

02/06/2020

NOTICE TO CONTRACTOR

All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED

Limited building only review
Permit holder responsible for
full compliance with the code



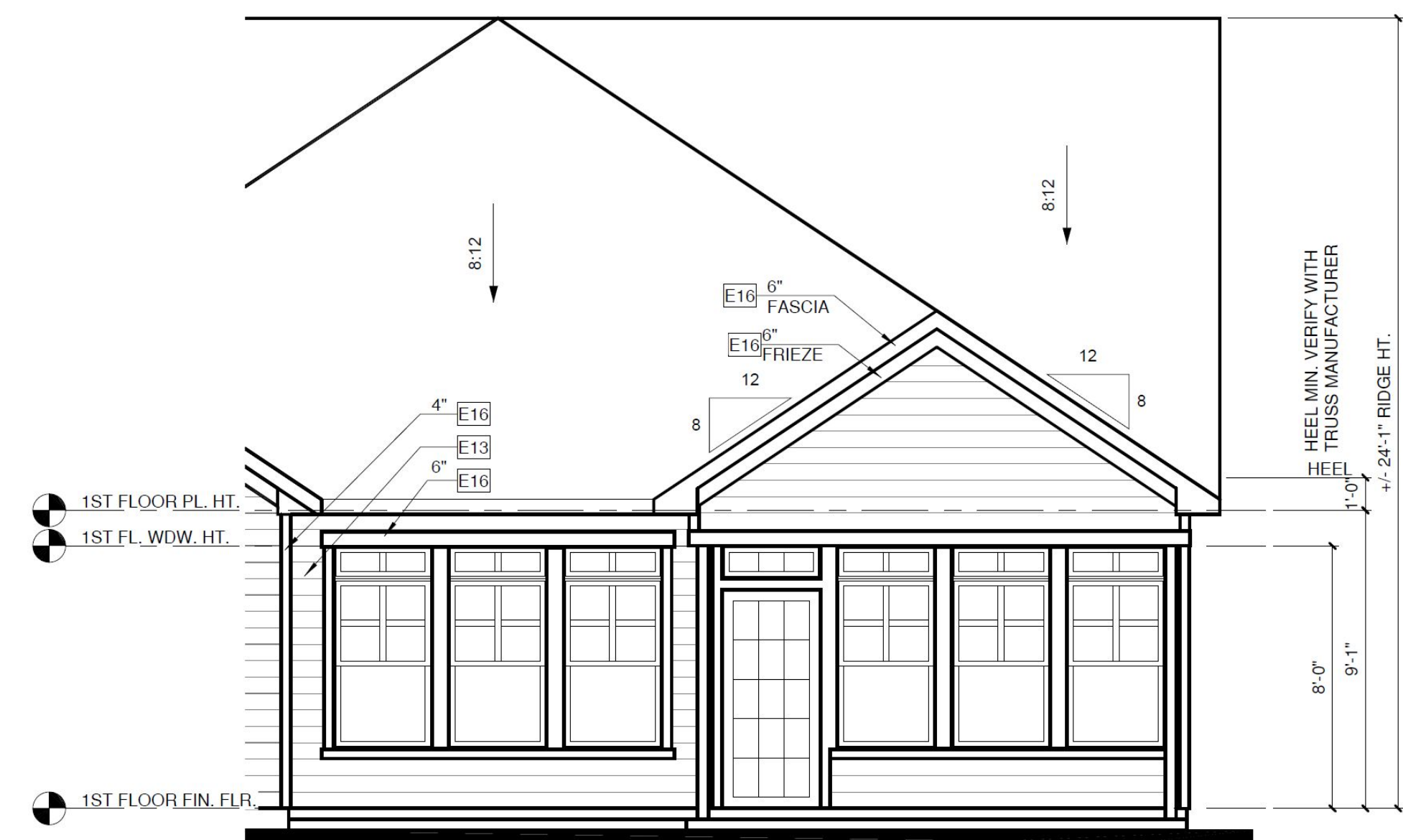
McKee Homes, LLC
Lot 1019 Anderson Creek Carriage Glen
Torino II Craftsman
RH Monoslab Foundation

| <p>BUILDING CODE COMPLIANCE / PROJECT INFORMATION</p> <p>ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH THE LOCAL JURISDICTION.</p> <p>APPLICABLE CODES: FOLLOW ALL APPLICABLE STATE AND LOCAL CODES. 2018 NORTH CAROLINA STATE RESIDENTIAL CODE</p> <p>CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.</p> <p>PRODUCT: SINGLE FAMILY RESIDENCE</p> <p>OCCUPANCY CLASSIFICATION RESIDENTIAL R-3</p> <p>CONSTRUCTION TYPE: TYPE VB (2 HOUR DWELLING SEPARATION BETWEEN UNITS.)</p> | <p>INDEX</p> <p>1.1 ELEVATIONS 'CRAFTSMAN' 1.2 ELEVATIONS 'CRAFTSMAN' 1.3 ROOF PLAN 'CRAFTSMAN' 1.4 SECTIONS 1.5 FIRST FLOOR PLAN 'CRAFTSMAN' 1.6 FIRST FLOOR UTILITY PLAN</p> <p>ALL CONSULTANT DRAWINGS ACCOMPANYING THESE GMD DESIGN GROUP DRAWINGS HAVE NOT BEEN PREPARED BY OR UNDER THE DIRECTION OF GMD DESIGN GROUP, INC. GMD DESIGN GROUP INC. THEREFORE ASSUMES NO LIABILITY FOR THE COMPLETENESS OR CORRECTNESS OF THESE DRAWINGS.</p> | <p>ELEV. 'CRAFTSMAN' AREA</p> <table border="1"> <thead> <tr> <th>Name</th> <th>Area</th> </tr> </thead> <tbody> <tr> <td>FIRST FLOOR</td> <td>1927 SF</td> </tr> <tr> <td>HEATED</td> <td>1927 SF</td> </tr> <tr> <td>COVERED PORCH</td> <td>449 SF 194 SF</td> </tr> <tr> <td>GARAGE</td> <td>541 SF</td> </tr> <tr> <td>PATIO</td> <td>219 SF 162 SF</td> </tr> <tr> <td>PORCH</td> <td>228 SF</td> </tr> <tr> <td>UNHEATED</td> <td>1124 SF</td> </tr> </tbody> </table> | Name | Area | FIRST FLOOR | 1927 SF | HEATED | 1927 SF | COVERED PORCH | 449 SF 194 SF | GARAGE | 541 SF | PATIO | 219 SF 162 SF | PORCH | 228 SF | UNHEATED | 1124 SF | <p>AREA OPTIONS</p> <table border="1"> <thead> <tr> <th>Name</th> <th>Area</th> </tr> </thead> <tbody> <tr> <td>OPT. SITTING ROOM</td> <td>146 SF</td> </tr> <tr> <td>HEATED</td> <td>146 SF</td> </tr> </tbody> </table> | Name | Area | OPT. SITTING ROOM | 146 SF | HEATED | 146 SF |
|--|--|---|------|------|-------------|---------|--------|---------|---------------|--------------------------|--------|--------|-------|--------------------------|-------|--------|----------|---------|--|------|------|-------------------|--------|--------|--------|
| Name | Area | | | | | | | | | | | | | | | | | | | | | | | | |
| FIRST FLOOR | 1927 SF | | | | | | | | | | | | | | | | | | | | | | | | |
| HEATED | 1927 SF | | | | | | | | | | | | | | | | | | | | | | | | |
| COVERED PORCH | 449 SF 194 SF | | | | | | | | | | | | | | | | | | | | | | | | |
| GARAGE | 541 SF | | | | | | | | | | | | | | | | | | | | | | | | |
| PATIO | 219 SF 162 SF | | | | | | | | | | | | | | | | | | | | | | | | |
| PORCH | 228 SF | | | | | | | | | | | | | | | | | | | | | | | | |
| UNHEATED | 1124 SF | | | | | | | | | | | | | | | | | | | | | | | | |
| Name | Area | | | | | | | | | | | | | | | | | | | | | | | | |
| OPT. SITTING ROOM | 146 SF | | | | | | | | | | | | | | | | | | | | | | | | |
| HEATED | 146 SF | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>GENERAL NOTES:</p> <p>THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR REVISED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.</p> <p>CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK.</p> <p>ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION IMMEDIATELY.</p> <p>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.</p> <p>ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.</p> <p>ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.</p> <p>ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.</p> <p>ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.</p> <p>PROVIDE FIREBLOCKING. (PER LOCAL CODES.)</p> <p>ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS. CONTRACTOR TO VERIFY.</p> <p>PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR, TOWEL RING AND/OR TOILET PAPER HOLDER LOCATIONS, AS SHOWN PER PLAN. TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK.</p> <p>ELASTOMERIC SHEET WATERPROOFING: FURNISH AND INSTALL ALL WATERPROOFING COMPLETE. A 40 MIL. SELF-ADHERING MEMBRANE OF RUBBERIZED ASPHALT INTEGRALLY BONDED TO POLYETHYLENE SHEETING, OR EQUAL. INSTALL PER MANUFACTURER'S AND TRADE ASSOCIATION'S PRINTED INSTALLATION INSTRUCTIONS. 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES.</p> <p>TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.</p> <p>SHOP DRAWING REVIEW AND DISTRIBUTION, ALONG WITH PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT.</p> <p>DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.</p> <p>THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.</p> | | <p>BUILDER SET:</p> <p>THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A "BUILDER'S SET" OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HEREINAFTER REFERRED TO AS "PLANS". THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS, AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THEY ARE NOT INTENDED TO SPECIFY PARTICULAR PRODUCTS OR OTHER METHODS OF ANY SPECIFIC MATERIALS, PRODUCT OR METHOD. THE IMPLEMENTATION OF THE PLANS REQUIRES A CLIENT / CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.</p> <p>CONSTRUCTION REQUIREMENTS AND QUALITY: PROVIDE WORK OF THE SPECIFIC QUALITY; WHERE QUALITY LEVEL IS NOT INDICATED, PROVIDE WORK OF QUALITY CUSTOMARY IN SIMILAR TYPES OF WORK. WHERE THE PLANS AND SPECIFICATIONS, CODES, LAWS, REGULATIONS, MANUFACTURER'S RECOMMENDATIONS OR INDUSTRY STANDARDS REQUIRE WORK OF HIGHER QUALITY OR PERFORMANCE, PROVIDE WORK COMPLYING WITH THOSE REQUIREMENTS AND QUALITY. WHERE TWO OR MORE QUALITY PROVISIONS OF THOSE REQUIREMENTS CONFLICT WITH THE MOST STRINGENT REQUIREMENT; WHERE REQUIREMENTS ARE DIFFERENT BUT APPARENTLY EQUAL, AND WHERE IT IS UNCERTAIN WHICH REQUIREMENT IS MOST STRINGENT, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.</p> <p>THE OWNER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOILS REPORT), ON THE STUDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOILS CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE CRITERIA.</p> <p>ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL OTHER AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.</p> <p>PROVIDE AN APPROVED WASHER DRAIN PAN AT SECOND FLOOR ONLY THAT DRAINS TO EXTERIOR.</p> <p>WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR OPENABLE AREA OF 4.0 SQ FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 22" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". GLAZING TOTAL AREA OF NOT LESS THAN 5.0 SQ FT IN THE CASE OF A GROUND WINDOW AND NOT LESS THAN 5.7 SQ FT IN THE CASE OF AN UPPER STORY WINDOW. (PER NCRS SECTION R310.1.1)</p> <p>ALL HANDRAIL BALLUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALLUSTERS. (PER LOCAL CODES.)</p> <p>PROVIDE STAIR HANDRAILS AND GUARDRAILS PER LOCAL CODES.</p> | | | | | | | | | | | | | | | | | | | | | | | |

