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NO.	DATE	REVISION
1	05.31.16	FIRST SUBMITTAL
2	10.04.16	3RD CAR GARAGE OPTIONS ADDED
3	11.23.16	FRAME WALK CHANGES

PROFESSIONAL SEAL:

PROJECT TITLE:
40' Plans

ISSUED FOR PERMIT CONSTRUCTION

CLIENTS NAME:
GMD

PROJECT NO: GMD-GAI6014
SHEET TITLE:
TITLE SHEET

PRINT DATE:
Jan 1, 2019

SHEET NO:
T-1

40' PLANS

JESSAMINE - LH

Inventory Marked

ACX0000148

ABBREVIATIONS		INDEX	
ABV ABOVE	L LENGTH	T-1	TITLE SHEET / COVER SHEET
AG AIR CONDITIONING	LA LAVATORY	JESSAMINE	
AD AREA DRAIN	LAV LAVATORY	A-1.0	MONOLITHIC SLAB PLAN 'A'
ADJ ADJUSTABLE	LVR LOWER	A-1.0.1	MONOLITHIC SLAB PLAN OPTIONS
ALT ALTERNATE	HWS HANGERS	A-1.0.2	MONOLITHIC SLAB PLAN OPTIONS
ALUM ALUMINUM	MGR MECHANICAL	A-1.0.3	MONOLITHIC SLAB PLAN 'B'
ARCH ARCHITECTURAL	MFR MANUFACTURER	A-1.0.4	MONOLITHIC SLAB PLAN 'C'
BA BATHROOM	HSH HOSING	A-1.1	1ST FLOOR PLAN 'A'
BD BOARD	MSC MISCELLANEOUS	A-1.1.1	1ST FLOOR PLAN OPTIONS
BF BIFOLD DOORS	H NORTH	A-1.1.2	1ST FLOOR PLAN OPTIONS
BLDG BUILDING	KTS. NOT TO SCALE	A-1.1.3	1ST FLOOR PLAN 'B'
BLK BLOCK (ELEM)	O.D. OVERHEAD GARAGE DOOR	A-1.1.4	1ST FLOOR PLAN 'C'
BH BELCH	OPT OPTIONAL	A-1.2	2ND FLOOR PLAN 'A'
BN BENCH	PAR PARALLEL	A-1.2.2	2ND FLOOR PLAN 'B'
BP B-PASS DOORS	PA. PUSH BUTTON	A-1.2.3	2ND FLOOR PLAN 'C'
BT BOTTOM	PCR POWER	A-1.4	SECTIONS
BTM BETWEEN	PER PERISTAL	A-1.5	EXTERIOR ELEVATIONS 'A'
CAB CABINET	PL PLATE	A-1.5.1	EXTERIOR ELEVATIONS 'A'
CDR CDRING	PR PAR	A-1.5.2	ROOF PLAN 'A'
C.J. CONTROL JOINT OR CONSTRUCTION JOINT	P.T. PRESSURE TREATED WOOD	A-1.5.3	EXTERIOR ELEVATIONS OPTIONS 'A'
CL CLOSET OR CENTER LINE	PVC POLYVINYL CHLORIDE PIPE	A-1.5.4	EXTERIOR ELEVATIONS OPTIONS 'AB'
CLS CLSING	PWT PAVED	A-1.5.5	EXTERIOR ELEVATIONS OPTIONS 'AB'
CLR CLEAR	PAL PRE-PURSE	A-1.5.6	EXTERIOR ELEVATIONS OPTIONS
CGU CONCRETE HASCHRY UNIT	PLY PLYWOOD	A-1.5.7	EXTERIOR ELEVATIONS OPTIONS
COL COLUMN	R RISER	A-1.5.8	EXTERIOR ELEVATIONS OPTIONS 'A'
CONC CONCRETE	RAJ RETURN AIR GRILL	A-1.5.9	EXTERIOR ELEVATIONS OPTIONS 'AB'
C GARNET	REF REFERENCE	A-1.6	EXTERIOR ELEVATIONS 'B'
CR CORROSION RESISTANT	REFR REFRIGERATOR	A-1.6.1	EXTERIOR ELEVATIONS 'B'
CRHT CRACK RESISTANT	RSG RECURSED	A-1.6.2	ROOF PLAN 'B'
G.T. CERAMIC TILE	S SOUTH	A-1.6.3	EXTERIOR ELEVATIONS OPTIONS 'B'
D DRYER	S.D. SQUARE DETECTOR	A-1.6.4	EXTERIOR ELEVATIONS OPTIONS 'BB'
DB DOUBLE HING	SF SQUARE FEET	A-1.6.5	EXTERIOR ELEVATIONS OPTIONS 'BB'
DM DIMENSION	S.G.D. SLIDING GLASS DOOR	A-1.6.6	EXTERIOR ELEVATIONS OPTIONS
DEP DISPOSAL	SH SINGLE HING OR SHELF	A-1.6.7	EXTERIOR ELEVATIONS OPTIONS 'B'
DR DOOR	SH SHALAN	A-1.6.8	EXTERIOR ELEVATIONS OPTIONS 'BB'
DS DOWNPOUT	SL SLICE / SLIDING	A-1.7	EXTERIOR ELEVATIONS 'C'
DH DOWN HANGER	SHP SHELF AND POLE	A-1.7.1	EXTERIOR ELEVATIONS 'C'
DWG DRAWING	SPG SPECIFICATIONS	A-1.7.2	ROOF PLAN 'C'
E EAST	STD STANDARD	A-1.7.3	EXTERIOR ELEVATIONS OPTIONS 'C'
EA EACH	STR STRUCTURAL	A-1.7.4	EXTERIOR ELEVATIONS OPTIONS 'CB'
ELEV ELEVATION	SQ SQUARE	A-1.7.5	EXTERIOR ELEVATIONS OPTIONS 'CB'
ELEC ELECTRICAL	SYN SYMBOL	A-1.7.6	EXTERIOR ELEVATIONS OPTIONS
EQ EQUAL	S45 SMOOTH FOUR SIDES	A-1.7.7	EXTERIOR ELEVATIONS OPTIONS 'C'
EXT EXTERIOR	T TREAD (AT STAIRS) OR TILE	A-1.7.8	EXTERIOR ELEVATIONS OPTIONS 'CB'
FAU FORCED AIR INT	TBL TONEL BAR		
FL FLOOR CHANGE	TEPP. TEP-PEDED (GLASS)		
FD FLOOR DRAIN	T6 TONGUE & GROOVE		
FFL FINISH FLOOR LINE	T.O.C. TOP OF CURB		
FG FINISHED GRADE	TV TELEVISION		
FLR FLOORING	UNO. UNLESS NOTED OTHERWISE		
FLR.FLORRESCENT (LUMIN)	V.B. VAPOR BARRIER		
FO FOUNDATION	VERT VERTICAL		
F.O.S. FACE OF STUD	VHT VENT THROUGH ROOF		
FIS FOOTING	VH VERTICAL HANGERS		
GA GALV	VH VERTICAL HANGERS		
GAR GARAGE	W WOOD		
G.B. GYP SH BOARD	WH WATER HEATER		
GO GRADE OR GRADING	W.H. WOOD HEATER		
G.O.D. GARAGE DOOR OPERATOR	W.H. WOOD HEATER		
GI GRAND FALL INTERRUPTER	W.M. WOOD MOUNTED		
GL GLASS OR GLAZING	W.M. WOOD MOUNTED		
GYP GD GYP SH BOARD	W.M. WOOD MOUNTED		
H HOSE BIBB	W.M. WOOD MOUNTED		
HD HEAD OR HARD	W.M. WOOD MOUNTED		
HR HEADER	W.M. WOOD MOUNTED		
HST HEIGHT	W.M. WOOD MOUNTED		
HVAC HEATING/VENTILATING/AIR COND.	W.M. WOOD MOUNTED		
HD HANGWOOD	W.M. WOOD MOUNTED		
INT INTERIOR	W.M. WOOD MOUNTED		
JT JOINT	W.M. WOOD MOUNTED		
IT JOINT	W.M. WOOD MOUNTED		
KIT KITCHEN	W.M. WOOD MOUNTED		
	W.M. WOOD MOUNTED		

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PLAN CHANGES:

DATE	DESCRIPTION
05.31.16	FIRST SUBMITTAL
10.04.16	- 3RD CAR GARAGE OPTION ADDED - FRAMING WALK COMMENTS FROM HICKORY PLAN CARRIED THROUGH THIS PLAN SET
11.23.16	FRAME WALK CHANGES

CONSULTANTS:

BUILDER:	DESIGNER:	STRUCTURAL ENGINEER:
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GENERAL NOTES DESIGNER:

THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR REVISED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK.

ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION IMMEDIATELY.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.

ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.

ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.

ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.

PROVIDE FIREBLOCKING, (PER LOCAL CODE)

ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.

PROVIDE BLOCKING AND/OR BACKING AT ALL TONEL BAR, TONEL RING AND/OR TOILET PAPER HOLDER LOCATIONS, AS SHOWN PER PLAN. TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK.

ELASTOMERIC SHEET WATERPROOFING, FURNISH AND INSTALL ALL WATERPROOFING COMPLETE. A 40 MIL, SELF-ADHERING MEMBRANE OF REBERIZED ASPHALT INTRINSICALLY BONDED TO POLYETHYLENE SHEETING, OR EQUAL. INSTALL PER MANUFACTURERS AND TRADE ASSOCIATIONS PRINTED INSTALLATION INSTRUCTIONS, 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES.

TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.

SHOP DRAWINGS REVIEW AND DISTRIBUTION, ALONG WITH PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT.

DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.

BUILDER SET:

THE BUILDER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOILS REPORT), ON THE STUDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOILS CONDITION SHALL BE ASSIGNED TO BE A MINIMUM DESIGN SOIL. PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE CRITERIA.

ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL OTHER AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.

HINDON SUPPLIER TO VERIFY AT LEAST ONE HINDON IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ FT WITH MIN DIMENSION OF 24" IN HEIGHT AND 20" IN WIDTH. SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR. (PER LOCAL CODE)

ALL HANDRAIL BALLUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALLUSTERS. (PER LOCAL CODE)

PER LOCAL CODE STAIR HANDRAILS AND GUARDRAILS PER LOCAL CODE

AREA CALCULATIONS:

JESSAMINE SQUARE FOOTAGES			
AREA	ELEV 'A'	ELEV 'B'	ELEV 'C'
1st FLOOR	1344 SF	1344 SF	1344 SF
2nd FLOOR	1503 SF	1503 SF	1503 SF
TOTAL LIVING	2852 SF	2852 SF	2852 SF
GARAGE	421 SF	421 SF	421 SF
PORCH	101 SF	101 SF	101 SF
OPT. COVERED PATIO	4120 SF	4120 SF	4120 SF
OPT. WRAP-AROUND PORCH	4108 SF	4108 SF	4108 SF
OPT. 3-CAR GARAGE	240 SF	240 SF	240 SF

NO.	DATE	REVISION
1	05/16	FIRST SUBMITTAL
2	10/24/16	2ND GAR GARAGE OPTION ADDED
3	11/29/16	FRAME WALK CHANGES

PROFESSIONAL SEAL:

PROJECT TITLE:
40' Plans

ISSUED FOR/PERMIT CONSTRUCTION

CLIENT'S NAME:

PROJECT NO: **GMD-GA16014**

SHEET TITLE:
JESSAMINE - LH EXTERIOR ELEVATIONS 'A'

PRINT DATE:
Jan 1, 2019

SHEET NO:
A1.5

NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 6'-10" UNO, ON ELEVATIONS.
2ND FLOOR = 6'-10" UNO, ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS.
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- CHIMNEY AS OCCURS. TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY:
(ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)

KEY NOTES:

MASONRY:

- 1] ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 2] MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 3] MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 4] 8" SOLDIER COURSE.
- 5] RAINLOCK COURSE.
- 6] DECORATIVE KEY. SEE DETAIL.

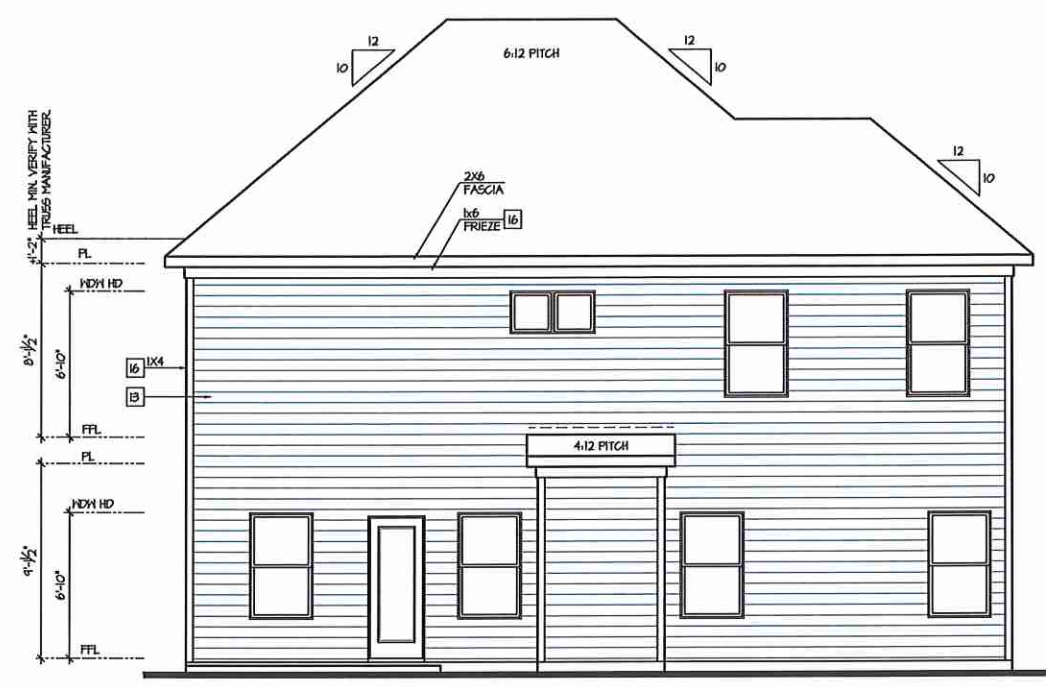
TYPICALS:

- 7] CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
- 8] CODE APPROVED TERMINATION CHIMNEY CAP.
- 9] CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
- 10] STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 11] DECORATIVE WROUGHT IRON. SEE DETAILS.

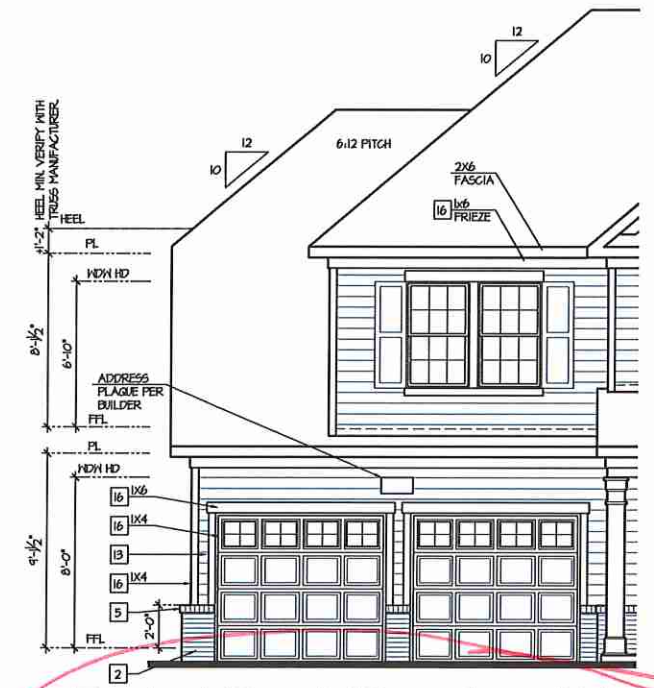
SIDING:

- 12] VINYL OR FIBER CEMENT SHAKE SIDING PER DEVELOPER.
- 13] VINYL OR FIBER CEMENT LAP SIDING PER DEVELOPER.
- 14] VINYL OR FIBER CEMENT NAVY SIDING PER DEVELOPER.
- 15] VINYL OR FIBER CEMENT PANEL SIDING 1/4" X 3" BATTIS AT 12" O.C.
- 16] VINYL OR 1X FIBER CEMENT TRIM OR EQUAL, UNO. SIZE AS NOTED.
- 17] VINYL SHUTTERS OR PER BUILDER, TYPE AS SHOWN. SIZE AS NOTED.

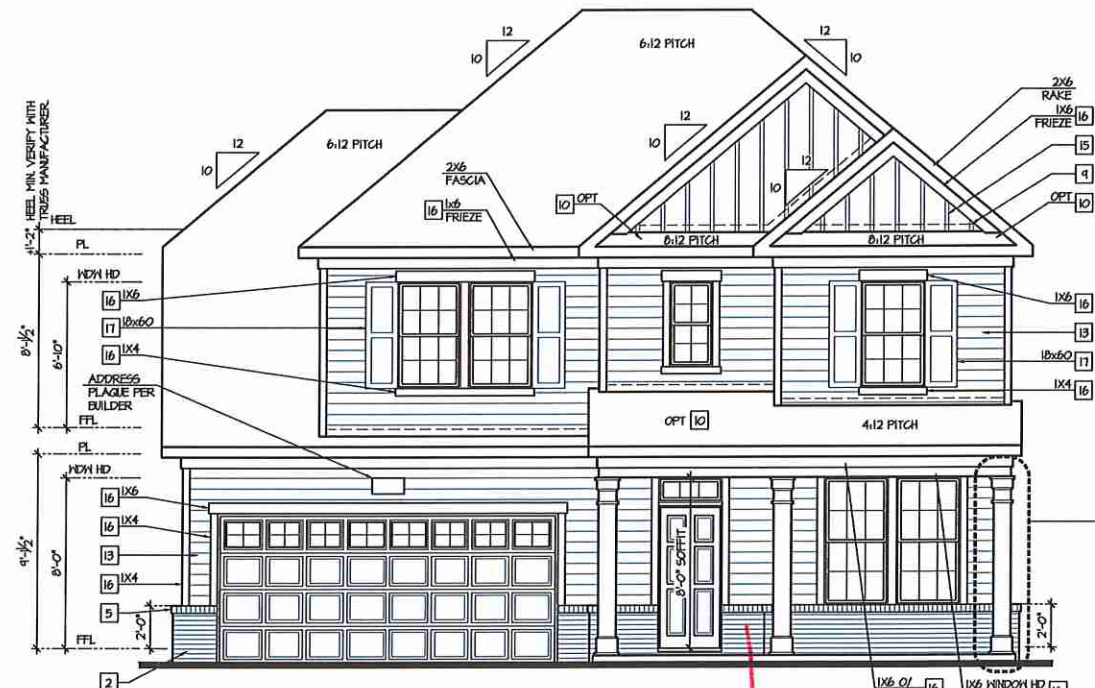
ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE LOCAL CODES.



Rear Elevation 'A'
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT

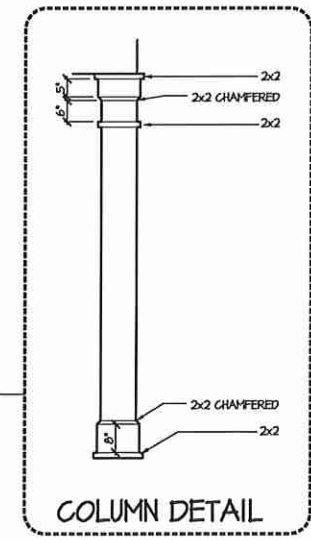


Partial Front Elevation 'A' w/ Opt 2 Door Garage
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT



Front Elevation 'A'
SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT

brick



COLUMN DETAIL

NO.	DATE	REVISION
1	09.30.16	FIRST SUBMITTAL
2	10.24.16	2ND CAR GARAGE OPTIONS ADDED
3	11.23.16	FRAME MARK CHANGES

PROFESSIONAL SEAL:

PROJECT TITLE:
40' Plans

**ISSUED FOR/PERMIT
CONSTRUCTION**

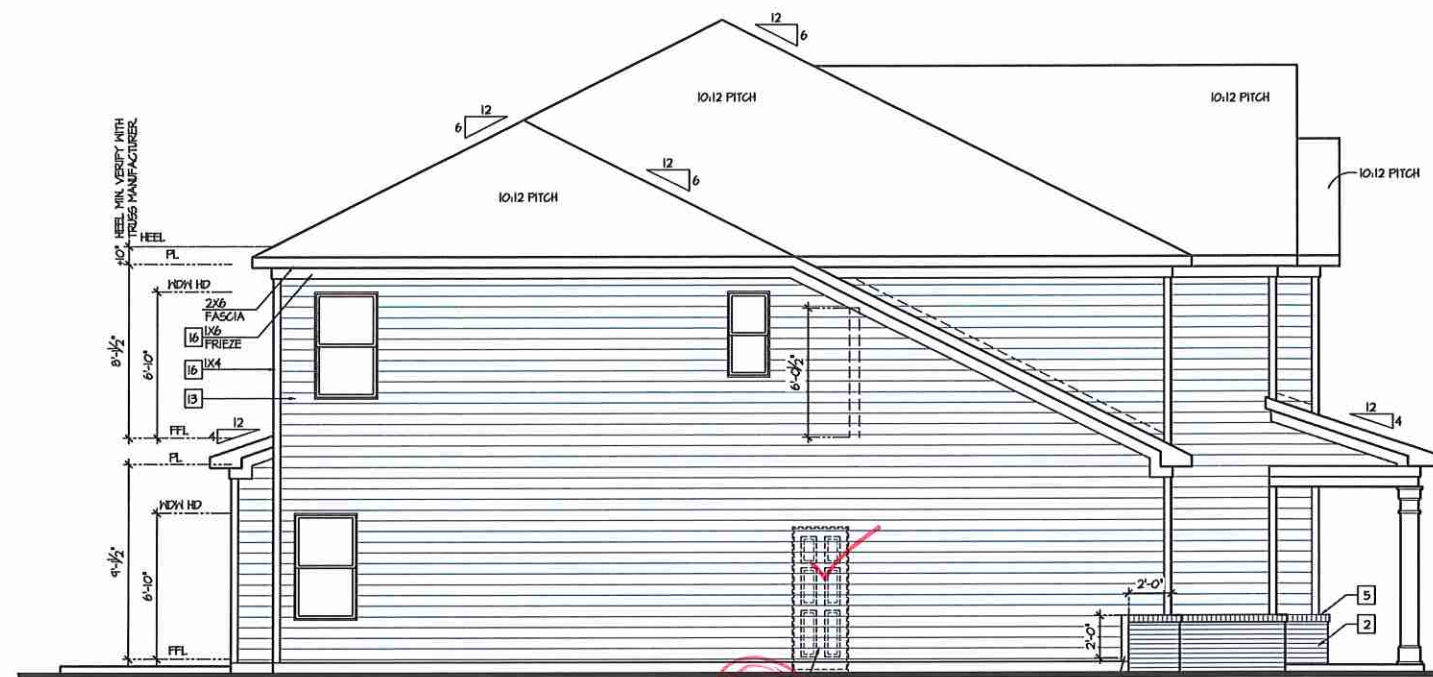
CLIENTS NAME:

PROJECT NO: GMD-GAI6014

SHEET TITLE:
**JESSAMINE - LH
EXTERIOR
ELEVATIONS 'A'**

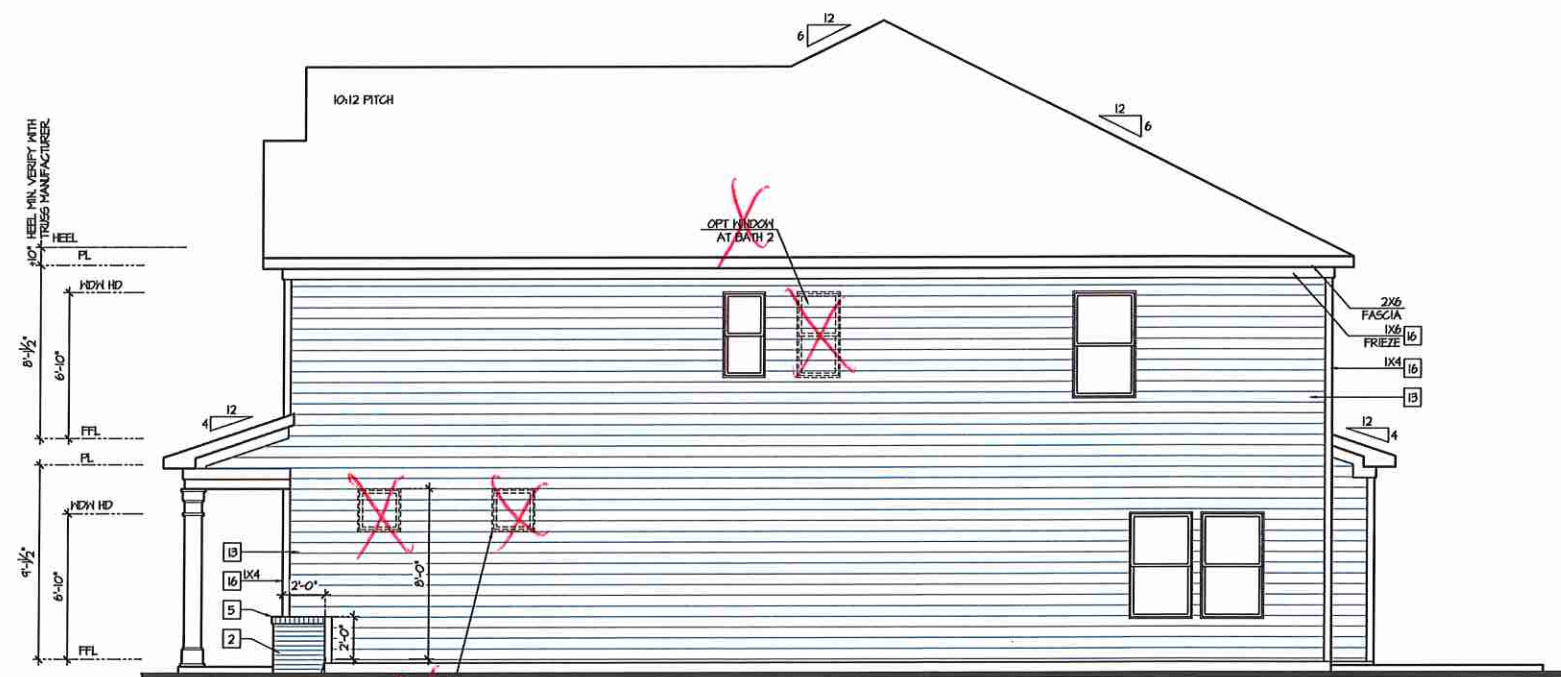
PRINT DATE:

SHEET NO:
A1.5.1



Left Elevation 'A'

SCALE: 1/4"=1'-0" AT 22'x34" LAYOUT 1/8"=1'-0" AT 11'x11" LAYOUT



Right Elevation 'A'

SCALE: 1/4"=1'-0" AT 22'x34" LAYOUT 1/8"=1'-0" AT 11'x11" LAYOUT

NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 6'-10" UNO, ON ELEVATIONS.
2ND FLOOR = 6'-10" UNO, ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS.
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY:
(ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)

KEY NOTES:

- MASONRY:**
- 1 ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 3 MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 4 8" SOLDIER COURSE.
 - 5 RANLOCK COURSE
 - 6 DECORATIVE KEY. SEE DETAIL.
- TYPICALS:**
- 1 CORROSION RESISTANT SCREEN LOWERED VENTS, SIZE AS NOTED.
 - 2 CODE APPROVED TERMINATION CHIMNEY CAP.
 - 3 CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
 - 4 STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 5 DECORATIVE WROUGHT IRON. SEE DETAILS.
- SIDING:**
- 1 VINYL OR FIBER CEMENT SHAKE SIDING PER DEVELOPER.
 - 2 VINYL OR FIBER CEMENT LAP SIDING PER DEVELOPER.
 - 3 VINYL OR FIBER CEMENT NAVY SIDING PER DEVELOPER.
 - 4 VINYL OR FIBER CEMENT PANEL SIDING 1/2" X3 BATTIS AT 12" O.C.
 - 5 VINYL OR 1X FIBER CEMENT TRIM OR EQUAL, UNO, SIZE AS NOTED.
 - 6 VINYL SHUTTERS OR PER BUILDER, TYPE AS SHOWN. SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE LOCAL CODES.

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 - [15] VINYL OR FIBER CEMENT PANEL SIDING W/ D3 BATTIS AT 12" O.C.
 - [16] VINYL OR 1X FIBER CEMENT TRIM OR EQUAL, UNO. SIZE AS NOTED
 - [17] VINYL SHUTTERS OR PER BUILDER, TYPE AS SHOWN, SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIGHTING DEVICES COMPLYING WITH THE LOCAL CODES



ATLANTA, GEORGIA LOCATION:
1245 SATELLITE BLVD
SUITE 250
DUBLIN, GA 30097
PHONE: 770-375-1351

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2	10/04/19	3RD CAR GARAGE OPTIONS ADDED
3	11/23/19	FRAME WALK GIBBES

PROFESSIONAL SEAL:

PROJECT TITLE:
40' Plans

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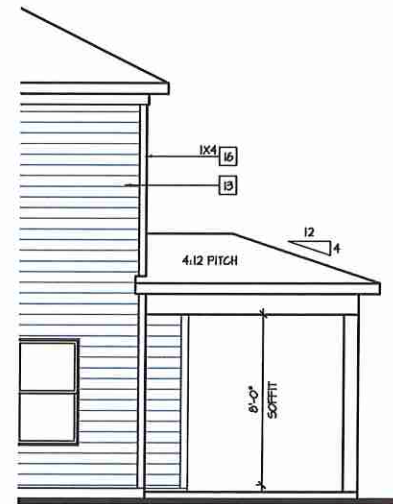


CLIENT'S NAME:
PROJECT NO: GMD-6A16014

SHEET TITLE:
**JESSAMINE - LH
EXTERIOR
ELEVATIONS
OPTIONS**

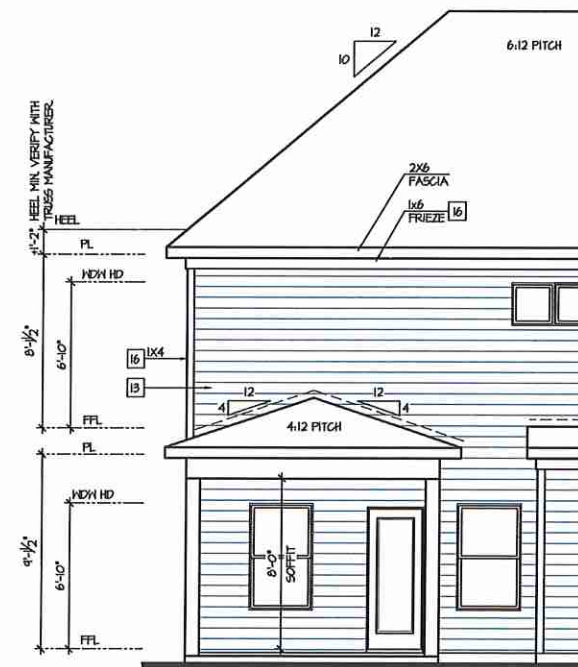
PRINT DATE:
Jan 1, 2019

SHEET NO:
A1.5.7



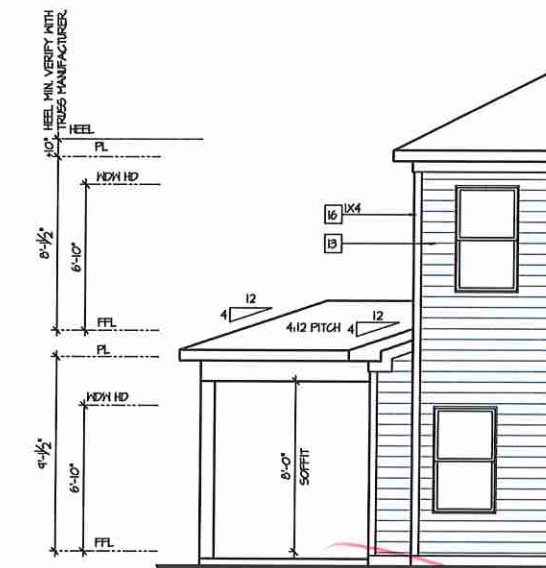
Partial Right Elevation
w/ Opt Covered Patio

SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X17' LAYOUT



Partial Rear Elevation
w/ Opt Covered Patio

SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X17' LAYOUT



Partial Left Elevation
w/ Opt Covered Patio

SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X17' LAYOUT

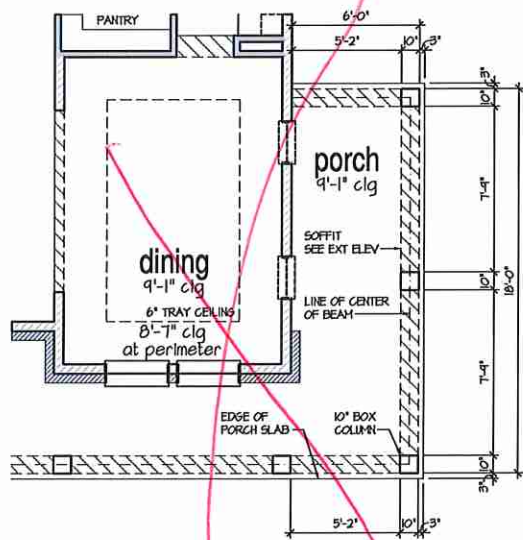
- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
 - WINDOW HEAD HEIGHTS:
 1ST FLOOR = 6'-10" UNO, ON ELEVATIONS.
 2ND FLOOR = 6'-10" UNO, ON ELEVATIONS.
 ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

WALL LEGEND:

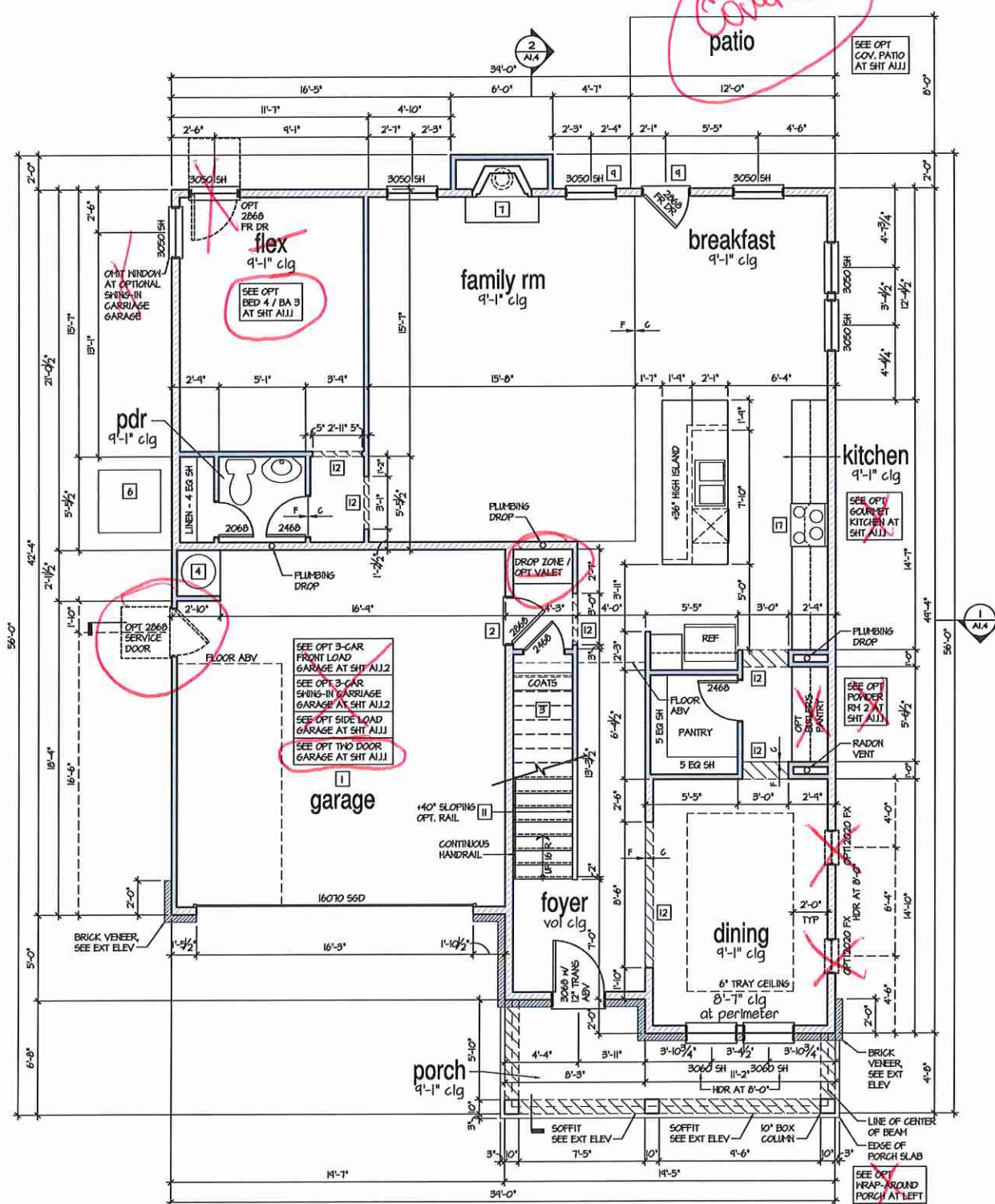
	FULL HEIGHT 2x4 HOOD STUD PARTITION		FULL HEIGHT 2x6 HOOD STUD PARTITION
	BRICK / STONE VENEER		STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	LOH GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED		DRYWALL OPENINGS HEIGHT AND SIZE AS NOTED ON PLAN

- KEY NOTES:**
- FIRE PROTECTION:**
- HOUSE TO GARAGE FIRE SEPARATION. GARAGEHOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD, (PER LOCAL CODE). GARAGEHOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD, (PER LOCAL CODE).
 - HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR, (PER LOCAL CODE).
 - BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS, (PER LOCAL CODE) MEPS.
 - FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE, INSTALL THE WATER HEATER PER LOCAL CODE, 18" HIGH PLATFORM. PROTECT THE GAS APPLIANCE FROM MOTOR VEHICLE IMPACT PROTECTION PER LOCAL CODE.
 - FAU 8"x8" PLATFORM. VERIFY WITH TRUSS MANUFACTURER. (6'-6" MIN. CLEAR HEIGHT TO HORIZONTAL MEMBERS, 2"x8" OVER 2"x4" BOTTOM CHORD, OF TRUSS, VERIFY W/ TRUSSES).
 - A/C CONDENSER PAD, (VERIFY).
 - PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"x22". FIRE RATED ACCESS AS NOTED, (PER LOCAL CODE). ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES. (25 1/2" X 54" SIZE) TYPICALS.
 - TEMPERED SAFETY GLASS, (PER LOCAL CODE).
 - PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER, HEIGHT AS NOTED.
 - HALF WALL, HEIGHT AS NOTED.
 - INTERIOR SOFFITS: FFL = 8'-4" UNO. SPL = 7'-6" UNO. BATHS:
 - SHOWER. TEMPERED GLASS ENCLOSURE.
 - TUB-SHOWER COMBO. TEMPERED GLASS ENCLOSURE.
 - CERAMIC TILE SHOWER AND FLOOR. TEMPERED GLASS ENCLOSURE.
 - GARDEN TUB IS A SLIDE IN FIBERGLASS MODEL. PER BUILDER.
- KITCHEN:**
- 30" FREE STANDING ELECTRICAL RANGE OR OPT. GAS RANGE VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 30" ELECTRICAL COOKTOP OR OPT. GAS COOKTOP AND HOOD VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ELECTRIC OVEN WITH MICROWAVE OVEN.

9'-1" STAIR NOTE:
 (USE 14" T.J. WITH 3/4" PLYWOOD SUBFLOOR)
 15 TREADS AT 10" EACH VERIFY
 16 RISERS AT 7-1/2" = 124 1/4" TOTAL
 RISE VERIFY



Opt. Wrap-Around Porch 'A'
 SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x17' LAYOUT



1st Floor Plan 'A'
 SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x17' LAYOUT



ATLANTA, GEORGIA LOCATION
 1845 SATELLITE BLVD
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 PHONE: 770-375-1351

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NO.	DATE	REVISION
1	03.16	FIRST SUBMITTAL
2	10.04.16	3RD CAR GARAGE OPTIONS ADDED
3	1.23.16	FRAME WALK CHANGES

PROFESSIONAL SEAL:
 PROJECT TITLE:
40' Plans

ISSUED FOR PERMIT CONSTRUCTION



CLIENTS NAME:
 PROJECT NO: GMD-GAI6014
 SHEET TITLE:
**JESSAMINE - LH
 1st FLOOR
 PLAN 'A'**

PRINT DATE:
 Jan 1, 2019

SHEET NO:
A1.1

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
 - WINDOW HEAD HEIGHTS:
 1ST FLOOR = 6'-10" UNO. ON ELEVATIONS.
 2ND FLOOR = 6'-10" UNO. ON ELEVATIONS.

ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

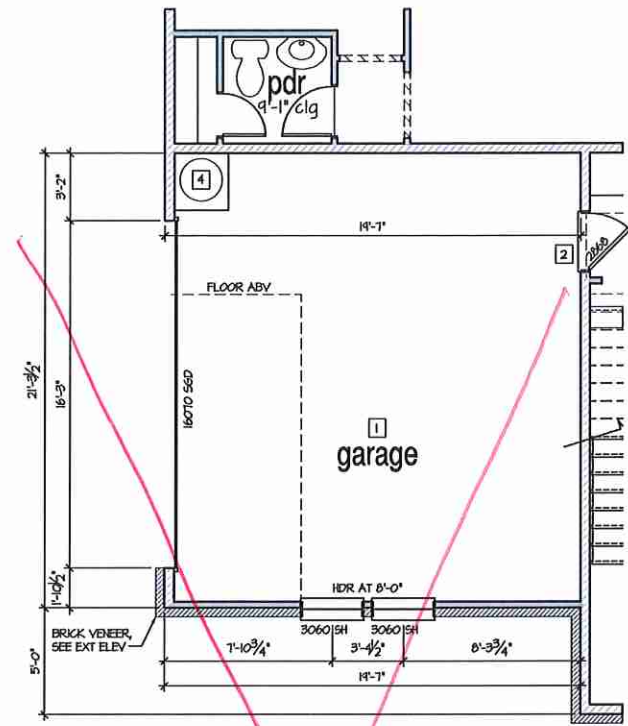
WALL LEGEND:

	2x4 WOOD STUD PARTITION		2x6 WOOD STUD PARTITION
	BRICK / STONE VENEER		STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	1/2" GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED		DRYWALL OPENING HEIGHT AS NOTED ON PLAN

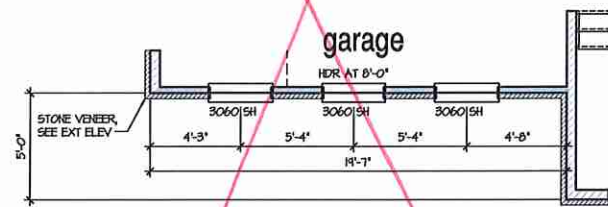
KEY NOTES:

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 - MEP'S
 - FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE, INSTALL THE WATER HEATER PER LOCAL CODE, 18" HIGH PLATFORM. PROTECT THE GAS APPLIANCE FROM MOTOR VEHICLE IMPACT PROTECTION PER LOCAL CODE.
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 - ELECTRIC OVEN WITH MICROWAVE OVEN.

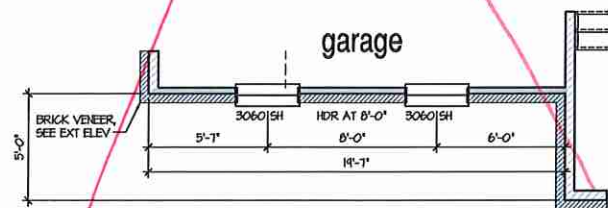
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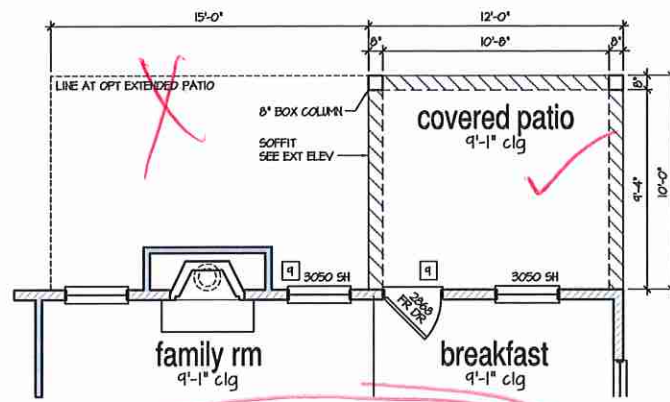
Opt. Side-Load Garge 'A'
 SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT



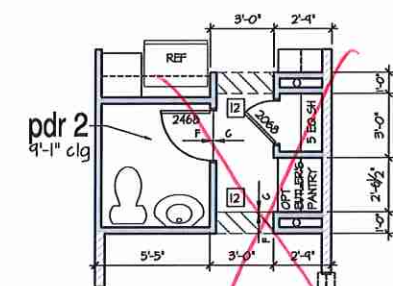
Opt. Side-Load Garge 'B'
 SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT



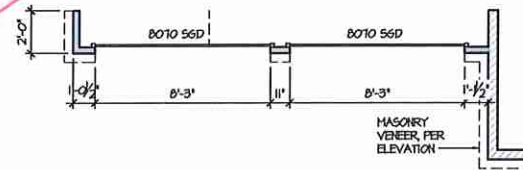
Opt. Side-Load Garge 'C'
 SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT



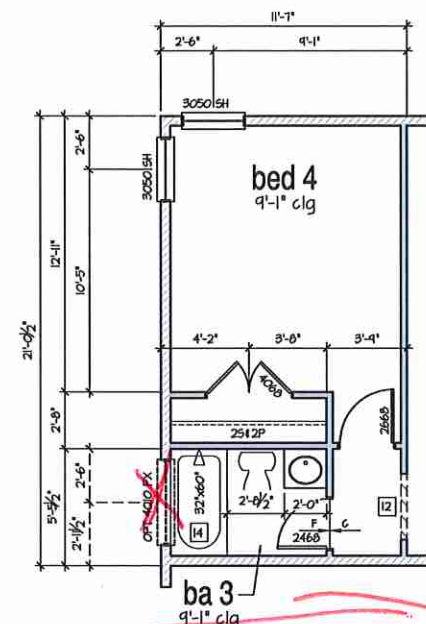
Opt. Covered Patio
 SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT



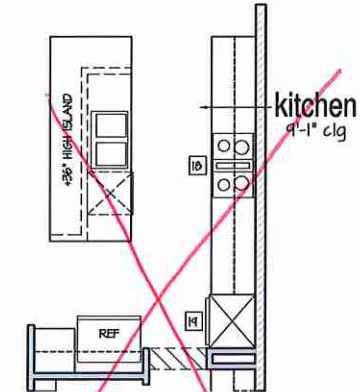
Opt. Powder Room 2
 SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT



Opt. 2 Door Garage
 SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT



Opt. Bed 4 / Bath 3
 SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT



Opt. Gourmet Kitchen
 SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT



ATLANTA, GEORGIA LOCATION
 1045 SATELLITE BLVD
 SUITE 850
 DUBLIN, GA 30071
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NO.	DATE	REVISION
02/20/16		FIRST SUBMITTAL
10/04/16		3RD CAR GARAGE OPTIONS ACCORD
8/23/16		FRAME WALK CHANGES

