

VICINITY MAP (NTS)

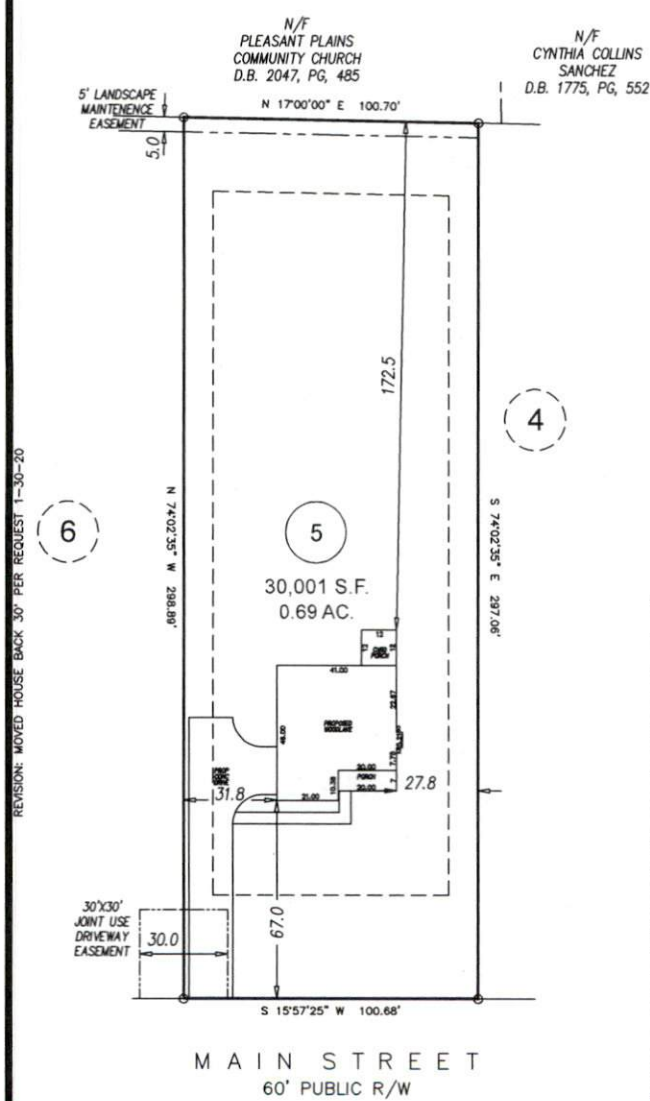
- LEGEND**
- AC=AIR CONDITIONING UNIT
 - BOC=BACK OF CURB
 - CBTV=CABLE TV
 - CB=CATCH BASIN
 - DW=CONC DRIVEWAY
 - EB=ELECTRIC BOX
 - EM=ELECTRIC METER
 - EOP=EDGE OF PAVEMENT
 - EP=ELECTRIC PEDESTAL
 - ICV=IRRIGATION CONTROL VALVE
 - N/F=NOW OR FORMERLY
 - LP=LIGHT POLE
 - MTR=METER
 - PO=PORCH
 - RCP=REINFORCED CONC PIPE
 - R/W=RIGHT OF WAY
 - SCO=CLEANOUT
 - SW=SIDEWALK
 - PP=POWER POLE
 - TP=TELEPHONE PEDESTAL
 - TR=TRANSFORMER
 - WM=WATER METER
 - CVRD=COVERED
 - IP=EXISTING IRON PIPE
 - ⊙ IRON PIPE SET
 - EIR=EXISTING IRON ROD

THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

SHAWN T. RUMBERGER, PLS L-4909 DATE

THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION. NO TITLE REPORT PROVIDED. ANY VISIBLE ENCROACHMENTS ARE SHOWN HEREON

