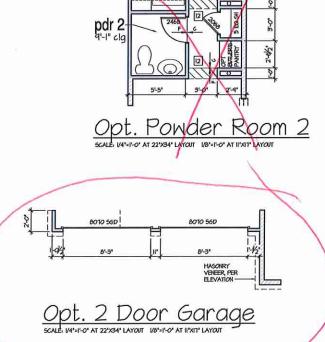


ROJECT NO: GMD-GAIGOI4

JESSAMINE - LH 1st FLOOR **PLAN OPTIONS** 

PRINT DATE: Jan 1, 2019

A1.1.1



- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS. WINDOW HEAD HEIGHTS.

IST FLOOR = 6'-10" UNIO, ON ELEVATIONS.

ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CERTERLINE.

#### WALL LEGEND:

FULL HEIGHT 2X4 HOOD STUD PARTITION FILL HEIGHT 2X6 HOOD STUD PARTITION

STUD HALL BELOW HEIGHT AND STUD SIZE AS NOTED BRICK / STONE VENEER LOW GYPSIM BOARD WALL HEIGHT AND STUD SIZE AS NOTED DRYNALL OPENING, HEIGHT AS NOTED ON PLAN.

## KEY NOTES:

#### FIRE PROTECTION

- HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (I) LAYER V2" GYPSUM BOARD, (PER LOCAL CODE) GARAGENOUSE SEPARATION AT HORIZONTIAL SURFACES SHALL BE PROTECTED WITH ONE (I) LAYER 5/8"
  TYPE 'X' GYPSIM BOARD. (PER LOCAL CODE)
- HOUSE TO GARAGE DOOR SEPARATION, PROVIDE I-3/8" SOLID CORE DOOR OR APPROVED 20 MINITE RATED DOOR, (PER LOCAL CODE)
- BENEATH STAIRS AND LANDINGS, V2' GYPSUM BOARD ON HALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER LOCAL CODE) MEPS
- FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE, INSTALL THE MATER HEATER FER LOCAL CODE, IN HIGH PLATFORM PROTECT THE GAS APPLIANCE FROM MOTOR VEHICLE INPACT PROTECTION PER LOCAL CODE.
- | FAU 8/X9 PLATFORM, VERIFY WITH TRUSS MANUFACTURER.
  | 6'-6' HIN. CLEAR HEIGHT TO HORIZONTAL MEMBERS,
  2'X8' OVER 2'X4' BOTTON CHORD. OF TRUSS, VERIFY W TRUSSES)
  | A/C CONDENSER PAD. (VERIFY)
  |
- PRE-FABRICATED METAL FIREPLACE.
  INSTALL PER HANDFACTURER'S WRITTEN INSTRUCTIONS.
- ITING LEPER NAVARAGE ENCIRCH TO REPOWE LARGEST PIECE
  OF EQUIPMENT BUT NOT LESS TIMM 30 X22", FIRE RATED
  ACCESS AS NOTED, (FER LOCAL CODE)
  ATTIC ACCESS (ADDER, VERIFY LOCATION AND SIZE WITH TRUSSES,
  (25 1/2" X 54" SIZE)

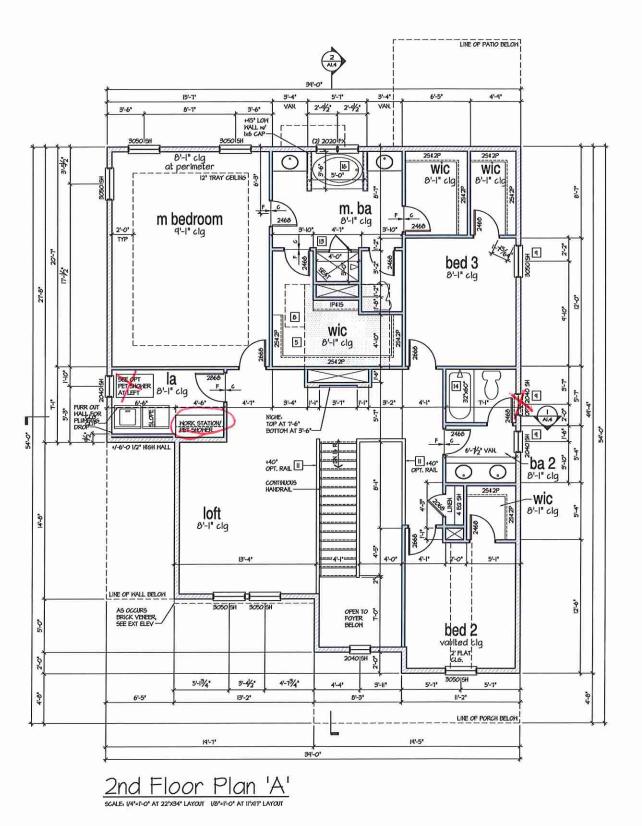
  TOTAL CALL

  TOTAL CAL TYPICALS:
- TEMPERED SAFETY GLASS, (PER LOCAL CODE)
- PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER HEIGHT AS NOTED.
- III HALF WALL, HEIGHT AS NOTED.
- [2] INTERIOR SOFFITS: FFL = 6'-1' UNO. SFL = 7'-6' UNO.
- BATH5: [3] SHOWER, TEMPERED GLASS ENCLOSURE.
- 14 TUB-SHOWER COMBO. TEMPERED GLASS ENCLOSURE.
- [5] CERAMIC TILE SHOWER AND FLOOR, TEMPERED GLASS ENCLOSURE.
- 16 GARDEN TUB IS A SLIDE IN FIBERGLASS MODEL PER BUILDER

- 13 30' FREE STANDING ELECTRICAL RANGE OR OPT. GAS RANGE VENT PER MANUFACTURER'S MRITTEN INSTRUCTIONS.
- ID 30' ELECTRICAL COOKTOP OR OPT, 6AS COOKTOP AND HOOD VEHT PER MANUFACTURER'S WRITTEN INSTRUCTIONS,
- HI ELECTRIC OVEN WITH MICROHAVE OVEN

9'-1" STAIR NOTE: (15E 14" T.1 MITH 3/4" PLYMOOD SUBPLOOR) 15 TREADS AT 10" EACH VERIEY 16 RISERS AT 10" T.T.T" = 124 1/4" TOTAL RISE VERIEY







ATLANTA, GEORGIA LOCATION. 1045 SATELLITE BLVD SATE 650 DUJITH, GA 30041 PHORE, TIO-315-1351

THESE PLANS AND SPECIFICATIONS
AND PROTECTED UNDER PEDERAL
COPPRIGHT LAMS. (C) 64D DESIGN
680AP OF 660AGA, INC.
HANTAINS ON ENERGY OF SICH
AND ALL RISHTS AND PRIVILEGES.

NO:	DATE	REVISION
Δ	05,51,16	FRST SUMITAL
◬	66,80,01	SRD CAR GARAGE OPTIONS ADDED
⅓	11.2336	FRAME HALK CHANGES

PROJECT TITLE: 40' Plans

ISSUED FOR/PERMIT CONSTRUCTION



PROJECT NO: GMD-GAI6014

JESSAMINE - LH 2nd FLOOR PLAN 'A'

PRINT DATE: Jan 1, 2019

A1.2

9'-1" STAIR NOTE: (NE H' TJ WITH 394' PLTYVOOD SUPFLOOR IS TREADS AT NO EACH VERIFY IS RISERS AT NO 124 UN' TOTAL RISE VERIFY

PER STATE RESIDENTIAL CODE COMPLIANCE METHOD TO BE DETERMINED BY BUILDER.

### NOTES:

- REFER TO FLOOR PLAN NOTES FOR TYPICAL FIRE PROTECTION NOTES AND LOCATIONS.

REFER TO FLOOR FLAN ROTES FOR ITHERAL FIRE PROJECTION ROTES AND LOCATIONS.
 THESE BILLIONS SECTIONS HAY VARY AT ALTERNATE ELEVATION STYLES AND AT "PLAN OPTION" CONDITIONS, REFER TO MAIN FLOOR FLAN AND ALTERNATE FLOOR FLANS FOR INFORMATION ROT SHOWN HERE.
 BUILDING SECTIONS SHOWN HERE DEPICT VOLUM SPACES WITHIN THE STRICTURE, REFER TO STRICTURAL FOR PRAYMISS, TRUES DRAVINGS, STRICTURAL DETAILS AND CALCULATIONS BY OTHER FOR ALL STRICTURAL INFO.
 ROOPING, PITCHED SHINGLE ROOF, REFER TO ROOF FLAN FOR TYPICALS.

- WOOD FLOORS, FLOOR SHEATHING OVER FLOOR JOIST, REFER TO STRUCTURAL AND TRUSS DRAWNSS BY OTHERS,

REFER TO STRICTURAL AND TRUSS DRAWNES BY OTHERS.

YERIP'S TATURS HIMIMAL AND MAXIMM REQUIREMENTS FOR CONSTRUCTION CLEARANCES HITH LOCAL CODES.

INBULATION.

EXTERIOR HALLS ZONE 3:

EXTERIOR HALLS ZONE 4:

R-38 BATTS HIMIMAL VERIP'

CELLINS HITH ATTIC ABOVE COMPRESSED INBULATION.

R-38 BATTS HIMIMAL VERIP'

CELLINS HITH ATTIC ABOVE INCOMPRESSED INBULATION.

R-30 BATTS HIMIMAL VERIP'

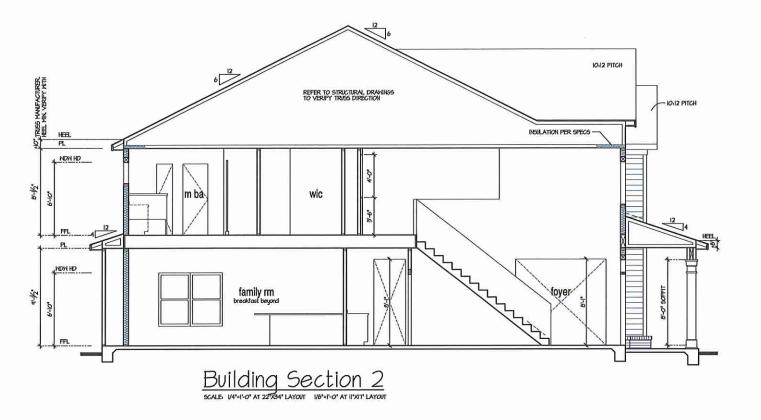
B-000 OVER CARRAGE.

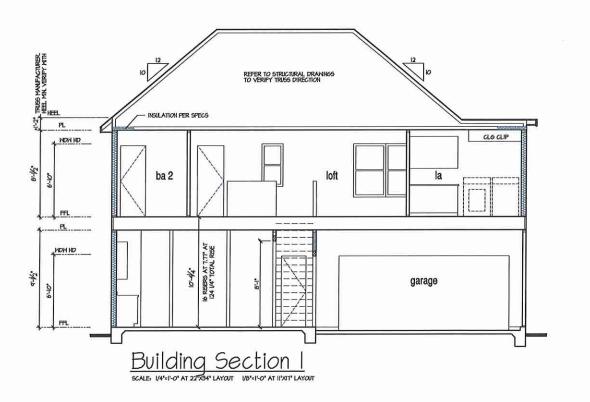
R-30 BATTS HIMIMAL VERIP'

R-30 BATTS HIMIMAL

R-SO BATTS MINIMAM, VERIFY
ATTIC KYEENALL:
CRAML SPACE FLOORING:
R-19 BATTS MINIMAM, VERIFY
R-19 BATTS MINIMAM, VERIFY

WINDOW GLAZING 'U' FACTOR: 035







of georgia

ATLANTA, GEORGIA LOCATION, 1845 SATELLITE BLVD SUTE 850 DULITH, GA 3004T PHONE, TIO-315-1351

NO:	DATE	REVISION.
Δ	C53U6	FIRST SUMTTAL
◬	10.0436	SRD CAR GARAGE OPTIONS ADDED
◬	11.2936	HARE WLK

PROJECT TITLE:

40' Plans

ISSUED FOR/PERMIT CONSTRUCTION

CLIENTS NAME:

PRIOJECT NO: GMD-GAIGOI4

SHEET TITLE:
JESSAMINE - LH BUILDING SECTIONS

PRINT DATE:

Jan 1, 2019

~A1.4

## ATTIC VENT CALCULATION FOR 'JESSAMINE': 1:150 RATIO.

THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN USO OF THE AREA OF THE SPACE VENTILATED.

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE
VERTILATION OF THE VERIF PRODUCT SELECTED BY OWNER,
VERIFY WITH HAMPACTURERS OF HIGH AND LON VERIFS
TO BE USED FOR HANNAM CALLALATED VERIFS REGARDED.
THE REGION OF HIGH AND SHALL BE MAINTAINED.
THE REGION OF HIGH AND SHALL BE MAINTAINED.
DOES NOT OSCIPLIATE FREE AND A MEDICAL FREE MAINTAINED.
BY THE BILLDING OFFICIAL.
ALL OWNERAP FRAMED ROOF AREAS SHALL HAVE
OPENINGS DETIFIED HE ADJACENT ATTICS IN THE ROOF
SHEATHING (AS ALLOYED BY THE STREUTINEA, BENIFEER)
TO ALLOM PASSASE AND ATTIC VERTILATION.
BETWEEN THE THO OR ISOLATED ATTIC SPACES SHALL
BE VERTIED INDEPENDENTLY TO COC REGIONER-BITS.