PROFESSIONAL SEAL:

PROJECT TITLE:
40' Plans

ISSUED FOR/PERMIT CONSTRUCTION



CLIENTS NAME:
 PROJECT NO: GMD-GA16014

SHEET TITLE:
**JESSAMINE - LH
 1st FLOOR
 PLAN OPTIONS**

PRINT DATE:
 Jan 1, 2019

SHEET NO:
A1.1.1

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
 - WINDOW HEAD HEIGHTS:
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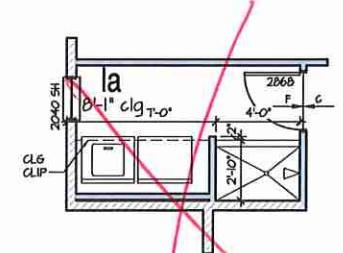
WALL LEGEND:

	2x4 HOOD STUD PARTITION		2x6 HOOD STUD PARTITION
	BRICK / STONE VENEER		STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED		DRYWALL OPENING HEIGHT AS NOTED ON PLAN

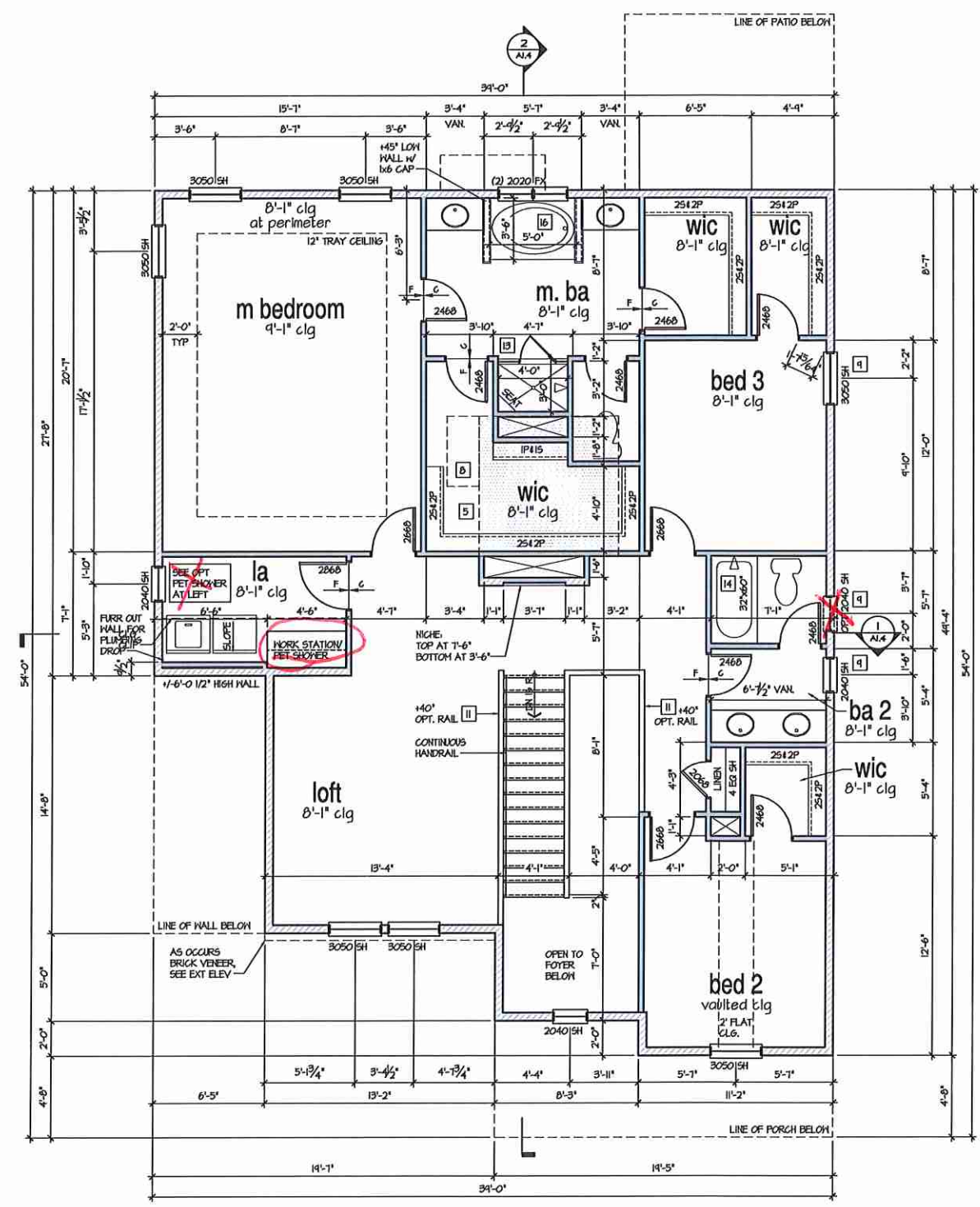
KEY NOTES:

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 - FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE, INSTALL THE WATER HEATER PER LOCAL CODE, 18" HIGH PLATFORM, PROTECT THE GAS APPLIANCE FROM MOTOR VEHICLE IMPACT PROTECTION PER LOCAL CODE.
 - FAU 0X80' PLATFORM, VERIFY WITH TRUSS MANUFACTURER. (6'-6" MIN. CLEAR HEIGHT TO HORIZONTAL MEMBERS, 2"x6" OVER 2"x4" BOTTOM CHORD, OF TRUSS, VERIFY W/ TRUSSES.)
 - A/C CONDENSER PAD, (VERIFY)
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 - BATHS:
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 - GARDEN TUB IS A SLIDE IN FIBERGLASS MODEL, PER BUILDER KITCHEN:
 - 30" FREE STANDING ELECTRICAL RANGE OR OPT. GAS RANGE VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
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 - ELECTRIC OVEN WITH MICROWAVE OVEN.

9'-1" STAIR NOTE:
 (USE 14" T.J WITH 3/4" PLYWOOD SUBFLOOR)
 15 TREADS AT 10" EACH VERIFY
 16 RISERS AT 11"-7.11" = 124 1/4" TOTAL RISE VERIFY



Opt. Pet Shower
 SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x17" LAYOUT



2nd Floor Plan 'A'
 SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x17" LAYOUT



ATLANTA, GEORGIA LOCATION:
 1845 SATELLITE BLVD
 SUITE 050
 DULUTH, GA, 30071
 PHONE: 770-375-1251

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NO.	DATE	REVISION
1	05.20.16	FIRST SUBMITTAL
2	10.04.16	3RD GAR. GARAGE OPTIONS ADDED
3	11.29.16	FRAME WALK CHANGES

PROFESSIONAL SEAL:
 PROJECT TITLE:
40' Plans

ISSUED FOR/PERMIT CONSTRUCTION

CLIENT'S NAME:

PROJECT NO: GMD-GAI6014

SHEET TITLE:
**JESSAMINE - LH
 2nd FLOOR
 PLAN 'A'**

PRINT DATE:
 Jan 1, 2019

SHEET NO:
A1.2

NO.	DATE	REVISION
1	02/20/16	FIRST SUBMITTAL
2	10/24/16	3RD GAR GARAGE OPTIONS ADDED
3	11/29/16	FRAME WALK CHANGES

PROFESSIONAL SEAL:

PROJECT TITLE:

40' Plans

ISSUED FOR/PERMIT
CONSTRUCTION

CLIENT'S NAME:

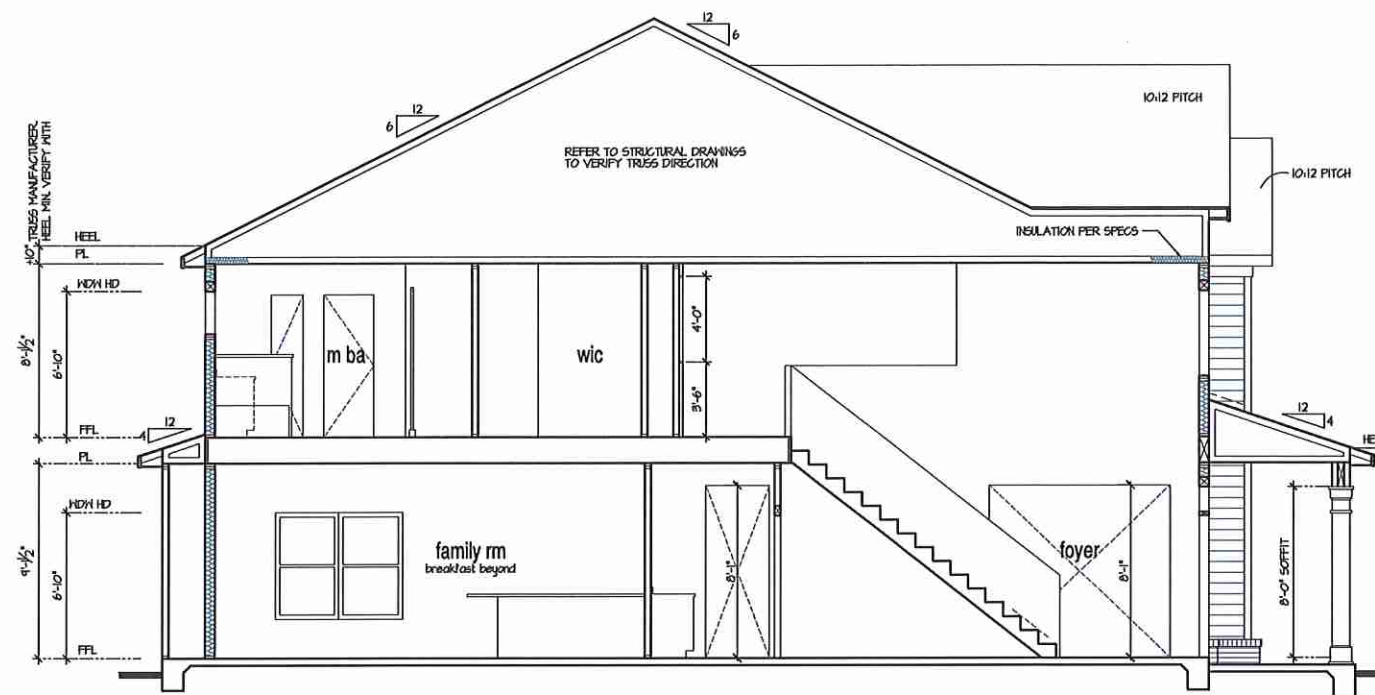
PROJECT NO: GMD-GAI6014

SHEET TITLE:
JESSAMINE - LH
BUILDING
SECTIONS

PRINT DATE:
Jan 1, 2019

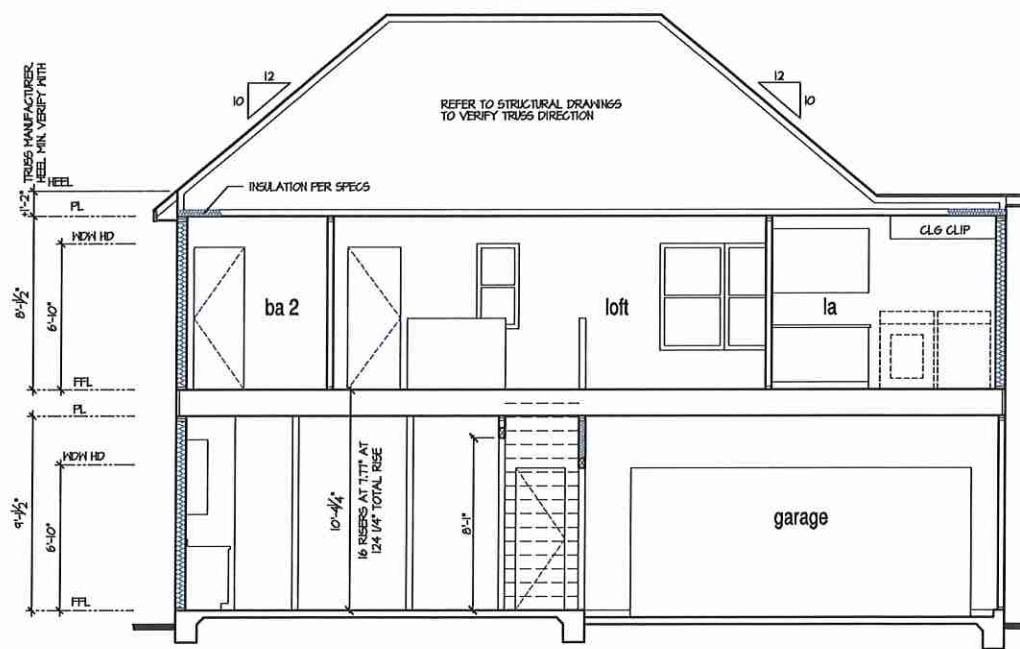
SHEET NO:

A1.4



Building Section 2

SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x11' LAYOUT



Building Section 1

SCALE: 1/4"=1'-0" AT 22'x34' LAYOUT 1/8"=1'-0" AT 11'x11' LAYOUT

9'-1" STAIR NOTE:
(SEE 1" T.J. WITH 3/4" PLYWOOD SUBFLOOR)
15 TREADS AT 10" EACH VERIFY
16 RISERS AT 1/2" 1.11" = 124 1/4" TOTAL
RISE VERIFY

NOTES:

- REFER TO FLOOR PLAN NOTES FOR TYPICAL FIRE PROTECTION NOTES AND LOCATIONS.
- THESE BUILDING SECTIONS MAY VARY AT ALTERNATE ELEVATION STYLES AND AT "PLAN OPTION" CONDITIONS. REFER TO MAIN FLOOR PLAN AND ALTERNATE FLOOR PLANS FOR INFORMATION NOT SHOWN HERE.
- BUILDING SECTIONS SHOWN HERE DEPICT VOLUME SPACES WITHIN THE STRUCTURE. REFER TO STRUCTURAL DRAWINGS, TRUSS DRAWINGS, STRUCTURAL DETAILS AND CALCULATIONS BY OTHER FOR ALL STRUCTURAL INFO.
- ROOFING: PITCHED SHINGLE ROOF. REFER TO ROOF PLAN FOR TYPICALS.
- FLOOR FLOORS: FLOOR SHEATHING OVER FLOOR JOIST. REFER TO STRUCTURAL AND TRUSS DRAWINGS BY OTHERS.
- VERIFY STAIRS MINIMUM AND MAXIMUM REQUIREMENTS FOR CONSTRUCTION CLEARANCES WITH LOCAL CODES.
- INSULATION:
EXTERIOR WALLS ZONE 3: R-13 BATTIS MINIMUM. VERIFY
EXTERIOR WALLS ZONE 4: R-15 BATTIS MINIMUM. VERIFY
CEILING WITH ATTIC ABOVE COMPRESSED INSULATION:
R-30 BATTIS MINIMUM. VERIFY
CEILING WITH ATTIC ABOVE UNCOMPRESSED INSULATION (HEELS IN TRUSSES):
R-30 BATTIS MINIMUM. VERIFY
FLOOR OVER GARAGE: R-11 BATTIS MINIMUM. VERIFY
ATTIC KNEEWALL: R-11 BATTIS MINIMUM. VERIFY
CRAWL SPACE FLOORING: R-11 BATTIS MINIMUM. VERIFY

PER STATE RESIDENTIAL CODE
COMPLIANCE METHOD TO BE
DETERMINED BY BUILDER.

WINDOW GLAZING U-FACTOR: 0.35

NO.	DATE	REVISION
1	09.30.16	FIRST SUBMITTAL
2	10.24.16	3RD CAR GARAGE OPTIONS ADDED
3	11.29.16	FRAME HALL CHANGES

PROFESSIONAL SEAL:

PROJECT TITLE:
40' Plans

ISSUED FOR PERMIT CONSTRUCTION

CLIENTS NAME:
[Redacted]

PROJECT NO: **GMD-GA16014**

SHEET TITLE:
JESSAMINE - LH ROOF PLAN 'A'

PRINT DATE:
Jan 1, 2019

SHEET NO:
A1.5.2

ATTIC VENT CALCULATION FOR 'JESSAMINE': 1:150 RATIO.

THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/50 OF THE AREA OF THE SPACE VENTILATED.

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE THD OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.

PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

1 SQUARE INCH VENT FOR EVERY 150 SQUARE INCHES OF CEILING
*144 SQ. IN. = 1 SQ. FT.
BLDG. CEILING (SF) X 144 = BLDG (SQ. IN)
BLDG. (SQ. IN) / 150 = SQ. IN. OF VENT REQUIRED

ROOF AREA 1i = 1710 SF
1710 SQ. FT. X 144 = 254880 SQ. IN.
254880 SQ. IN. / 150 = 1699.2 SQ. IN. OF VENT REQ'D

ROOF AREA 2i = 107 SF
107 SQ. FT. X 144 = 15408 SQ. IN.
15408 SQ. IN. / 150 = 102.72 SQ. IN. OF VENT REQ'D

ROOF AREA 3i = 120 SF
120 SQ. FT. X 144 = 17280 SQ. IN.
17280 SQ. IN. / 150 = 115.2 SQ. IN. OF VENT REQ'D

ROOF AREA 4i = 240 SF
240 SQ. FT. X 144 = 34560 SQ. IN.
34560 SQ. IN. / 150 = 230.4 SQ. IN. OF VENT REQ'D

NOTES:

- ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.
- DASHED LINES INDICATE HALL BELOW.
- LOCATE GUTTER AND DOWNSPOUTS PER BUILDER.
- PITCHED ROOFS AS NOTED.
- TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWINGS TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS.
- ALL FLASHING VENTS SHALL BE COVERED INTO A HIGH AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE.

ATTIC VENT CALCULATION FOR 'JESSAMINE': 1:300 RATIO.

AS AN ALTERNATE TO THE 1/50 RATIO LISTED ABOVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 PER 2012 IRC SECTION R0602.

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE THD OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.

PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

1 SQUARE INCH VENT FOR EVERY 300 SQUARE INCHES OF CEILING
*144 SQ. IN. = 1 SQ. FT.
BLDG. CEILING (SF) X 144 = BLDG (SQ. IN)
BLDG. (SQ. IN) / 300 = SQ. IN. OF VENT REQUIRED

50% AT HIGH & 50% AT LOW

ROOF AREA 1i = 1710 SF
1710 SQ. FT. X 144 = 254880 SQ. IN.
254880 SQ. IN. / 300 = 849.6 SQ. IN. OF VENT REQ'D
849.6 SQ. IN. / 2 = 424.8 SQ. IN.

424.8 SQ. IN. OF VENT AT HIGH & 424.8 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 2i = 107 SF
107 SQ. FT. X 144 = 15408 SQ. IN.
15408 SQ. IN. / 300 = 51.36 SQ. IN. OF VENT REQ'D
51.36 SQ. IN. / 2 = 25.68 SQ. IN.

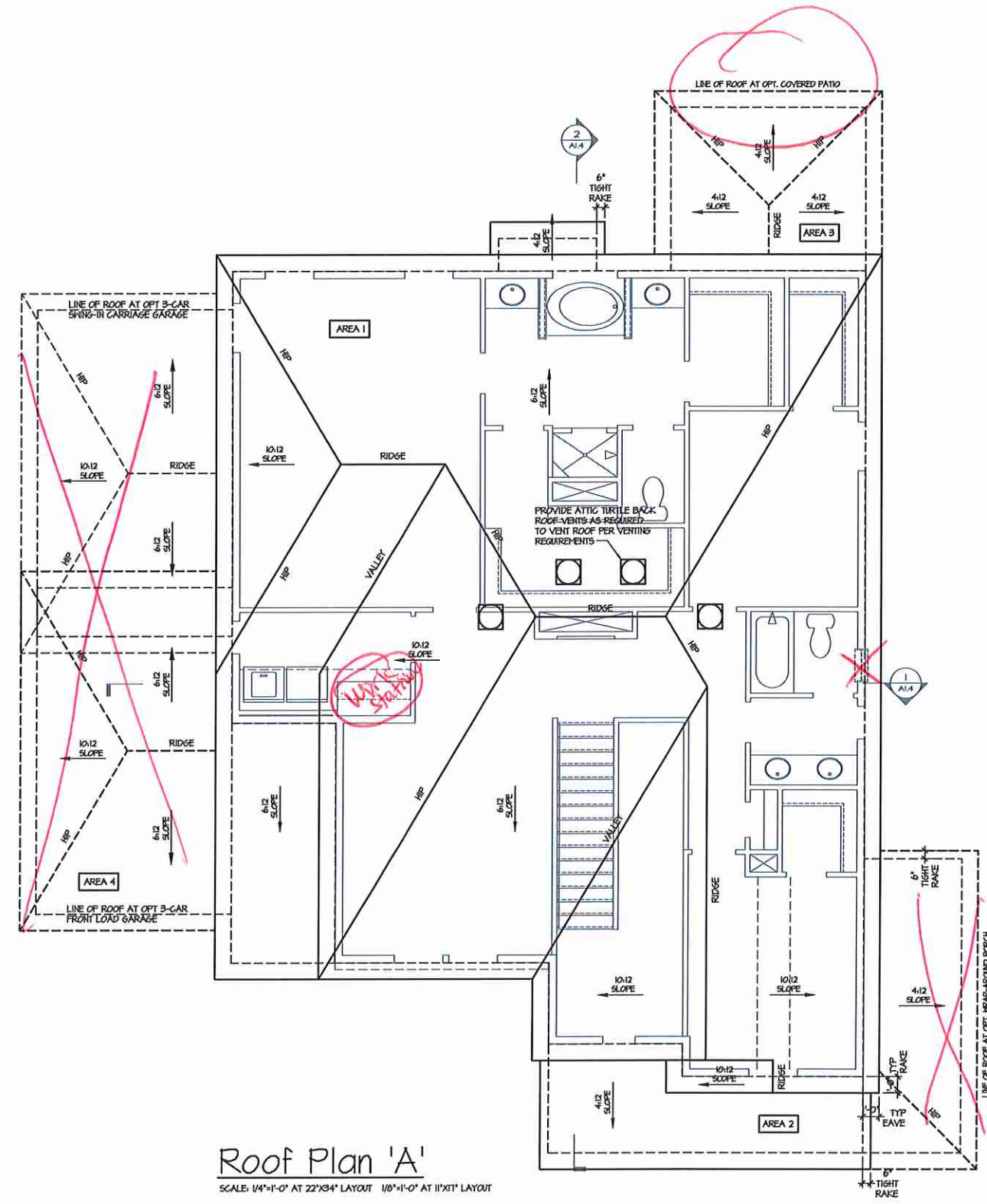
25.68 SQ. IN. OF VENT AT HIGH & 25.68 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 3i = 120 SF
120 SQ. FT. X 144 = 17280 SQ. IN.
17280 SQ. IN. / 300 = 57.6 SQ. IN. OF VENT REQ'D
57.6 SQ. IN. / 2 = 28.8 SQ. IN.

28.8 SQ. IN. OF VENT AT HIGH & 28.8 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 4i = 240 SF
240 SQ. FT. X 144 = 34560 SQ. IN.
34560 SQ. IN. / 300 = 115.2 SQ. IN. OF VENT REQ'D
115.2 SQ. IN. / 2 = 57.6 SQ. IN.

