

# Harnett County Department of Public Health Improvement Permit

A building permit cannot be issued with only an Improvement Permit

SR 1429

ISSUED TO: LGI Homes LLC  
NEW  REPAIR  EXPANSION   
Type of Structure: 3-Bedroom 28' x 46' SFD  
Proposed Wastewater System Type: 25% reduction sys.  
Projected Daily Flow: 360 GPD  
Number of bedrooms: 3 Number of Occupants: 6 max  
Basement  Yes  No  
Pump Required:  Yes  No  May be required based on final location and elevations of facilities  
Type of Water Supply:  Community  Public  Well Distance from well NA feet  
Permit conditions: \_\_\_\_\_

PROPERTY LOCATION: 879 Avery Pond Dr. (Chalyhette Rd.)  
SUBDIVISION: Avery Pond #11D LOT # 138  
Site Improvements required prior to Construction Authorization Issuance: \_\_\_\_\_

Permit valid for:  Five years  
 No expiration

Authorized State Agent: [Signature] Date: 02/24/2020 SEE ATTACHED SITE SKETCH

The issuance of this permit by the Health Department in no way guarantees the issuance of other permits. The permit holder is responsible for checking with appropriate governing bodies in meeting their requirements. This site is subject to revocation if the site plan, plat, or the intended use changes. The Improvement Permit shall not be affected by a change in ownership of the site. This permit is subject to compliance with the provisions of the Laws and Rules for Sewage Treatment and Disposal and to conditions of this permit.

## Construction Authorization

(Required for Building Permit)

The construction and installation requirements of Rules 1950, 1952, 1954, 1955, 1956, 1957, 1958, and 1959 are incorporated by references into this permit and shall be met. Systems shall be installed in accordance with the attached system layout.

SR 1429

ISSUED TO: LGI Homes LLC

PROPERTY LOCATION: 879 Avery Pond Dr. (Chalyhette Rd.)  
SUBDIVISION: Avery Pond #11D LOT # 138

Facility Type: 3B 28' x 46' SFD  New  Expansion  Repair  
Basement?  Yes  No Basement Fixtures?  Yes  No

Type of Wastewater System\*\* 25% reduction system (Initial) Wastewater Flow: 360 GPD  
(See note below, if applicable )

25% reduction sys. (Repair)  
Installation Requirements/Conditions  
Septic Tank Size 1000 gallons  
Pump Tank Size \_\_\_\_\_ gallons  
Number of trenches 4  
Exact length of each trench 65 feet  
Trenches shall be installed on contour at a  
Maximum Trench Depth of: 18-24 inches  
(Trench bottoms shall be level to +1-1/4" in all directions)  
Trench Spacing: 9 Feet on Center  
Soil Cover: 6-12 inches  
(Maximum soil cover shall not exceed 36" above the trench bottom)

Pump Requirements: \_\_\_\_\_ ft. TDH vs. \_\_\_\_\_ GPM  
Aggregate Depth: NA inches below pipe  
NA inches above pipe  
NA inches total  
Conditions: proposal by Adams Soil Consulting

**WATER LINES (INCLUDING IRRIGATION) MUST BE 10FT. FROM ANY PART OF SEPTIC SYSTEM OR REPAIR AREA.  
NO UTILITIES ALLOWED IN INITIAL OR REPAIR DRAIN FIELD AREA.**

\*\*If applicable: I understand the system type specified is different from the type specified on the application. I accept the specifications of this permit.

Owner/Legal Representative Signature: \_\_\_\_\_ Date: \_\_\_\_\_

This Construction Authorization is subject to revocation if the site plan, plat, or the intended use changes. The Construction Authorization shall not be transferred when there is a change in ownership of the site. This Construction Authorization is subject to compliance with the provisions of the Laws and Rules for Sewage Treatment and Disposal and to the conditions of this permit. SEE ATTACHED SITE SKETCH

Authorized State Agent: [Signature] Date: 02/24/2020 05/13/2020  
Andrew Curran Construction Authorization Expiration Date: 02/24/2025 05/13/2025

Application # SFD2002-001572

## Harnett County Department of Public Health Site Sketch

Property Location: 879 AVERY POND DR. (CHALDEATE RD SW 1429)