PER DEVELOPER, AT ALL CANTILEVERED FLOORS,
CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE CANTILLEVERU NOCHIECTORA POPULAR, AND ART DATA
PRAMING PROJECTIONS THAT ARE SPARATIED PROMITIE
VEHTING CALCULATIONS SHOWN ABOVE, PROVIDE A
CONTINUOUS 2° CORROSION RESISTANT SOFFIT VENT AT
UNDERSIDE OF FRAMED ELDMENT.

I SQUARE INCH VENT FOR EVERY ISO SQUARE INCHES OF CEILING \*I44 Sa. Ri. = I Sa. Ft. BLDS. CEILING (SF) X I44 = BLDG (Sa. IN.) BLDS. (Sa. IN.) / ISO = Sa. IN. OF VENT REQUIRED

ROOF AREA Is = 1710 SF

1710 SQ. FT. X 144 = 254880 SQ. IN. 254880 SQ. IN. / ISO = 1649.2 SQ. IN. OF VENT REQ'D

ROOF AREA 2: = 107 SF

107 SQ, FT, X 144 = 1540B SQ, IN. 1540B SQ, IN. / 150 = 102.72 SQ, IN. OF VENT REQID

ROOF AREA 3 = 120 SF

120 SQ. FT. X 144 = 17280 SQ. IN. 17280 SQ. IN. / 150 = 115.2 SQ. IN. OF VENT REQ'D

ROOF AREA 41 = 240 SF

240 50. Ft. x 144 = 34560 50. IN. 34560 50. IN. / 150 = 230.4 50. IN. OF VENT REQ'D

### NOTES:

 ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY. - DASHED LINES INDICATE WALL BELOW.

LOCATE GUTTER AND DOWNSPOUTS PER BULDER. - PITCHED ROOFS AS NOTED.

- TRUSS HANDFACTURER SHALL SURNIT STRUCTURAL CALCS AND SHOP DRAWINGS TO THE BALDER'S GENERAL CONTRACTOR AND BULDTHS DEPARTMENT FOR REVIEW PRIOR TO FABBLICATIONS.

- ALL PLIMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS, ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAN RIDGE.

## ATTIC VENT CALCULATION FOR 'JESSAMINE': 1:300 RATIO.

AS AN ALTERNATE TO THE M50 RATIO LISTED ABOVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 PER 2012 IRC SECTION RBO62

GBERAL CONTRACTOR SHALL YERIPY THE NET FREE YENTILATION OF THE YENT PRODUCT SELECTED BY OWNER YERIPY WITH MANUFACTURER OF HISH AND LOU YENTS TO BE USED FOR MINHAM CALCULATED YEN'S REQUIRED. THE REGULERY DYRILL ATOM SHALL BE MANTANIED. PROVIDE INSULATION STOP SUCH THAT RESULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REGULRED BY THE BULDING OFFICIAL.

BY THE BUILDING PRAYED ROOF AREAS SHALL HAVE OFFENING BETNEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING KO ALLOWED BY THE STRICTURAL BISINEER! TO ALLOW PASSAGE AND ATTIC VERTILATION! BETNEEN HE THO OR ISOLATIO ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.

PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-CUTS, AND ANY DOUBLE CANTILLEVERED ANCHITECTURAL POP-CUIS, AND ANT DOUB FRAMING PROJECTIONS INTALY ARE SEPARATED FROM THE VEHTING CALCULATIONS SHOWN ABOVE, PROVIDE A COMINIOUS 2' CORROSION RESISTANT SOFFIT VENT AT WIDERSIDE OF FRAMED ELB-ENT.

I SQUARE INCH VENT FOR EVERY 300 SQUARE INCHES OF CEILING 144 50. IN. = 1 50. FT.

BLD6, CEILING (SF) X 144 = BLD6 (50. IN.)

BLD6, (50. IN.) 7 300 = 50. IN. OF VEHT REQUIRED

50. IN. OF VEHT REQUIRED / 2 = 50% AT HOH & 50% AT LON.

ROOF AREA In = 1710 SF

1710 5Q. FT. X 144 = 254880 5Q. IN. 254880 5Q. IN. / 300 = 8446 5Q. IN. 0F VENT REQ'D 8496 5Q. IN. / 2 = 424.8 5Q. IN.

424.8 SQ. IN. OF VENT AT HIGH 4 424.8 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 21 = 101 SF

107 50, FT, X 144 = 15408 50, IN, 15408 50, IN, / 300 = 5136 50, IN, OF VENT READ 5136 50, IN, / 2 = 2568 50, IN

25.68 SQ. IN. OF VENT AT HIGH # 25.68 SQ. IN, OF VENT AT LOW REQUIRED. ROOF AREA 3. = 120 SF

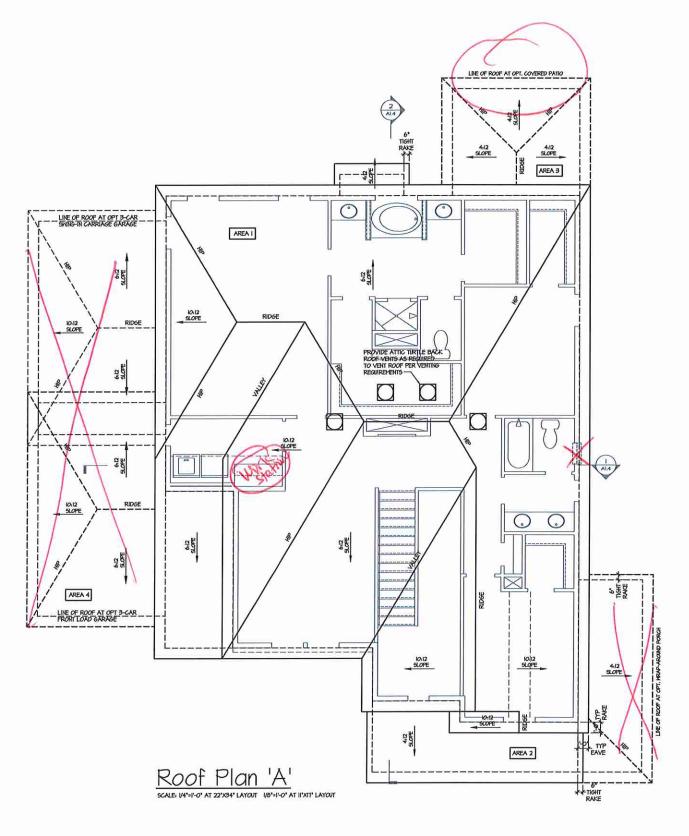
120 50. FT. X 144 = 11280 50. IN. 11280 50. IN. / 300 = 51.6 50. IN. OF VENT REQ'D 51.6 50. IN. / 2 = 28.8 50. IN.

28.8 SQ. IN, OF VENT AT HIGH 4 28.8 SQ. IN, OF VENT AT LOW REQUIRED.

ROOF AREA 4 = 240 SF

240 50. FT. X 144 = 34560 50. IN. 34560 50. IN. / 300 = 115.2 50. IN. OF VENT REQ'D 115.2 50. IN. / 2 = 57.6 50. IN

57.6 SQ. IN. OF VENT AT HIGH # 57.6 SQ. IN. OF VENT AT LOW REQUIRED.





of georgia

ATLANTA, SEORGIA LOCATION, 1845 SATELLITE BLVD SUTTE 850 DULUTH, GA 3004T PHONE: T10-375-7351

THESE PLANS AND SPECIFICATIONS
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NO	DATE	REVISION:
Δ	05506	FIRST SUMITAL
◬	10.0436	SRD CAR GARAGE OPTIONS ADDED
◬	11.2536	FRAME HALK

PROJECT TITLE:

40' Plans

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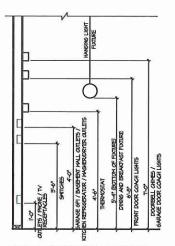
CLIENTS NAME:

PROJECT NO: GMD-GAI6014

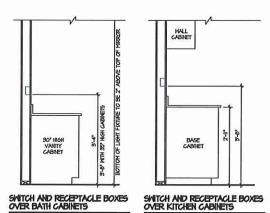
JESSAMINE - LH **ROOF PLAN 'A'** 

Jan 1, 2019

A1.5.2



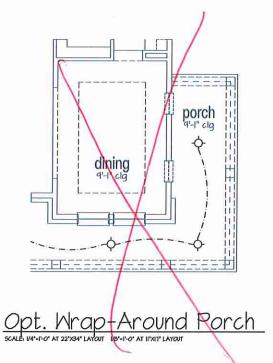
#### STANDARD ELECTRICAL BOX HEIGHTS

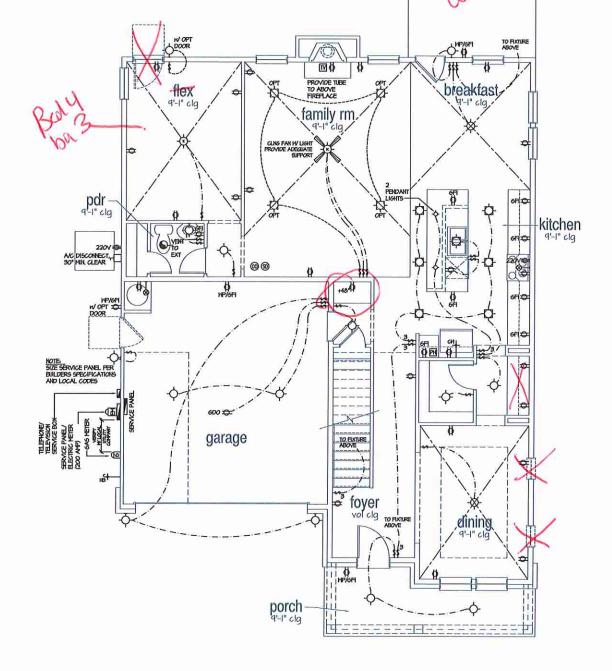


### NOTES:

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
   ALL EXAMST FAINS SHALL HAVE BACKDRAFT DAMPERS.
- FANLIGHTS IN WET/DAMP LOCATIONS SHALL BE LABLED "SUITABLE FOR MET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SHOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NPPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODE
- PROVIDE AND INSTALL GROAD FAULT CIRCUIT-INTERRIPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS
- HVAG CONTRACTOR TO VERIFY THERHOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FIRMACES, AND UNITS, ELECTRICAL PANELS, SANITAR DRAIN TILE SIMP, AND MATER REATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.

EGI	END:	>	✓ UNDERCOUNTER FLUORESCENT LIGHT FIXTURE
1	DIPLEX OWNER	4	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
HP/SFI	HEATHERPROOF OF DUPLEX CUILET	10	
651	GROUND-FALLT CIRCUIT-INTERRUPTER DIPLEX CUILET	<u> </u>	HALL HOUNTED INCANDESCENT LIGHT FIXTURE  RECEISED INCANDESCENT LIGHT FIXTURE
þ	HALF-SHITCHED DUPLEX CUTLET	0	(VP) = VAPOR PROOF
2201	220 VOLT OUTLET	9	EXHAUST FAN (VEHT TO EXTERIOR)
D	REINFORCED LINCTION BOX	4	EXHAUST FANLISHT COMBINATION VEHT TO EXTENSION
\$	MATT ZALICH		THE IVENIENCE
5	THREE-HAY SMITCH		FLUORESCENT LIGHT FIXTURE
4	FOR-HAY SHITCH		TECH HUB SYSTEM
回	CHHES	1	CEILING FAN
P	RISHUTTON SHITCH	(PROVIDE ADEQUATE SUPPORT)	
0	NOV SHOKE DETECTOR NY BATTERY BACKLP	34	CELING FAN HITH INCANDESCENT LIGHT FIXTURE
0	CO2 DETECTOR	1	(PROVIDE ADEQUATE SUPPORT)
0	THEROMOSTAT		GAS SUPPLY HITH VALVE
M	TELETHONE		or own tel thin there
M	TELEVISION	+	HOSE BIBB
٥	BLECTRIC HETER	-1	V4" HATER STUB OUT
_	ELECTRIC PAYEL	an	V4 PAIES SILB COI
ala	DISCONECT SHITCH	1 ⊰	HALL SCONCE









ATLANTA, GEORGIA LOCATION. 1845 SATELLITE BLVD SUTE 850 DULITH, GA. 3009T PHONE. TIO-375-7351

patio

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NO:	DATE	REVISION:
4	05.5036	FRST SUMITAL
⅓	10.0436	SPED CAR GARAGE OPTIONS ADDRED
⅓	11.2536	FRAME HALK CHANGES

PROJECT TITLE:

40' Plans

ISSUED FOR/PERMIT CONSTRUCTION



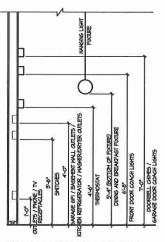
PROJECT NO: GMD-GAI6014

SHEET TITLE:
JESSAMINE - LH

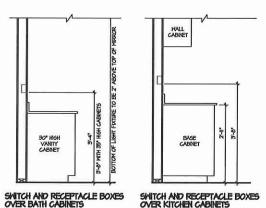
1st FLOOR UTILITY PLAN

PRINT DATE: Jan 1, 2019

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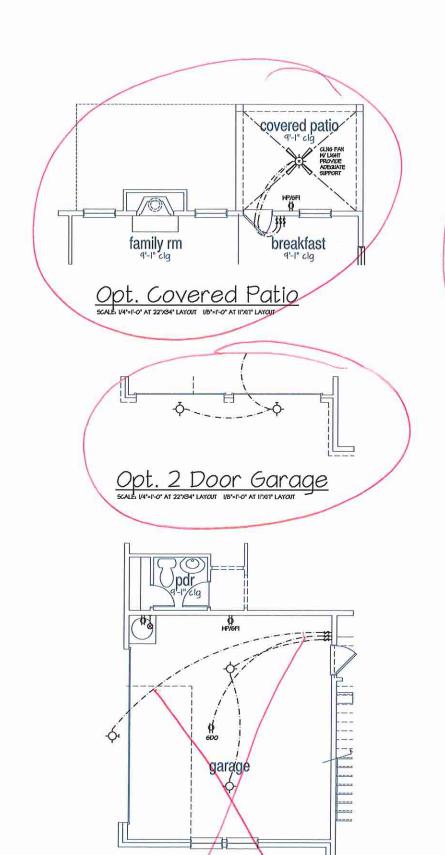
#### STANDARD ELECTRICAL BOX HEIGHTS



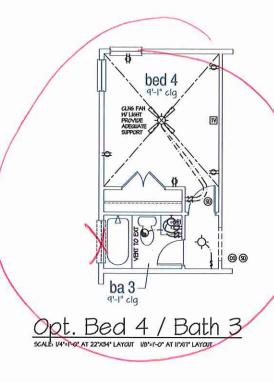
- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXPLAIST FAIS SHALL HAVE BACKDRAFT DAMPERS.
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- PROVIDE AND INSTALL LOCALLY CERTIFIED SHOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY INSTRUMENT FIRE PROTECTION ASSOCIATION (NPPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
- PROVICE AND RETALL GROUND FALL CROUT-HITERRAPIES (GH) AS REQUIRED BY NATIONAL ELECTRICAL CODE (REC) AND RETING THE REQUIRED BYTS OF ALL GOVERNING CODES.