SHEET TITLE:
COVER SHEET

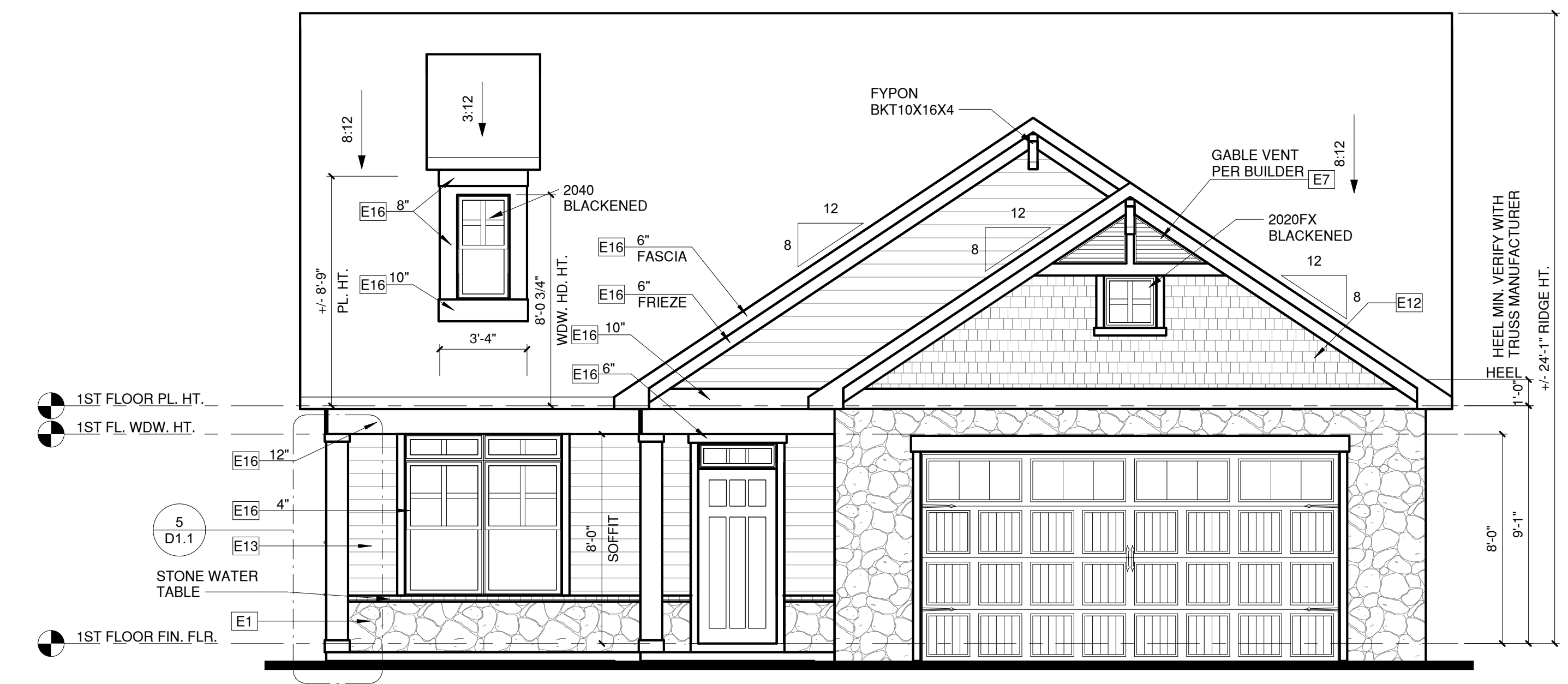
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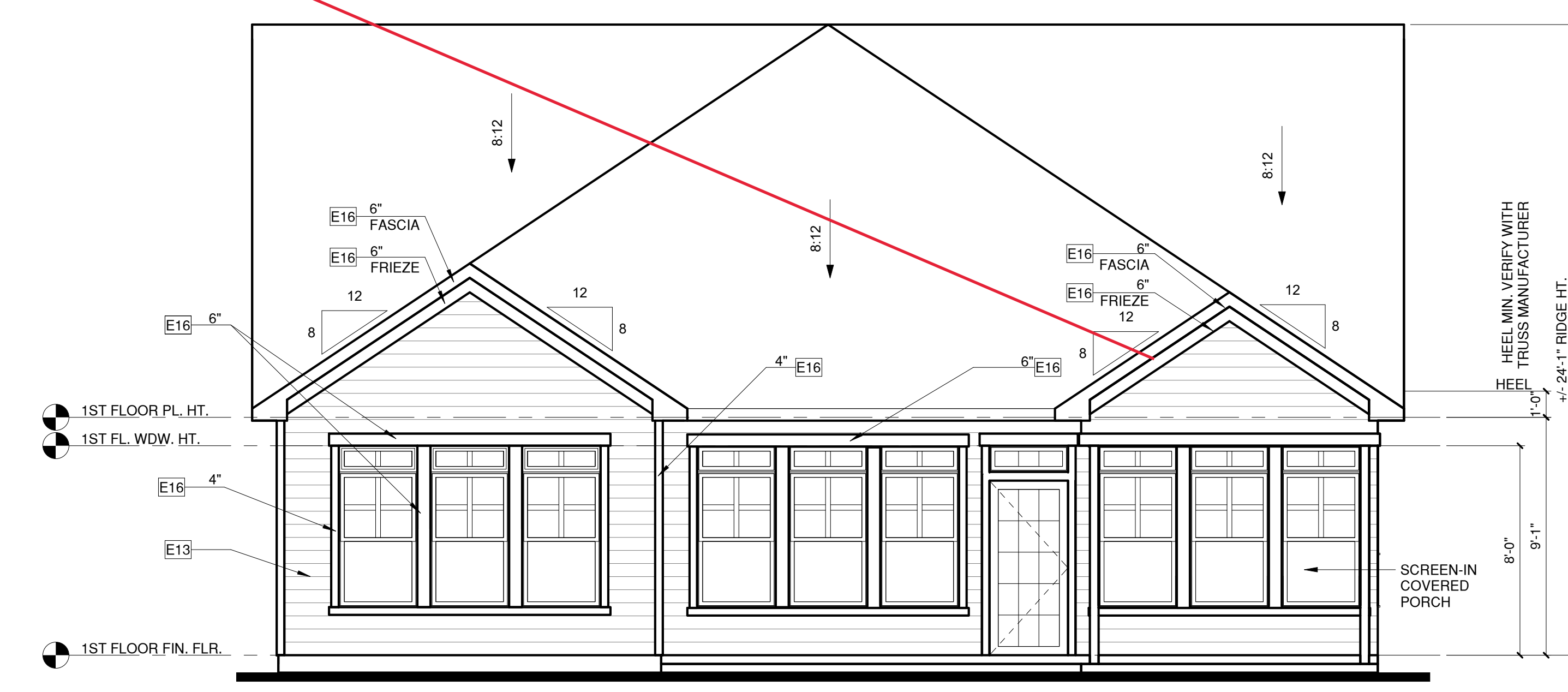


REAR ELEVATION W/ OPT. COVERED PORCH
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

USE THIS COVERED PORCH ELEVATION



FRONT ELEVATION 'CRAFTSMAN'
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

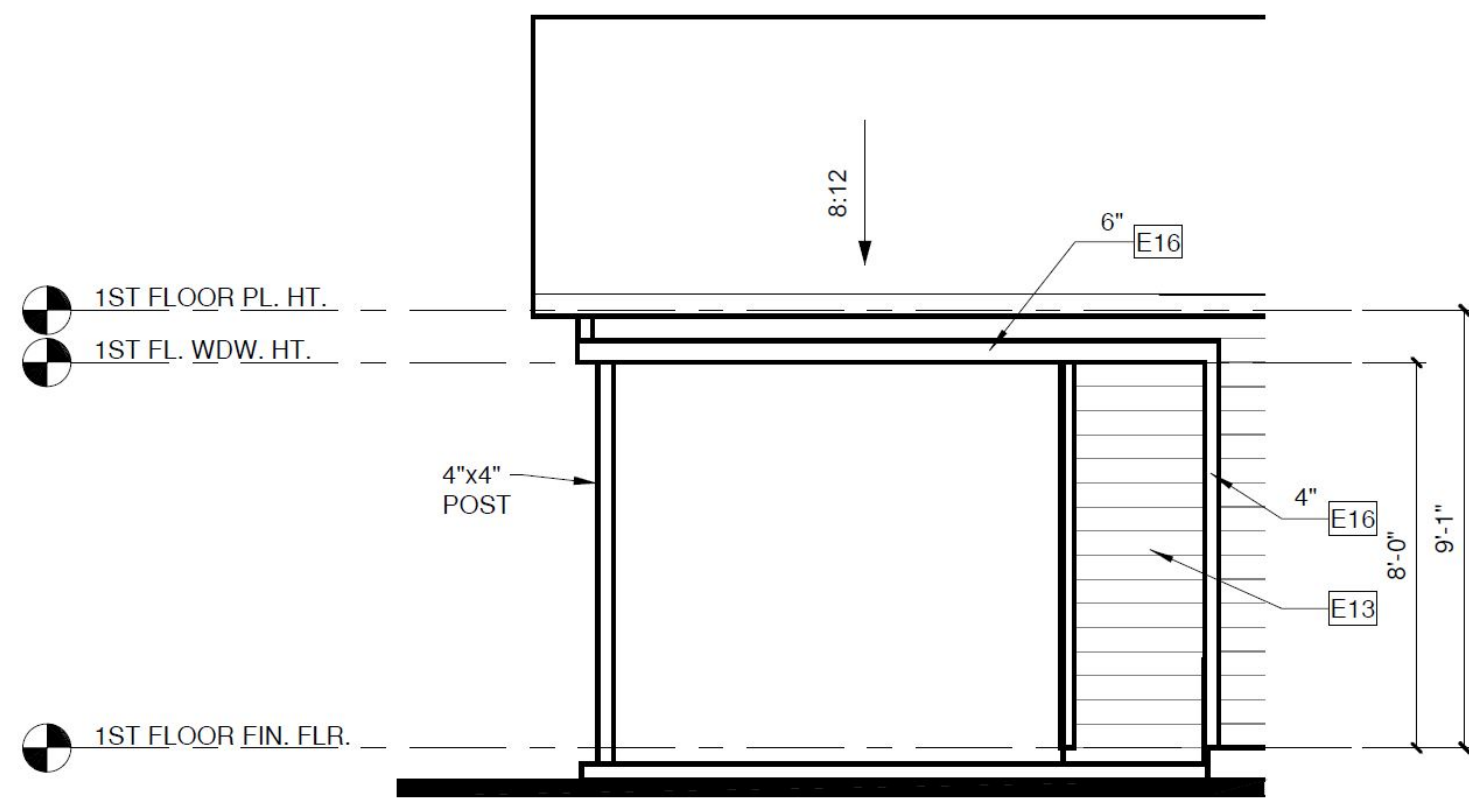


REAR ELEVATION 'CRAFTSMAN'
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2016 NCRC SECTION R312.2.