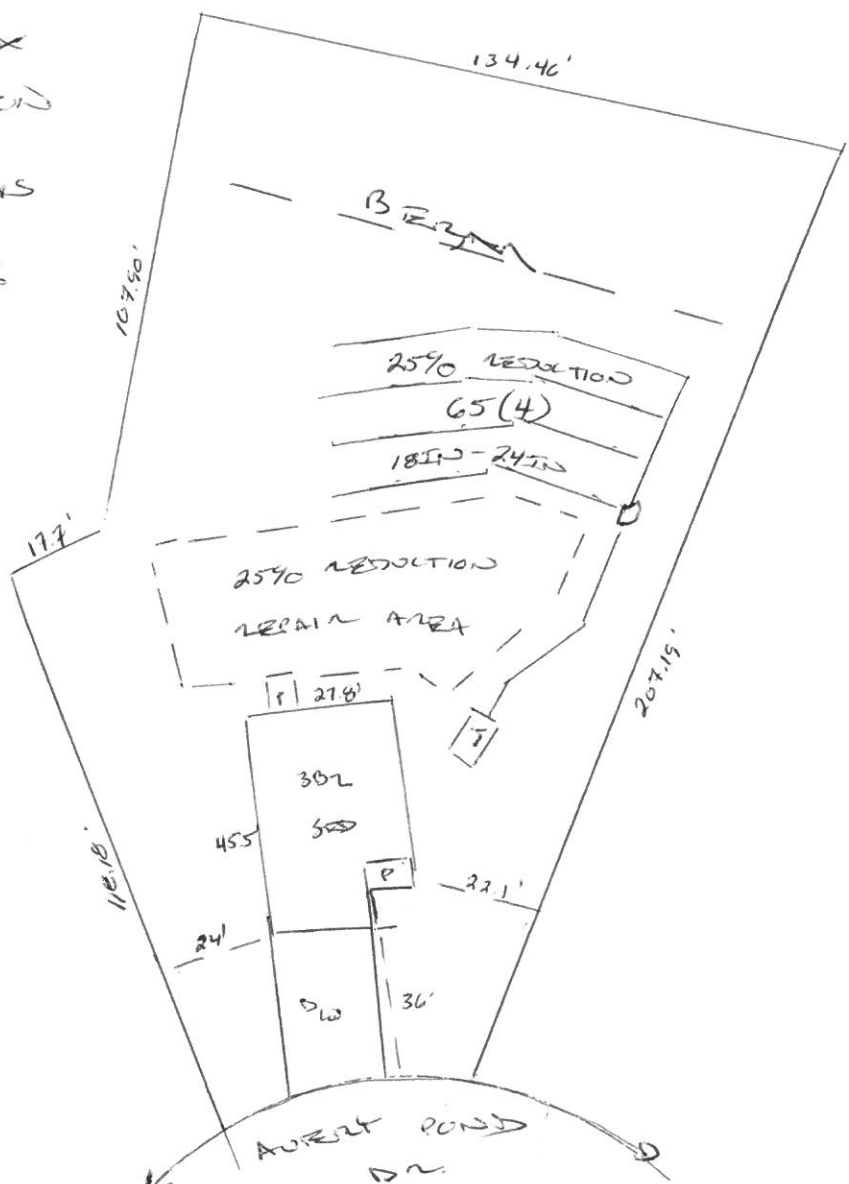
Issued To: LEE HOMES, LLC Subdivision AVERY POND FLD Lot # 138