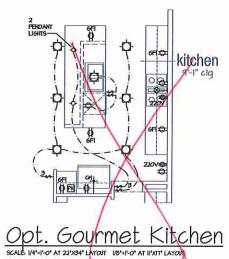
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- PROVIDE POWER, LIGHT AND SMITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND

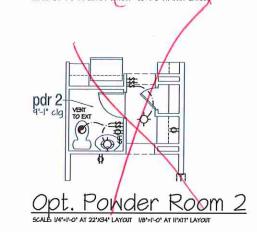
LEGI	END:	>	- INDERCOUNTER - FLUORESCENT LIGHT FIXTURE
<b>#</b>	DEPLEX OUTLET	4	CELING HONTED INCANDESCENT LIGHT FIXTURE
рния	HEATHERFROOF 6F1 DUPLEX OUTLET	ф	HALL HOLNTED INCANDESCENT LIGHT FIXTURE
∯ 6F1	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET	- 12	RECESSED INCANDESCENT LIGHT FIXTURE
<b>#</b>	HALF-SHTCHED DUPLEX CUTLET	· O	(VP) = VAPOR PROOF
<b>₽</b> 2201	220 VOLT OUTLET	9	EXHAUST FAN (VEHT TO EXTERIOR)
Ø	REDFORCED LINCTION BOX	-04	EXHAUST FANALIGHT COMBINATION (VENT TO EXTERIOR)
\$	KALL SMITCH	1879.25	(VENT TO EXTENSIVE
\$5	THREE-HAY SMITCH	$\boxtimes$	FLUORESCENT LIGHT FATURE
\$4	FOUR-HAY SHITCH		TECH HJB SYSTEM
团	CHIPES	1	CELING FAN
9	PLEHBUTTON SHITCH	(PROVIDE ADEQUATE SUPPORT)	(PROVIDE ADECLATE SUPPORT)
0	NOV SHOKE DETECTOR NV BATTERY BACKLP	34	CELLING FAN WITH INCANDESCENT LIGHT FIXTURE
0	CO2 DETECTOR	10	(PROVIDE ADBOLINTE SUPPORT)
0	THEOLOGIAT		GAS SEPRLY HITH VALVE
Ħ	TELEPHONE		UND SATEL ININ YALVE
6	TELEVISION	1	HOSE BEB
۵	BLECTRIC HETER	-+-	V4" HATER STUB OUT
	ELECTRIC PAVEL		V1 MID SID OIL
alia.	DESCRIECT SHITCH	1 -∤1	HALL SCOKE



Opt. Side-Load Garge SCALE V4'=1'-0' AT 22'X34' LAYOUT V00-1-0' AT 11'X1' LAYOUT









ATLANTA, GEORGIA LOCATION. 1845 SATELLITE BLVD SUTE 850 DULITH, GA. 30047 PHONE. TIO-315-1351

NO:	PATE	REVISION:
Δ	05,31,6	FIRST SIZMITTAL
A	10.0436	SRD CAR GARAGE OPTIONS ADDED
À	11.2536	FRAME HALK
		2 10,0436

40' Plans

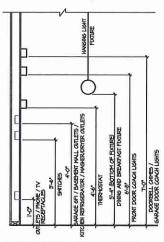


PROJECT NO: GMD-GAI6014

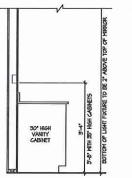
SHEET TITLE:
JESSAMINE - LH 1st FLOOR UTILITY PLAN

PRINT DATE: Jan 1, 2019

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#### STANDARD ELECTRICAL BOX HEIGHTS





# SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS

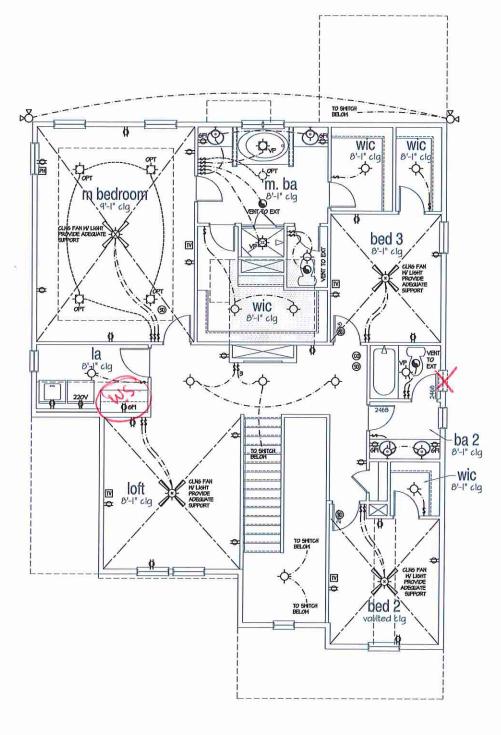
#### NOTES:

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FALL CIRCUIT-INTERRIPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REGUIREMENTS OF ALL GOVERNING CODES, ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS,
- FANALIGHTS IN WET/DAMP LOCATIONS SHALL BE LABLED "SUITABLE FOR WET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY, THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT,
- PROVIDE AND RETALL LOCALLY CERTIFIED SHOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NPPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
- PROVIDE AND HEATHLE GROUND FALLT CIRCUIT-INTERRIPTIES (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NE) AND HEATHS THE REQUIRED BY A GOVERNIS CODES.

   BLECTRICAL CONTRACTOR TO PROVIDE REGUIRED DIRECT HOOK-IPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (PLRNACES, AND UNITS, ELECTRICAL PANELS, SANITARY SUMP DRAIN TILE SUMP, AND MATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO MELLO CONDITIONS.
- PROVIDE POWER, LIGHT AND SHITCH AS REGUIRED FOR ATTIC FURNACE PER CODE AND

LEG	END:	>	- UNDERCOUNTER - FLUORESCENT LIGHT FIXTURE
<b>#</b>	DIPLEX CUILET	ф	CELLING HOLKITED INCANDESCENT
∯нги6г	HEATHERPROOF OF DUPLEX OUTLET	ф	HALL HOLNTED INCANDESCENT
∯ 6FT	GROUND-FAULT CIRCUIT-INTERPLETER DUPLEX CUTLET		RECESSED INCANDESCENT LIGHT FLYTIRE
þ	HALF-SHTGED DIFLEX CUTLET	ф	(VP) = VAPOR PROOF
220V	220 YOUT OUTLET	9	EXHAUST FAN (MENT TO EXTERNOR)
Ø	RENFORCED JAKTICH BOX	4	EQUALIST FANALISHIT CONBINATION MENT TO EXTERIOR)
\$	HALL SHITCH	T (VENT TO EXTERIOR)	
\$ 5	THREE-HAY SHITCH	$\bowtie$	FLUORESCENT LIGHT FIXTURE
\$4	FOR-HAY SHITCH		TECH HIB SYSTEM
<b>D</b>	(A) ES	0	CPILING FAIL
P	PUSHBUITON SHITCH	1	(PROVIDE ADEQUATE SUPPORT)
0	NOV SHOKE DETECTOR NY BATTERY BACKLEP	34	CELLING FAN HITH INCANDESCENT LIGHT FUTURE
@	CO2 DETECTOR	1	(PROVIDE ADEQUATE SUPPORT)
Ø	THEROMOSTAT		6AS SLEELY HITH VALVE
M	TELEPIZE	1	OLO WILLIAM DETE
1	TELEVISION	-+P	HOSE BIBB
Ð	BLECTRIC HETER	-+	V4" HATER STUB OUT
_	ELECTRIC PAVEL	- 1	V4 MIEK SILO WI
site	DISCONECT SHITCH	1 -3	WALL SCONCE









ATLANTA, GEORGIA LOCATION: 1845 SATELLITE BLVD SUITE 850 DULITH, GA. 3004T PHONE: T10-915-1351

NO:	DATE	REVISION:
4	05306	FRST SUMITAL
⅓	10.0436	SPED CAR GARAGE OPTIONS ADDED
⋬	11.2516	FRAME HALK CHANGES

PROJECT TITLE:

40' Plans

ISSUED FOR/PERMIT CONSTRUCTION

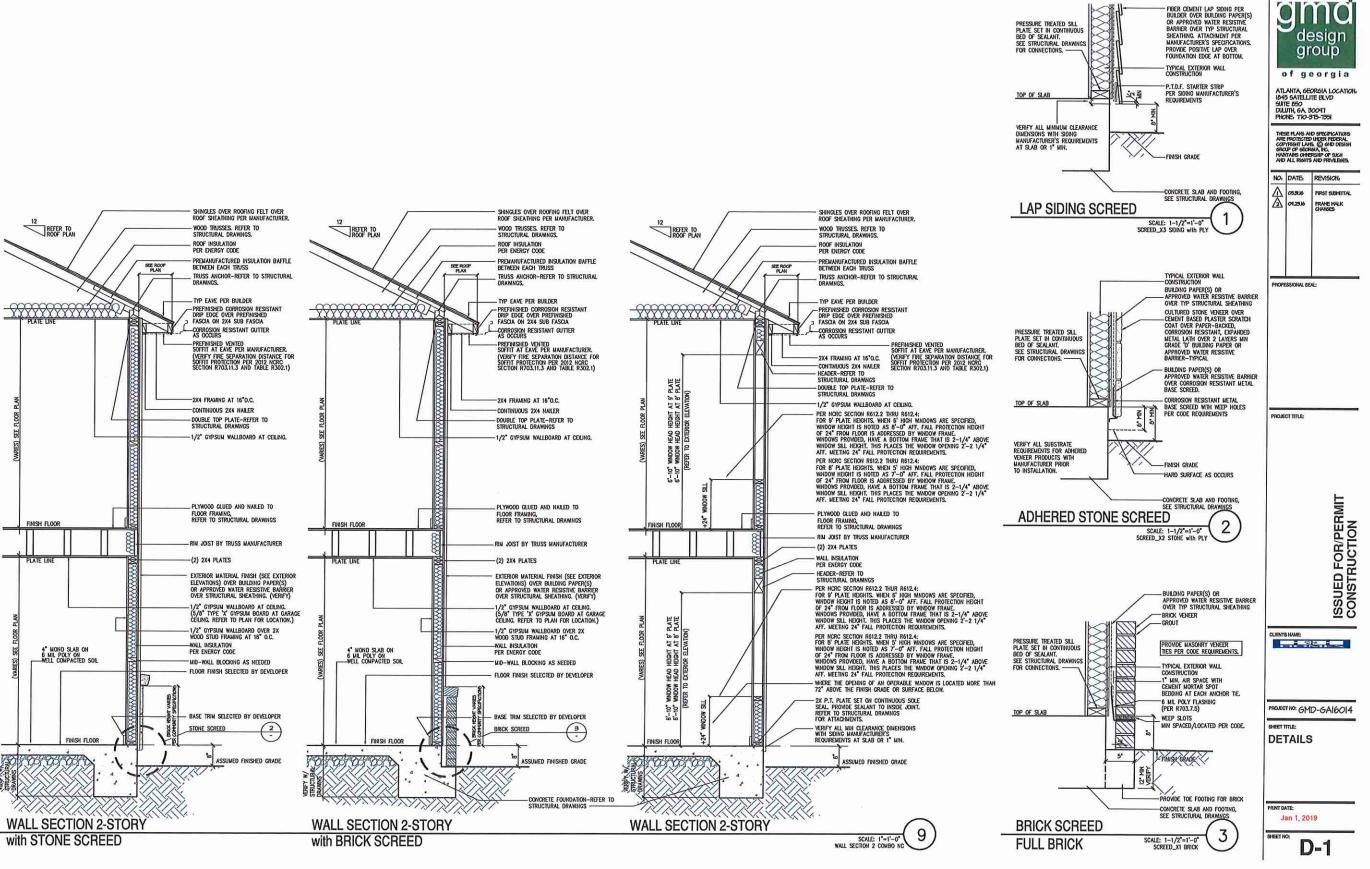


PROJECT NO: GMD-GAI6014

SHEET TITLE:
JESSAMINE - LH 2nd FLOOR UTILITY PLAN

PRINT DATE: Jan 1, 2019

E2.0



design



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# **JESSAMINE**

## CAROLINA DIVISION

THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH AND COORDINATED WITH THE ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. THIS COORDINATION IS NOT THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER OF RECORD (SER). SHOULD ANY DISCREPANCIES BECOME APPARENT, THE CONTRACTOR SHALL NOTIFY KSE ENGINEERING, P.C. BEFORE CONSTRUCTION BEGINS. IT IS THE INTENT OF THE ENGINEER LISTED ON THESE DOCUMENTS THAT THESE DOCUMENTS BE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND ALL SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL OF THE INFORMATION CONTAINED IN THESE DOCUMENTS PRIOR TO THE COMMENCEMENT OF ANY WORK. THE ENGINEER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION. ALL CONSTRUCTION MUST BE IN ACCORDANCE TO THE INFORMATION FOUND IN THESE DOCUMENTS.