- NOTES:**
- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
 - WINDOW HEAD HEIGHTS:
 1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS
 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS
 3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
 - ROOFING: PITCHED SHINGLES PER BUILDER. INSTALL ALL LOW SLOPE ROOFING IN ACCORDANCE WITH R905 AND MANUFACTURERS SPECS.
 - WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
 - ENTRY DOOR: AS SELECTED BY BUILDER
 - CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
 - ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

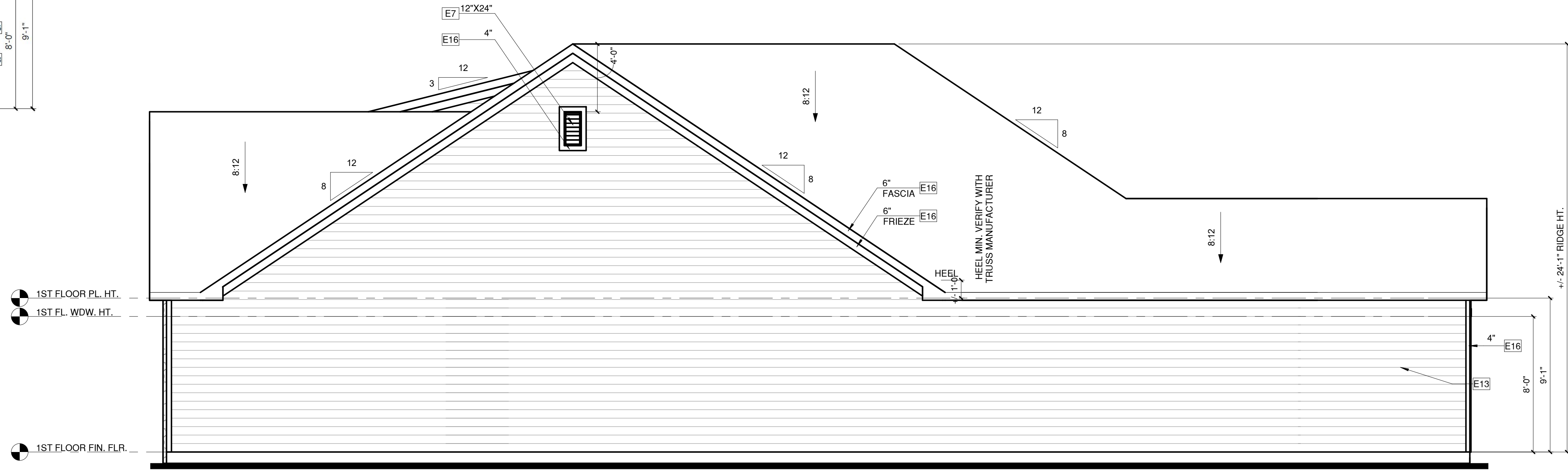
| ELEVATION KEYNOTE LEGEND | |
|--------------------------|---|
| E1 | ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED |
| E7 | CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED |
| E9 | CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS |
| E10 | STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS |
| E12 | FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS |
| E13 | FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS |
| E15 | FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C. (VINYL BOARD AND BATTEN SIDING) |
| E16 | 5/4X FIBER CEMENT TRIM OR 5/4X WOOD TRIM W/ VINYL CAP OR COIL STOCK, SIZE AS NOTED (SIZES SHOWN ARE NOMINAL WIDTHS) |
| E17 | FALSE WOOD SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED |



RIGHT ELEVATION W/ OPT. COVERED PORCH

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

USE THIS COVERED PORCH (RIDGE IS HIGHER)



RIGHT ELEVATION 'CRAFTSMAN'

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2016 NRC SECTION R312.2.

NOTES:

-GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.

-WINDOW HEAD HEIGHTS:
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS
3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.

-ROOFING: PITCHED SHINGLES PER BUILDER. INSTALL ALL LOW SLOPE ROOFING IN ACCORDANCE WITH R905 AND MANUFACTURERS SPECS.

-WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS

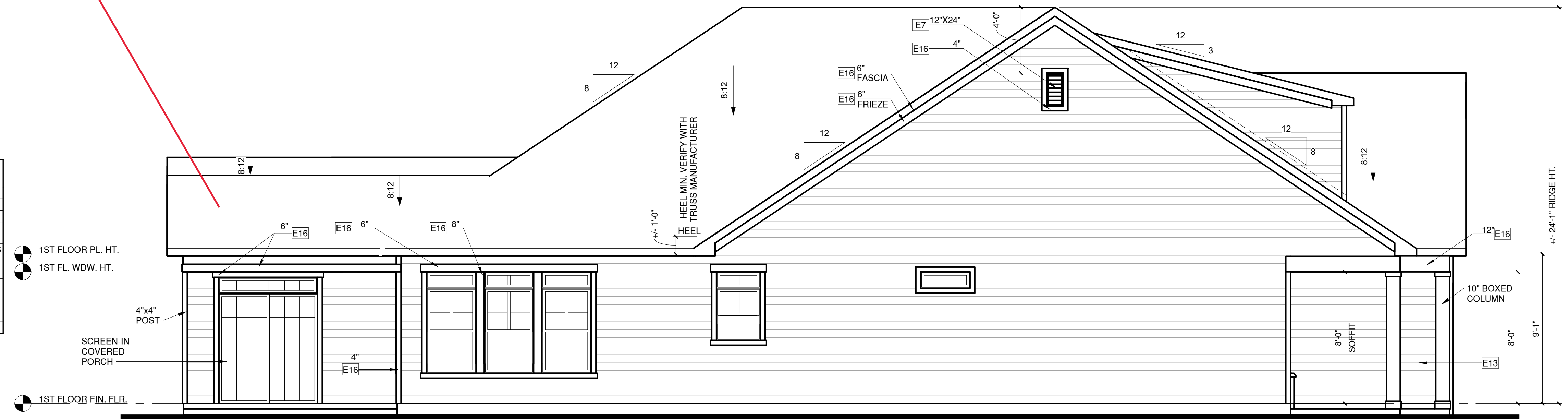
-ENTRY DOOR: AS SELECTED BY BUILDER

-CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.

-ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

ELEVATION KEYNOTE LEGEND

| | |
|-----|---|
| E1 | ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED |
| E7 | CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED |
| E9 | CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS |
| E10 | STANDING SEAM METAL ROOF. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS |
| E12 | FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS |
| E13 | FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS |
| E15 | FIBER CEMENT PANEL SIDING W/ 1X3 BATT'S AT 12" O.C. (VINYL BOARD AND BATTEN SIDING) |
| E16 | 5/4X FIBER CEMENT TRIM OR 5/4X WOOD TRIM W/ VINYL CAP OR COIL STOCK, SIZE AS NOTED (SIZES SHOWN ARE NOMINAL WIDTHS) |
| E17 | FALSE WOOD SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED |



LEFT ELEVATION 'CRAFTSMAN'

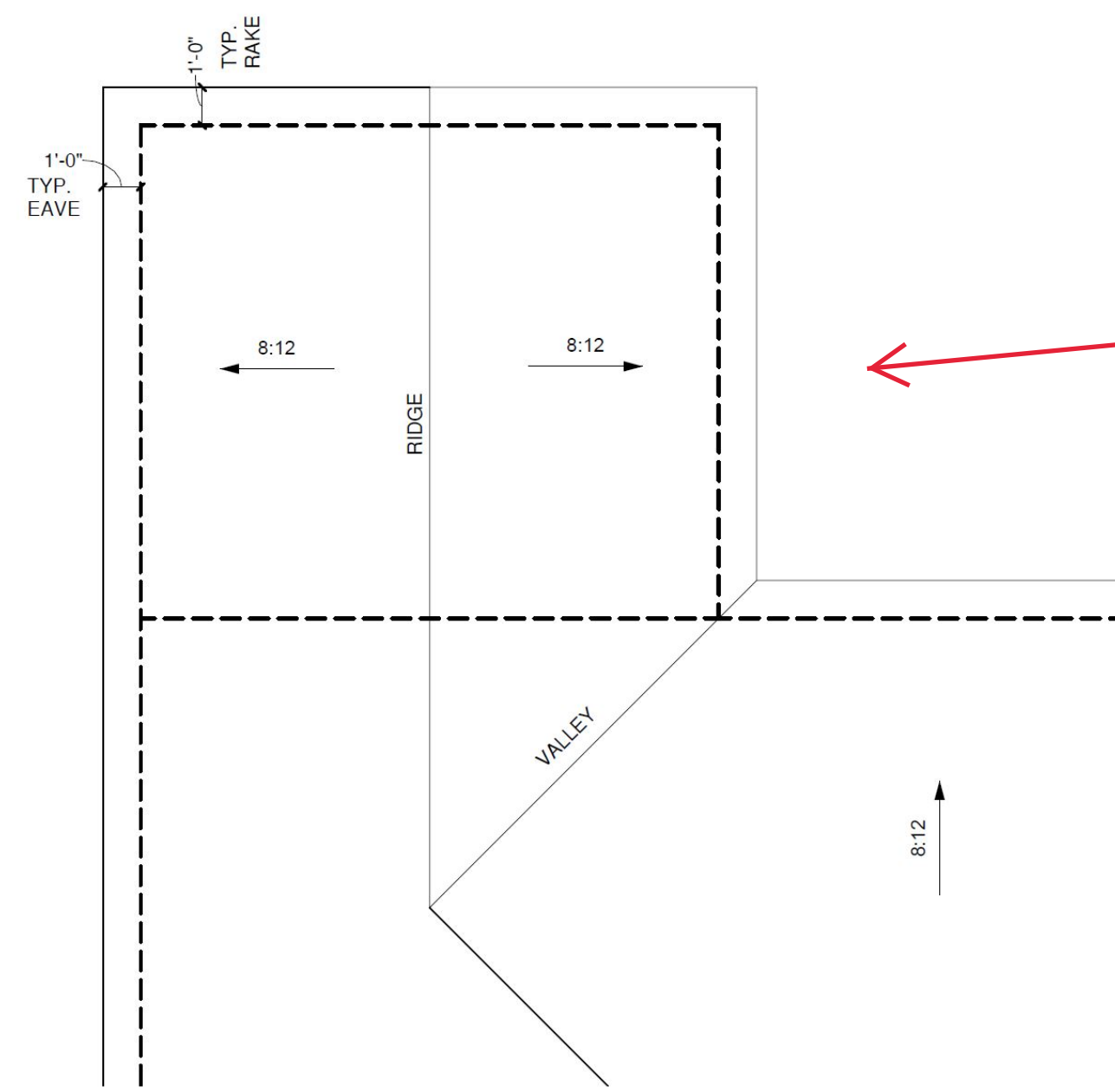
1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

McKee Homes, LLC
Lot 1019 Anderson Creek Carriage Glen
Torino II Craftsman
RH Monoslab Foundation

SHEET TITLE:
ELEVATIONS 'CRAFTSMAN'