57.6 SQ. IN. OF VENT AT HIGH & 57.6 SQ. IN. OF VENT AT LOW REQUIRED.



Roof Plan 'A'
SCALE: 1/4"=1'-0" AT 22'x34" LAYOUT 1/8"=1'-0" AT 11'x11" LAYOUT

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NO.	DATE	REVISION
△	03/16	FIRST SUBMITTAL
△	10/16	3RD CAR GARAGE OPTIONS ADDED
△	8/20/16	FRAME WALK CHANGES

PROFESSIONAL SEAL:

PROJECT TITLE:

40' Plans

ISSUED FOR PERMIT
CONSTRUCTION

CLIENTS NAME:



PROJECT NO: GMD-6A16014

SHEET TITLE:

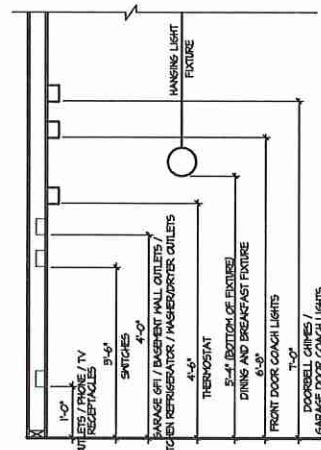
JESSAMINE - LH
1st FLOOR
UTILITY PLAN

PRINT DATE:

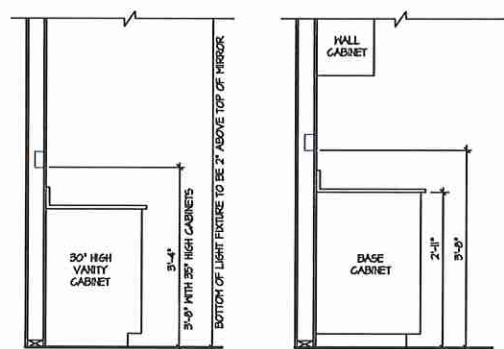
Jan 1, 2019

SHEET NO:

E1.0



STANDARD ELECTRICAL BOX HEIGHTS



SWITCH AND RECEPTACLE BOXES
OVER BATH CABINETS

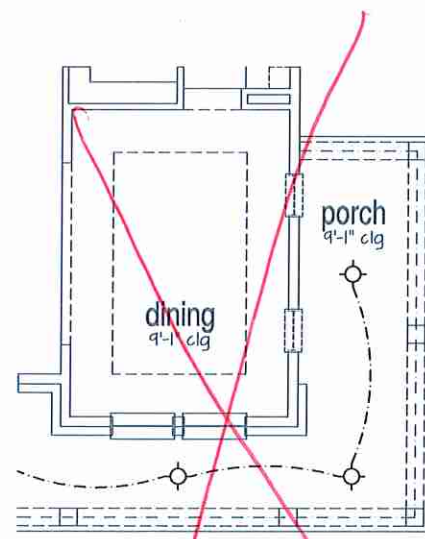
SWITCH AND RECEPTACLE BOXES
OVER KITCHEN CABINETS

NOTES:

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS.
- FANLIGHTS IN HET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR HET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

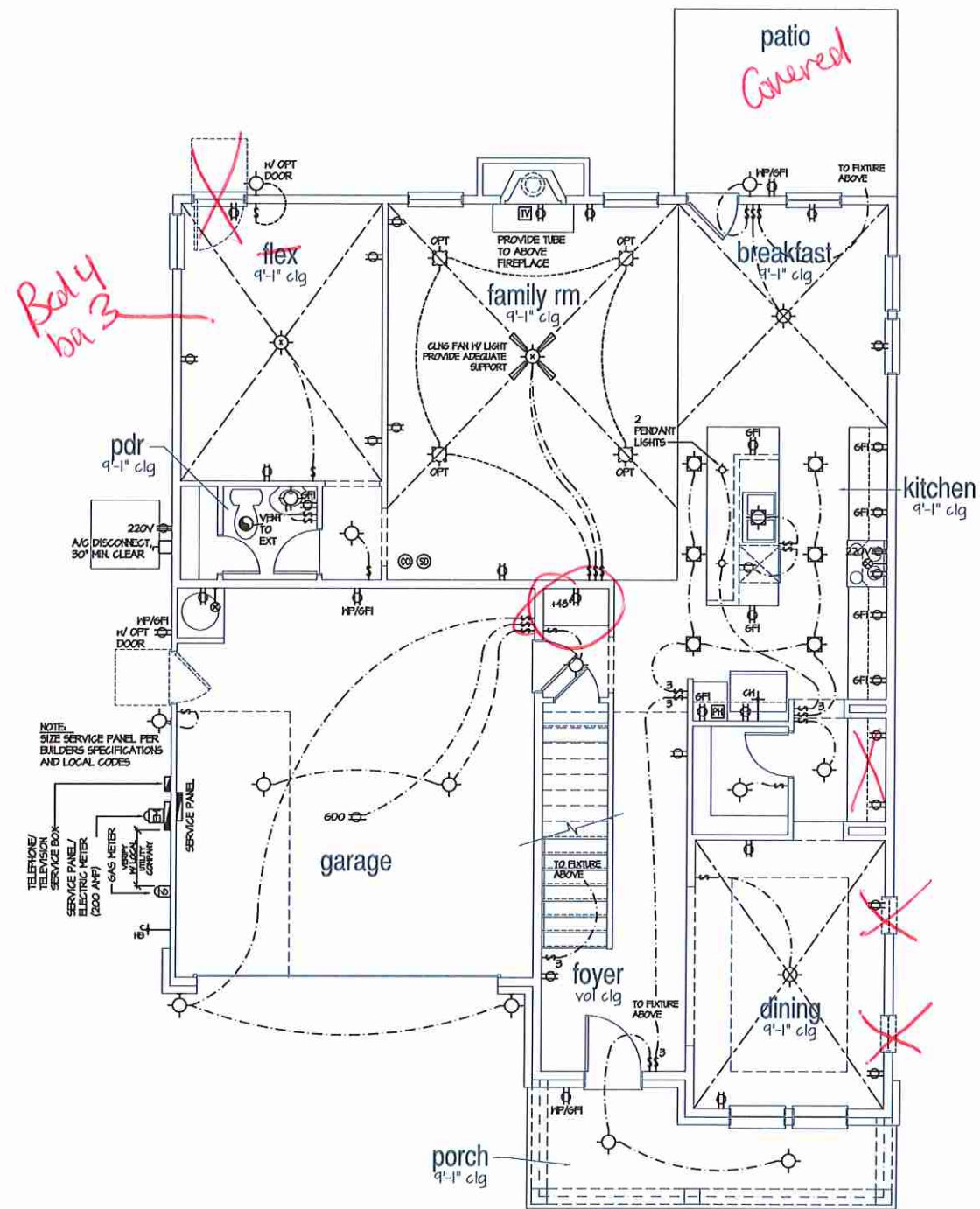
LEGEND:

□	DUPLEX OUTLET	⊙	UNDERCOUNTER FLUORESCENT LIGHT FIXTURE
⊔	HEATHERPROOF GFI DUPLEX OUTLET	⊙	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
⊔	GFI	⊙	HALL MOUNTED INCANDESCENT LIGHT FIXTURE
⊔	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET	⊙	RECESSED INCANDESCENT LIGHT FIXTURE
⊔	HALF-SWITCHED DUPLEX OUTLET	⊙	(VP) = VAPOR PROOF
⊔	220V 220 VOLT OUTLET	⊙	EXHAUST FAN (VENT TO EXTERIOR)
⊙	REINFORCED JUNCTION BOX	⊙	EXHAUST FANLIGHT COMBINATION (VENT TO EXTERIOR)
⊙	HALL SWITCH	⊙	FLUORESCENT LIGHT FIXTURE
⊙	THREE-WAY SWITCH	⊙	TECH HUB SYSTEM
⊙	FOUR-WAY SWITCH	⊙	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
⊙	GFI'S	⊙	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊙	RESETTABLE SWITCH	⊙	GAS SUPPLY WITH VALVE
⊙	10V SMOKE DETECTOR WITH BATTERY BACKUP	⊙	HOSE BIBB
⊙	CO2 DETECTOR	⊙	1/4" WATER SHUT OUT
⊙	THERMOSTAT	⊙	HALL SCONCE
⊙	TELEPHONE		
⊙	TELEVISION		
⊙	ELECTRIC METER		
⊙	ELECTRIC PANEL		
⊙	DISCONNECT SWITCH		



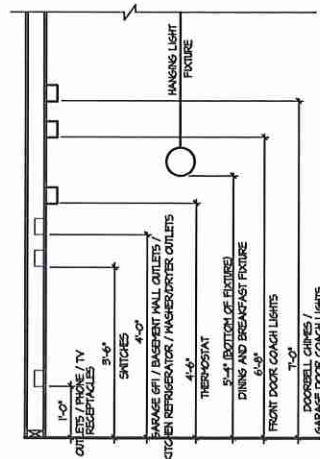
Opt. Wrap-Around Porch

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT

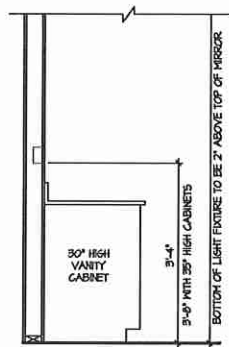


1st Floor Plan

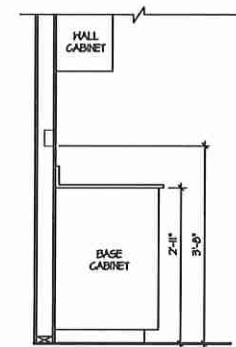
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STANDARD ELECTRICAL BOX HEIGHTS



SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS



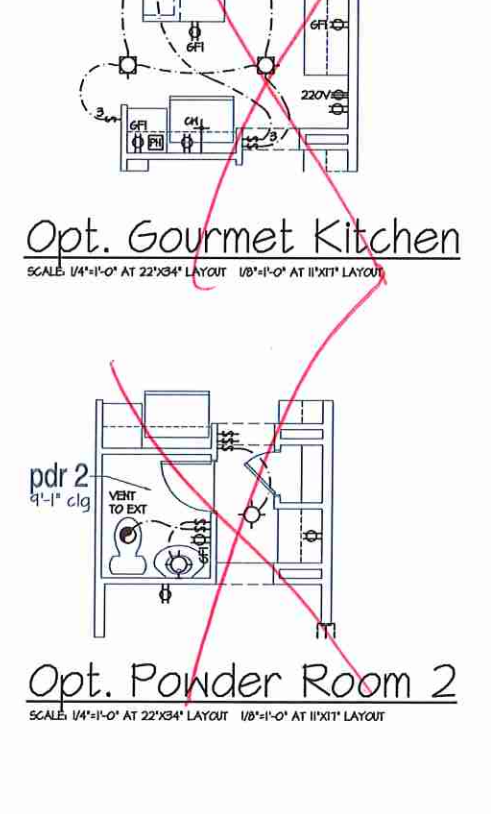
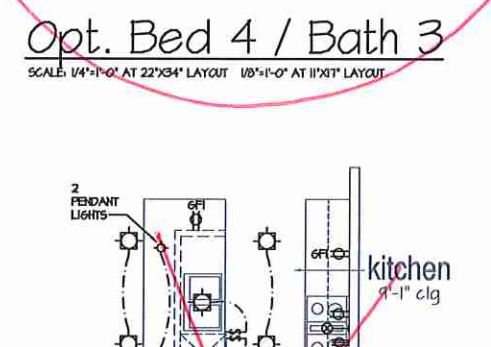
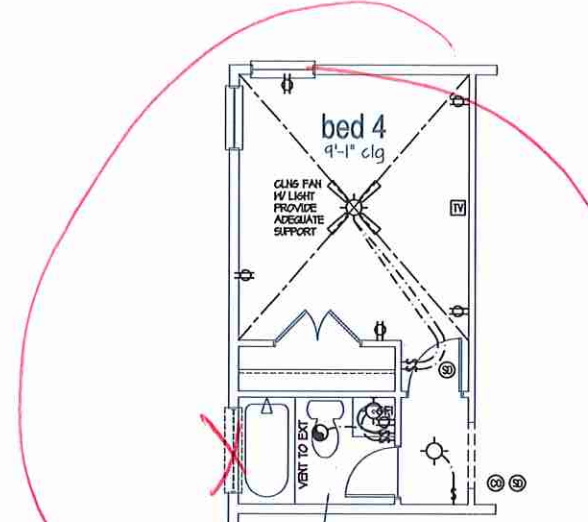
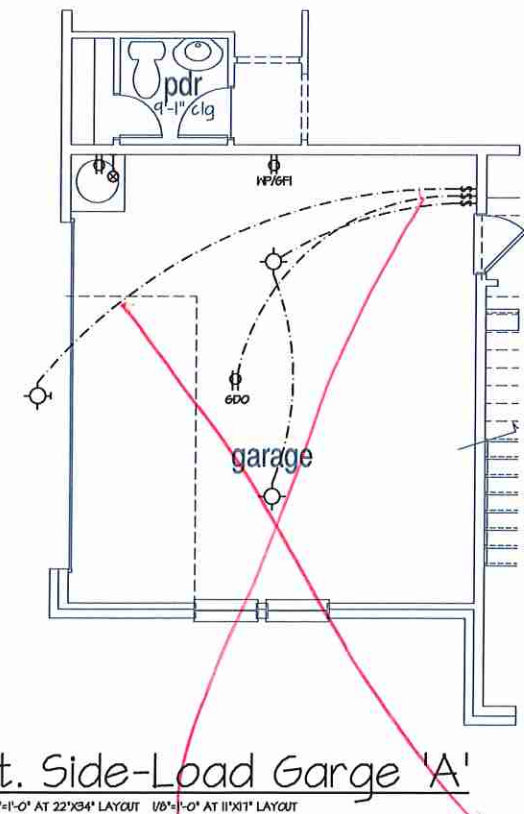
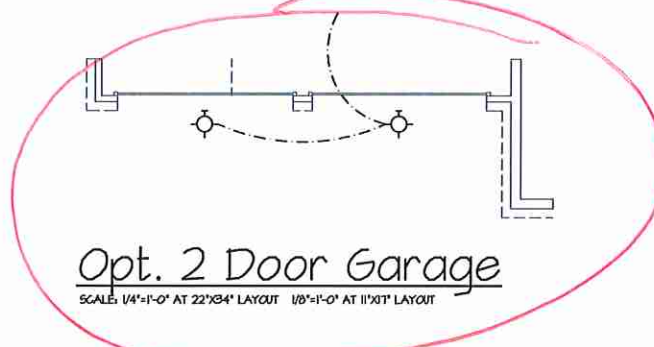
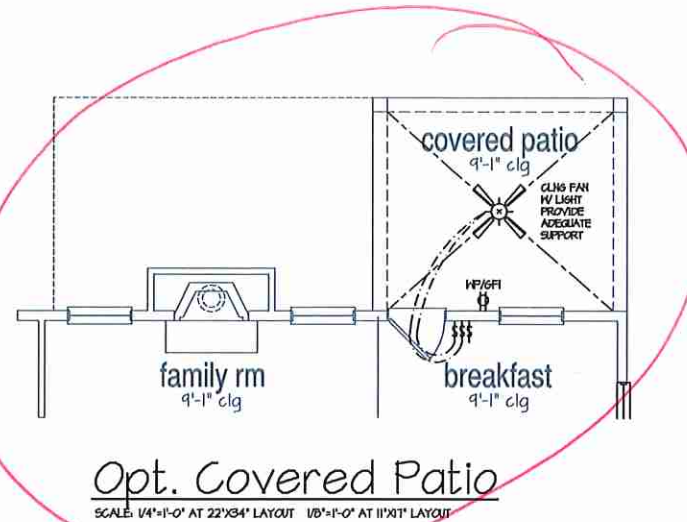
SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS

NOTES:

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
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- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

LEGEND:

⊕	DUPLEX OUTLET	⊖	UNDERCOUNTER FLUORESCENT LIGHT FIXTURE
⊕HP/WR	HEATERPROOF GFI DUPLEX OUTLET	⊙	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
⊕GFI	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET	⊙	HALL MOUNTED INCANDESCENT LIGHT FIXTURE
⊕	HALF-SWITCHED DUPLEX OUTLET	⊙	RECESSED INCANDESCENT LIGHT FIXTURE (NP) = VAPOR PROOF
⊕220V	220 VOLT OUTLET	⊙	EXHAUST FAN (VENT TO EXTERIOR)
⊕	REINFORCED JUNCTION BOX	⊙	EXHAUST FANLIGHT CONNECTION (VENT TO EXTERIOR)
⊕	HALL SWITCH	⊕	FLUORESCENT LIGHT FIXTURE
⊕3	THREE-WAY SWITCH	⊕	TECH. HD SYSTEM
⊕4	FOUR-WAY SWITCH	⊕	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
⊕	GAPES	⊕	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕	PUSHBUTTON SWITCH	⊕	GAS SUPPLY WITH VALVE
⊕	10V SMOKE DETECTOR (W/ BATTERY BACKUP)	⊕	HOSE BIBB
⊕	CO2 DETECTOR	⊕	1/4" WATER STOP OUT
⊕	THERMOSTAT	⊕	HALL SCORCE
⊕	TELEPHONE		
⊕	TELEVISION		
⊕	ELECTRIC METER		
⊕	ELECTRIC PANEL		
⊕	DISCONNECT SWITCH		



ATLANTA, GEORGIA LOCATION:
1845 SATELLITE BLVD
SUITE 250
DUBLIN, GA 30047
PHONE: 770-375-1251

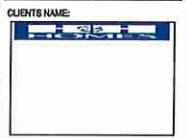
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NO.	DATE	REVISION
1	02/20/16	FIRST SUBMITTAL
2	10/04/16	2ND CAR GARAGE OPTIONS ADDED
3	11/29/16	FRAME HALL CHANGES

PROFESSIONAL SEAL:

PROJECT TITLE:
40' Plans

ISSUED FOR/PERMIT CONSTRUCTION



PROJECT NO: GMD-6A16014

SHEET TITLE:
**JESSAMINE - LH
1st FLOOR
UTILITY PLAN**

PRINT DATE:
Jan 1, 2019

SHEET NO:
E1.1

NO.	DATE	REVISION
1	09.20.16	FIRST SUBMITTAL
2	10.04.16	2ND CAR GARAGE OPTIONS ADDED
3	11.29.16	FRAME WALK CHANGES

PROFESSIONAL SEAL:

PROJECT TITLE:

40' Plans

ISSUED FOR PERMIT
CONSTRUCTION

CLIENTS NAME:



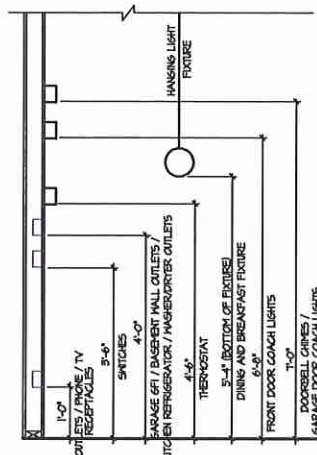
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SHEET TITLE:
**JESSAMINE - LH
2nd FLOOR
UTILITY PLAN**

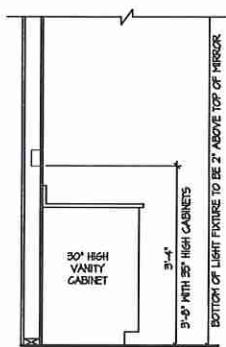
PRINT DATE:
Jan 1, 2019

SHEET NO:

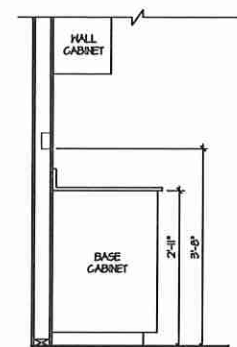
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STANDARD ELECTRICAL BOX HEIGHTS



SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS



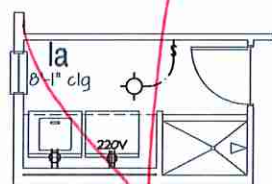
SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS

NOTES:

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
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- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

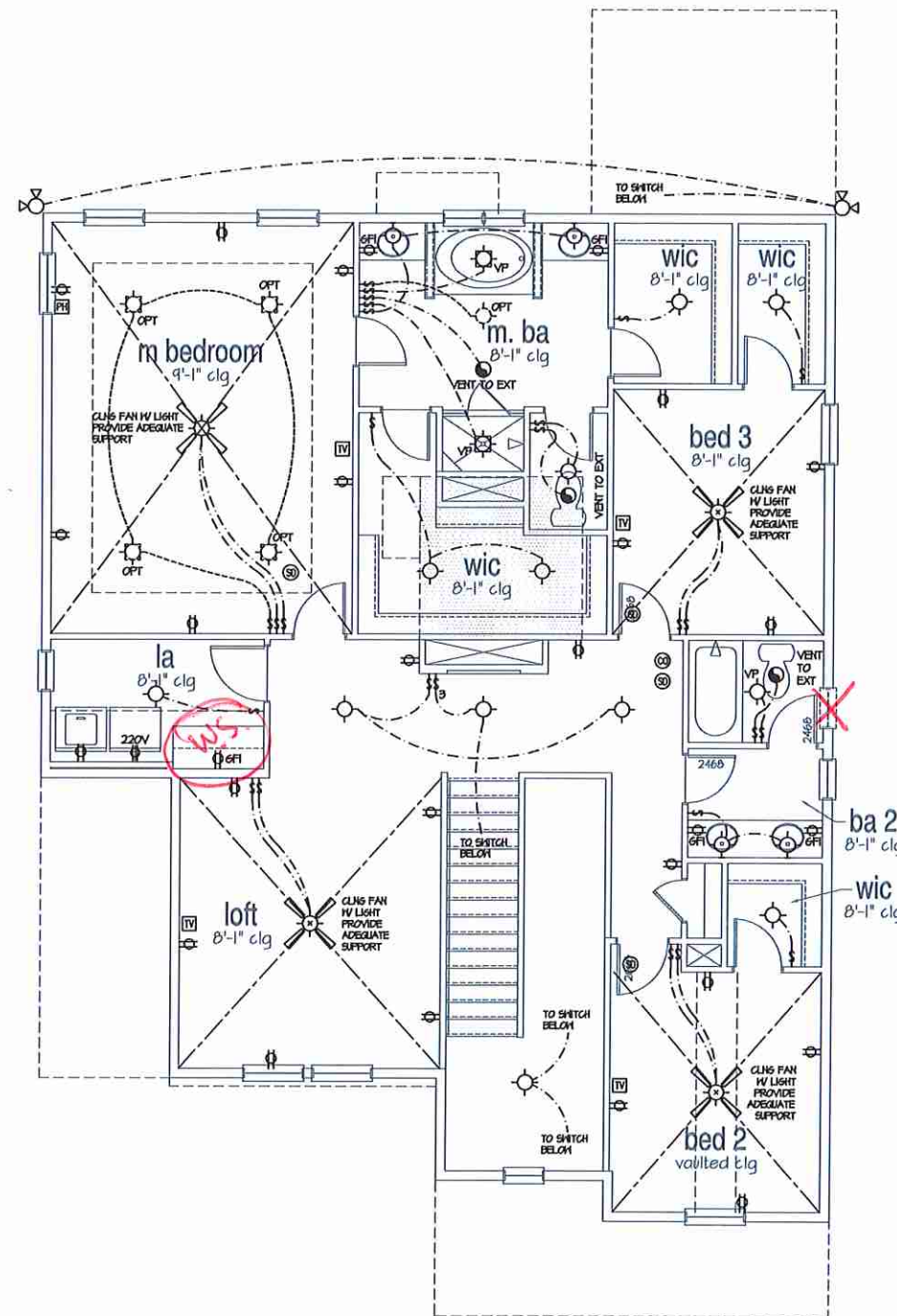
LEGEND:

⊕	DUPLEX OUTLET	⊖	UNDERCOUNTER FLUORESCENT LIGHT FIXTURE
⊕	HEATHERPROOF GFI DUPLEX OUTLET	⊖	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
⊕	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET	⊖	HALL MOUNTED INCANDESCENT LIGHT FIXTURE
⊕	HALF-SWITCHED DUPLEX OUTLET	⊖	RECESSED INCANDESCENT LIGHT FIXTURE (MP) * VAPOR PROOF
⊕	220V 220 VOLT OUTLET	⊖	EXHAUST FAN (VENT TO EXTERIOR)
⊕	REINFORCED JUNCTION BOX	⊖	EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)
⊕	HALL SWITCH	⊖	FLUORESCENT LIGHT FIXTURE
⊕	THREE-WAY SWITCH	⊖	TECH HUB SYSTEM
⊕	FOUR-WAY SWITCH	⊖	GAS SUPPLY WITH VALVE
⊕	GFI'S	⊖	HOSE BIBB
⊕	PUSHBUTTON SWITCH	⊖	1/4" WATER SHUT OUT
⊕	10V SMOKE DETECTOR W/ BATTERY BACKUP	⊖	HALL SCONCE
⊕	CO2 DETECTOR		
⊕	THERMOSTAT		
⊕	TELEPHONE		
⊕	TELEVISION		
⊕	ELECTRIC METER		
⊕	ELECTRIC PANEL		
⊕	DISCONNECT SWITCH		



Opt. Pet Shower

SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT



2nd Floor Plan 'A'

SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X11' LAYOUT

NO.	DATE	REVISION
1	05/16/16	FIRST SUBMITTAL
2	01/28/16	FRAME MARK CHANGES

PROFESSIONAL SEAL:

PROJECT TITLE:

CLIENTS NAME:

PROJECT NO: GMD-GAI6014

SHEET TITLE:

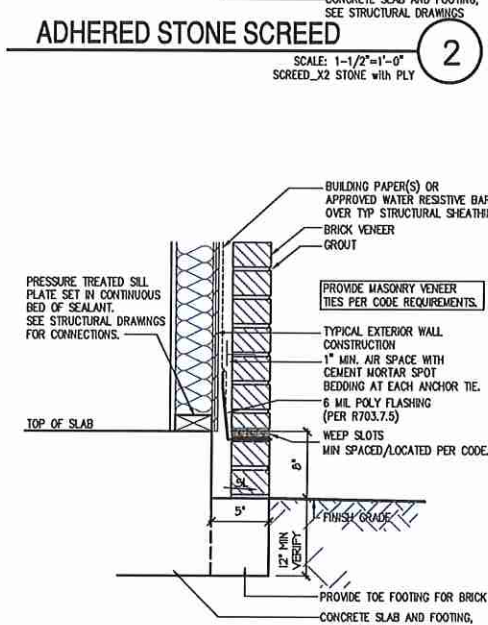
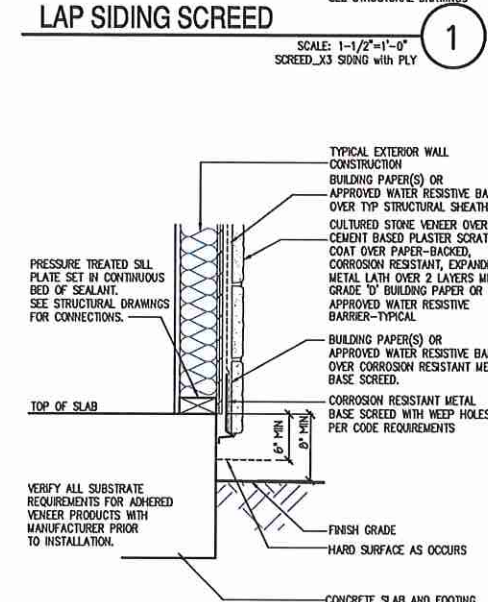
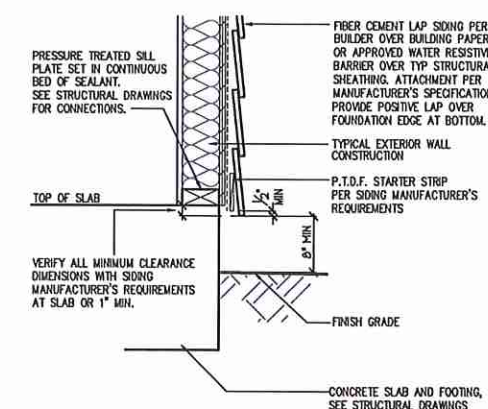
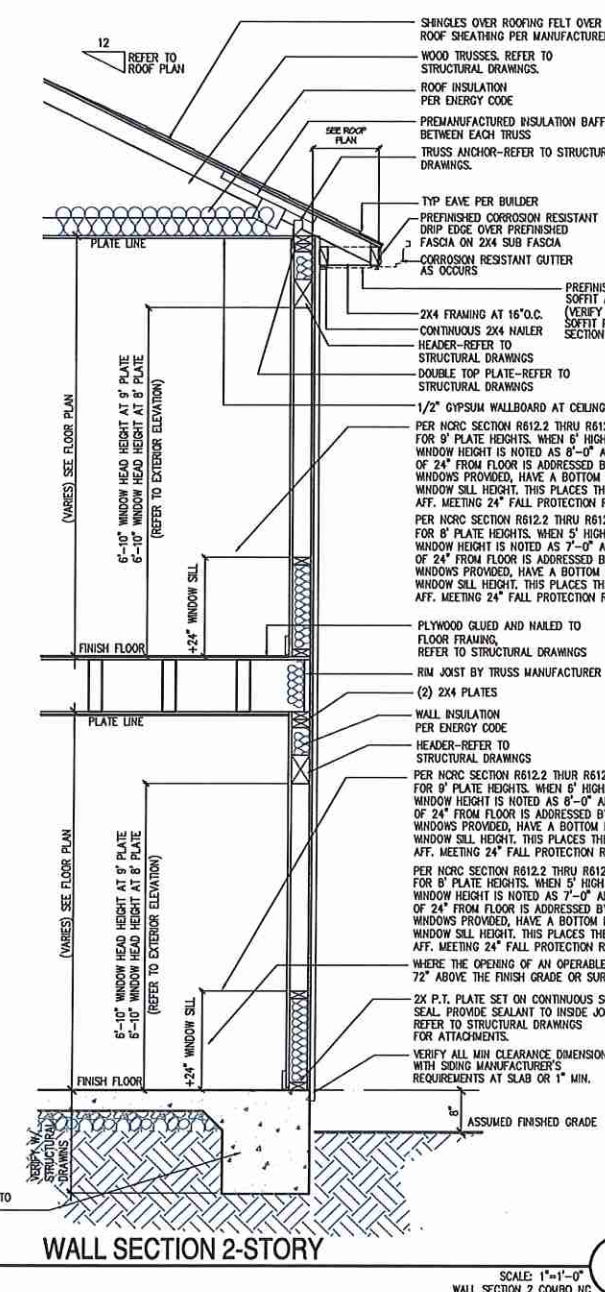
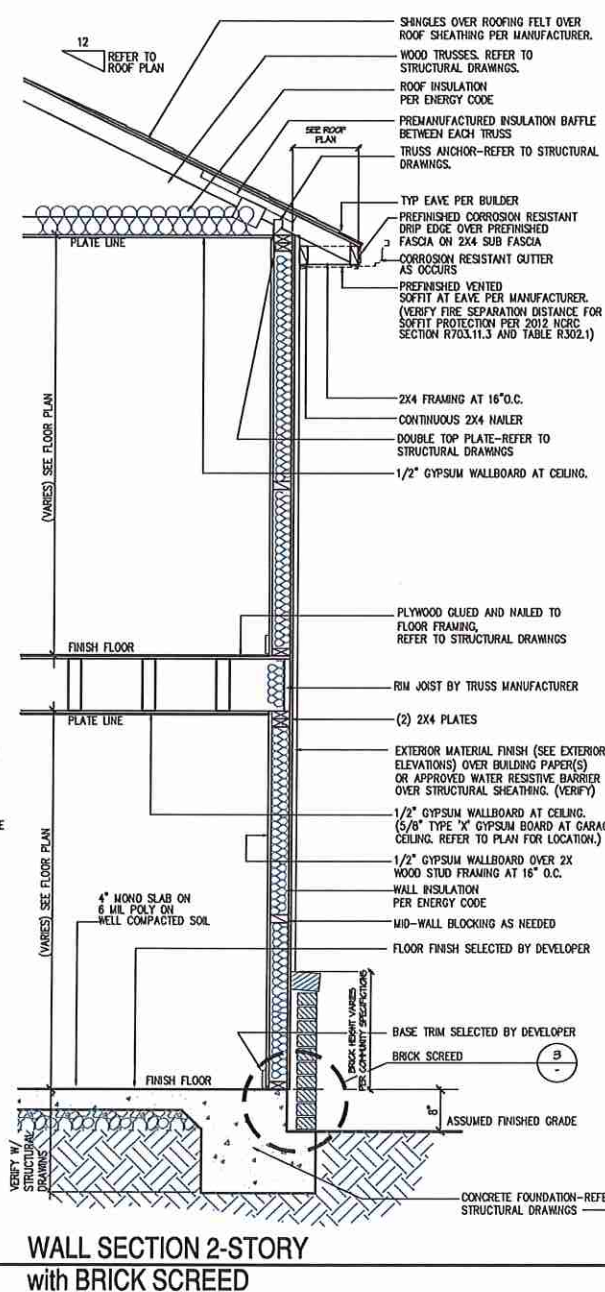
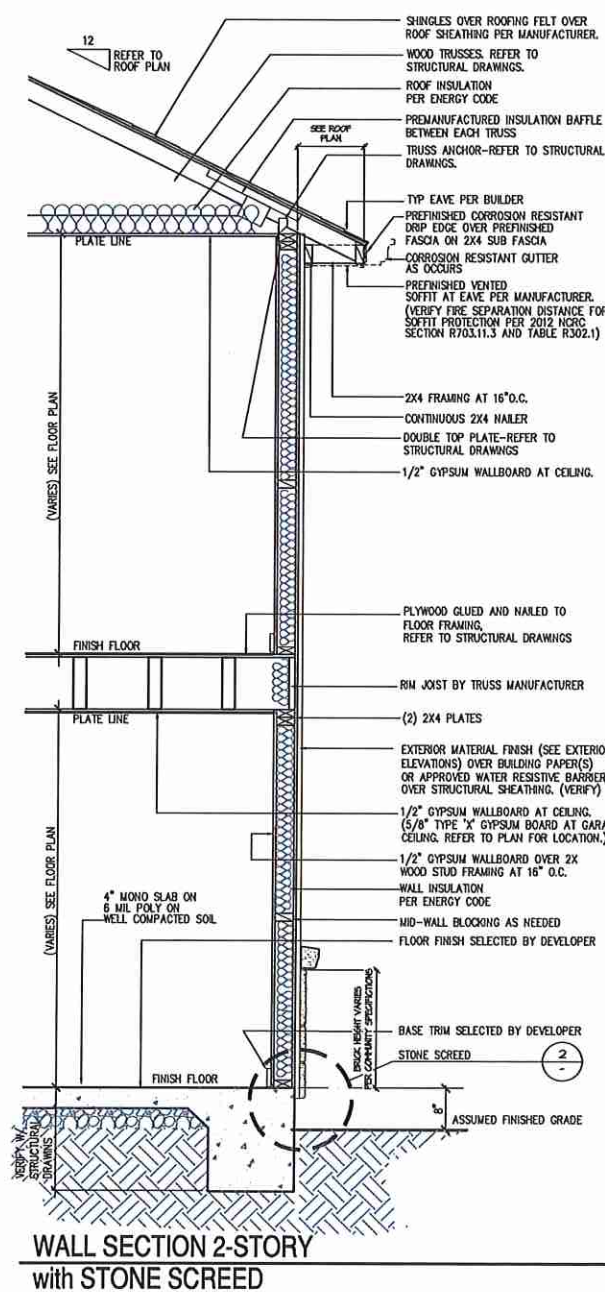
DETAILS

PRINT DATE:

Jan 1, 2019

SHEET NO:

D-1



ISSUED FOR/PERMIT CONSTRUCTION



1900 AM DRIVE, SUITE 201, QUAKERTOWN, PA 18951
 www.kse-eng.com (215) 804-4449

JESSAMINE

CAROLINA DIVISION

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DESIGN SPECIFICATIONS:

DESIGN BUILDING CODE (REFERRED TO HEREIN AS 'THE BUILDING CODE'):
 • 2018 NORTH CAROLINA RESIDENTIAL CODE. WALL BRACING PER INTERNATIONAL RESIDENTIAL CODE 2015 EDITION.

DESIGN LIVE LOADS:

- ROOF = 20 PSF (LOAD DURATION FACTOR=1.25)
- UNINHABITABLE ATTICS WITH LIMITED STORAGE = 20 PSF (WHERE SPECIFIED ON PLANS)
- HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS = 30 PSF
- FLOOR = 40 PSF
- FLOOR (SLEEPING AREAS) = 30 PSF
- DECK = 40 PSF
- BALCONY = 40 PSF
- STAIRS = 40 PSF

DESIGN DEAD LOADS:

- ROOF TRUSS = 17 PSF (TC=7, BC=10)
- FLOOR TRUSS = 15 PSF (TC=10, BC=5)
- FLOOR JOIST = 10 PSF
- QUEEN ANNE BRICK = 25 PSF

NOTE: STRUCTURAL FRAMING HAS NOT BEEN DESIGNED FOR TILE, GRANITE, MARBLE OR OTHER MATERIALS HEAVIER THAN THE ABOVE LOADING UNLESS SPECIFICALLY NOTED ON PLANS..

DESIGN WIND LOADS:

- ULTIMATE WIND SPEED = 120 MPH
- EXPOSURE CATEGORY = B

ASSUMED SOIL BEARING CAPACITY = 2000 PSF

ASSUMED LATERAL SOIL PRESSURE = 45 PCF

FROST DEPTH = 12"

SEISMIC DESIGN CATEGORY = B

ENGINEERED LUMBER SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES:

- TJI 210 SERIES (SERIES AND SPACING PER PLANS)
- LSL: E=1,550,000 PSI, F_b=2,325 PSI, F_v=310 PSI, F_c=900 PSI
- LVL: E=2,000,000 PSI, F_b=2,600 PSI, F_v=285 PSI, F_c=750 PSI
- PSL: E=2,100,000 PSI, F_b=2,900 PSI, F_v=290 PSI, F_c=625 PSI

THIS PLAN HAS BEEN DESIGNED PER THE 2018 EDITION OF THE NC RESIDENTIAL CODE. WHERE FRAMING, FOUNDATION, OR OTHER STRUCTURAL ITEMS DO NOT COMPLY WITH THE PRESCRIPTIVE METHODS OF THE CODE, THOSE ITEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE PER NCRC R301.1.3.

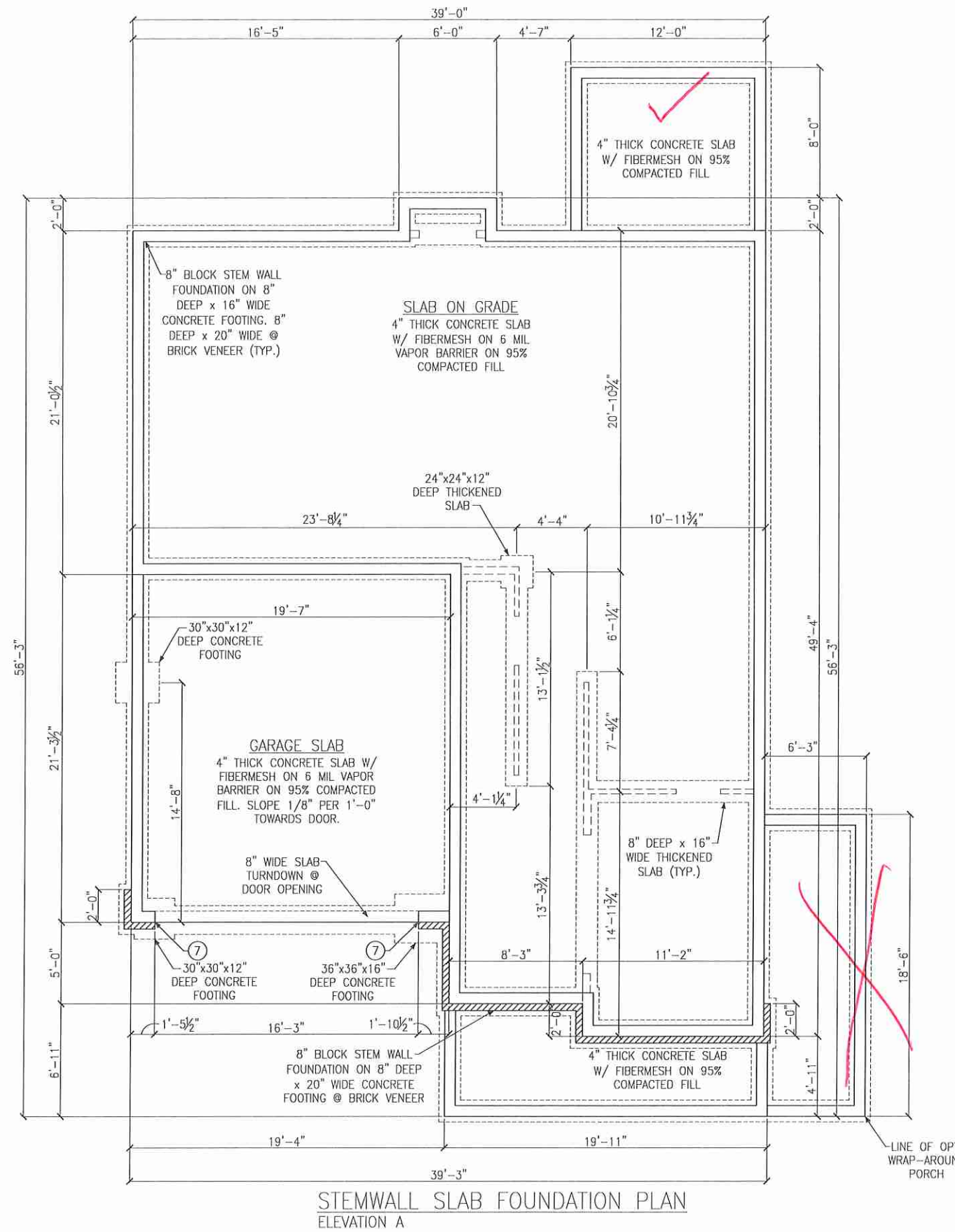
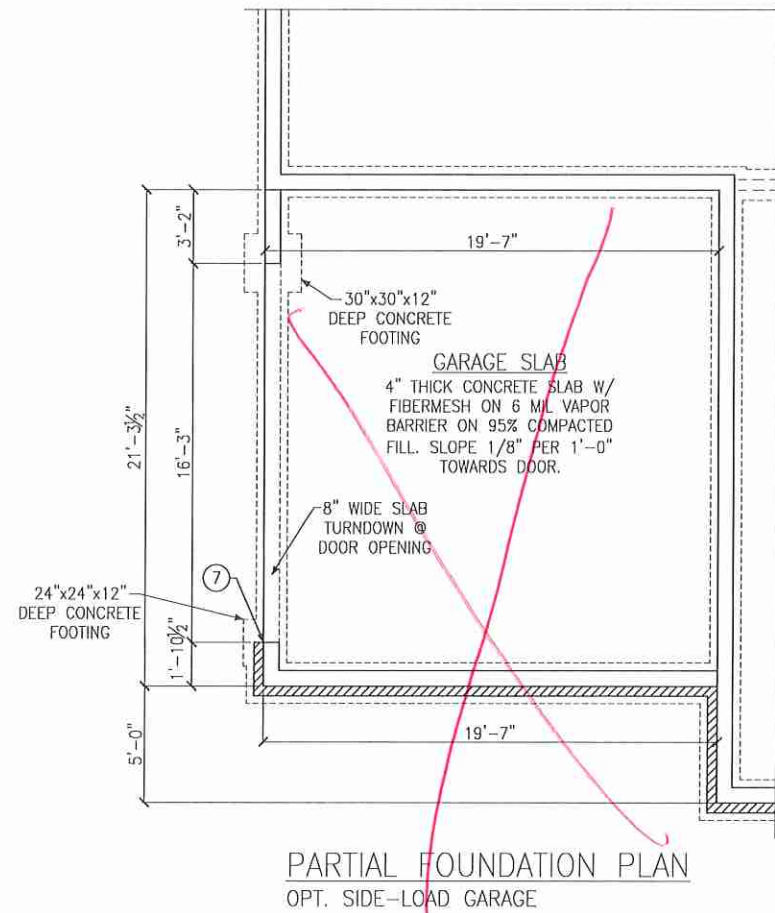
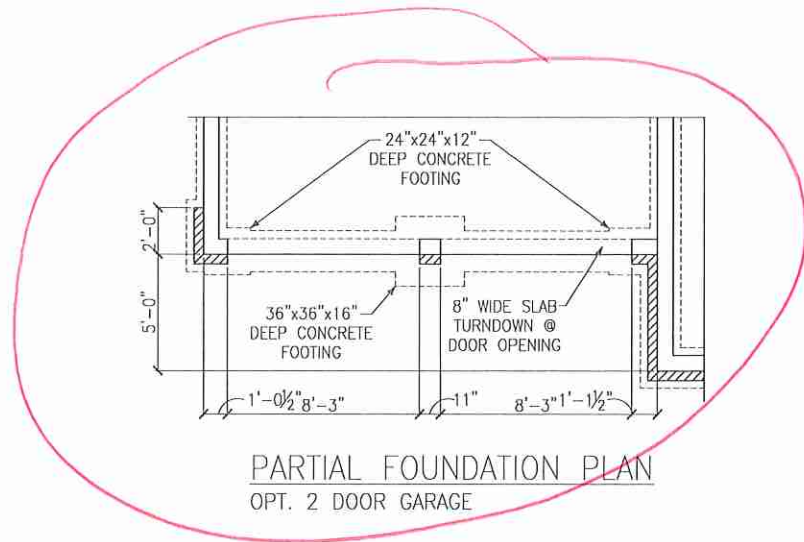


Cover Sheet
 Jessamine Model - LH
 120 M.P.H.
 Carolina Division

Project #: 105-16010
 Designed By: KRK
 Checked By:
 Issue Date: 4/5/19
 Re-Issue:
 Scale: 1/8"=1'-0" @ 11x17
 1/4"=1'-0" @ 22x34



S-0



LEGEND

- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- INTERIOR BEARING WALL
- BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
- LOCATION OF DOOR ABOVE

REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

KEYNOTES:

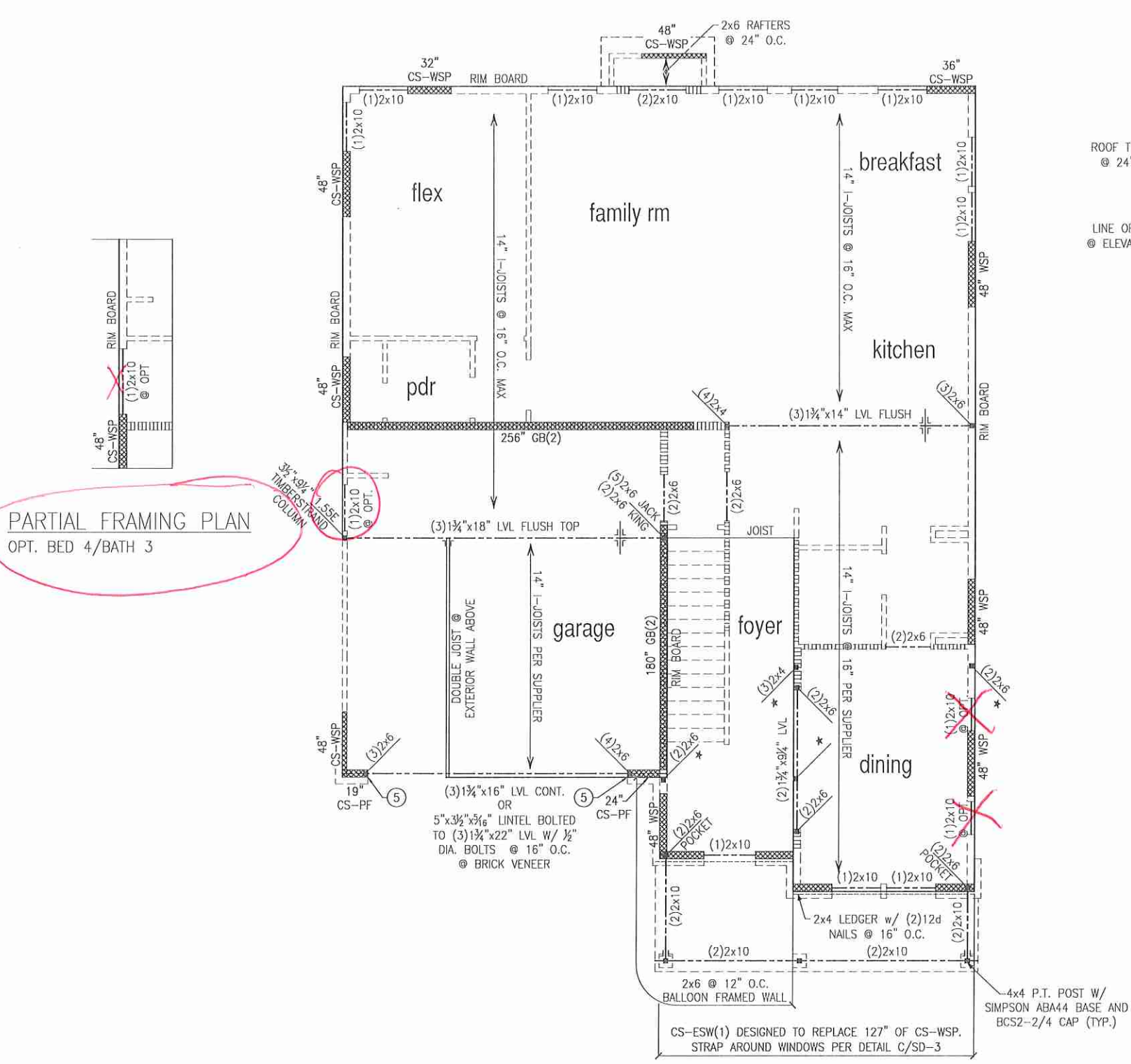
⑦ REINFORCE 8" CMU WALL AND FOOTING UNDER PORTAL FRAME PER DETAIL A OR B/SD-4.