#### DESIGN SPECIFICATIONS:

DESIGN BUILDING CODE (REFERRED TO HEREIN AS 'THE BUILDING CODE'):

· 2018 NORTH CAROLINA RESIDENTIAL CODE, WALL BRACING PER INTERNATIONAL RESIDENTIAL CODE 2015 EDITION.

#### DESIGN LIVE LOADS:

• ROOF = 20 PSF (LOAD DURATION FACTOR=1.25)

- · UNINHABITABLE ATTICS WITH LIMITED STORAGE = 20 PSF (WHERE SPECIFIED ON PLANS)
- · HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS = 30 PSF
- FLOOR (SLEEPING AREAS) = 30 PSF
- DECK = 40 PSF
- BALCONY = 40 PSF STAIRS = 40 PSF

#### DESIGN DEAD LOADS:

- ROOF TRUSS = 17 PSF (TC=7, BC=10)
- FLOOR TRUSS = 15 PSF (TC=10, BC=5)
- FLOOR JOIST = 10 PSF
- · QUEEN ANNE BRICK = 25 PSF

\*NOTE: STRUCTURAL FRAMING HAS NOT BEEN DESIGNED FOR TILE, GRANITE, MARBLE OR OTHER MATERIALS HEAVIER THAN THE ABOVE LOADING UNLESS SPECIFICALLY NOTED ON PLANS.\*.

- ULTIMATE WIND SPEED = 120 MPH
- EXPOSURE CATEGORY = B

ASSUMED SOIL BEARING CAPACITY = 2000 PSF

ASSUMED LATERAL SOIL PRESSURE = 45 PCF

FROST DEPTH = 12"

SEISMIC DESIGN CATEGORY = B

ENGINEERED LUMBER SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES: • TJI 210 SERIES (SERIES AND SPACING PER PLANS) • LSL: E=1,550,000 PSI,  $F_{\rm B}$ =2,325 PSI,  $F_{\rm V}$ =310 PSI,  $F_{\rm C}$ =900 PSI • LVL: E=2,000,000 PSI,  $F_{\rm B}$ =2,600 PSI,  $F_{\rm V}$ =285 PSI,  $F_{\rm C}$ =750 PSI

- PSL: E=2,100,000 PSI, F<sub>B</sub>=2,900 PSI, F<sub>V</sub>=290 PSI, F<sub>C</sub>=625 PSI

THIS PLAN HAS BEEN DESIGNED PER THE 2018 EDITION OF THE NC RESIDENTIAL CODE. WHERE FRAMING, FOUNDATION, OR OTHER STRUCTURAL ITEMS DO NOT COMPLY WITH THE PRESCRIPTIVE METHODS OF THE CODE, THOSE ITEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE PER





Jessamine Model 120 M.P.H. Carolina Division

 $\exists$ 

Cover Project #: 105-16010

Designed By: KRK Checked By: ssue Date: 4/5/19

Sheet

Re-Issue: Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

#### GENERAL STRUCTURAL NOTES:

- THE DESIGN PROFESSIONAL WHOSE SEAL APPEARS ON THESE DRAWINGS IS THE STRUCTURAL ENGINEER OF RECORD (SER) FOR THIS PROJECT. THE SER BEARS THE RESPONSIBILITY OF THE PRIMARY STRUCTURAL FLEMENTS AND THE PERFORMANCE OF THIS STRUCTURE. NO OTHER PARTY MAY REVISE, ALTER, OR DELETE ANY STRUCTURAL ASPECTS OF THESE CONSTRUCTION DOCUMENTS WITHOUT WRITTEN CONSENT OF KSE ENGINEERING, P.C. OR THE SER. FOR THE PURPOSES OF THESE CONSTRUCTION DOCUMENTS, THE SER AND KSE ENGINEERING SHALL BE CONSIDERED THE SAME ENTITY
- THE STRUCTURE IS ONLY STABLE IN ITS COMPLETED FORM. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TEMPORARY BRACING DURING CONSTRUCTION TO STABILIZE THE STRUCTUR
- THE SER IS NOT RESPONSIBLE FOR CONSTRUCTION SEQUENCES. METHODS, OR TECHNIQUES IN CONNECTION WITH THE CONSTRUCTION OF THIS STRUCTURE. THE SER WILL NOT BE HELD RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CONFORM TO THE CONTRACT DOCUMENTS, SHOULD ANY NON-CONFORMITIES OCCUR.
- THE SER DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF GEOMETRY. THE SER ASSUMES NO LIABILITY FOR CHANGES MADE TO THESE PLANS BY OTHERS, OR FOR CONSTRUCTION METHODS, OR FOR ANY DEVIATION FROM THE PLANS. THE SER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE NOTED ON THE PLANS
- ANY STRUCTURAL ELEMENTS OR DETAILS NOT FULLY DEVELOPED ON THE CONSTRUCTION DRAWINGS SHALL BE COMPLETED UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. THESE SHOP DRAWINGS SHALL BE SUBMITTED TO KSE ENGINEERING FOR REVIEW BEFORE ANY CONSTRUCTION BEGINS, THE SHOP DRAWINGS WILL BE REVIEWED FOR OVERALL COMPLIANCE AS IT RELATES TO THI STRUCTURAL DESIGN OF THIS PROJECT, VERIFICATION OF THE SHOP DRAWINGS FOR DIMENSIONS, OR FOR ACTUAL FIELD CONDITIONS, IS NOT THE RESPONSIBILITY OF THE SER OR KSE ENGINEERING, P.C.
- VERIFICATION OF ASSUMED FIELD CONDITIONS IS NOT THE RESPONSIBILITY OF THE SER. THE CONTRACTOR SHALL VERIFY THE FIELD CONDITIONS FOR ACCURACY AND REPORT ANY DISCREPANCIES KSE ENGINEERING, P.C. BEFORE CONSTRUCTION BEGINS THE SER IS NOT RESPONSIBLE FOR ANY SECONDARY STRUCTURAL
- ELEMENTS OR NON-STRUCTURAL ELEMENTS, EXCEPT FOR THE FLEMENTS SPECIFICALLY NOTED ON THE STRUCTURAL DRAWINGS THIS STRUCTURE AND ALL CONSTRUCTION SHALL CONFORM TO ALL
- APPLICABLE SECTIONS OF THE BUILDING CODE AND ANY LOCAL CODES OR RESTRICTIONS.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS, ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED
- 10. PROVIDE MOISTURE PROTECTION AND FLASHING PER ARCHITECTURAL

#### FOUNDATIONS:

- FOUNDATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 4 OF THE BUILDING CODE.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE SUITABILITY OF THE SITE SOIL CONDITIONS AT THE TIME OF CONSTRUCTION. THE BUILDER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER ON THE STUDY OF THE PROPOSED SITE TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR.
- MAXIMUM DEPTH OF UNBALANCED FILL AGAINST MASONRY WALLS TO BE AS SPECIFIED IN THE BUILDING CODE.
- THE SER HAS NOT PERFORMED A SUBSURFACE INVESTIGATION. VERIFICATION OF THE ASSUMED VALUE IS THE RESPONSIBILITY OF THE OWNER OR THE CONTRACTOR SHOULD ANY ADVERSE SOIL CONDITION. BE ENCOUNTERED. THE SER MUST BE CONTACTED BEFORE PROCEEDING
- THE BOTTOM OF ALL FOOTINGS SHALL EXTEND BELOW THE FROST LINE FOR THE REGION IN WHICH THE STRUCTURE IS TO BE CONSTRUCTED. BUT NOT LESS THAN A MINIMUM OF 12" BELOW GRADE, ALL FOOTINGS TO HAVE A MINIMUM PROJECTION OF 2" ON EACH SIDE OF FOUNDATION WALLS, MAXIMUM FOOTING PROJECTION SHALL NOT EXCEED THE THICKNESS OF THE FOOTING
- WOOD SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS WITH MINIMUM 7" EMBEDMENT, SPACED A MAXIMUM OF 6'-0" O.C. INSTALL MINIMUM 2 ANCHOR BOLTS PER SECTION, 12" OR USP SCREW-BOLT+ SCREWS MAY BE SUBSTITUTED ON A 1 FOR 1
- ANY FILL SHALL BE PLACED UNDER THE DIRECTION OR RECOMMENDATION OF A LICENSED PROFESSIONAL ENGINEER. THE RESULTING SOIL SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DRY DENSITY
- EXCAVATIONS OF FOOTINGS SHALL BE LINED TEMPORARILY WITH A 6 MIL POLYETHYLENE MEMBRANE IF PLACEMENT OF CONCRETE DOES NOT OCCUR WITHIN 24 HOURS OF EXCAVATION.
- NO CONCRETE SHALL BE PLACED AGAINST ANY SUBGRADE CONTAINING WATER, ICE, FROST, OR LOOSE MATERIAL.
- 10. PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS (SEE ARCHITECTURAL PLANS AND DETAILS).
- NONE OF THE FOUNDATION DESIGNS IN THESE DOCUMENTS ARE SUITABLE FOR INSTALLATION IN SHRINK/SWELL CONDITIONS. REFER TO GEOTECHNICAL ENGINEER FOR APPROPRIATE DESIGN.
- 12. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST TEN FEET.
- CRAWL SPACE TO BE GRADED LEVEL AND CLEAR OF ALL DEBRIS 14. PROVIDE MINIMUM 6 MIL APPROVED VAPOR BARRIER. ALL JOINTS TO

BE LAPPED MINIMUM 12" AND SEALED.