Authorized State Agent: *[Signature]* Date: 05/13/2020

ANDREW CURRIN

\* GRAVITY TO D-BOX  
EQUAL DISTRIBUTION

\* PROPOSAL BY ADAMS  
SOIL CONSULTING



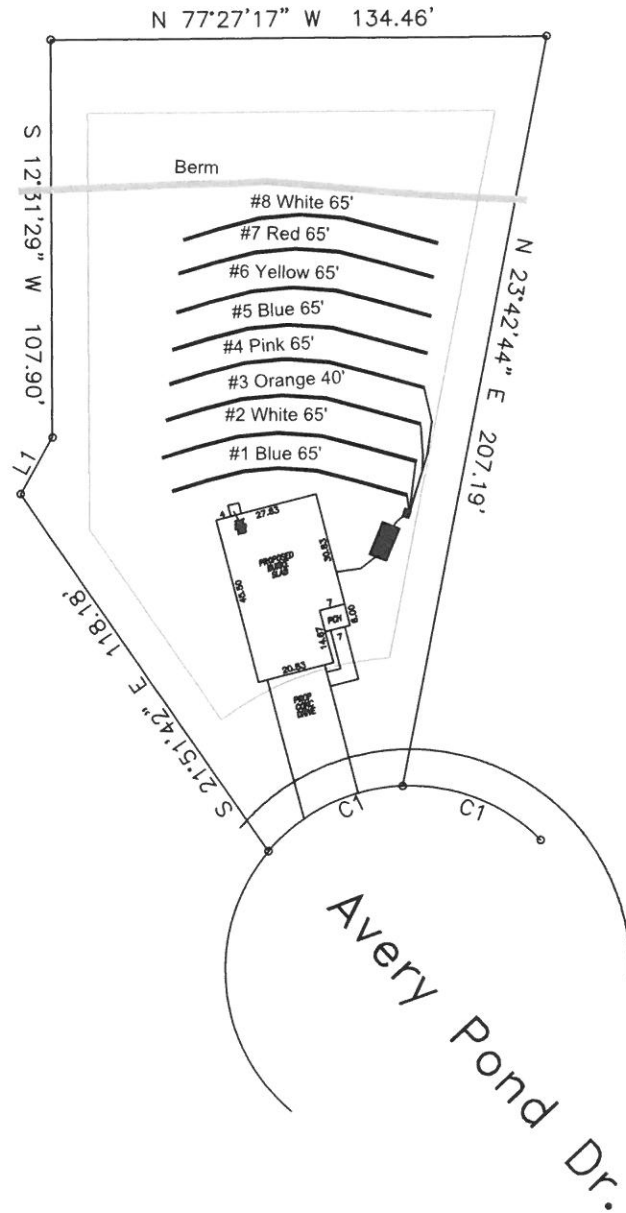
This drawing is for illustrative purposes only. System installation must meet all pertinent laws, rules, and regulations.

# Avery Pond

## 3-Bedroom Septic Proposal

### Lot #138 - Revised May 11, 2020

138



System: Gravity D-Box  
 Lines: 6-8 (270')  
 0.35 LTAR  
 24" Trench Bottom  
 Accepted Status System  
 Repair: Pressure Manifold  
 Lines: 1-3, 5 (260')  
 0.35 LTAR  
 24" Trench Bottom  
 Accepted Status System

GRAPHIC SCALE  
 1" = 50'



Adams  
 Soil Consulting  
 919-414-6761  
 Job #708

**Avery Pond**

**Lot #138**

3-Bedroom Home (360 gal./day)

<u>LINE #</u>	<u>COLOR</u>	<u>BS</u>	<u>HI</u>	<u>FS</u>	<u>ELEVATION</u>	<u>LINE LENGTH</u>	<u>Design Length</u>
TBM		2.0		100.0		<u>in field</u>	<u>installation</u>
INST. 1			102.0				
1	Blue			3.2	98.8	65	65
2	White			3.6	98.4	65	65
3	Orange			3.8	98.2	65	65
4	Pink			4	98	65	65
5	Blue			4.3	97.7	70	65
6	Yellow			4.6	97.4	75	65
7	Red			4.9	97.1	80	65
8	White			5.2	96.8	80	65
Total						565	520

	<u>System</u>	<u>Repair</u>
	Lines 1-4	Lines 5-8
<b>System Type</b>	Accepted Status System EZ-FLOW	Accepted Status System EZ-FLOW
<b>Suggested Soil LTAR</b>	0.35	0.35
<b>Total Line Length</b>	260	260
<b>Square Footage</b>	780	780
<b>Proposed Trench Bottom</b>	21-24"	21-24"
<b>Distribution Method</b>	Gravity to D-Box	Gravity to D-Box