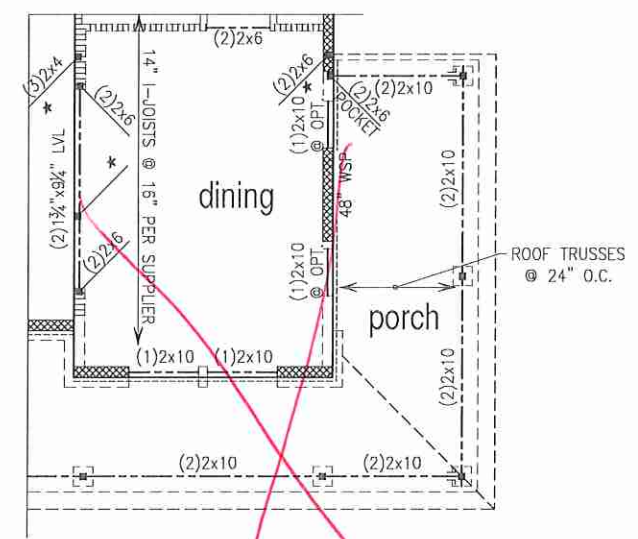
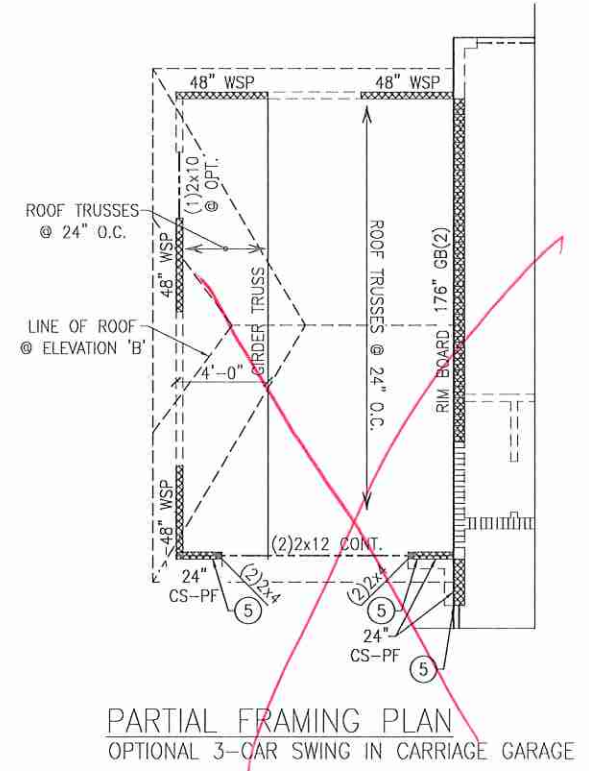


Second Floor Framing Plans
 Elevation A & Options
 Jessamine Model - LH
 120 M.P.H.
 Carolina Division

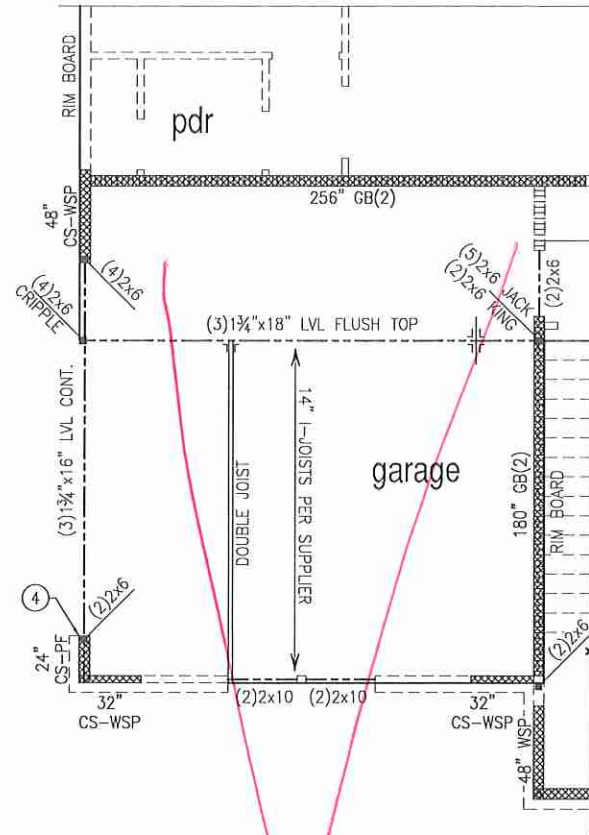
Project #: 105-16010
 Designed By: KRK
 Checked By:
 Issue Date: 4/5/19
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 Scale: 1/8"=1'-0" @ 11x17
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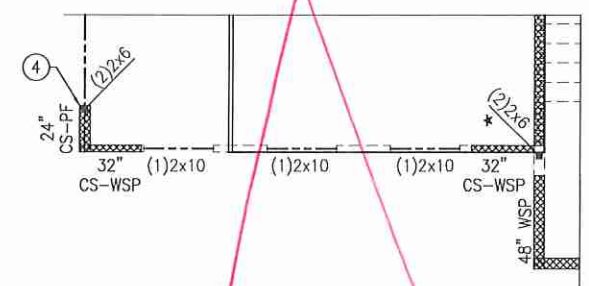
PARTIAL FRAMING PLAN
 OPT. BED 4/BATH 3



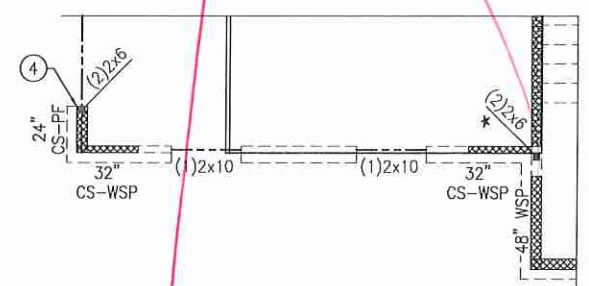
LEGEND	
	PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
	BEARING WALL ABOVE
	INTERIOR BEARING WALL
	BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS	
PLAN DESIGNED WITH 9' WALL PLATES	
FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.	
KEYNOTES:	
④	INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.
⑤	INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.



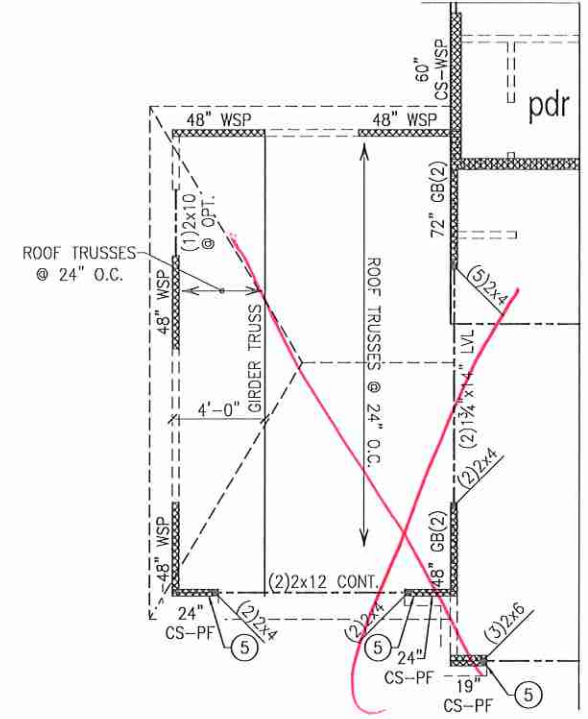
PARTIAL FRAMING PLAN
OPT. SIDE-LOAD GARAGE
ELEVATION A



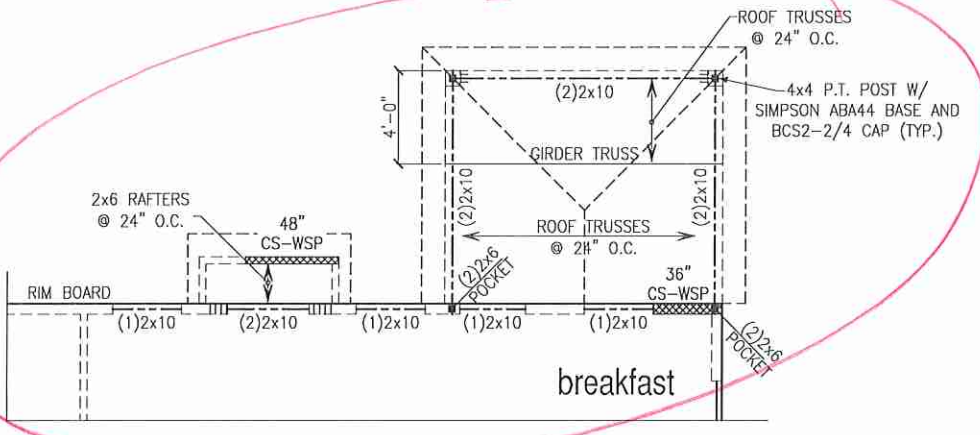
PARTIAL FRAMING PLAN
OPT. SIDE-LOAD GARAGE
ELEVATION B



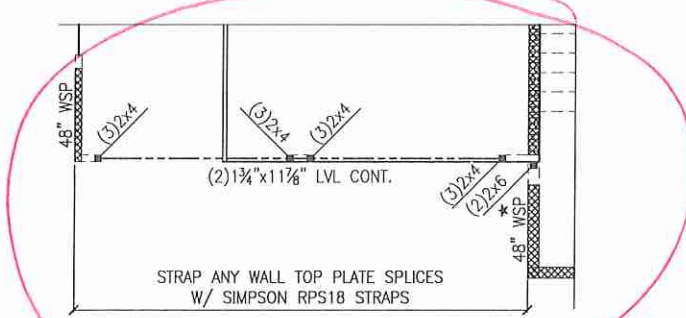
PARTIAL FRAMING PLAN
OPT. SIDE-LOAD GARAGE
ELEVATION B



PARTIAL FRAMING PLAN
OPT. 3-CAR GARAGE FRONT LOAD



PARTIAL FRAMING PLAN
OPT. COVERED PATIO



PARTIAL FRAMING PLAN
OPT. 2 DOOR GARAGE

LEGEND

- ★ → PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- → BEARING WALL ABOVE
- ||||| → INTERIOR BEARING WALL
- → BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

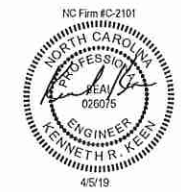
REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

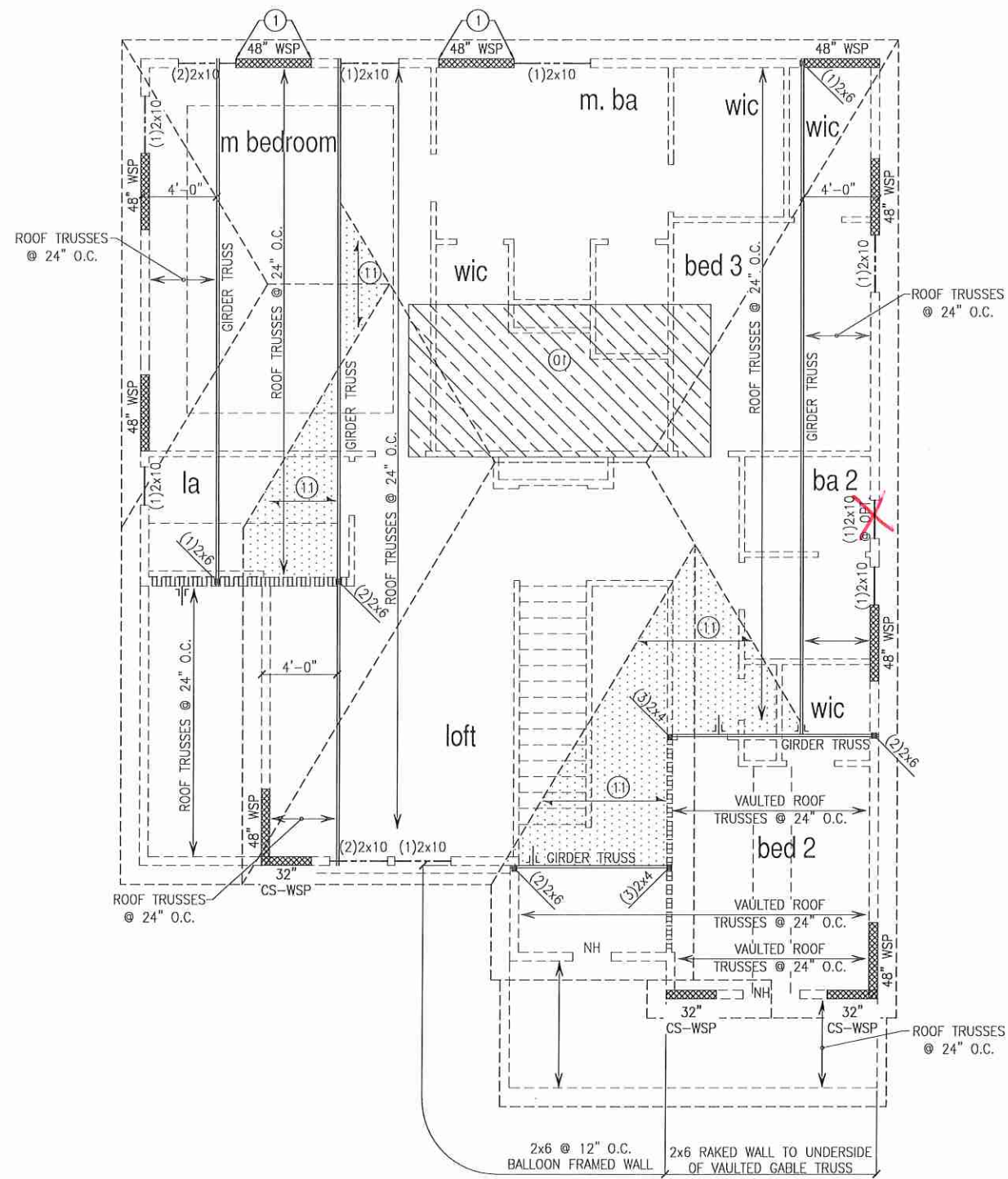
PLAN DESIGNED WITH 9' WALL PLATES

FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.

KEYNOTES:

- ④ INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.
- ⑤ INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.





ROOF FRAMING PLAN
ELEVATION A

LEGEND

- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- INTERIOR BEARING WALL
- BRACED WALL PANEL (SEE KSE STRUCTURAL DETAIL SHEETS FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
- 48" WSP

REFER TO KSE STRUCTURAL DETAILS SHEETS FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 8" WALL PLATES

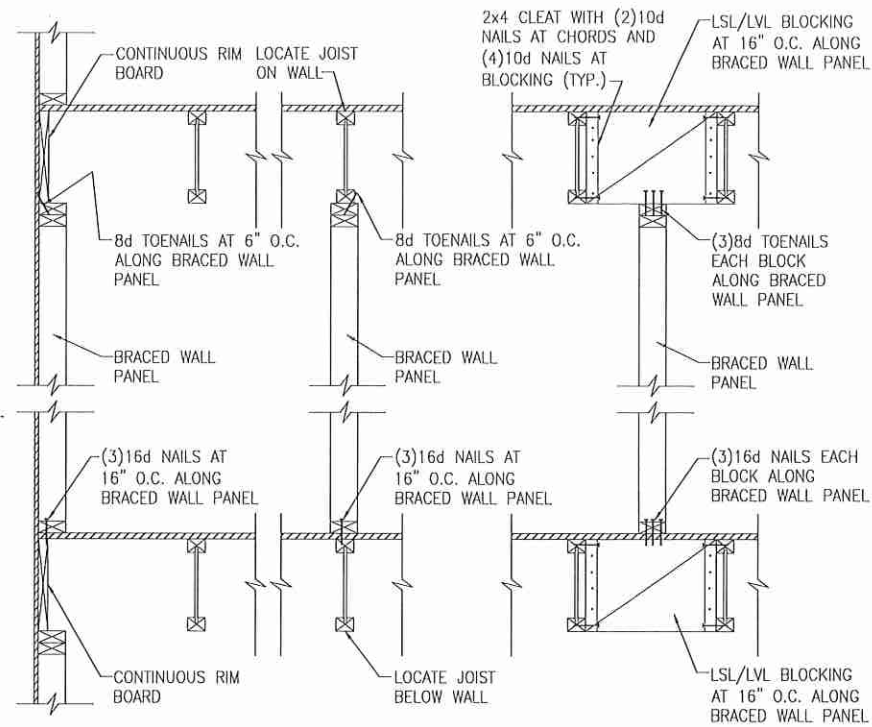
KEYNOTES:

- ① CONNECT STUD AT END OF BRACED WALL PANEL TO FRAMING BELOW WITH A 30" LONG SIMPSON CS22 COIL STRAP WITH MIN 8-10d NAILS EACH END.
- ⑩ 8'x16" HVAC PLATFORM TRUSSES DESIGNED TO SUPPORT HVAC UNITS.
- ⑪ 2x6 OVERFRAMING W/ 2x8 RIDGE AND VALLEY PLATES OR VALLEY SET TRUSSES @ 24" O.C. (TYP.)

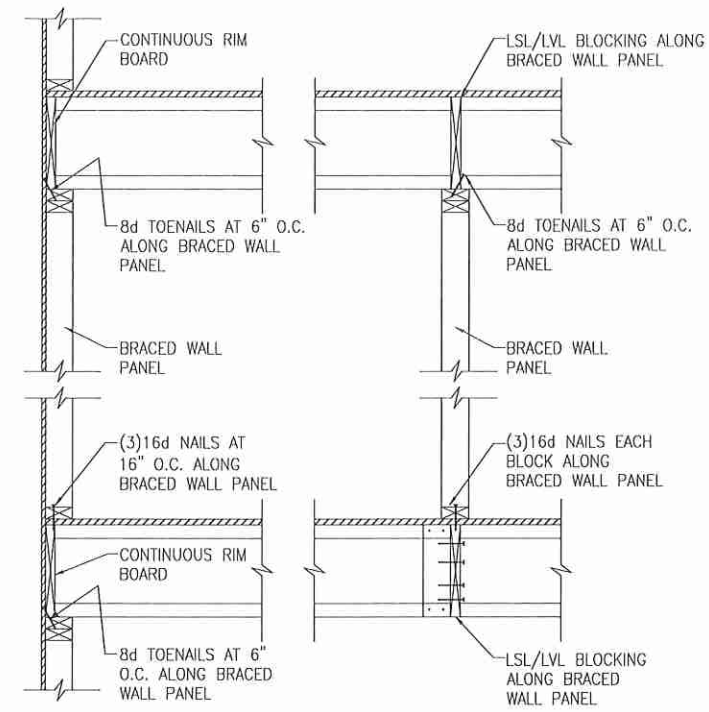


Roof Framing Plan
Elevation A
Jessamine Model - LH
120 M.P.H.
Carolina Division

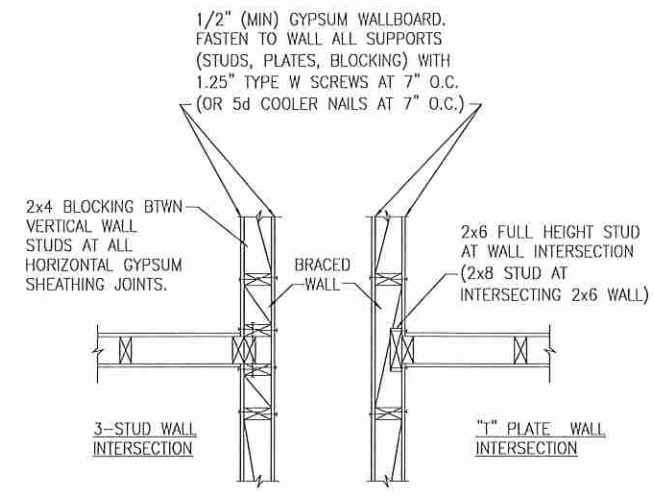
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Designed By: KRK
Checked By:
Issue Date: 4/5/19
Re-Issue:
Scale: 1/8"=1'-0" @ 11x17
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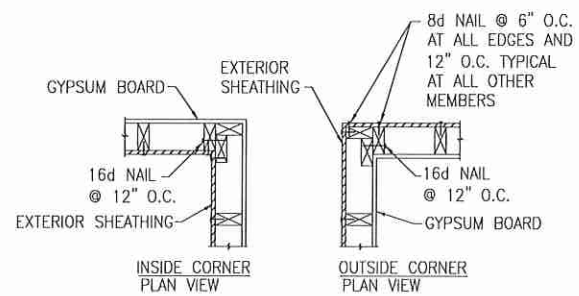
(A) TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION
BRACED WALL PANELS PARALLEL TO I-JOISTS



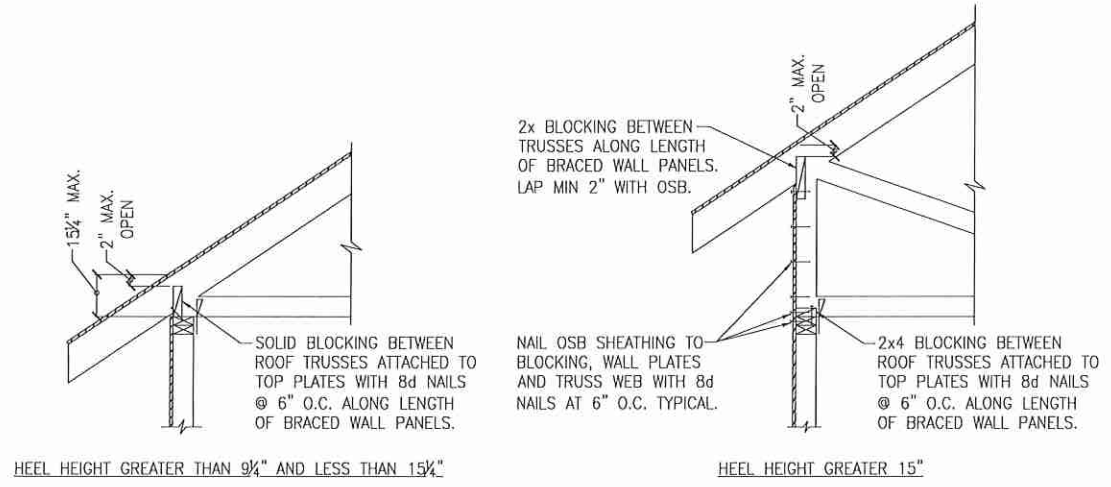
(B) TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION
BRACED WALL PANELS PERPENDICULAR TO I-JOISTS