#### CONCRETE & REINFORCING

- CONCRETE DESIGN BASED ON ACL 318 AND ACL 318.1 OR ACL 332. CONCRETE SHALL HAVE A NORMAL WEIGHT AGGREGATE AND A MINIMUM COMPRESSIVE STRENGTH (f'c) = 3,000 PSI MINIMUM AT 28 DAYS PER CODE (VARIES W/ WEATHER), UNLESS OTHERWISE NOTED ON THE PLAN.
- CONCRETE SHALL BE PROPORTIONED, MIXED, AND PLACED IN ACCORDANCE WITH THE LATEST EDITIONS OF ACI 318: "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND ACI 301: "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
- AIR ENTRAINED CONCRETE MUST BE USED FOR ALL STRUCTURAL ELEMENTS EXPOSED TO FREEZE/THAW CYCLES AND DEICING CHEMICALS. AIR ENTRAINMENT AMOUNTS (IN PERCENT) SHALL BE WITHIN -1% TO +2% OF 5% FOR FOOTINGS AND EXTERIOR SLABS.
- NO ADMIXTURES SHALL BE ADDED TO ANY STRUCTURAL CONCRETE WITHOUT WRITTEN PERMISSION OF THE SER. WATER ADDED TO CONCRETE ON SITE SHALL NOT EXCEED THAT ALLOWED BY THE MIX
- CONCRETE SLARS-ON-GRADE SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 302.1R: "GUIDE FOR CONCRETE SLAB AND SLAB CONSTRUCTION"
- CONTROL OR SAW CUT JOINTS (CUT OR TOOLED) SHALL BE SPACED IN INTERIOR SLABS-ON-GRADE AT A MAXIMUM OF 15'-0" O.C. AND IN EXTERIOR SLABS-ON-GRADE AT A MAXIMUM OF 10'-0" UNLESS OTHERWISE NOTED, CARE SHALL BE TAKEN TO AVOID RE-ENTRANT
- CONTROL OR SAW CUT JOINTS SHALL BE PRODUCED USING CONVENTIONAL CUT OR TOOLED PROCESSES WITHIN 4 TO 12 HOURS AFTER THE SLAB HAS BEEN FINISHED.
- ALL WELDED WIRE FABRIC (W.W.F.) FOR CONCRETE SLABS-ON-GRADE SHALL BE PLACED AT MID-DEPTH OF SLAB. THE W.W.F. SHALL BE SECURELY SUPPORTED DURING THE CONCRETE POUR FIBROUS CONCRETE REINFORCEMENT, OR POLYPROPYLENE FIBERS MAY BE USED IN LIEU OF W.W.F. APPLICATION OF POLYPROPYLENE FIBERS PER CUBIC YARD OF CONCRETE SHALL BE PER MANUFACTURER AND COMPLY WITH ASTM C1116, ANY LOCAL BUILDING CODE REQUIREMENTS AND SHALL MEET OR EXCEED CURRENT INDUSTRY STANDARD.
- POLYPROPYLENE REINFORCING TO BE 100% VIRGIN, CONTAINING NO REPROCESSED OLEFIN MATERIALS AND SPECIFICALLY MANUFACTURED FOR USE AS CONCRETE SECONDARY REINFORCEMENT
- STEEL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A615, GRADE 60.
- DETAILING, FABRICATION, AND PLACEMENT OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 315: "MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES".
- 12. HORIZONTAL FOOTING AND WALL REINFORCEMENT SHALL BE CONTINUOUS AND SHALL HAVE 90° BENDS, OR CORNER BARS WITH THE SAME SIZE/SPACING AS THE HORIZONTAL REINFORCEMENT.
- 13. PROVIDE REINFORCEMENT LAP AS NOTED BELOW, UNLESS NOTED OTHERWISE:
  - #4 BARS 30" LENGTH #5 BARS - 38" LENGTH
- #6 BARS 45" LENGTH
- WHERE REINFORCING DOWELS ARE REQUIRED, THEY SHALL BE EQUIVALENT IN SIZE AND SPACING TO THE VERTICAL REINFORCEMENT. THE DOWEL SHALL EXTEND 48 BAR DIAMETERS VERTICALLY AND 20 BAR DIAMETERS INTO THE FOOTING SEE KSE FOUNDATION DETAILS.
- 15. WHERE FOOTING BOTTOMS ARE TO BE STEPPED AT SLOPING GRADE CONDITIONS, PROVIDE CONTINUOUS REINFORCING WITH Z BARS (TO MATCH FOOTING REINFORCING) AS REQUIRED.
- 16. BAR SUPPORT ACCESSORIES SHALL BE PROVIDED IN ACCORDANCE WITH THE LATEST ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES EXCEPT THAT REINFORCING SHALL BE CHAIRED ON THE BOTTOM AND/OR THE SIDES ON BOLSTERS SPACED NOT MORE THAN 4 FEET ON CENTER, NO ROCKS, CMU, CLAY TILE, OR BRICK SHALL BE USED TO SUPPORT REINFORCING
- 17. FOR GRADE SUPPORTED SLABS, SLAB REINFORCING SHALL BE HELD IN PLACE BY BAR SUPPORTS AND ACCESSORIES AS DESCRIBED IN THE CRSI MANUAL OF STANDARD PRACTICE. BAR SUPPORTS SHALL BE SPACED A MAXIMUM OF 4'-0" O.C. BOTH WAYS IN STRAIGHT LINES ON THE MESH GRID.

#### MASONRY

- MAXIMUM FROM CORNERS, 3" DIAMETER x 8" LONG SIMPSON TITEN HD 1. ALL MASONRY SHALL CONFORM TO ASTM C-90, Fm=1500 PSI. ALL BRICK SHALL CONFORM TO ASTM C-216, F'm=1500 PSI. ALL MORTAR SHALL BE TYPE 'S' (TYPE 'M' BELOW GRADE) AND CONFORM TO ASTM C-270. COARSE GROUT SHALL CONFORM TO ASTM C-476 WITH A MAXIMUM AGGREGATE SIZE OF %" AND A MINIMUM COMPRESSIVE STRENGTH OF 2,000
  - ALL MASONRY WORK SHALL BE IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" ACI 530/ASCE 5/TMS 402 AND "SPECIFICATIONS FOR MASONRY STRUCTURES" ACI 530.1/ ASCE 6/TMS 602.
  - THE UNSUPPORTED HEIGHT OF SOLID MASONRY PIERS SHALL NOT EXCEED TEN TIMES THEIR LEAST DIMENSION. UNFILLED HOLLOW PIERS MAY BE USED IF THE UNSUPPORTED HEIGHT IS NOT MORE THAN FOUR TIMES THEIR LEAST DIMENSION.
  - EACH CRAWL SPACE PIER SHALL BEAR IN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING AND EACH GIRDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIERS. PILASTERS TO BE BONDED TO PERIMETER FOUNDATION WALL.
  - TOP COURSE OF MASONRY SHALL BE GROUTED SOLID. HORIZONTAL WALL JOINT REINFORCEMENT SHALL BE STANDARD 9 GAGE GALVANIZED LADDER OR TRUSS TYPE SPACED AT 16" O.C., UNLESS
  - SHOWN OTHERWISE ON THE DRAWINGS SPLICED WIRE REINFORCEMENT SHALL BE LAPPED AT LEAST 6" AND CONTAIN AT LEAST ONE CROSS WIRE OF EACH PIECE OF REINFORCEMENT WITHIN THE 6". LAP WITH STANDARD 'T' AND 'L' SHAPED PIECES AT INTERSECTIONS AND CORNERS.

#### WOOD FRAMING:

- SOLID SAWN WOOD FRAMING MEMBERS SHALL CONFORM TO THE SPECIFICATIONS LISTED IN THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION": (NDS), UNLESS OTHERWISE NOTED, ALL WOOD FRAMING MEMBERS ARE DESIGNED TO
- SPRUCE--PINE-FIR (SPF) WITH THE FOLLOWING MINIMUM DESIGN VALUES.
- E=1,400,000 PSI, Fb=875 PSI, Fv=135 PSI
- 1.1. FRAMING: SPF #2.
- 1.2. PLATES: SPF #2
- 1.3. STUDS: SPF STUD GRADE. WALL STUD SPACING, (MAXIMUM 10' NOMINAL PLATE HEIGHT): 1 & 2 STORY EXTERIOR AND INTERIOR BEARING
- 2x4 @ 16" O.C. OR 2x6 @ 24" O.C., U.N.O. BOTTOM OF 3 STORIES EXTERIOR AND INTERIOR BEARING: 2x6 @ 16" O.C., U.N.O.
- INTERIOR NON-BEARING: 2x @ 24" O.C., U.N.O.
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE TREATED SOUTHERN YELLOW PINE #2 OR BETTER
- ANCHOR SILL PLATES IN ACCORDANCE W/ GENERAL STRUCTURAL NOTES. ALL BEAMS SPECIFIED ARE MINIMUM SIZES ONLY, LARGER MEMBERS MAY BE SUBSTITUTED AS NEEDED FOR EASE OF CONSTRUCTION.
- NAILS SHALL BE COMMON WIRE NAILS UNLESS OTHERWISE NOTED. BOLT HOLES AND LEAD HOLES FOR LAG SCREWS SHALL BE IN ACCORDANCE WITH NDS SPECIFICATIONS.
- INDIVIDUAL STUDS FORMING A COLUMN SHALL BE ATTACHED WITH (2) ROWS 10d NAILS @ 6" O.C. STAGGERED, THE STUD COLUMN SHALL BE FULLY BLOCKED AT ALL FLOOR LEVELS TO ENSURE PROPER LOAD TRANSFER, WALL SHEATHING SHALL BE NAILED TO EDGE OF EACH STUD.
- FACE NAIL ALL MULTI-PLY BEAMS AND HEADERS WITH (2) ROWS 16d COMMON NAILS @ 16" O.C., STAGGERED, OR PER MANUFACTURER'S SPECIFICATIONS FOR ENGINEERED LUMBER, APPLY NAILING FROM BOTH FACES FOR (3) OR MORE PLIES.
- 10. FASTEN 4-PLY BEAMS WITH (1) 1/2" DIAMETER THROUGH BOLT W/ NUTS AND WASHERS AT 12" O.C. STAGGERED TOP AND BOTTOM, 11/2" MINIMUM EDGE DISTANCE. (UNLESS OTHERWISE NOTED)
- 11. ALL BEAMS AND HEADERS SHALL HAVE (1)2x JACK STUD & (1)2x KING STUD UNLESS OTHERWISE NOTED. THE NUMBER OF STUDS INDICATED ON PLANS ARE THE TOTAL NUMBER OF JACK STUDS REQUIRED, UNLESS OTHERWISE NOTED
- 12. PROVIDE KING STUDS AT EACH END OF HEADERS AS NOTED BELOW. (1) STUD UP TO 6' OPENING (2) STUDS UP TO 8' OPENING
- (3) STUDS UP TO 9' OPENING
- 13. ALL BEAMS TO BE CONTINUOUSLY SUPPORTED LATERALLY AND SHALL BEAR FULL WIDTH ON THE SUPPORTING WALLS OR COLUMNS INDICATED WITH A MINIMUM OF TWO STUDS, UNLESS OTHERWISE NOTED. ALL BEAM SPLICES SHALL OCCUR OVER SUPPORTS
- 14. SOLID BLOCKING TO BE PROVIDED AT ALL POINT LOADS THROUGH FLOOR LEVELS TO THE FOUNDATION OR TO OTHER STRUCTURAL COMPONENTS.
- 15. ALL LUMBER SPECIFIED ON DRAWINGS IS INTENDED FOR DRY USE ONLY (MOISTURE CONTENT <19%) UNLESS OTHERWISE NOTED. ALL WATERPROOFING AND FIRE SAFETY SYSTEMS ARE TH
- RESPONSIBILITY OF THE CONTRACTOR AND ARE TO BE DESIGNED AND DETAILED BY OTHERS. 17. ANY WOOD FRAME INTERIOR BEARING WALL STUDS THAT HAVE HOLES IN
- PROTECTION SHIFLDS, ALL HOLES OVER 1" IN DIAMETER FOR PLUMBING LINES, ETC. SHALL BE REPAIRED WITH SIMPSON HSS2 OR USP STS1 STUD SHOES TYPICAL LINLESS OTHERWISE NOTED 18. BEARING WALLS SHALL BE SHEATHED ON NOT LESS THAN ONE SIDE

THE CENTER OF THE STUD UP TO 1" DIAMETER SHALL HAVE STUD

- WITH OSB OR GYPSUM BOARD, BRIDGING SHALL BE INSTALLED NOT GREATER THAN 4 FEET APART MEASURED VERTICALLY FROM EITHER END THE STUD IN LIEU OF SHEATHING.
- 19. DIAGONAL BRACING SHALL BE INSTALLED AT EACH END OF BASEMENT BEARING WALLS AND NOT MORE THAN 20' ON CENTER

#### EXTERIOR WOOD FRAMED DECKS:

- DECKS ARE TO BE FRAMED IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND AS REFERENCED ON THE STRUCTURAL PLANS. EITHER THROUGH CODE REFERENCES OR CONSTRUCTION DETAILS.
- PRESERVATIVE TREATED WOOD FRAMING TO BE SOUTHERN YELLOW PINE #2 OR BETTER.
- GUARD RAILS REQUIRED AT DECKS. DESIGN BY OTHERS TO MEET MINIMUM CODE REQUIREMENTS.
- PROVIDE DECK LATERAL LOAD AND BRACING CONNECTIONS PER BUILDING

#### RAFTER FRAMED ROOF CONSTRUCTION:

- PROVIDE 2x4x4'-0" RAFTER TIES AT 48" O.C. RAFTERS SHALL BE SUPPORTED BY PURLINS AND PURLIN BRACES AS SHOWN ON THE PLAN, PURLIN BRACES SHALL NOT BEAR ON ANY CEILING JOIST. STRONGBACK OR HEADER LINLESS SPECIFICALLY SHOWN ON PLAN. RAFTERS MAY BE SPLICED AT PURLIN LOCATIONS.
- CEILING JOISTS SHALL HAVE LATERAL SUPPORT W/ 1x4 FLAT BRACING ON TOP FDGE OF JOIST AT LOOSE JOIST ENDS (WHERE JOISTS NOT FASTENED TO RAFTERS) OR FULL DEPTH BLOCKING. FASTEN END OF BRACING TO RAFTER OR GABLE END FRAMING. FASTEN RAFTER AND CEILING JOIST WITH (6) 12d NAILS UNLESS
- OTHERWISE NOTED PROVIDE VERTICAL 2x6 STRONGBACKS AT CEILING JOISTS @ 8'-0" O.C. TIE STRONGBACK ENDS TO GABLE STUDS OR RAFTERS WHERE POSSIBLE PROVIDE BLOCKING BETWEEN TOP PLATES AND STRONGBACKS. PROVIDE 2x4 FLAT FASTENED TO EACH JOIST WITH

(2) 12d NAILS. FASTEN STRONGBACK TO 2x4 FLAT WITH 12d NAILS @ 12" O.C. AND FASTENED TO EACH JOIST WITH (1) 12d TOENAIL.