PRINT DATE:
 12.17.19

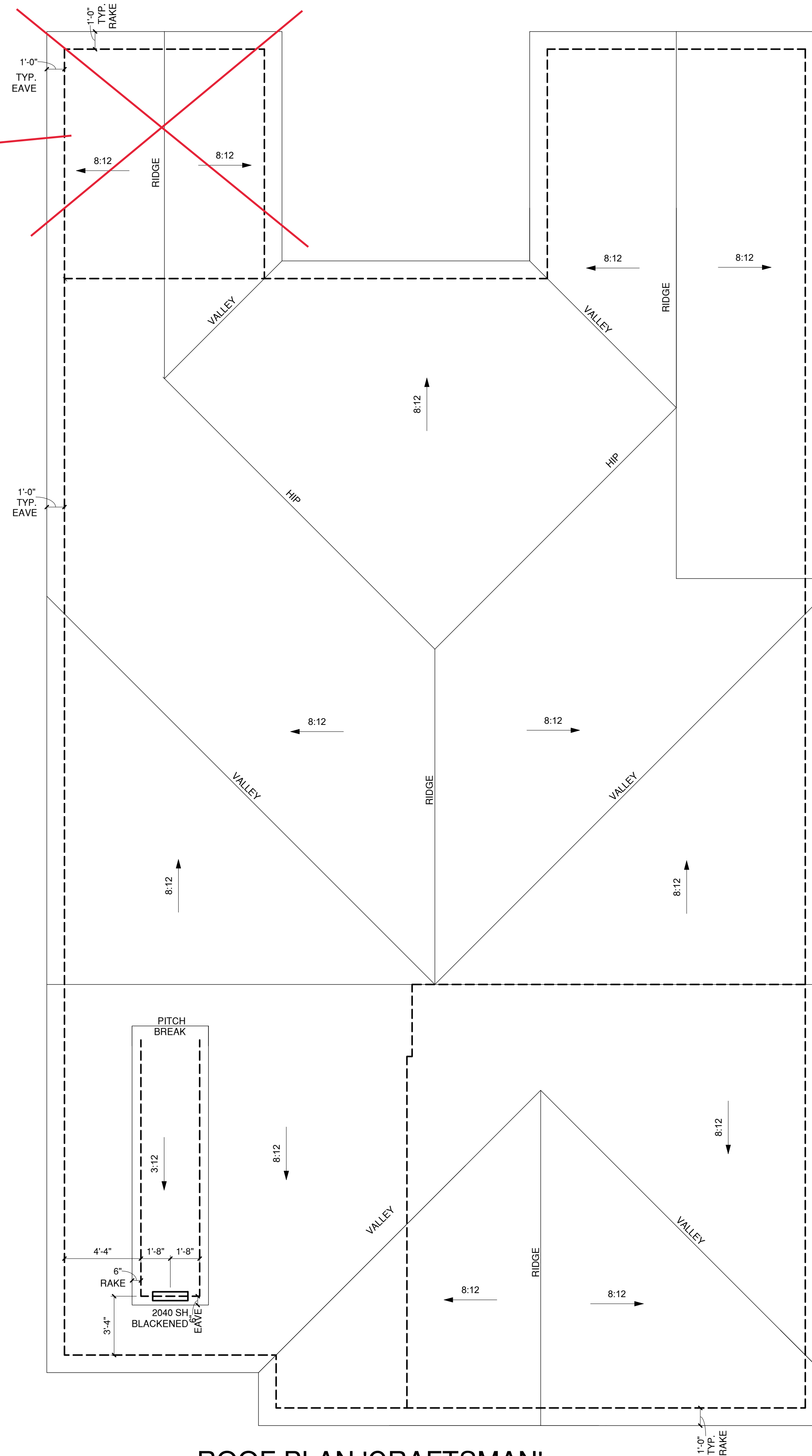
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ROOF PLAN W/ OPT. COVERED PORCH

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT

USE THIS COVERED PORCH



ROOF PLAN 'CRAFTSMAN'

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT

| 1/150 RATIO: | 1/300 RATIO: |
|--|---|
| <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p> | <p>AS AN ALTERNATE TO THE 1/150 RATIO LISTED, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A VAPOR BARRIER IS HAVING A TRANSMISSION RATE NOT EXCEEDING 1-PERM INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.</p> <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p> |
| <p>NOTES:</p> <ul style="list-style-type: none"> * ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY. * DASHED LINES INDICATE WALL BELOW. LOCATE GUTTER AND DOWNSPOUTS PER BUILDER. * PITCHED ROOFS AS NOTED. | <ul style="list-style-type: none"> * TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWING TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS. * ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE. |

| ROOF VENT CALC. ELEV. 'A' | | | |
|---------------------------|---------|---------------------------|---------------------------|
| Name | Area | 1/300 RATIO AT HIGH & LOW | 1/150 RATIO AT HIGH & LOW |
| AREA 1 | 2839 SF | 681.33 in ² | 1362.66 in ² |



McKee Homes, LLC
Lot 1019 Anderson Creek Carriage Glen
Torino II Craftsman
RH Monoslab Foundation

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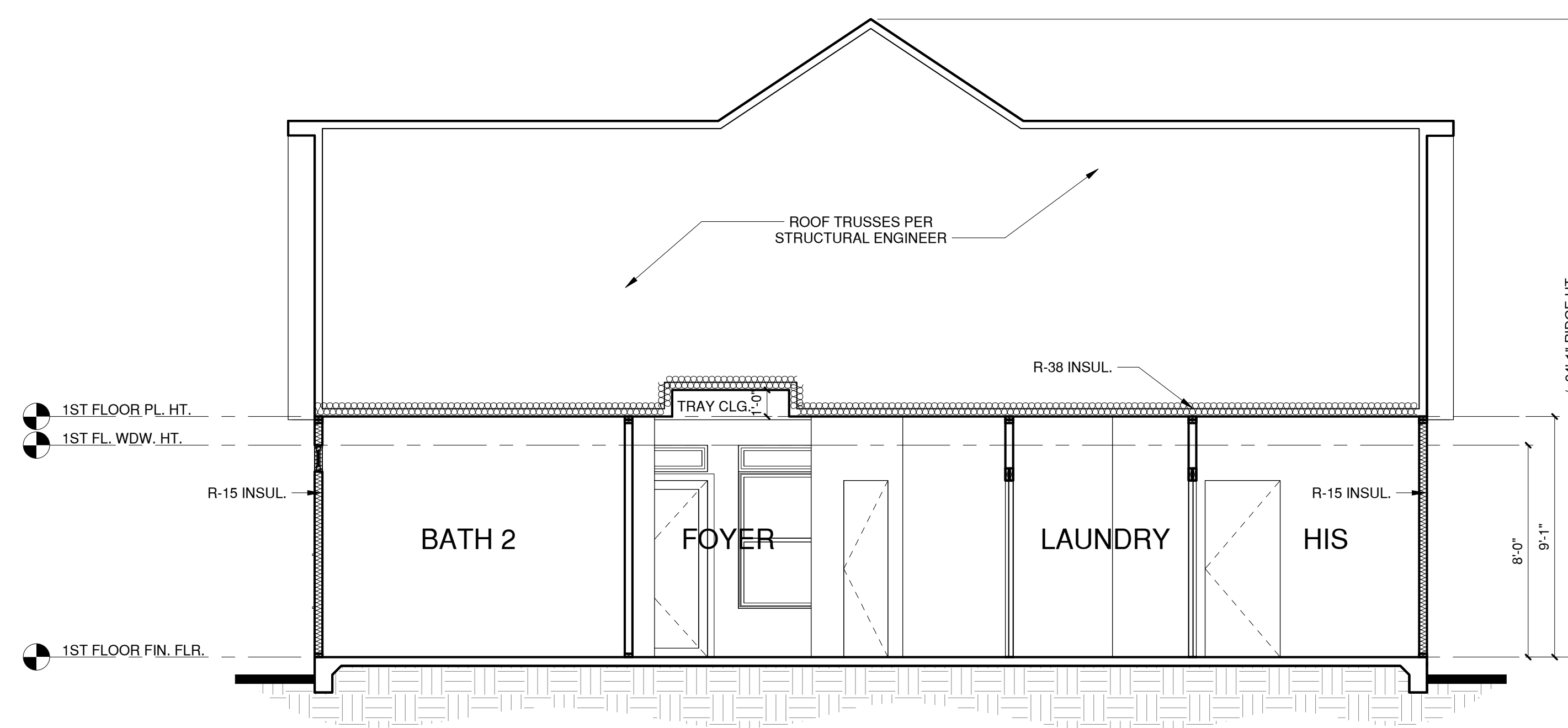
ROOF PLAN 'CRAFTSMAN'

PRINT DATE:

12.17.19

SHEET NO:

1.3



BUILDING SECTION 1
'CRAFTSMAN'

① 1/4" = 1'-0" AT 22"X34" LAYOUT = 1'-0" AT 11" X 17" LAYOUT

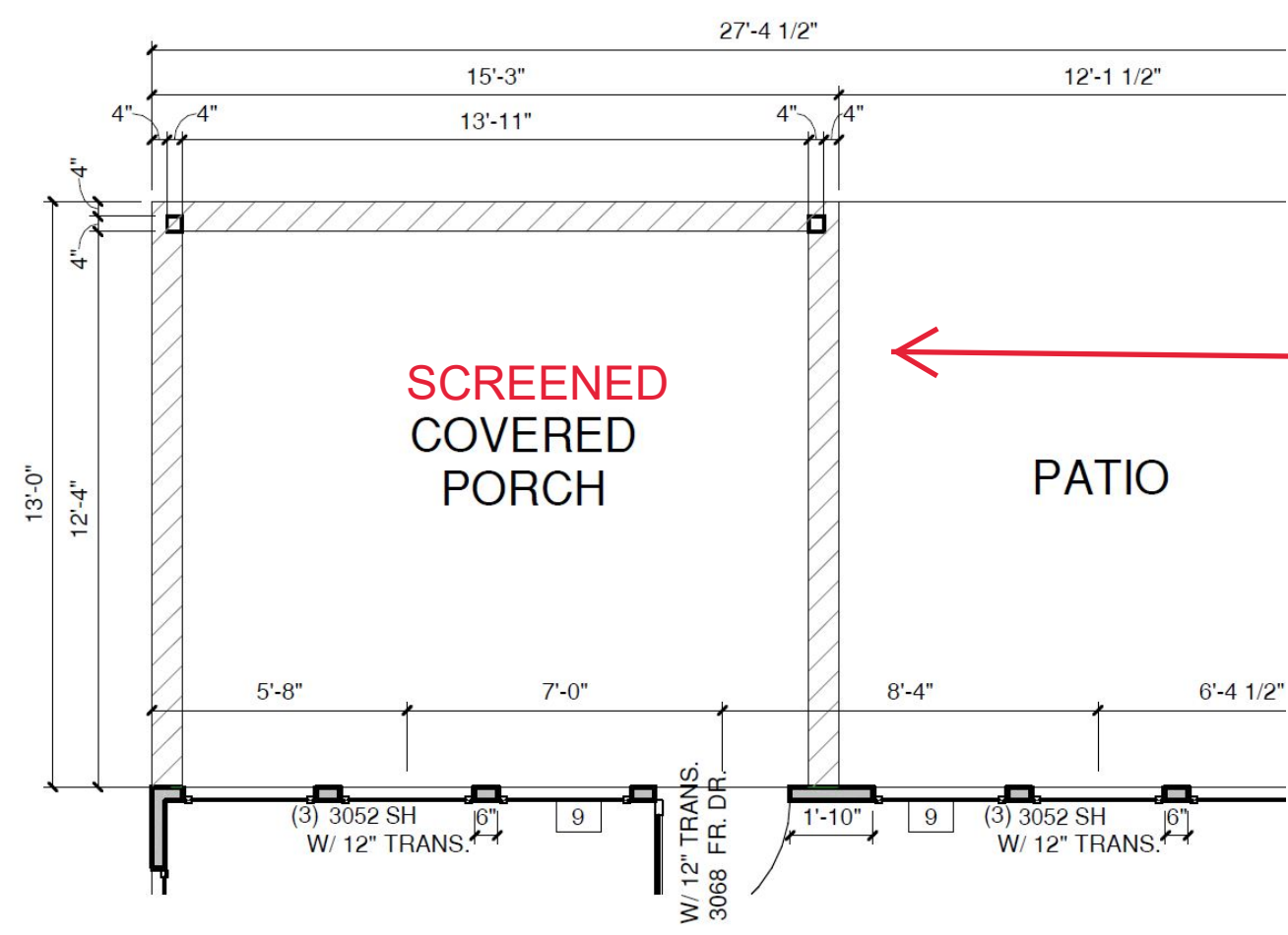
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SECTIONS