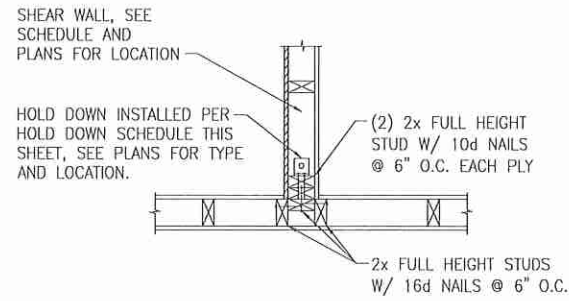
(C) METHOD GB(1) AND GB(2) INTERSECTION DETAILS



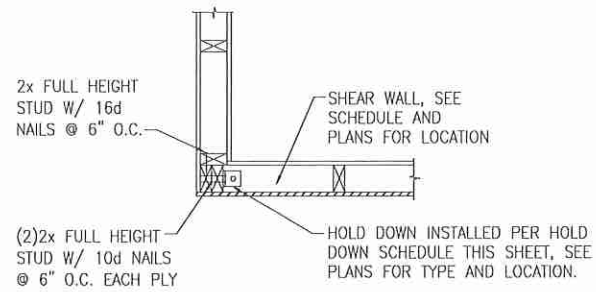
(D) TYPICAL EXTERIOR CORNER WALL FRAMING



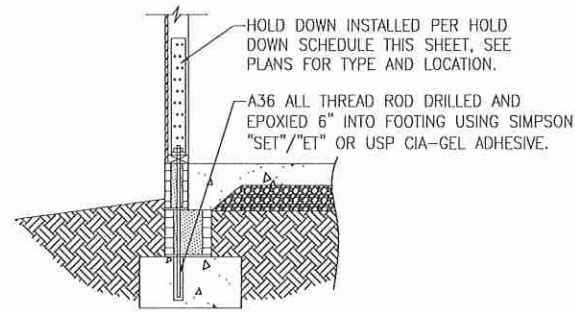
(E) ROOF TRUSS BEARING/BLOCKING AT BRACED WALL PANELS
ONLY REQUIRED AT BRACED WALL PANELS



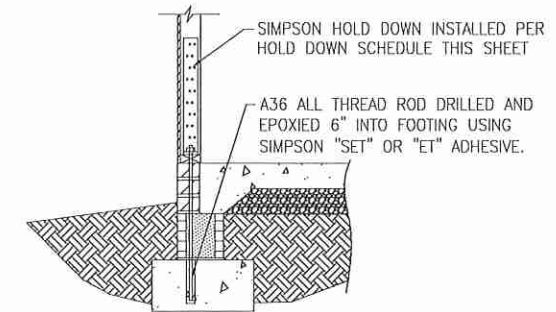
(A) TYPICAL HOLD DOWN DETAIL



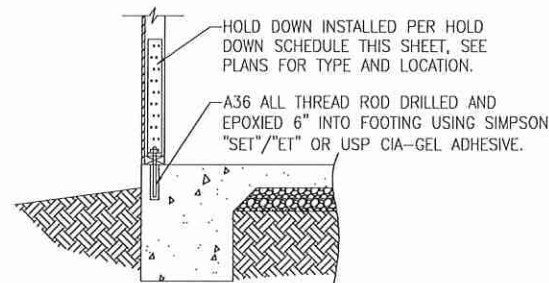
(B) TYPICAL HOLD DOWN DETAIL



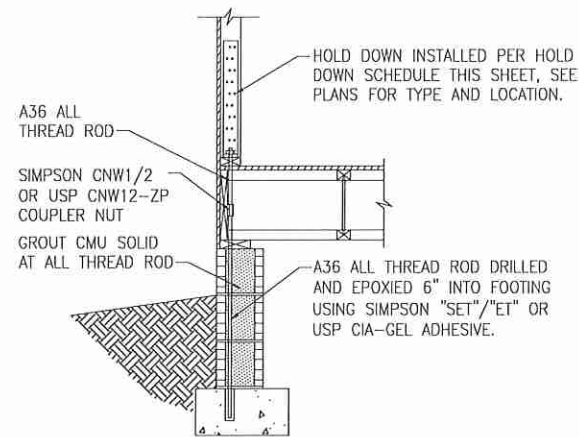
(C) HOLD DOWN AT STEMWALL SLAB FOUNDATION



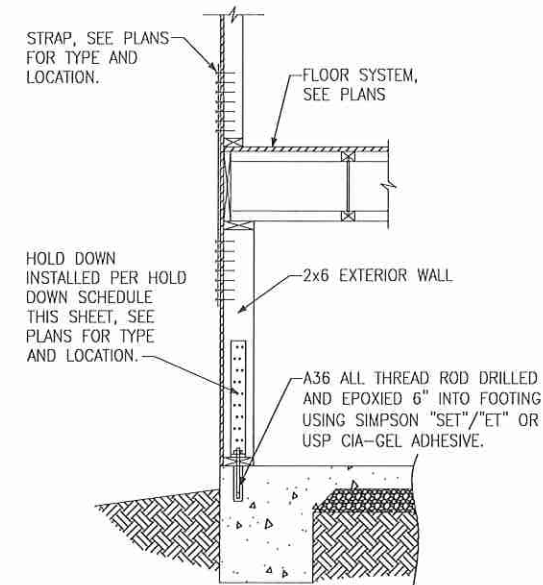
(C) HOLD DOWN AT STEMWALL SLAB



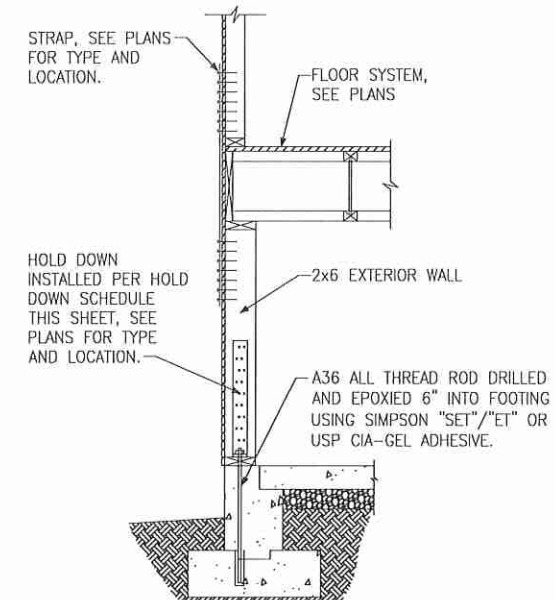
(D) HOLD DOWN AT MONOLITHIC SLAB FOUNDATION



(E) HOLD DOWN AT CRAWL SPACE FOUNDATION

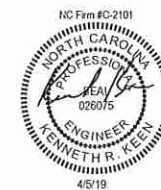


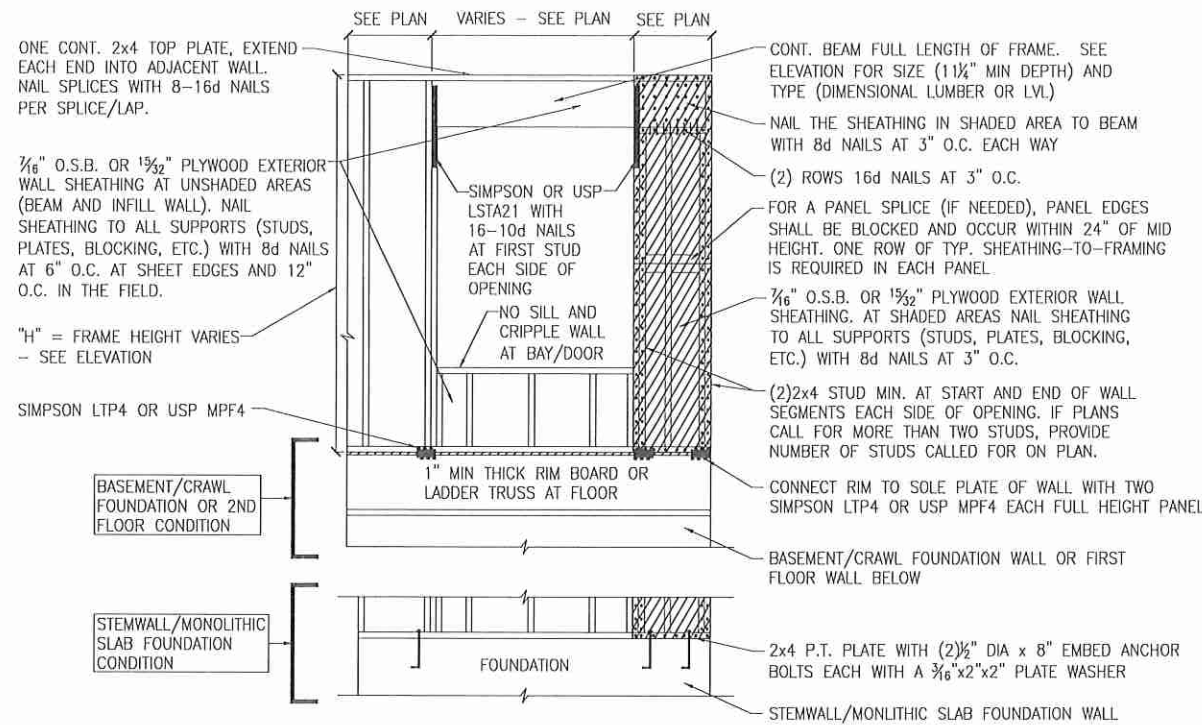
(F) HOLD DOWN AT BASEMENT FOUNDATION MONOLITHIC TURN-DOWN



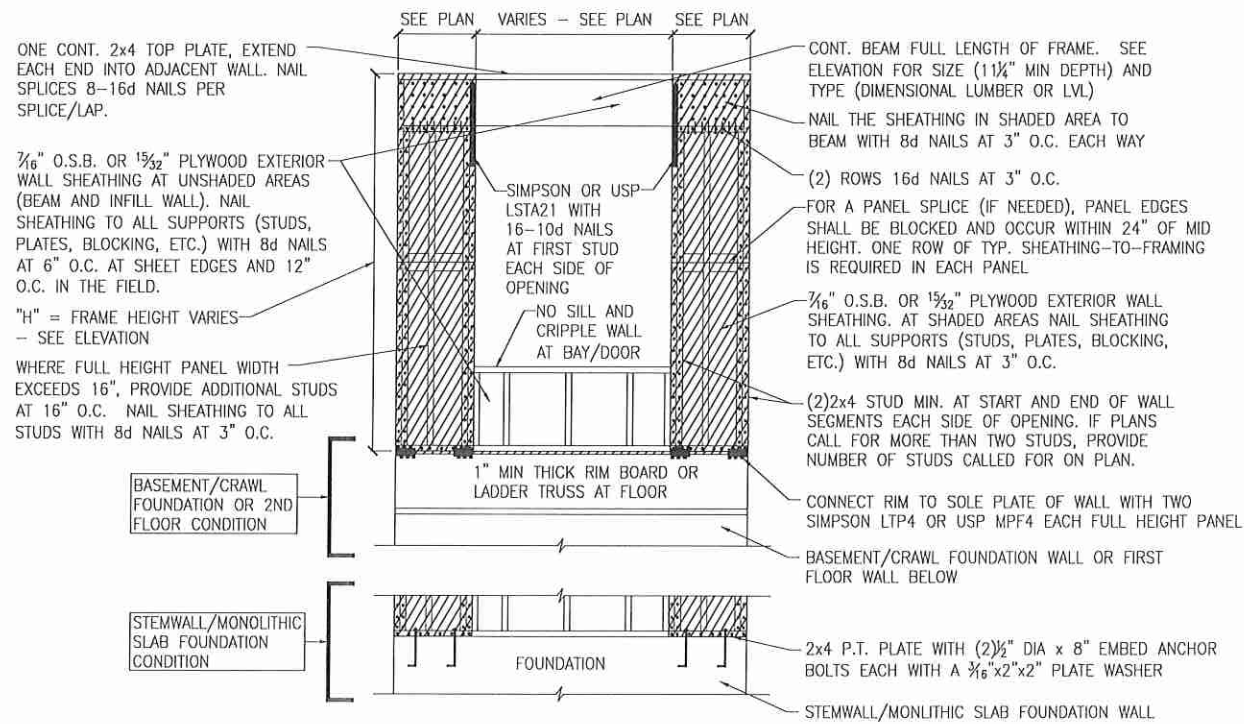
(G) HOLD DOWN AT BASEMENT FOUNDATION STEM WALL

HOLD DOWN SCHEDULE			
HOLD DOWN		ALL THREAD ROD	FASTENERS
SIMPSON	USP		
LTT20B	LTS20B	1/2" DIA.	(10)10d NAILS
HTT4	HTT16	5/8" DIA.	(18)16dx2 1/2" LONG NAILS
HTT5	HTT45	3/4" DIA.	(26)16dx2 1/2" LONG NAILS

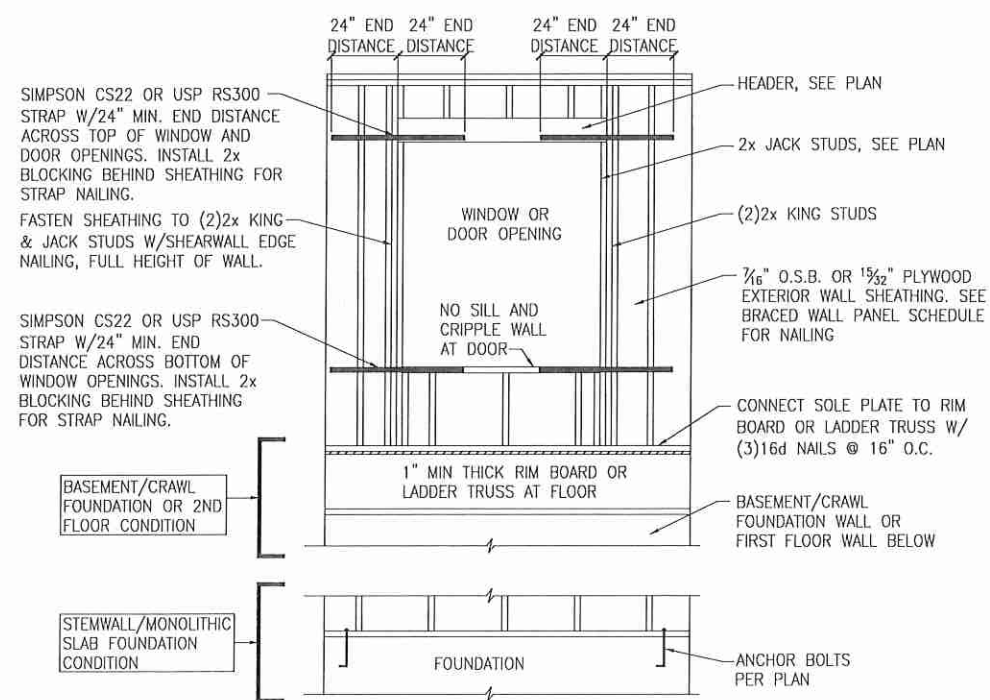




A METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION
ONE BRACED WALL SEGMENT



B METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION
TWO BRACED WALL SEGMENTS

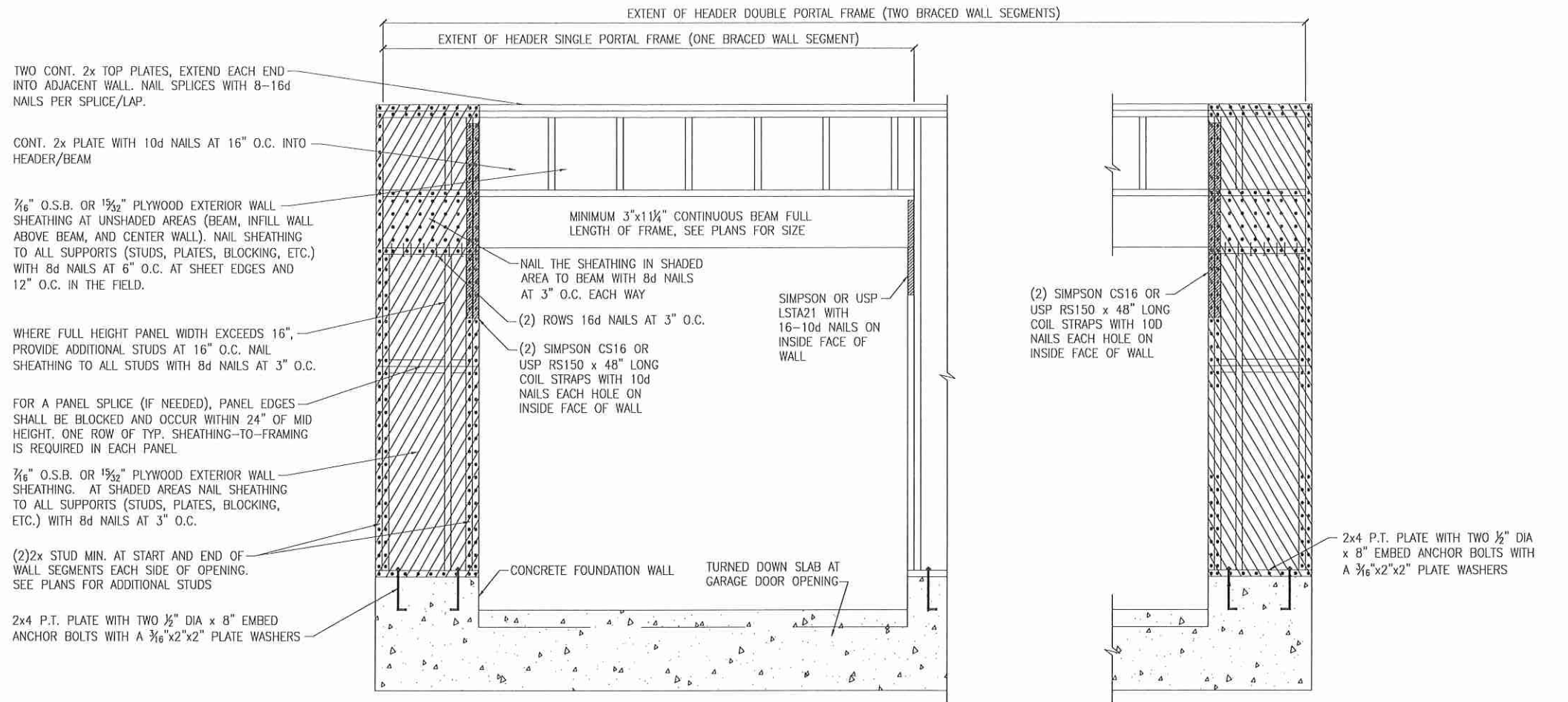


C WINDOW OR DOOR REINFORCEMENT IN ENGINEERED SHEAR WALL
ONLY REQUIRED WHERE SPECIFIED ON PLANS

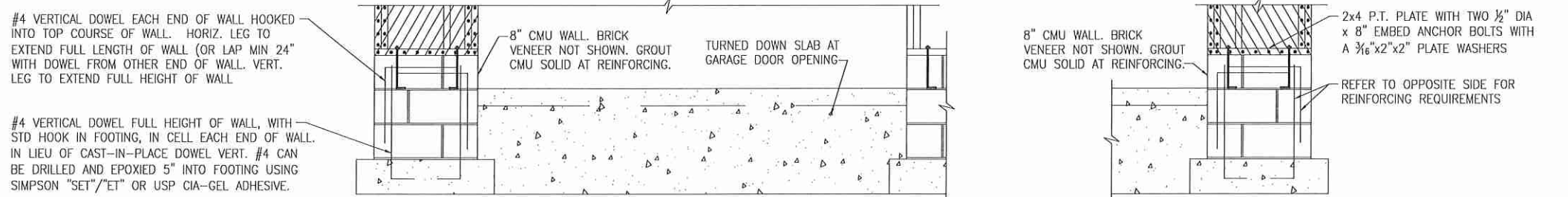
BRACED WALL PANEL AND ENGINEERED SHEAR WALL SCHEDULE			
PANEL TYPES	PANEL TYPE	MATERIAL	FASTENERS
WSP	INTERMITTENT WOOD STRUCTURAL PANEL	7/16" OSB	6D OR 8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. ENGINEERED ALTERNATIVE: 16 GAGE BY 1.75" LONG STAPLES AT 3" O.C. AT SHEET EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS
GB(1)	INTERMITTENT GYPSUM BOARD (SHEATHING ONE FACE OF WALL)	1/2" GYPSUM	1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
GB(1)-4	INTERMITTENT GYPSUM BOARD (SHEATHING ONE FACE OF WALL)	1/2" GYPSUM	1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 4" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
GB(2)	INTERMITTENT GYPSUM BOARD (SHEATHING BOTH FACES OF WALL)	1/2" GYPSUM	1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
CS-WSP	CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL	7/16" OSB	6D OR 8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. ENGINEERED ALTERNATIVE: 16 GAGE BY 1.75" LONG STAPLES AT 3" O.C. AT SHEET EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS
CS-PF	CONTINUOUS SHEATHED PORTAL FRAME	7/16" OSB	NAILING PER DETAIL
PFH	PORTAL FRAME WITH HOLD DOWNS	7/16" OSB	NAILING PER DETAIL
CS-ESW(1)	ENGINEERED SHEAR WALL, TYPE 1	7/16" OSB	8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS
CS-ESW(2)	ENGINEERED SHEAR WALL, TYPE 2	7/16" OSB	8D COMMON NAILS AT 4" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS
CS-ESW(3)	ENGINEERED SHEAR WALL, TYPE 3	7/16" OSB	8D COMMON NAILS AT 3" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS

BRACED WALL PANEL NOTES:

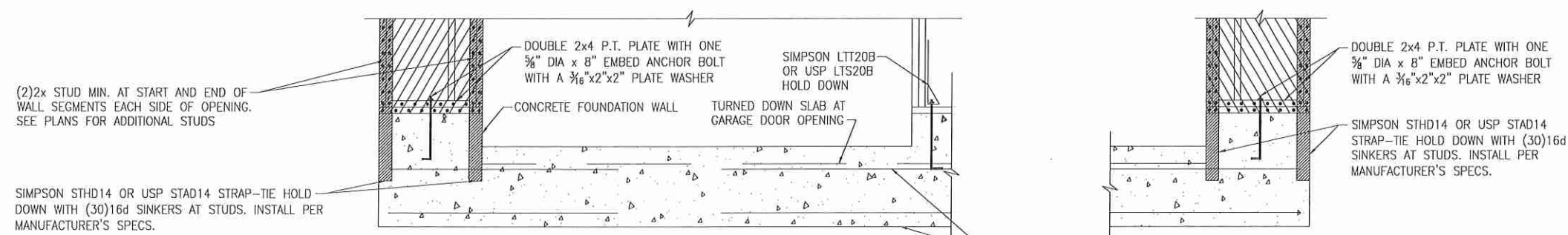
- ALL BRACED WALL PANELS, EXCEPT GB(1) & GB(2), SHALL HAVE 2x BLOCKING BETWEEN WALL STUDS AT ALL HORIZONTAL SHEET EDGES.
- PROVIDE NAILING/BLOCKING ABOVE AND BELOW ALL BRACED WALL PANELS PER KSE BRACED WALL DETAILS.
- SHEATH ALL EXTERIOR WALLS OF THE HOUSE WITH 7/16" O.S.B., OR 1 1/2" PLYWOOD, FASTENED PER IRC. AT EXTERIOR CORNERS, SHEATHING SHALL BE FASTENED PER KSE BRACED WALL DETAILS. AT INTERIOR WALL INTERSECTIONS, FASTEN STUDS & WALL BRACING PER KSE BRACED WALL DETAILS.
- BRACED WALL PANELS AND ENGINEERED SHEAR WALLS ARE PROVIDED PER IRC. PANEL LENGTHS SHOWN ON PLANS ARE THE MINIMUM LENGTH REQUIRED.



A METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION
 MONOLITHIC SLAB OR BASEMENT FOUNDATION

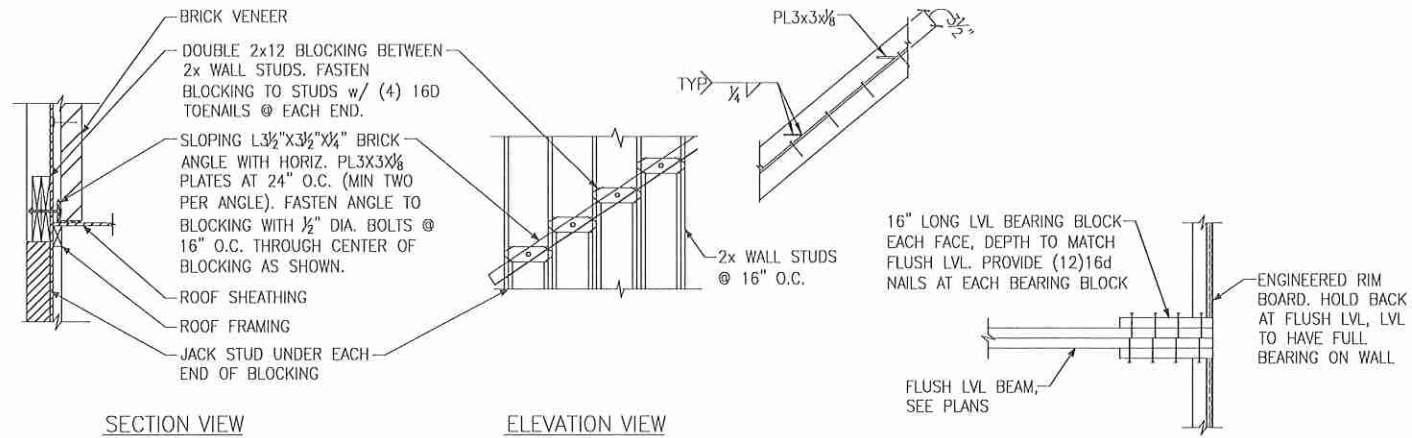


B METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION
 STEMWALL SLAB OR CRAWL SPACE FOUNDATION



C METHOD PFH: PORTAL FRAME WITH HOLD-DOWNS
 MONOLITHIC SLAB OR BASEMENT FOUNDATION

CONTINUOUS #4 HIGH AND LOW.
 PROVIDE MIN 24" LAPS WHERE SPLICED.

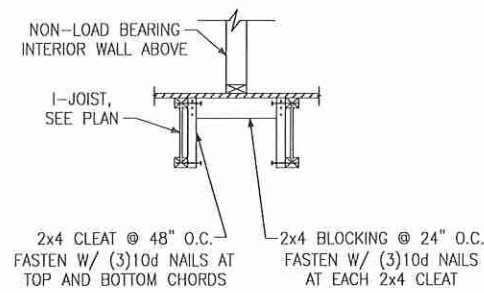


SECTION VIEW

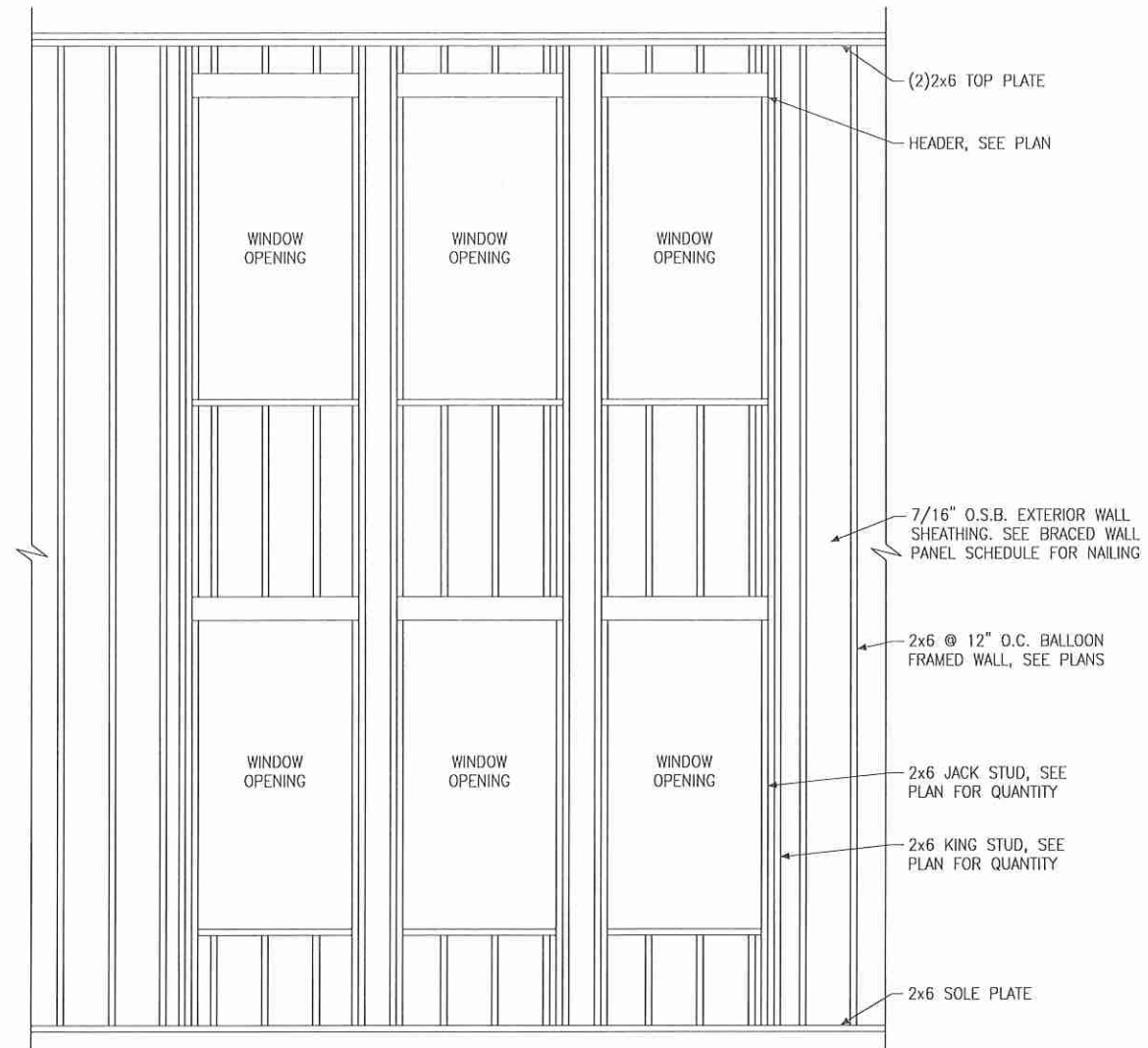
ELEVATION VIEW

(A) BRICK LEDGER CONNECTION DETAIL

(B) BEARING ENHANCER FLUSH LVL



(C) I-JOIST LADDER BLOCKING AS REQUIRED @ PARALLEL WALLS



(D) BALLOON FRAMED WALL DETAIL N.T.S.

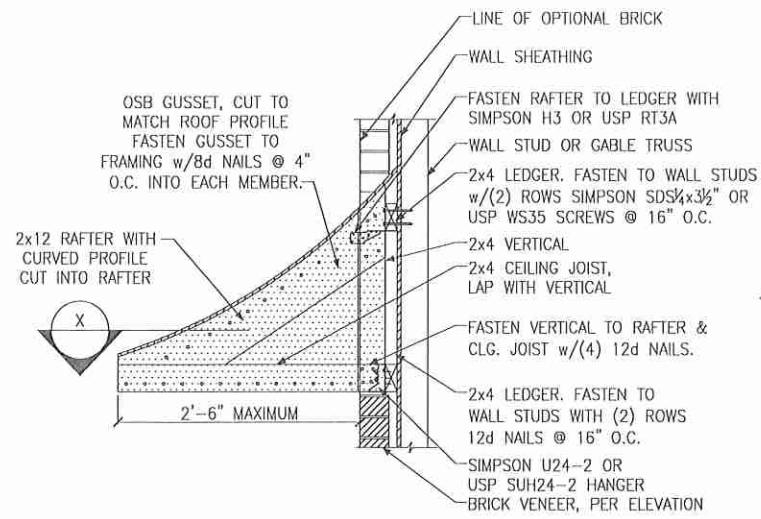


Miscellaneous Framing Details

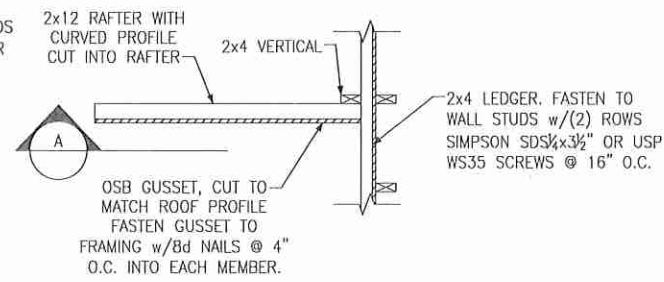
120 M.P.H.
Carolina Division

Project #: 105-19000
Designed By: KRK
Checked By:
Issue Date: 1/1/19
Re-Issue:
Scale: 1/8"=1'-0" @ 11x17
1/4"=1'-0" @ 22x34

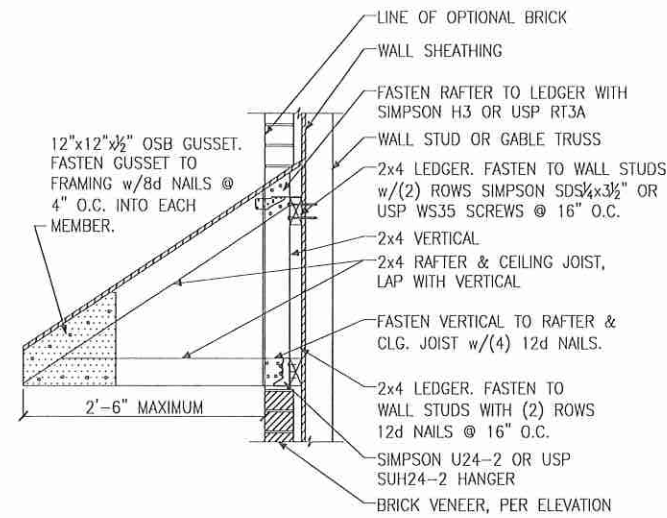




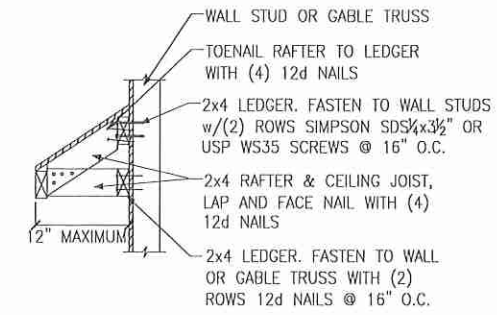
A PENT ROOF DETAIL
CURVED ROOF



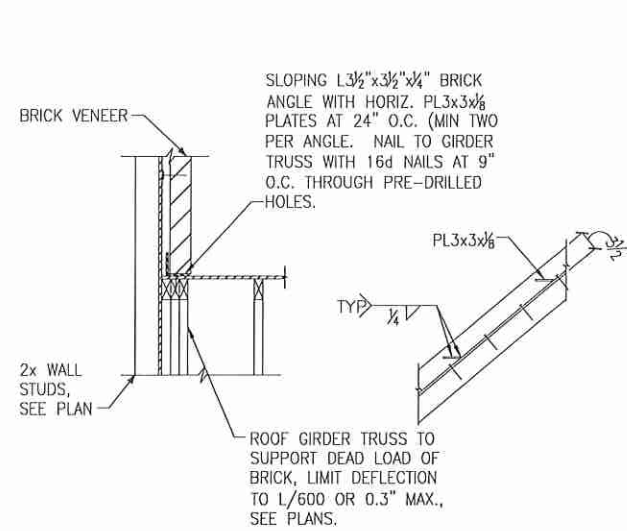
X SECTION
CURVED ROOF



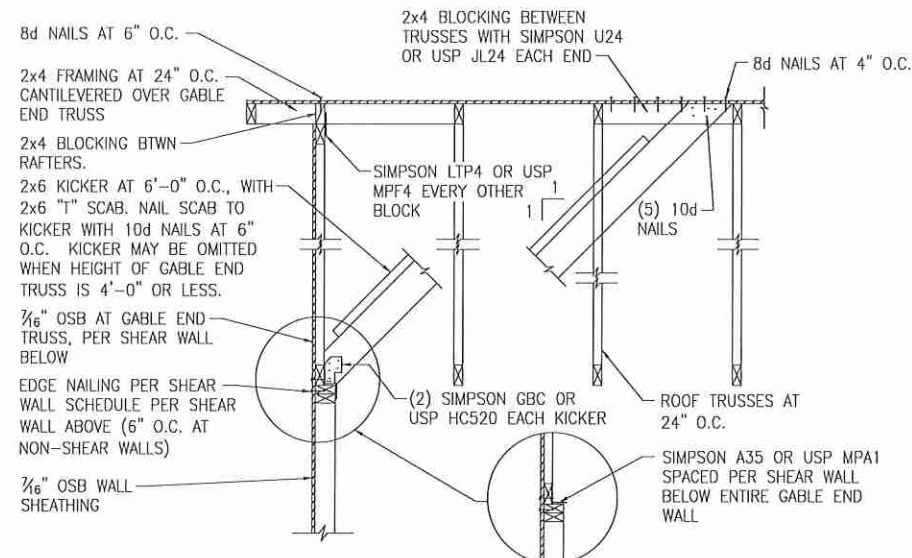
B PENT ROOF DETAIL
STRAIGHT ROOF



C EYEBROW ROOF DETAIL
STRAIGHT ROOF



D TRUSS DETAIL



E GABLE END WALL DETAIL



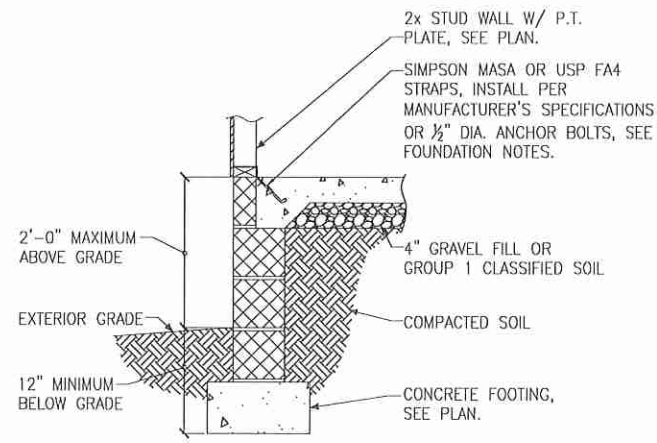
Miscellaneous Framing Details

120 M.P.H.
Carolina Division

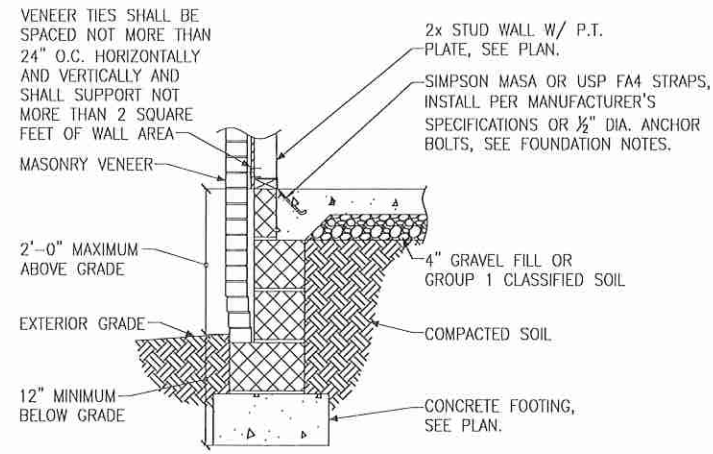
Project #: 105-19000
Designed By: KRK
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Issue Date: 1/1/19
Re-Issue:
Scale: 1/8"=1'-0" @ 11x17
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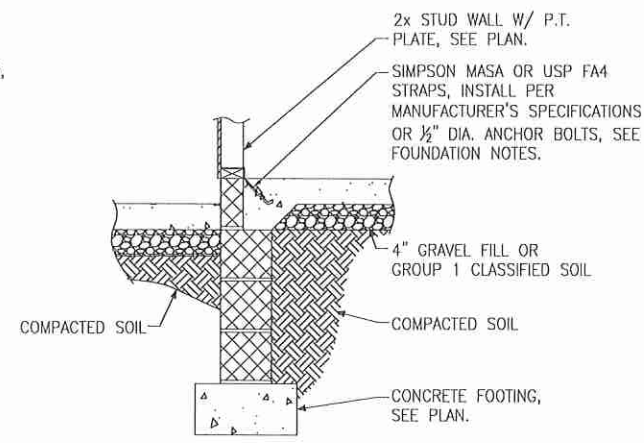
SD-6



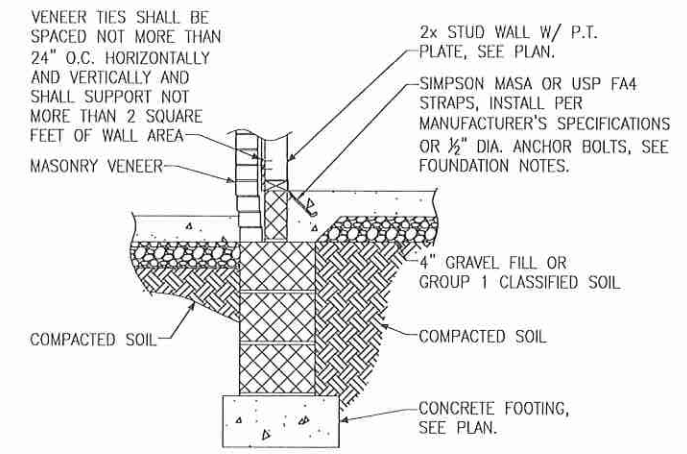
(A) FOUNDATION SECTION
EXTERIOR WALL



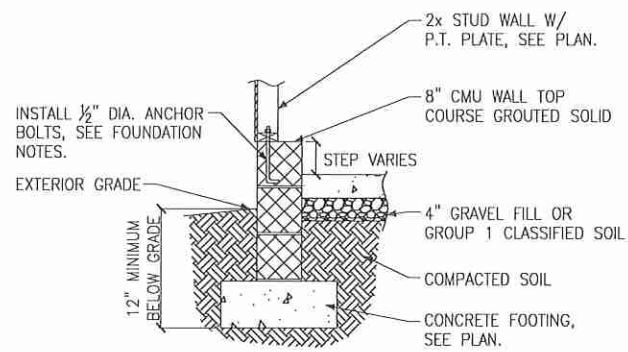
(B) FOUNDATION SECTION
EXTERIOR WALL @ MASONRY
VENEER



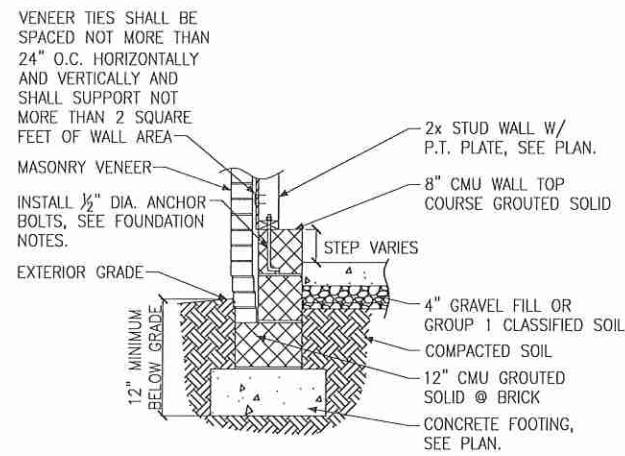
(C) FOUNDATION SECTION
EXTERIOR WALL AT PORCH



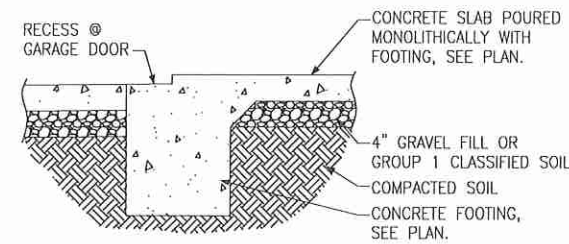
(D) FOUNDATION SECTION
EXTERIOR WALL AT PORCH W/ MASONRY
VENEER



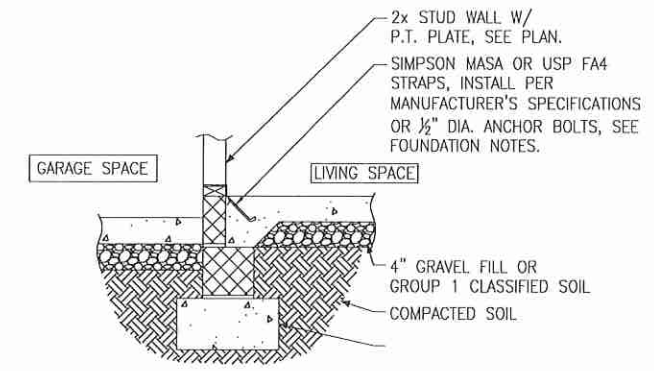
(E) FOUNDATION SECTION
EXTERIOR GARAGE WALL



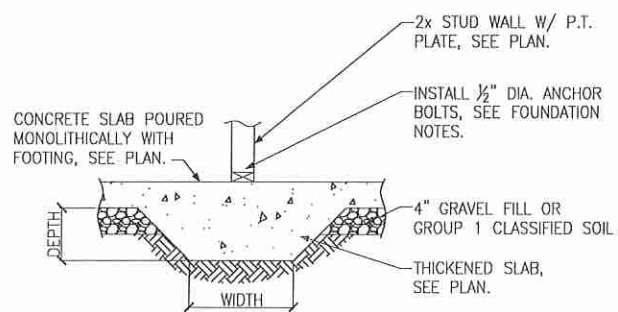
(F) FOUNDATION SECTION
EXTERIOR GARAGE WALL @ MASONRY
VENEER



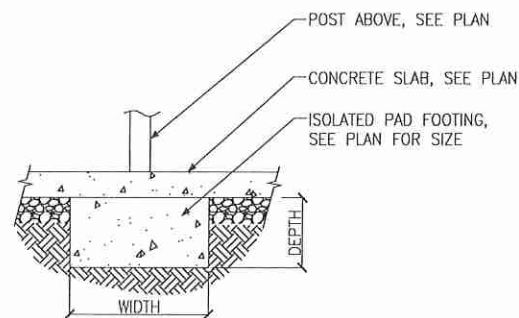
(G) FOUNDATION SECTION
GARAGE DOOR



(H) FOUNDATION SECTION
INTERIOR GARAGE WALL



(J) FOUNDATION SECTION
THICKENED SLAB



(K) FOUNDATION SECTION
ISOLATED PAD FOOTING