- NOTES:
- 1) DRIVEWAY IMPERVIOUS CALCULATION SHOWN HEREON CALCULATED TO THE FRONT PROPERTY LINE/RIGHT-OF-WAY. GENERAL NOTES:
 1. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
 2. AREAS SHOWN HEREON WERE COMPUTED USING THE COORDINATE METHOD.
 3. LINES NOT SURVEYED ARE SHOWN AS DASHED LINES FROM INFORMATION REFERENCED ON THE FACE OF THIS SURVEY.
 4. PROPERTY MAY BE SUBJECT TO ANY/ALL EASEMENTS AND RESTRICTIONS OF RECORD. THIS SURVEY IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND OR DEEDED AND HAS BEEN PREPARED IN CONFORMITY WITH NORTH CAROLINA STANDARDS, G.S. 47-30, AND REQUIREMENTS OF LAW, BUT WITHOUT A FULL TITLE REPORT. A NORTH CAROLINA LICENSED ATTORNEY-AT-LAW SHOULD BE CONSULTED REGARDING CORRECT OWNERSHIP, WIDTH AND LOCATION OF EASEMENTS, AND OTHER TITLE QUESTIONS REVEALED BY TITLE EXAMINATION.

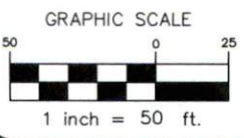
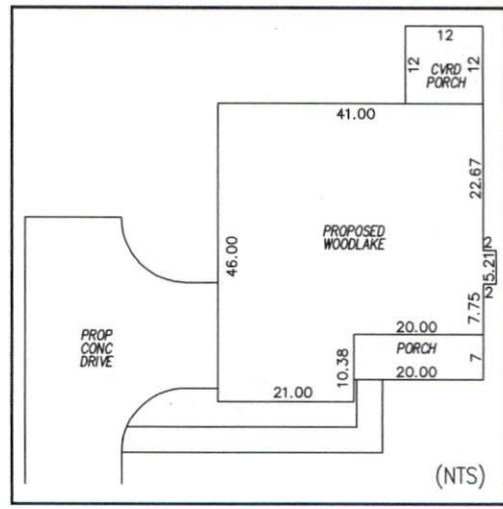


SETBACKS

FRONT	35'
SIDE	10'
REAR	25'
CORNER	20'
MAXIMUM HEIGHT	35'

IMPERVIOUS AREA

HOUSE	1,973 SQ.FT.
DRIVE TO R/W	1,716 SQ.FT.
WALK	190 SQ.FT.
TOTAL	3,879 SQ.FT.