PRINT DATE:
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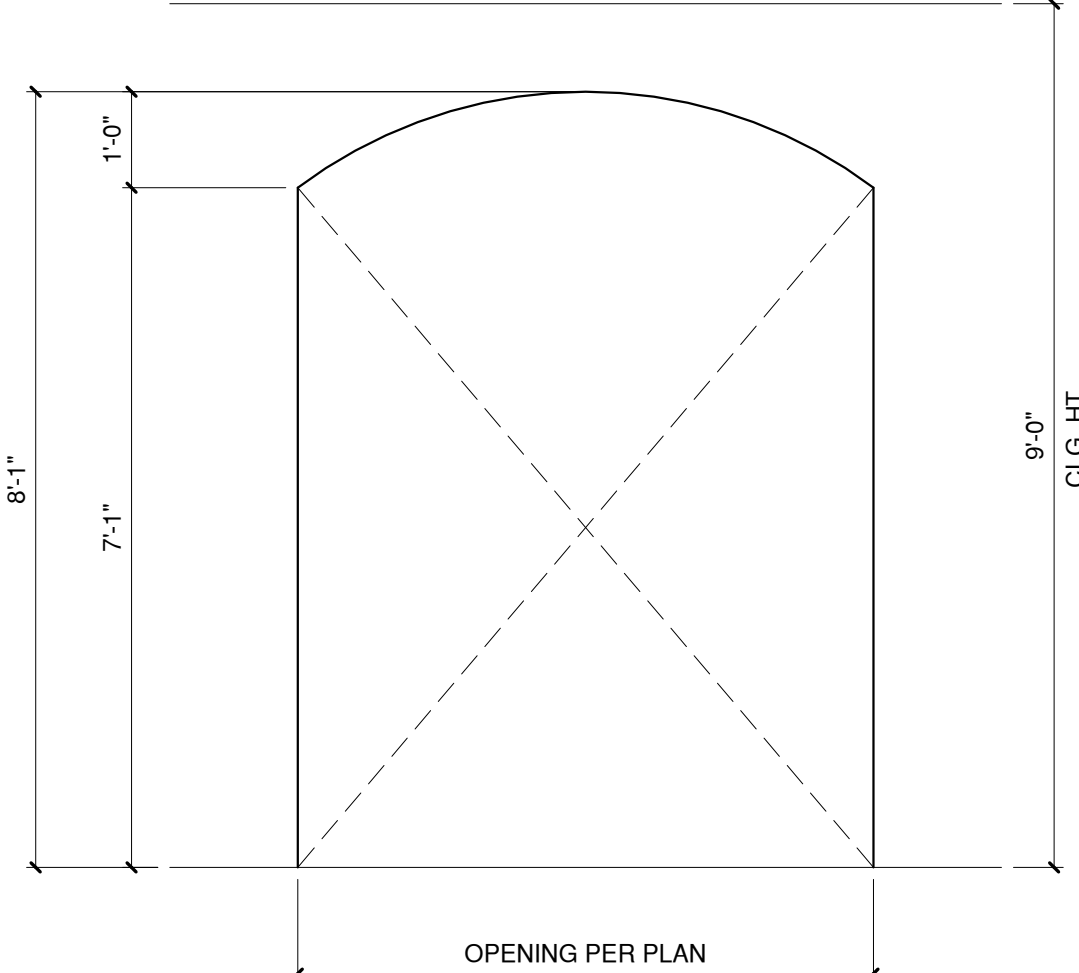
| WALL LEGEND | |
|---|---|
| | FULL HEIGHT 2X4 WOOD STUD PARTITION |
| | FULL HEIGHT 2X6 WOOD STUD PARTITION |
| | STONE VENEER |
| | BRICK VENEER |
| | DRYWALL OPENING HEIGHT AS NOTED ON PLAN |
| STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED | |

| FLOOR PLAN KEYNOTE LEGEND | |
|---------------------------|--|
| 1 | HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD, GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD |
| 2 | HOUSE TO GARAGE DOOR SEPARATION, PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR |
| 3 | BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS |
| 4 | GAS WATER HEATER ON 18" HIGH PLATFORM |
| 7 | PRE-FABRICATED METAL FIREPLACE, INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS |
| 9 | TEMPERED SAFETY GLASS |
| 11 | HALF WALL, HEIGHT AS NOTED |
| 12 | INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O. |
| 13 | SHOWER, TEMPERED GLASS ENCLOSURE |
| 14 | TUB-SHOWER COMBO |
| 16 | SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS |
| 19 | ACCESS HATCH/DOOR, FULLY WEATHER STRIPPED AND INSULATED, (PER NCR SECTION N1102.2.3) |

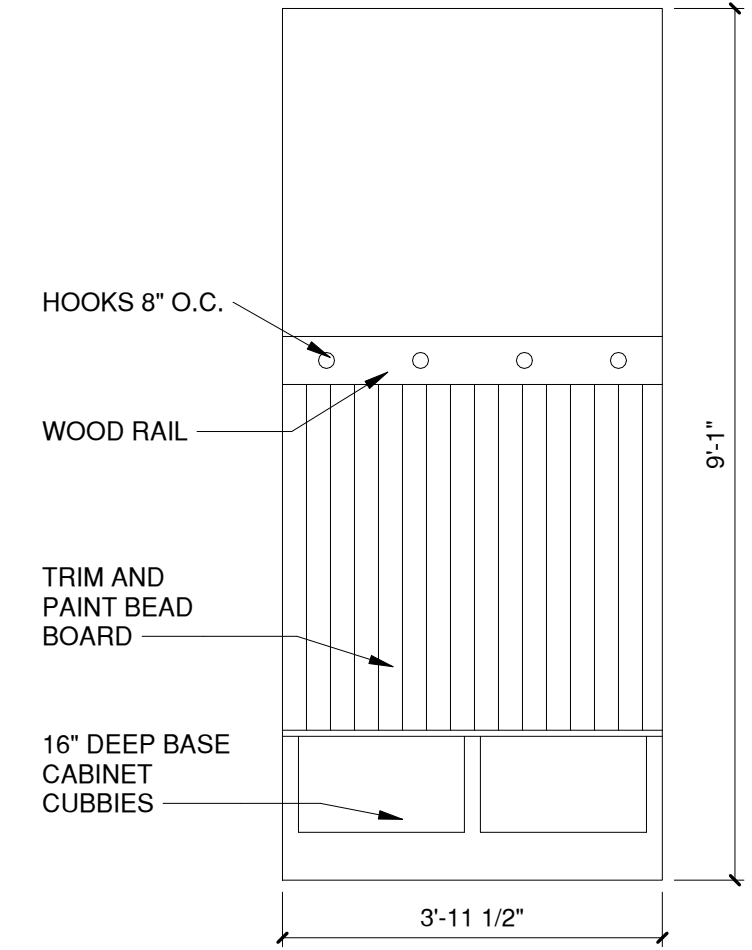


OPT. COVERED PORCH
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17' LAYOUT

USE THIS COVERED PORCH

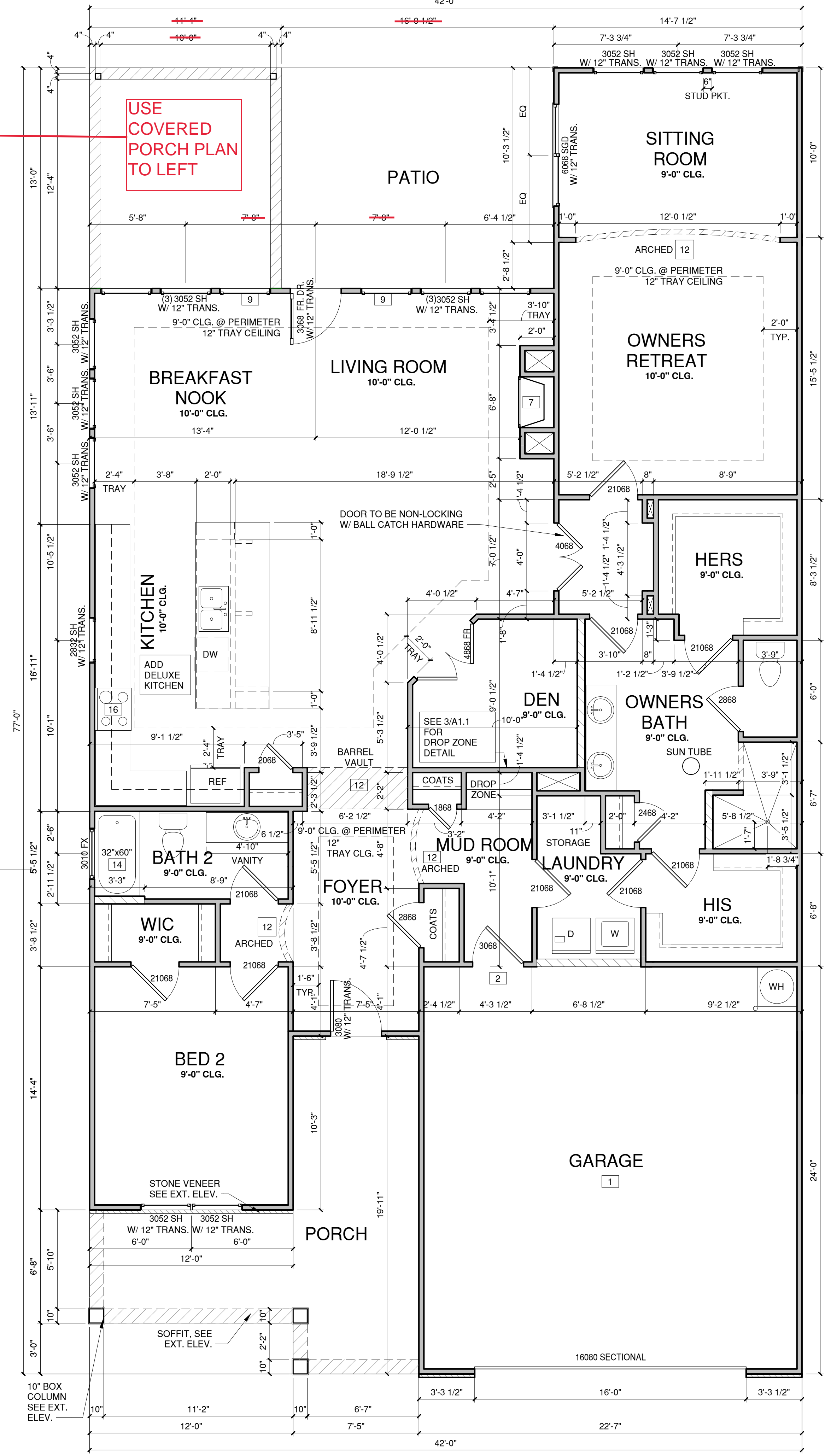


TYP. ARCHED OPENING
 1/2" = 1'-0" AT 22'X34" LAYOUT 1/4" = 1'-0" AT 11' X 17" LAYOUT



DROP ZONE DETAIL
 1/2" = 1'-0" AT 22'X34" LAYOUT 1/4" = 1'-0" AT 11' X 17" LAYOUT

FIRST FLOOR PLAN 'CRAFTSMAN'
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT

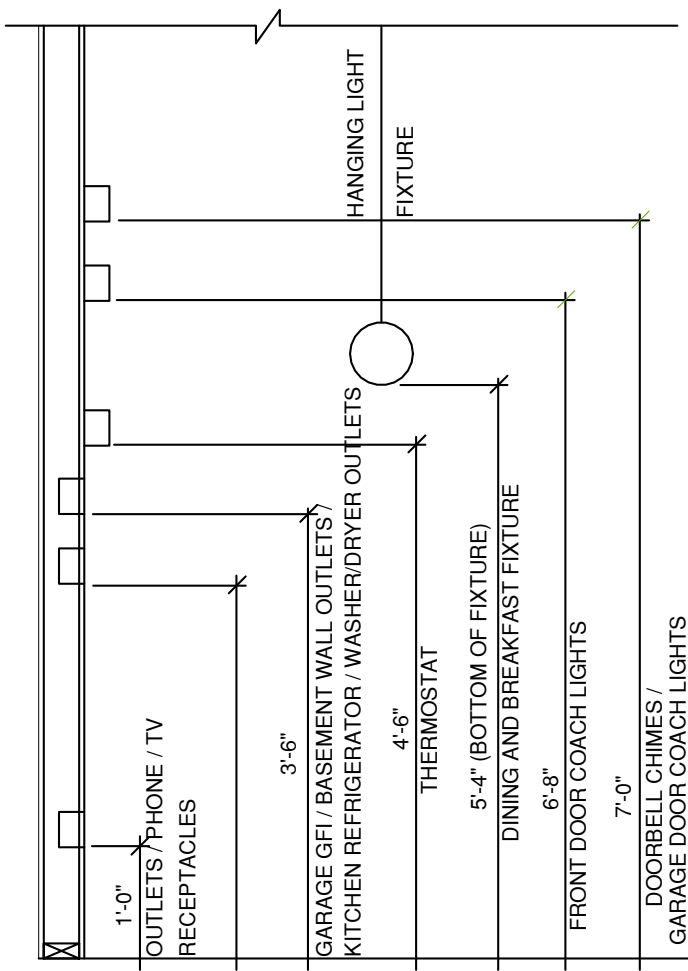


McKee Homes, LLC
Lot 1019 Anderson Creek Carriage Glen
Torino II Craftsman
RH Monoslab Foundation

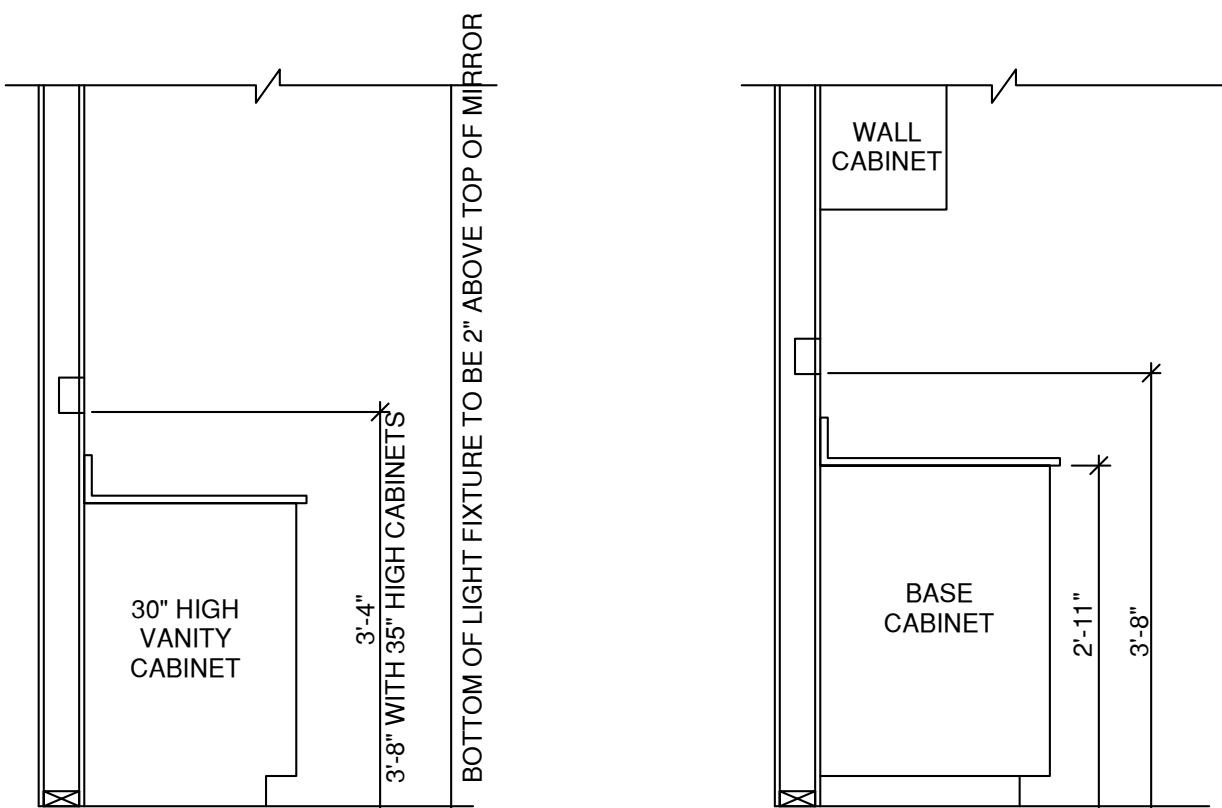
SHEET TITLE:
FIRST FLOOR PLAN 'CRAFTSMAN'

PRINT DATE:
 12.17.19

SHEET NO:
1.5



STANDARD ELECTRICAL BOX HEIGHTS



SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS

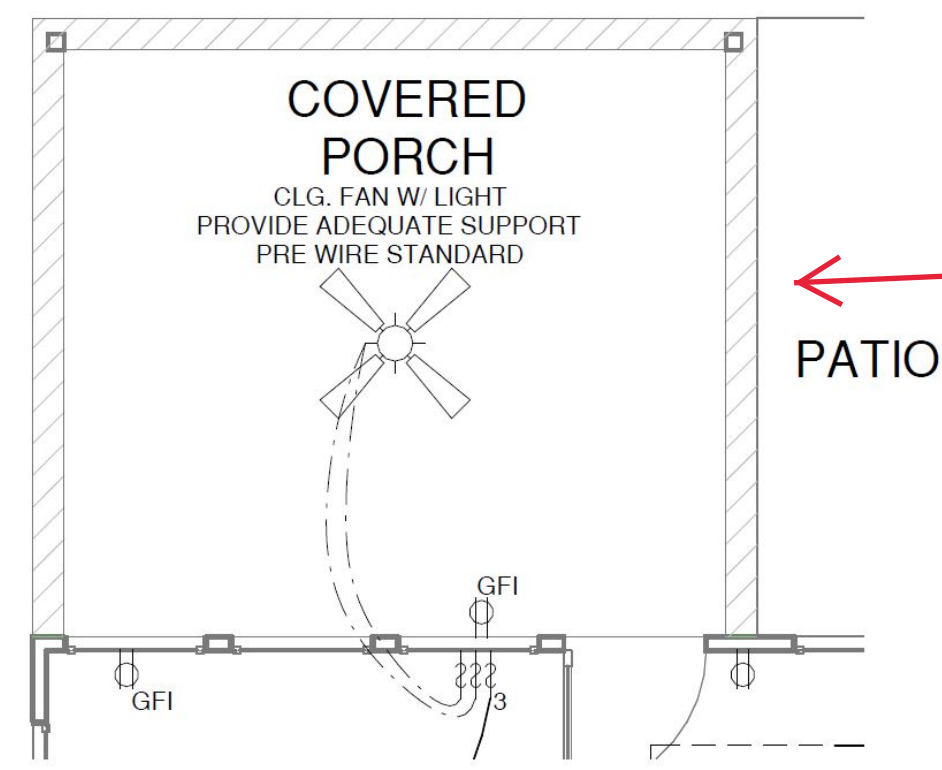
SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS

NOTES:

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS
- FAN/LIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAINING TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATOIN DUE TO FIELD CONDITIONS.
- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

LEGEND:

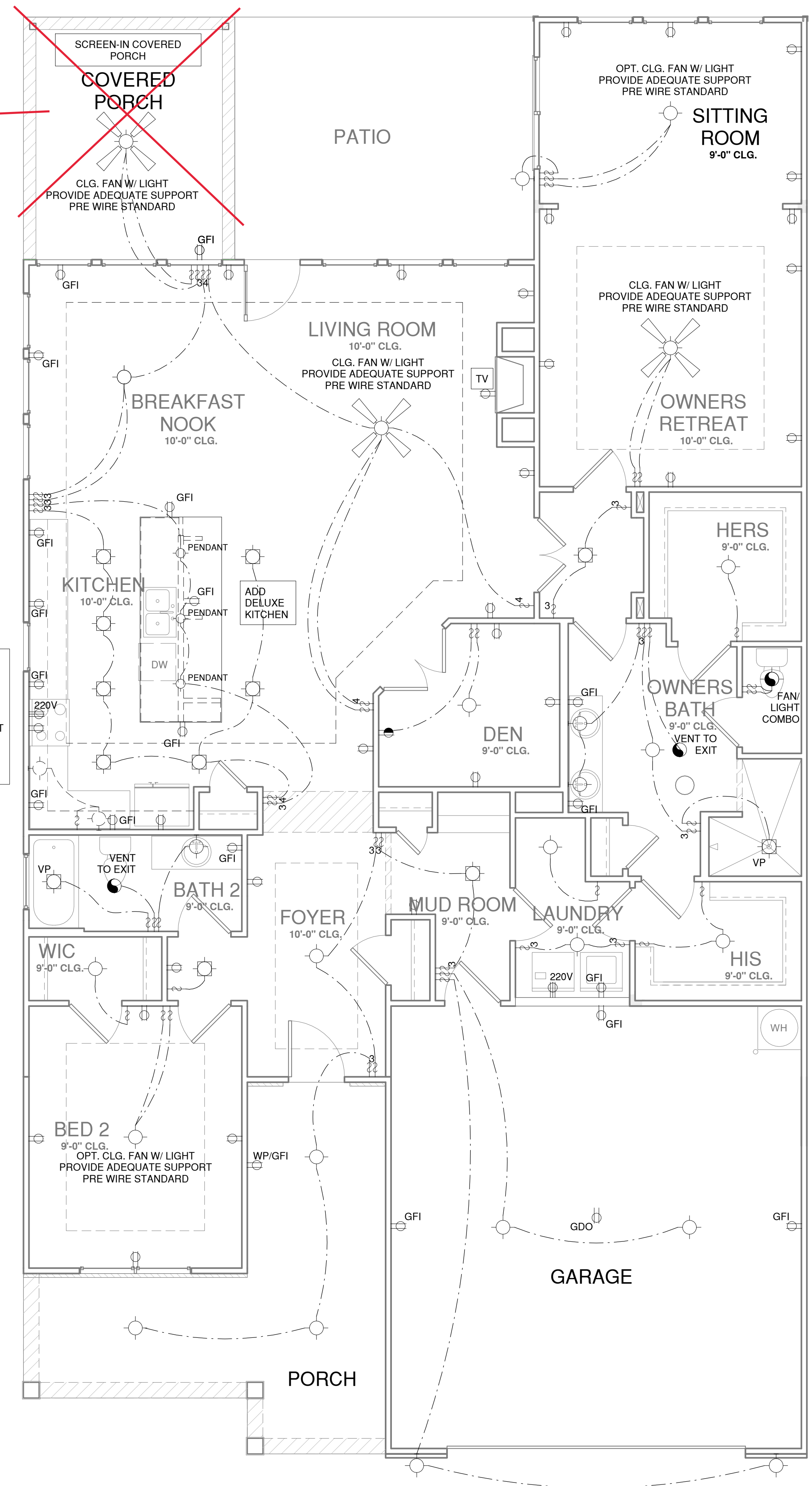
| | | | |
|--|--|--|--|
| | DUPLEX OUTLET | | PENDANT LIGHT FIXTURE |
| | WEATHERPROOF GFI DUPLEX OUTLET | | CEILING MOUNTED INCANDESCENT LIGHT FIXTURE |
| | GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET | | WALL MOUNTED INCANDESCENT LIGHT FIXTURE |
| | HALF-SWITCHED DUPLEX OUTLET | | RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF |
| | 220 VOLT OUTLET | | EXHAUST FAN (VENT TO EXTERIOR) |
| | REINFORCED JUNCTION BOX | | EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR) |
| | WALL SWITCH | | FLUORESCENT LIGHT FIXTURE |
| | THREE-WAY SWITCH | | TECH HUB SYSTEM |
| | FOUR-WAY SWITCH | | CEILING FAN (PROVIDE ADEQUATE SUPPORT) |
| | CHIMES | | CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT) |
| | PUSHBUTTON SWITCH | | GAS SUPPLY WITH VALVE |
| | 110V SMOKE DETECTOR W/ BATTERY BACKUP | | HOSE BIBB |
| | CO2 DETECTOR | | 1/4" WATER STUB OUT |
| | THERMOSTAT | | WALL SCONCE |
| | TELEPHONE | | |
| | TELEVISION | | |
| | ELECTRIC METER | | |
| | ELECTRIC PANEL | | |
| | DISCONNECT SWITCH | | |



OPT. COVERED PORCH UTILITY PLAN

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT

USE THIS COVERED PORCH



ONLY ONE PHONE LINE INCLUDED IN BASE HOUSE
ADD UNDERCABINET LIGHTING - INSTALL OUTLETS AS STANDARD

FIRST FLOOR UTILITY PLAN 'CRAFTSMAN'

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT

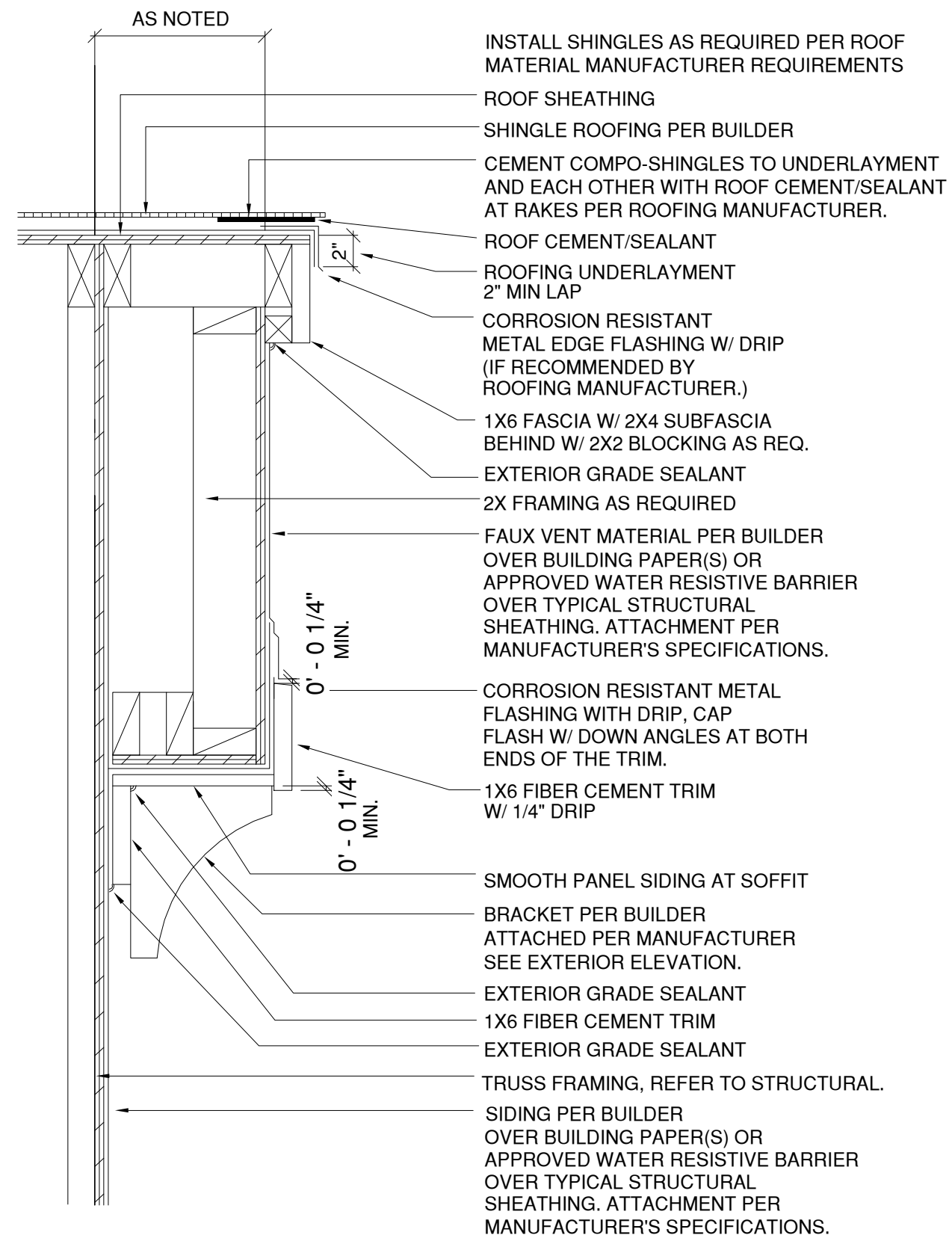


McKee Homes, LLC
Lot 1019 Anderson Creek Carriage Glen
Torino II Craftsman
RH Monoslab Foundation