#### WOOD TRUSSES (FLOOR & ROOF):

- THE WOOD TRUSS MANUFACTURER/FABRICATOR IS RESPONSIBLE FOR THE DESIGN OF THE WOOD TRUSSES. SUBMIT SEALED SHOP DRAWINGS AND SUPPORTING CALCULATIONS TO THE SER FOR REVIEW PRIOR TO FABRICATION, THE SER SHALL HAVE A MINIMUM OF (5) DAYS FOR REVIEW. THE REVIEW BY THE SER SHALL BE FOR OVERALL COMPLIANCE OF THE DESIGN DOCUMENTS. THE SER SHALL ASSUME NO RESPONSIBILITY FOR THE CORRECTNESS OF THE STRUCTURAL DESIGN FOR THE WOOD TRUSSES.
- THE WOOD TRUSSES SHALL BE DESIGNED FOR ALL REQUIRED LOADINGS AS SPECIFIED IN THE LOCAL BUILDING CODE THE ASCE STANDARD. "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES." (ASCE 7), AND THE LOADING REQUIREMENTS SHOWN ON THESE SPECIFICATIONS. THE TRUSS DRAWINGS SHALL BE COORDINATED WITH ALL OTHER CONSTRUCTION DOCUMENTS AND PROVISIONS PROVIDED FOR LOADS SHOWN ON THESE DRAWINGS INCLUDING BUT NOT LIMITED HVAC EQUIPMENT, PIPING, AND ARCHITECTURAL FIXTURES ATTACHED TO THE TRUSSES
- THE TRUSSES SHALL BE DESIGNED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE LATEST EDITION OF THE ANSI/TPI 1: "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION"
- THE TRUSS MANUFACTURER SHALL PROVIDE ADFOUATE BRACING INFORMATION IN ACCORDANCE WITH "BUILDING COMPONENT SAFETY INFORMATION GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING RESTRAINING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES (BCSI), THIS BRACING, BOTH TEMPORARY AND PERMANENT, SHALL BE SHOWN ON THE SHOP DRAWINGS, ALSO, THE SHOP DRAWINGS SHALL SHOW THE REQUIRED ATTACHMENTS FOR THE TRUSSES
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING TEMPORARY BRACING AND SHORING FOR THE FLOOR AND ROOF TRUSSES AS REQUIRED DURING CONSTRUCTION AT A MINIMUM CONTRACTOR SHALL FOLLOW THE REQUIREMENTS OF THE LATEST BCSI. THE CONTRACTOR SHALL KEEP A
- COPY OF THE BCSI SUMMARY SHEETS ON SITE THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PERMANENT TRUSS BRACING SHOWN IN THE STRUCTURAL DRAWINGS AND IN THE TRUSS DESIGNS, ALL CONTINUOUS LATERAL BRACING OF WEBS REQUIRES BRACES. REFER TO BCSI SUMMARY SHEET B3 FOR TYPES OF DIAGONAL BRACES TO PROVIDE AT EACH CONTINUOUS LATERAL BRACE LINE, SUCH DIAGONAL BRACES SHALL NOT BE SPACED MORE THAN 20 FEET O.C. DIAGONAL BRACES SHALL BE FASTENED TO EACH TRUSS WEB WITH A MINIMUM OF TWO 10d FACE NAILS. WHERE CONTINUOUS LATERAL BRACING CANNOT BE INSTALLED, DUE TO A MINIMUM OF THREE ADJACENT TRUSSES NOT BEING IDENTICAL. THE CONTRACTOR SHALL COORDINATE WITH THE TRUSS SPECIALTY ENGINEER/MANUFACTURER TO DETERMINE WHAT TYPE OF ALTERNATE BRACE (I.E., T OR L BRACE, ETC.) IS REQUIRED.
- ANY CHORDS OR TRUSS WEBS SHOWN ON THESE DRAWINGS HAVE BEEN SHOWN AS A REFERENCE ONLY. THE FINAL DESIGN OF THE TRUSSES SHALL BE PER THE MANUFACTURER.
- TRUSS LAYOUT AND PLACEMENT BY MANUFACTURER TO COINCIDE WITH THE SUPPORT LOCATIONS SHOWN ON THE SEALED STRUCTURAL INGS. TRUSS PROFILES TO BE SEALED BY THE TRUSS MANUFACTURER, TRUSS PLANS TO BE COORDINATED WITH THE SEALED STRUCTURAL DRAWINGS
- TRUSS MANUFACTURER TO PROVIDE REQUIRED UPLIFT CONNECTORS FOR ALL TRUSSES
- PROVIDE SIMPSON H2.5A, USP RT7 OR EQUIVALENT AT EACH TRUSS TO TOP PLATE CONNECTION, UNLESS OTHERWISE NOTED.

#### WOOD STRUCTURAL PANELS:

- FABRICATION AND PLACEMENT OF STRUCTURAL WOOD SHEATHING SHALL BE IN ACCORDANCE WITH THE APA DESIGN/CONSTRUCTION GUIDE "RESIDENTIAL AND COMMERCIAL," AND ALL OTHER APPLICABLE APA STANDARDS.
- ALL REQUIRED WOOD SHEATHING SHALL BEAR THE MARK OF THE
- WOOD WALL SHEATHING SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL BUILDING CODES FOR THE APPROPRIATE STATE AS INDICATED ON THESE DRAWINGS. REFER TO WALL BRACING NOTES IN PLAN SET FOR MORE INFORMATION. EXTERIOR WALLS TO BE FULLY SHEATHED USING %6" OSB OR PLYWOOD MINIMUM. AT BRACED WALL PANELS PROVIDE BLOCKING AT ALL SHEET EDGES NOT FALLING ON STUDS OR PLATES
- ROOF SHEATHING SHALL BE APA RATED SHEATHING EXPOSURE 1 OR 2. ROOF SHEATHING SHALL BE CONTINUOUS OVER TWO SUPPORTS MINIMUM AND ATTACHED TO ITS SUPPORTING ROOF FRAMING WITH 8d NAILS AT 6" O.C. AT PANEL EDGES AND AT 12" O.C. IN PANEL FIELD UNLESS OTHERWISE NOTED ON THE PLANS. SHEATHING SHALL BE APPLIED WITH THE LONG DIRECTION PERPENDICULAR TO FRAMING. SHEATHING SHALL HAVE A SPAN RATING CONSISTENT WITH THE FRAMING SPACING, PROVIDE SUITABLE EDGE SUPPORT BY USE OF PLYWOOD CLIPS OR LUMBER BLOCKING UNLESS OTHERWISE NOTED PANEL END JOINTS SHALL OCCUR OVER FRAMING, ROOF SHEATHING TO BE %s" OSB MINIMUM.
- WOOD FLOOR SHEATHING SHALL BE APA RATED SHEATHING EXPOSURE 1 OR 2. ATTACH SHEATHING TO ITS SUPPORTING FRAMING WITH (1) 10d NAIL AT 6" O.C. AT PANEL EDGES AND AT 12" O.C. IN PANEL FIELD UNLESS OTHERWISE NOTED ON THE PLANS. SHEATHING SHALL BE APPLIED PERPENDICULAR TO FRAMING SHEATHING SHALL HAVE A SPAN RATING CONSISTENT WITH THE FRAMING SPACING, PROVIDE SUITABLE EDGE SUPPORT BY USE OF T&G PLYWOOD OR LUMBER BLOCKING UNLESS OTHERWISE NOTED. PANEL END JOINTS SHALL OCCUR OVER FRAMING.
- SHEATHING SHALL HAVE A 1/8" GAP AT PANEL ENDS AND EDGES AS RECOMMENDED IN ACCORDANCE WITH THE APA.

### STRUCTURAL FIBERBOARD PANELS:

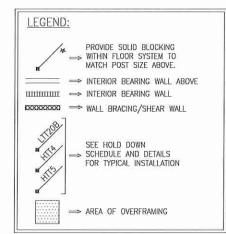
- STRUCTURAL FIBERBOARD SHEATHING SHALL ONLY BE USED WHERE SPECIFICALLY NOTED ON THE STRUCTURAL PLANS.
- FARRICATION AND PLACEMENT OF STRUCTURAL FIRERROARD SHEATHING SHALL BE IN ACCORDANCE WITH THE APPLICABLE AFA STANDARDS
- FIBERBOARD WALL SHEATHING SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL BUILDING CODES FOR THE APPROPRIATE STATE AS INDICATED ON THESE DRAWINGS. REFER TO WALL BRACING NOTES IN PLAN SET FOR MORE INFORMATION
- SHEATHING SHALL HAVE A 1/8" GAP AT PANEL ENDS AND EDGES AS RECOMMENDED IN ACCORDANCE WITH THE AFA.

#### STRUCTURAL STEEL

- STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" AND OF THE MANUAL OF STEEL CONSTRUCTION "LOAD RESISTANCE FACTOR DESIGN" LATEST EDITIONS.
- ALL STEEL SHALL HAVE A MINIMUM YIELD STRESS (Fv) OF 50 KSI LINLESS OTHERWISE NOTED
- WELDING SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN WELDING SOCIETY'S STRUCTURAL WELDING CODE AWA DI 1 FLECTRODES FOR SHOP AND FIFTDING WELDING SHALL BE CLASS E70XX. ALL WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER PER THE ABOVE STANDARDS
- ALL STEEL BEAMS TO BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 31/2" AND FULL FLANGE WIDTH UNLESS OTHERWISE NOTED. BEAMS MUST BE ATTACHED AT EACH END WITH A MINIMUM OF FOUR 16d NAILS OR (2) 1/2" x 4" LAG SCREWS UNLESS OTHERWISE NOTED.
- INSTALL 2x WOOD PLATE ON TOP OF STEEL BEAMS, RIPPED TO MATCH BEAM WIDTH, FASTEN PLATE TO BEAM W/ HILTI X-DNI 52 P8 PINS AT 12" O.C. STAGGERED OR 1/2" DIAMETER BOLTS AT 24"

#### MECHANICAL FASTENERS:

- ALL METAL HARDWARE AND FASTENERS TO BE SIMPSON STRONG-TIE OR APPROVED EQUIVALENT.
- ALL HARDWARE AND FASTENERS IN CONTACT WITH PRESERVATIVE PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A 153, G-185.
- MANY OF THE NEW PRESSURE TREATED WOODS USE CHEMICALS THAT ARE CORROSIVE TO STEEL, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE TYPE OF WOOD TREATMENT AND SELECT APPROPRIATE CONNECTORS THAT WILL RESIST THE APPLICABLE CORROSIVE CHEMICALS.



SPAN	LINTEL SIZE	END BEARING
UP TO 3'-0"	3½"x3½"x¼"	4"
UP TO 6'-3"	5"x3½"x5/6" L.L.V.	8"
UP TO 9'-6"	6"x3½"x516" L.L.V.	12"



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Carolina  $\circ$ 12 Project #: 105-19000 Designed By: KRK Checked By:

Division

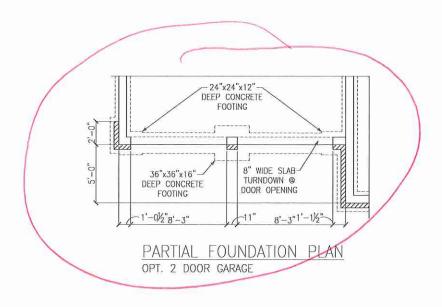
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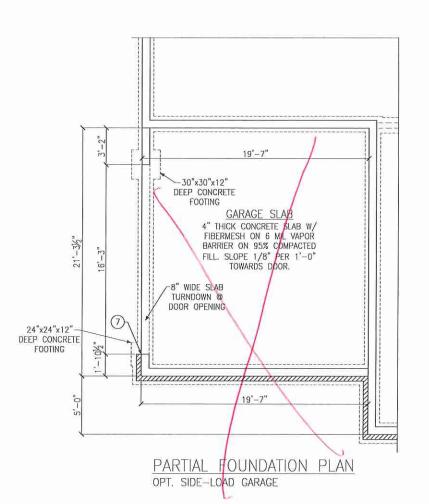
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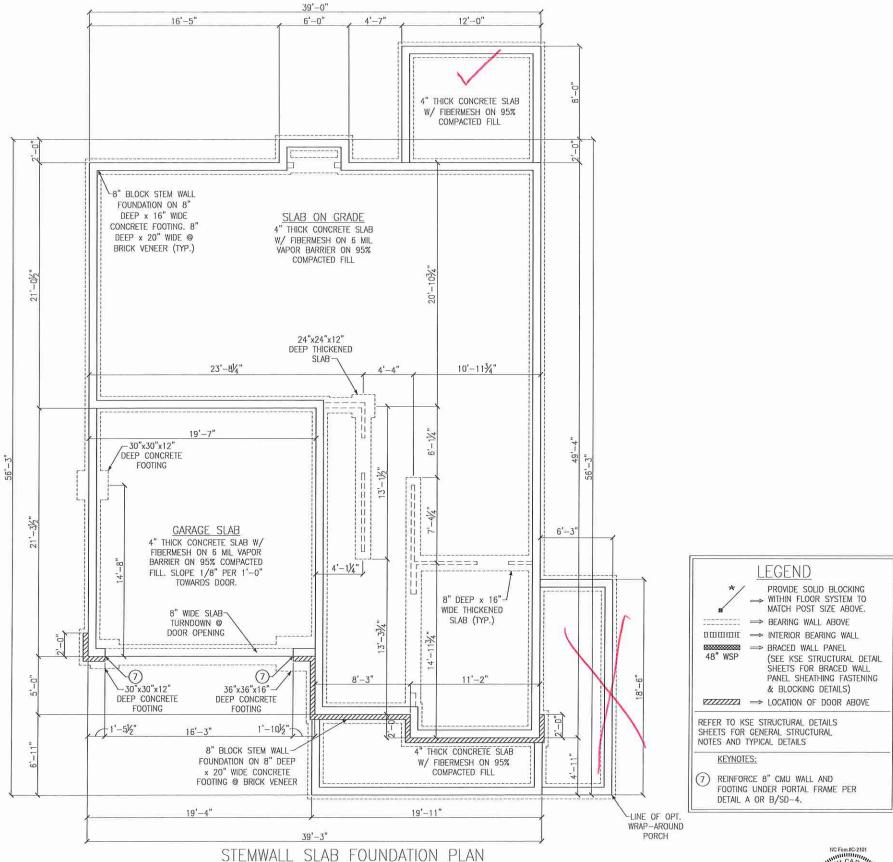
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Re-Issue: Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

Issue Date: 1/1/19







ELEVATION A

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Stem Wall Foundation Elevation A & Options Jessamine Model — LH 120 M.P.H. Carolina Division

Plans

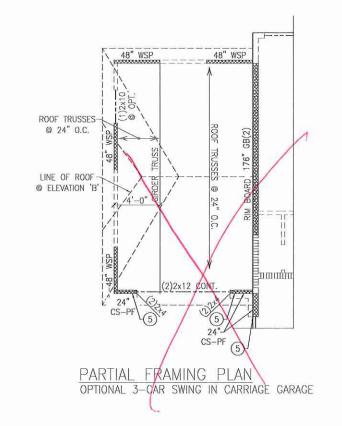
Project #: 105-16010
Designed By: KRK

Checked By: Issue Date: 4/5/19

Re-Issue: Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

S - 1.2





dining porch (1)2x10 \(\)1)2x10 (2)2×10 (2)2×10 -4x4 P.T. POST W/ SIMPSON ABA44 BASE AND BCS2-2/4 CAP (TYP.)