PRELIMINARY PLOT PLAN

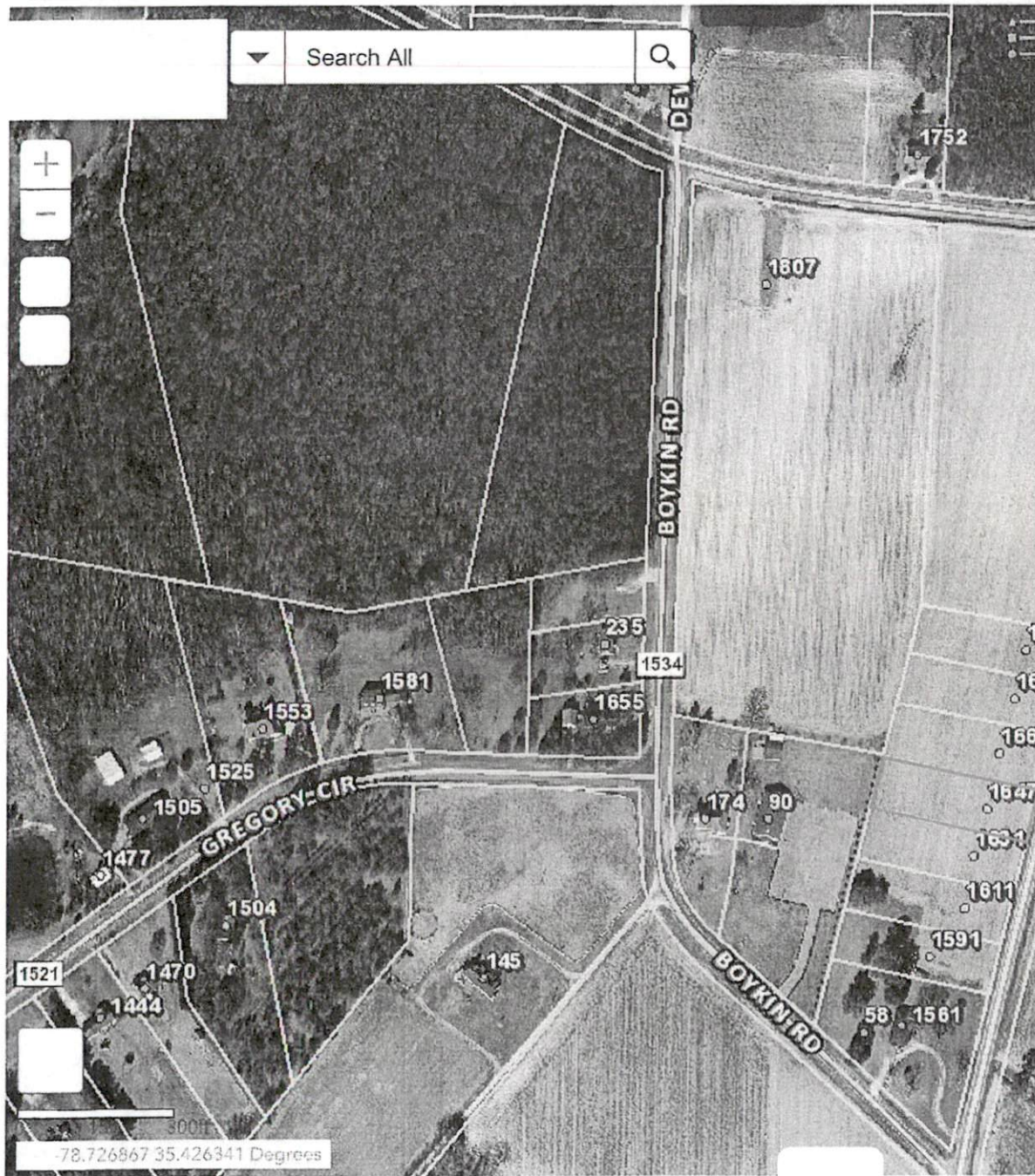
PROJECT:	20-001 PBC
DRAWN BY:	SEER
SCALE:	1"=50'
DATE:	01-21-2020

FOR
GARY ROBINSON
 MAIN STREET
 LOT 05 PROPERTIES OF B.C LLC SUBDIVISION
 NEILL'S CREEK TWP., HARNETT CO., NC
 P.B. 2019, PG. 268, 322.

ECLS GLOBAL, INC
 U.S. VETERAN-OWNED
 19 N MCKINLEY ST
 COATS, NC 27521
 910.897.3257 ECLSGLOBALINC.COM
 910.897.2329 (FAX) CO#C-4175



Search All



Info Window

(1 of 1)

[Clear](#)

Owners: PROPERTIES OF B C LLC



[CLICK for Parcel Report](#)

Tax Parcel

PIN - 0681-01-6137.000
PID - 110681 0007 04

Owner

PROPERTIES OF B C LLC

Mailing Address - PO BOX 157 BUIES CREEK, NC 27506-0157

Account Number - 1500031014

Address

1647 MAIN ST LILLINGTON, NC 27546

Address Type - Vacant

Address Use -

Development - PROPERTIES OF B C LLC 2019

Township - *view reference Layer - Boundaries > Townships*

Property

Description - LOT#5 PROPERTIES OF B C LLC
MAP#2019-322

Government Owned Property -

Deed Date - 2019/03/26

-78.726867 35.426341 Degrees