LEGEND

PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.

⇒ BEARING WALL ABOVE

⇒ INTERIOR BEARING WALL ⇒ BRACED WALL PANEL 48" WSP (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING

& BLOCKING DETAILS)

REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 9' WALL PLATES

FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.

KEYNOTES:

- (4) INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.
- (5) INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.

Elevation A & Jessamine Model -SI Project #: 105-16010 Designed By: KRK Checked By:

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Framing F Options odel — LH

Floor F

Issue Date: 4/5/19 Re-Issue:

Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

SECOND FLOOR FRAMING PLAN **ELEVATION A** 

2x6 RAFTERS 9 24" 0.C.

(1)2x10 (1)2x10

JOIST

foyer

(1)2×10

2x6 @ 12" O.C. BALLOON FRAMED WALL

. breakfast

kitchen

(2)2x6 [-

dining

(1)2x10 (1)2x10

-2x4 LEDGER w/ (2)12d NAILS @ 16" O.C.

CS-ESW(1) DESIGNED TO REPLACE 127" OF CS-WSP. STRAP AROUND WINDOWS PER DETAIL C/SD-3

(2)2×10

(3)13/4"x14" LVL FLUSH ,

CS-WSP/

(2)2×10

family rm

(1)2×10

256" GB(2)

(3)1¾"x16" LVL CONT. 5 24"

OR

5"x¾"x¾6" LINTEL BOLTED

TO (3)1¾"x22" LVL W/ ½"

DIA. BOLTS @ 16" O.C.

® BRICK VENEER

garage

(3)13/4"x18" LVL FLUSH TOP

CS-WSP RIM BOARD

flex

pdr

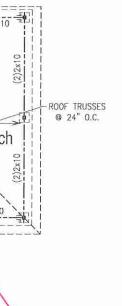
19"

CS-PF

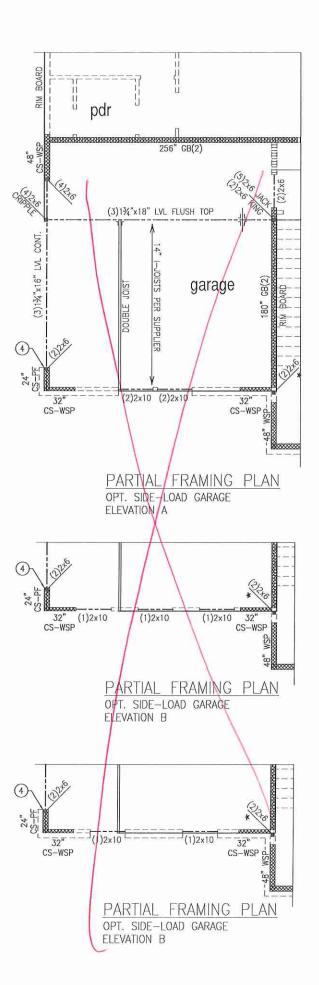
(5)

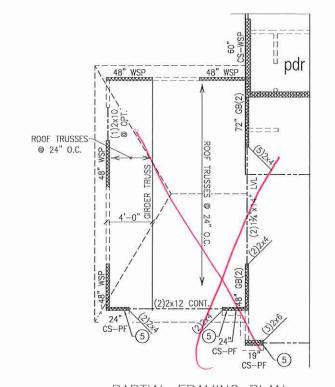
PARTIAL FRAMING PLAN

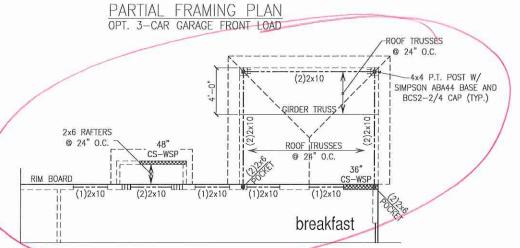
OPT. BED 4/BATH 3



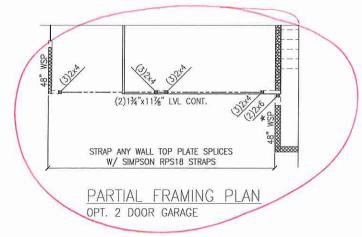
PARTIAL FRAMING PLAN OPT. WRAP-AROUND PORCH ELEVATION A







### PARTIAL FRAMING PLAN OPT. COVERED PATIO





⇒ WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.

== ⇒ BEARING WALL ABOVE IDIDIDIE ⇒ INTERIOR BEARING WALL

⇒ BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

PROVIDE SOLID BLOCKING

REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 9' WALL PLATES

FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.

#### KEYNOTES:







48" WSP

(4) INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.

(5) INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.

Jessamine Model 120 M.P.H. Carolina Division Second Options Project #: 105-16010 Designed By: KRK

Checked By: Issue Date: 4/5/19

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Framing

Floor

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ROOF FRAMING PLAN ELEVATION A







\*/=

PROVIDE SOLID BLOCKING

WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.

(SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 8' WALL PLATES

#### KEYNOTES:

- ONNECT STUD AT END OF BRACED
  WALL PANEL TO FRAMING BELOW WITH A
  30" LONG SIMPSON CS22 COIL STRAP
  WITH MIN 8-10d NAILS EACH END.
- (10) 8'x16' HVAC PLATFORM TRUSSES DESIGNED TO SUPPORT HVAC UNITS.
- 2x6 OVERFRAMING W/ 2x8 RIDGE AND VALLEY PLATES OR VALLEY SET TRUSSES © 24" O.C. (TYP.)



Roof Framing Plan
Elevation A
Lossamine Model
Lossamine Model
Carolina Division

Checked By:

Issue Date: 4/5/19

Re-Issue:

Scole: 1/8"=1'-0" @ 11x17
1/4"=1'-0" @ 22x34

C 7

TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION BRACED WALL PANELS PARALLEL TO 1-JOISTS

- 8d NAIL @ 6" O.C.

AT ALL EDGES AND 12" O.C. TYPICAL

AT ALL OTHER

MEMBERS

~16d NAIL

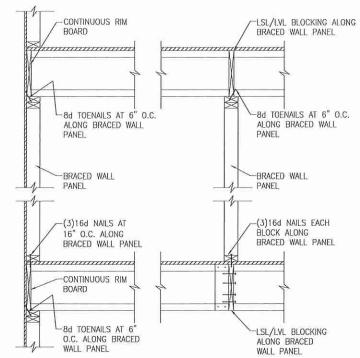
OUTSIDE CORNER PLAN VIEW

@ 12" O.C.

-GYPSUM BOARD

BRACED WALL PANEL

HEEL HEIGHT GREATER THAN 91/4" AND LESS THAN 151/4."



BTYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION
BRACED WALL PANELS PERPENDICULAR TO I-JOISTS

2x BLOCKING BETWEEN-TRUSSES ALONG LENGTH OF BRACED WALL PANELS. LAP MIN 2" WITH OSB. -SOLID BLOCKING BETWEEN NAIL OSB SHEATHING TO--2x4 BLOCKING BETWEEN ROOF TRUSSES ATTACHED TO BLOCKING, WALL PLATES ROOF TRUSSES ATTACHED TO TOP PLATES WITH 8d NAILS TOP PLATES WITH 8d NAILS AND TRUSS WER WITH 8d @ 6" O.C. ALONG LENGTH NAILS AT 6" O.C. TYPICAL. @ 6" O.C. ALONG LENGTH OF BRACED WALL PANELS OF BRACED WALL PANELS.

(D) TYPICAL EXTERIOR CORNER WALL FRAMING

**EXTERIOR** 

SHEATHING -

GYPSUM BOARD-

EXTERIOR SHEATHING-

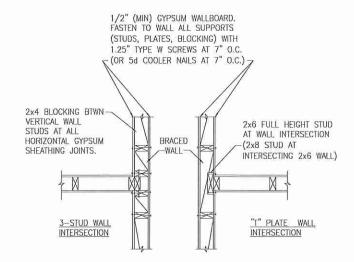
16d NAIL

@ 12" O.C.

INSIDE CORNER PLAN VIEW

(E) ROOF TRUSS BEARING/BLOCKING AT BRACED WALL PANELS ONLY REQUIRED AT BRACED WALL PANELS

HEEL HEIGHT GREATER 15"



BRACED WALL INTERSECTIONS MAY BE FRAMED USING EITHER THE 3-STUD OR THE T-PLATE METHOD.

(C)METHOD GB(1) AND GB(2) INTERSECTION DETAILS



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Detail aced

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Carolina Project #: 105-19000 Designed By: KRK

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Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

M.P.H. blina Division

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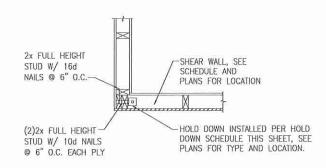
-HOLD DOWN INSTALLED PER HOLD

DOWN SCHEDULE THIS SHEET, SEE PLANS FOR TYPE AND LOCATION.

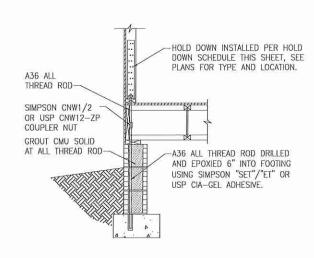
(D) HOLD DOWN AT MONOLITHIC SLAB FOUNDATION

-A36 ALL THREAD ROD DRILLED AND EPOXIED 6" INTO FOOTING USING SIMPSON

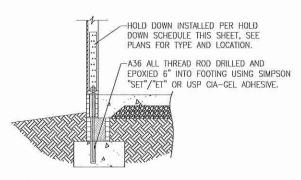
"SET"/"ET" OR USP CIA-GEL ADHESIVE.



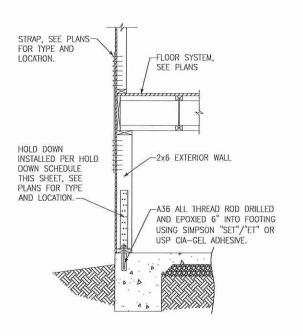
# B TYPICAL HOLD DOWN DETAIL



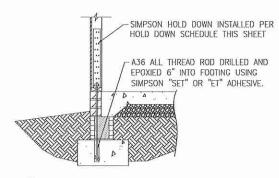
HOLD DOWN AT CRAWL SPACE FOUNDATION



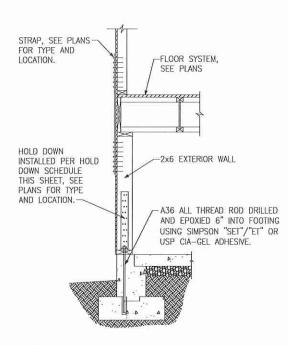
# (C)HOLD DOWN AT STEMWALL SLAB FOUNDATION



F HOLD DOWN AT BASEMENT FOUNDATION MONOLITHIC TURN-DOWN



(C)HOLD DOWN AT STEMWALL SLAB



G HOLD DOWN AT BASEMENT FOUNDATION

	HOLI	D DOWN SCH	EDULE
HOLD	DOWN	ALL THREAD ROD	FASTENERS
SIMPSON	USP	ALL ITINEAD NOD	INJILINING
LTT20B	LTS20B	兆" DIA.	(10)10d NAILS
HTT4	HTT16	%" DIA.	(18)16dx2½" LONG NAILS
HTT5	HTT45	%" DIA.	(26)16dx2½" LONG NAILS



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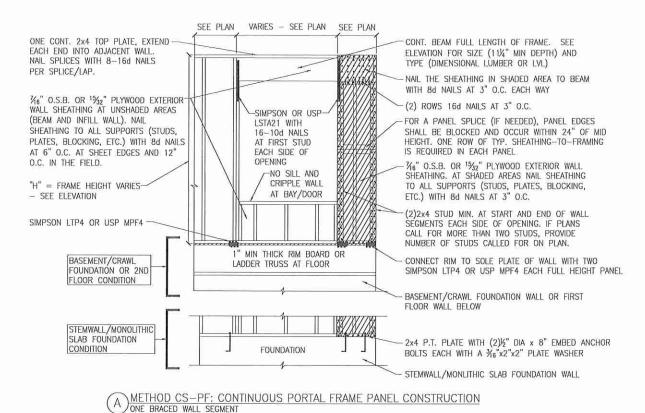
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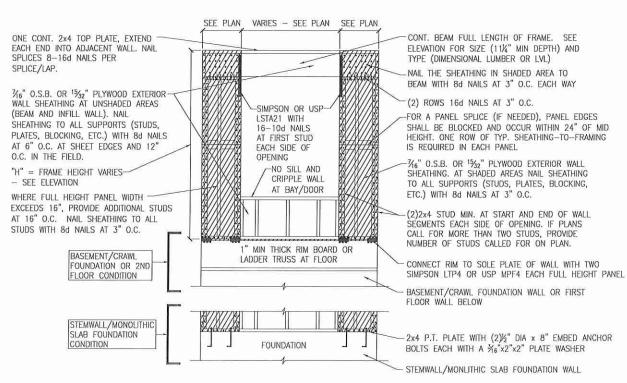
120 M.P.H. Carolina Division

Project #: 105-19000
Designed By: KRK
Checked By:
Issue Date: 1/1/19
Re-Issue:

Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

SD-2



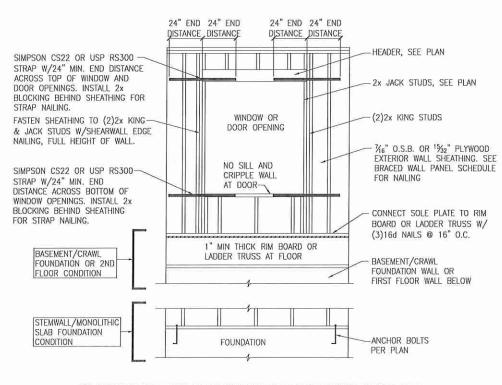


B METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION TWO BRACED WALL SEGMENTS

	BRACED WALL	. PANEL AN	ID ENGINEERED SHEAR WALL SCHEDULE
PANEL TYPES	PANEL TYPE	MATERIAL	FASTENERS
WSP	INTERMITTENT WOOD STRUCTURAL PANEL	7/16" OSB	6D OR 8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. ENGINEERED ALTERNATIVE: 16 GAGE BY 1.75" LONG STAPLES AT 3" O.C. AT SHEET EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS
GB(1)	INTERMITTENT GYPSUM BOARD (SHEATHING ONE FACE OF WALL)	1/2" GYPSUM	1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
GB(1)-4	INTERMITTENT GYPSUM BOARD (SHEATHING ONE FACE OF WALL)	1/2" GYPSUM	1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 4" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
GB(2)	INTERMITTENT GYPSUM BOARD (SHEATHING BOTH FACES OF WALL)	1/2" GYPSUM	1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
CS-WSP	CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL	7/16" OSB	6D OR 8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. <u>ENGINEERED ALTERNATIVE</u> : 16 GAGE BY 1.75" LONG STAPLES AT 3" O.C. AT SHEET EDGES AND 6" O.C. AT INTERMEDIATE SUPPORT
CS-PF	CONTINUOUS SHEATHED PORTAL FRAME	7/16" OSB	NAILING PER DETAIL
PFH	PORTAL FRAME WITH HOLD DOWNS	7/16" OSB	NAILING PER DETAIL
CS-ESW(1)	ENGINEERED SHEAR WALL, TYPE 1	7/16" OSB	8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS
CS-ESW(2)	ENGINEERED SHEAR WALL, TYPE 2	7/16" OSB	8D COMMON NAILS AT 4" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS
CS-ESW(3)	ENGINEERED SHEAR WALL, TYPE 3	7/16" OSB	8D COMMON NAILS AT 3" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS

#### BRACED WALL PANEL NOTES:

- 1. ALL BRACED WALL PANELS, EXCEPT GB(1) & GB(2), SHALL HAVE 2x BLOCKING BETWEEN WALL STUDS AT ALL HORIZONTAL SHEET EDGES.
- 2. PROVIDE NAILING/BLOCKING ABOVE AND BELOW ALL BRACED WALL PANELS PER KSE BRACED WALL DETAILS.
- SHEATH ALL EXTERIOR WALLS OF THE HOUSE WITH 1/16" O.S.B., OR 15/2" PLYWOOD, FASTENED PER IRC. AT EXTERIOR CORNERS, SHEATHING SHALL BE FASTENED PER KSE BRACED WALL DETAILS. AT INTERIOR WALL INTERSECTIONS, FASTEN STUDS & WALL BRACING PER KSE BRACED WALL DETAILS.
- BRACED WALL PANELS AND ENGINEERED SHEAR WALLS ARE PROVIDED PER IRC. PANEL LENGTHS SHOWN ON PLANS ARE THE MINIMUM LENGTH REQUIRED



WINDOW OR DOOR REINFORCEMENT IN ENGINEERED SHEAR WALL ONLY REQUIRED WHERE SPECIFED ON PLANS







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M.P.H. 0 CV

Division

Carolina Project #: 105-19000 Designed By: KRK

Checked By: Issue Date: 1/1/19

Re-Issue:

Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

MONOLITHIC SLAB OR BASEMENT FOUNDATION





Detail

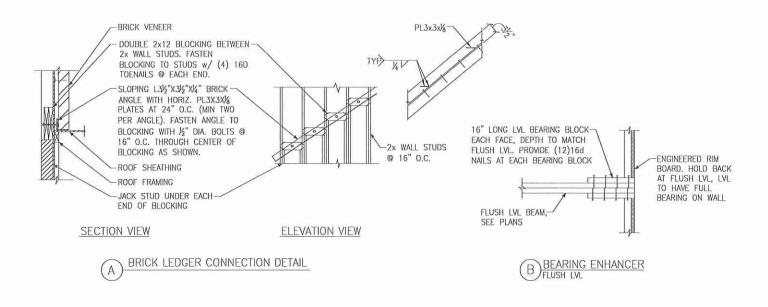
Frame ortal

Carolina 120 Project #: 105-19000 Designed By: KRK

Checked By Issue Date: 1/1/19 Re-Issue:

Scole: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

M.P.H. Iina Division



NON-LOAD BEARING -

Harris Marian

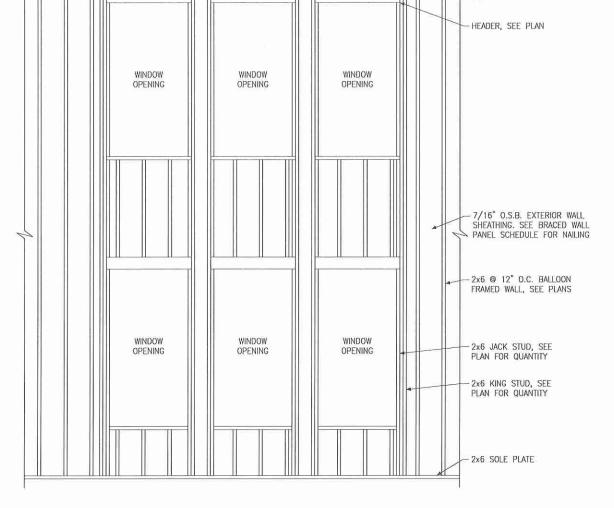
2x4 CLEAT @ 48" O.C. \( \bigcup \) 2x4 BLOCKING @ 24" O.C. \( FASTEN W/ (3)10d NAILS AT TOP AND BOTTOM CHORDS \) AT EACH 2x4 CLEAT

C I-JOIST LADDER BLOCKING AS REQUIRED @ PARALLEL WALLS

L2x4 BLOCKING @ 24" O.C.

INTERIOR WALL ABOVE

I-JOIST, SEE PLAN —



DBALLOON FRAMED WALL DETAIL N.T.S.

Details Framing Miscellaneous

120 M.P.H. Carolina Division

Project #: 105-19000 Designed By: KRK

Checked By: Issue Date: 1/1/19 Re-Issue:

Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34





(2)2x6 TOP PLATE

LINE OF OPTIONAL BRICK -WALL SHEATHING FASTEN RAFTER TO LEDGER WITH SIMPSON H3 OR USP RT3A 12"x12"x½" OSB GUSSET. FASTEN GUSSET TO -WALL STUD OR GABLE TRUSS 2x4 LEDGER. FASTEN TO WALL STUDS FRAMING w/8d NAILS @ w/(2) ROWS SIMPSON SDS1/4×31/2" OR 4" O.C. INTO EACH USP WS35 SCREWS @ 16" O.C. - MEMBER. -2x4 VERTICAL -2x4 RAFTER & CEILING JOIST, LAP WITH VERTICAL FASTEN VERTICAL TO RAFTER & CLG. JOIST w/(4) 12d NAILS. -2×4 LEDGER. FASTEN TO 2'-6" MAXIMUM WALL STUDS WITH (2) ROWS 12d NAILS @ 16" O.C. SIMPSON U24-2 OR USP SUH24-2 HANGER -BRICK VENEER, PER ELEVATION

B PENT ROOF DETAIL
STRAIGHT ROOF

-WALL STUD OR GABLE TRUSS TOENAIL RAFTER TO LEDGER WITH (4) 12d NAILS 2x4 LEDGER, FASTEN TO WALL STUDS w/(2) ROWS SIMPSON SDSKx31/2" OR USP WS35 SCREWS @ 16" O.C. -2x4 RAFTER & CEILING JOIST, LAP AND FACE NAIL WITH (4) 12d NAILS MAXIMUM -2x4 LEDGER. FASTEN TO WALL OR GABLE TRUSS WITH (2) ROWS 12d NAILS @ 16" O.C.

C EYEBROW ROOF DETAIL STRAIGHT ROOF

S

ENGINEERING

E, SUITE 201, OUAKERTOWN, PA 18951

COM
(215) 804-4449

Detail ing. Frami Miscellaneous

M.P.H. 20

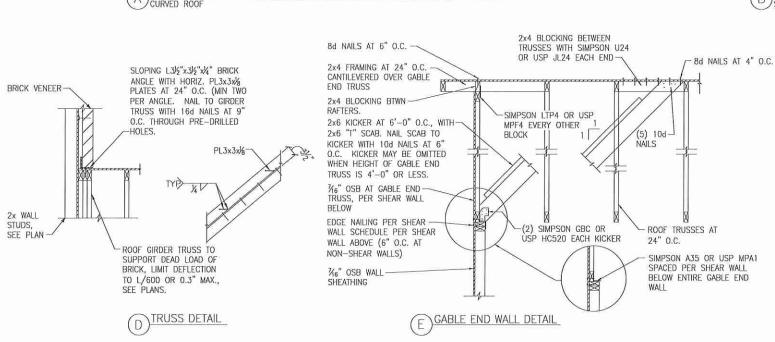
Division

Carolina

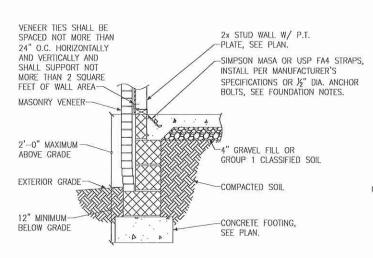
Project #: 105-19000 Designed By: KRK

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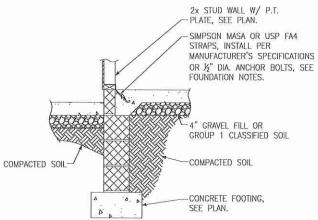
Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34



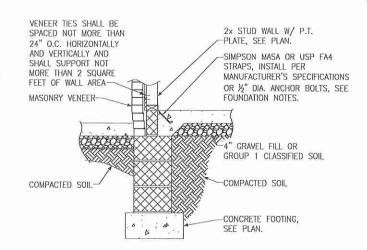




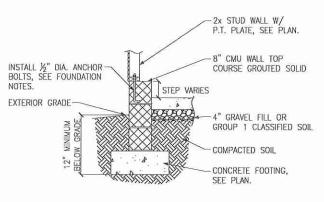
B FOUNDATION SECTION EXTERIOR WALL @ MASONRY



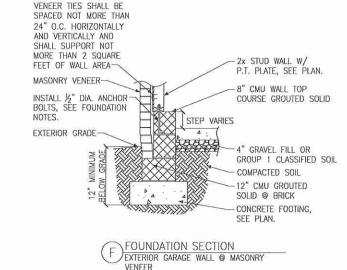
FOUNDATION SECTION EXTERIOR WALL AT PORCH

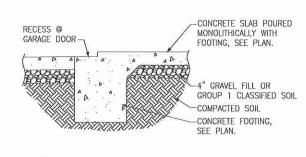


FOUNDATION SECTION EXTERIOR WALL AT PORCH W/ MASONRY

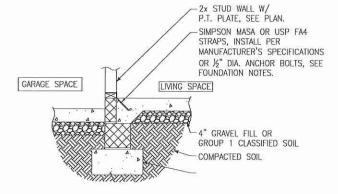




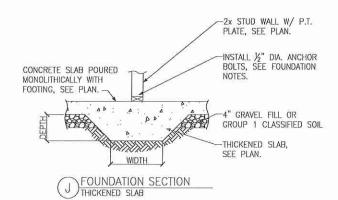


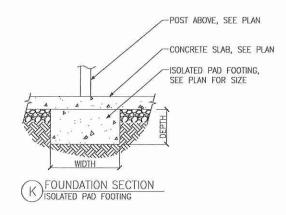






FOUNDATION SECTION (H)INTERIOR GARAGE WALL







Foundation M.P.H. Nina Division Slab Wall 120 S Project #: 105-19000 Designed By: KRK Checked By: ssue Date: 1/1/19 Re-Issue: Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

Carolina

Detail

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