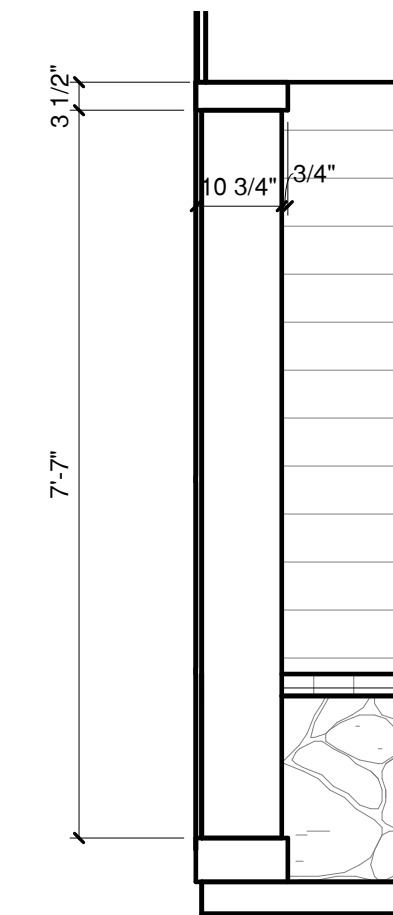
SHEET TITLE:
FIRST FLOOR UTILITY PLAN

PRINT DATE:
 12.17.19

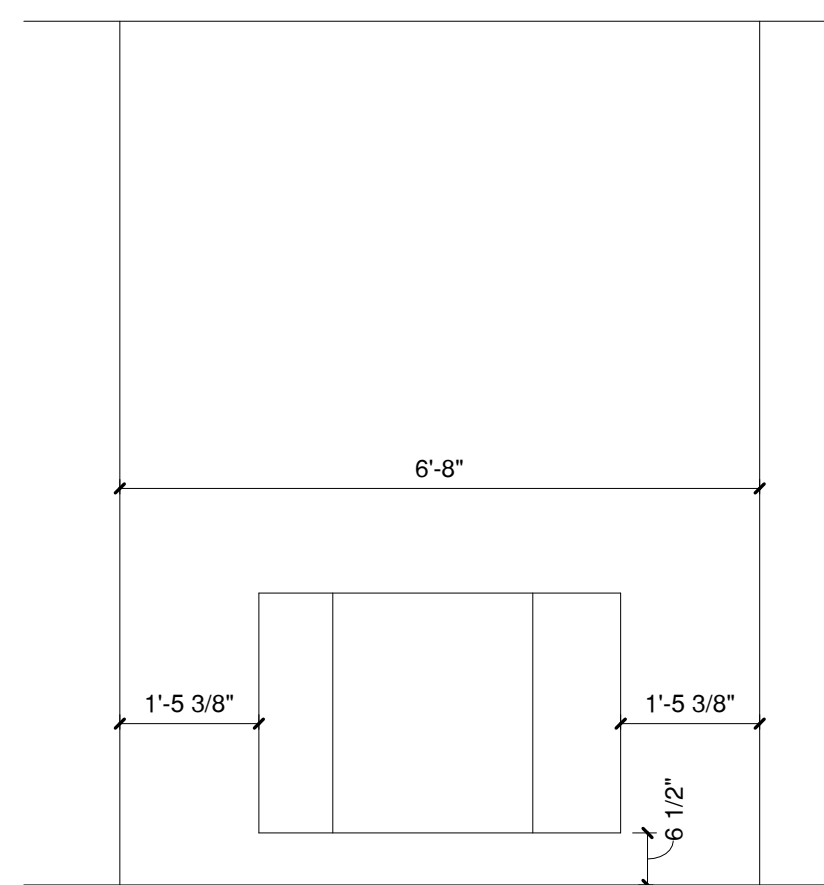
SHEET NO:
1.6



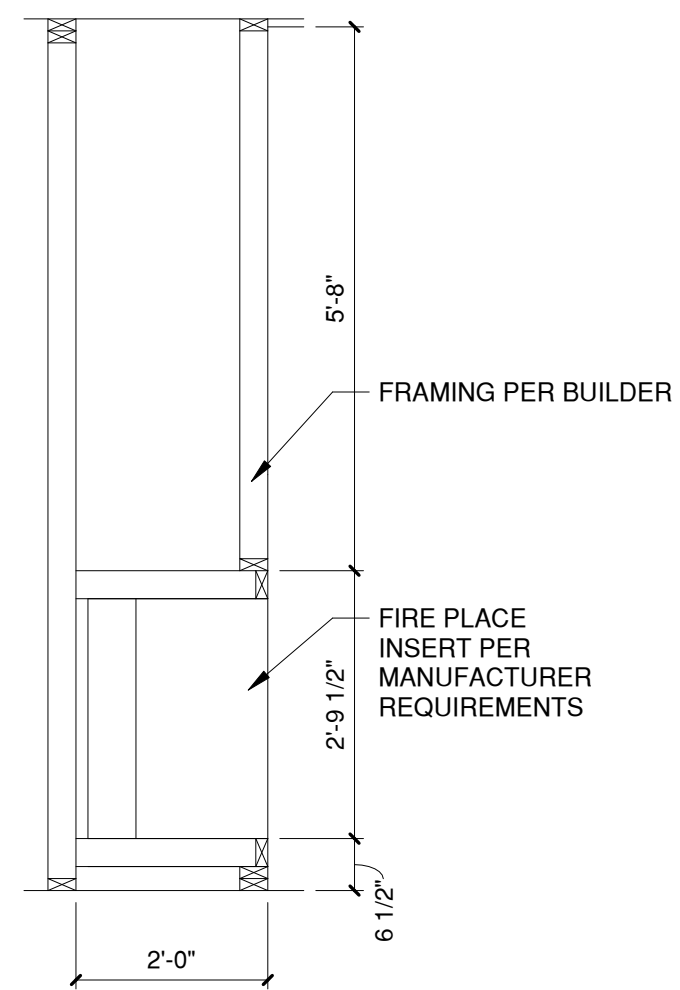
4 BOXED GABLE VENT
 1 1/2" = 1'-0" AT 22"X34" LAYOUT = 1'-0" AT 11" X 17" LAYOUT



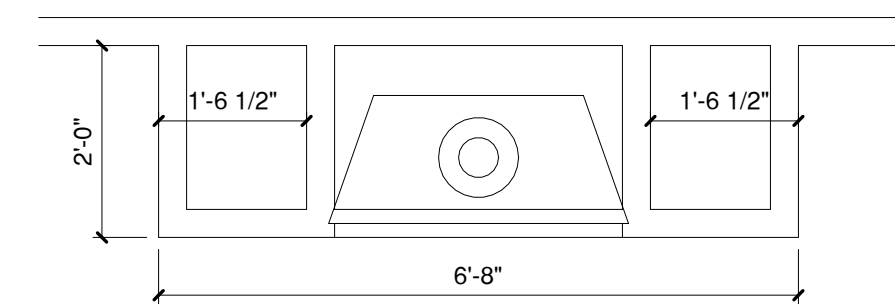
5 COLUMN DETAIL
 1/2" = 1'-0" AT 22"X34" LAYOUT 1/4" = 1'-0" AT 11" X 17" LAYOUT



1 FIREPLACE DETAIL
 1/2" = 1'-0" AT 22"X34" LAYOUT 1/4" = 1'-0" AT 11" X 17" LAYOUT



2 FIREPLACE DETAIL 2
 1/2" = 1'-0" AT 22"X34" LAYOUT 1/4" = 1'-0" AT 11" X 17" LAYOUT



3 FIREPLACE DETAIL 3
 1/2" = 1'-0" AT 22"X34" LAYOUT 1/4" = 1'-0" AT 11" X 17" LAYOUT

SHEET TITLE:
DETAILS

PRINT DATE:
 12.17.19

SHEET NO:
D1.1

DESIGN SPECIFICATIONS:

Construction Type: Commercial Residential

Applicable Building Codes:

- 2018 North Carolina Residential Building Code with All Local Amendments
• ASCE 7-10: Minimum Design Loads for Buildings and Other Structures

Design Loads:

- 1. Roof Live Loads
11. Conventional 2x _____ 20 PSF
12. Truss _____ 20 PSF
12.1. Attic Truss _____ 60 PSF
2. Roof Dead Loads
21. Conventional 2x _____ 10 PSF
22. Truss _____ 20 PSF
3. Snow
31. Importance Factor _____ 10
4. Floor Live Loads
41. Typ. Dwelling _____ 40 PSF
42. Sleeping Areas _____ 30 PSF
43. Decks _____ 40 PSF
44. Passenger Garage _____ 50 PSF
5. Floor Dead Loads
51. Conventional 2x _____ 10 PSF
52. I-Joist _____ 15 PSF
53. Floor Truss _____ 15 PSF
6. Ultimate Design Wind Speed (3 sec. gust) _____ 130 MPH
6.1. Exposure _____ B
6.2. Importance Factor _____ 10
6.3. Wind Base Shear
6.3.1. Vx = _____
6.3.2. Vy = _____

7. Component and Cladding (in PSF)

Table with 5 columns: MEAN ROOF HT., UP TO 30', 30'-35', 35'-40', 40'-45'. Rows for ZONE 1 through ZONE 5.

8. Seismic

- 8.1. Site Class _____ D
8.2. Design Category _____ C
8.3. Importance Factor _____ 10
8.4. Seismic Use Group _____ I
8.5. Spectral Response Acceleration
8.5.1. Sm = %g
8.5.2. Sml = %g
8.6. Seismic Base Shear
8.6.1. Vx = _____
8.6.2. Vy = _____
8.7. Basic Structural System (check one)
[] Bearing Wall
[] Building Frame
[] Moment Frame
[] Dual w/ Special Moment Frame
[] Dual w/ Intermediate R/C or Special Steel
[] Inverted Pendulum
8.8. Arch/Tech Components Anchored _____ No
8.9. Lateral Design Control: Seismic [] Wind [x]
9. Assumed Soil Bearing Capacity _____ 20000 psf



STRUCTURAL PLANS PREPARED FOR:

TORINO II

PROJECT ADDRESS: TBD
OWNER: McKee Homes
109 Hay St., Suite 301
Fayetteville, NC 28301

DESIGNER: Epcor Communities
500 Stonehenge Parkway
Duplin, OH 43021

These drawings are to be coordinated with the architectural, mechanical, plumbing, electrical, and civil drawings. This coordination is not the responsibility of the structural engineering of record (SER). Should any discrepancies become apparent, the contractor shall notify SUMMIT Engineering, Laboratory & Testing, P.C. before construction begins.

PLAN ABBREVIATIONS:

Table with 3 columns: Abbreviation, Description, Material/Type. Includes AB ANCHOR BOLT, AFF ABOVE FINISHED FLOOR, etc.

Roof truss and floor joist layouts, and their corresponding loading details, were not provided to SUMMIT Engineering, Laboratory & Testing, P.C. (SUMMIT) prior to the initial design. Therefore, truss and joist directions were assumed based on the information provided by MCKEE HOMES, subsequent plan revisions based on roof truss and floor joist layouts shall be noted in the revision list, indicating the date the layouts were provided, should any discrepancies become apparent, the contractor shall notify SUMMIT immediately.

SHEET LIST:

Table with 2 columns: Sheet No., Description. Lists sheets S10m through S80.

REVISION LIST:

Table with 4 columns: Revision No., Date, Project No., Description. Empty table for revisions.

GENERAL STRUCTURAL NOTES:

- 1. The design professional whose seal appears on these drawings is the structural engineer of record (SER) for this project. The SER bears the responsibility of the primary structural elements and the performance of this structure. No other party may revise, alter, or delete any structural aspects of these construction documents without written permission of SUMMIT Engineering, Laboratory & Testing, P.C. (SUMMIT) or the SER. For the purposes of these construction documents the SER and SUMMIT shall be considered the same entity.
2. The structure is only stable in its completed form. The contractor shall provide all required temporary bracing during construction to stabilize the structure.
3. The SER is not responsible for construction sequences, methods, or techniques in connection with the construction of this structure. The SER will not be held responsible for the contractor's failure to conform to the contract documents, should any non-conformities occur.
4. Any structural elements or details not fully developed on the construction drawings shall be completed under the direction of a licensed professional engineer. These shop drawings shall be submitted to SUMMIT for review before any construction begins. The shop drawings will be reviewed for overall compliance as it relates to the structural design of this project. Verification of the shop drawings for dimensions, or for actual field conditions, is not the responsibility of the SER or SUMMIT.
5. Verification of assumed field conditions is not the responsibility of the SER. The contractor shall verify the field conditions for accuracy and report any discrepancies to SUMMIT before construction begins.
6. The SER is not responsible for any secondary structural elements or non-structural elements, except for the elements specifically noted on the structural drawings.
7. This structure and all construction shall conform to all applicable sections of the International Residential code.
8. This structure and all construction shall conform to all applicable sections of local building codes.
9. All structural assemblies are to meet or exceed to requirements of the current local building code.

FOUNDATIONS:

- 1. The structural engineer has not performed a subsurface investigation. Verification of this assumed value is the responsibility of the owner or the contractor. Should any adverse soil condition be encountered the SER must be contacted before proceeding.

- 2. The bottom of all footings shall extend below the frost line for the region in which the structure is to be constructed. However, the bottom of all footings shall be a minimum of 12" below grade.
3. Any fill shall be placed under the direction or recommendation of a licensed professional engineer.
4. The resulting soil shall be compacted to a minimum of 95% maximum dry density.
5. Excavations of footings shall be lined temporarily with a 6 mil polyethylene membrane if placement of concrete does not occur within 24 hours of excavation.
6. No concrete shall be placed against any subgrade containing water, ice, frost, or loose material.

STRUCTURAL STEEL:

- 1. Structural steel shall be fabricated and erected in accordance with the American Institute of Steel Construction "Code of Standard Practice for Steel Buildings and Bridges" and the manual of Steel Construction "Load Resistance Factor Design" latest editions.
2. Structural steel shall receive one coat of shop applied rust-inhibitive paint.
3. All steel shall have a minimum yield stress (Fy) of 36 ksi unless otherwise noted.
4. Welding shall conform to the latest edition of the American Welding Society's Structural Welding Code AWS D11. Electrodes for shop and field welding shall be class E10XX. All welding shall be performed by a certified welder per the above standards.

CONCRETE:

- 1. Concrete shall have a normal weight aggregate and a minimum compressive strength (fc) at 28 days of 3000 psi, unless otherwise noted on the plan.
2. Concrete shall be proportioned, mixed, and placed in accordance with the latest editions of ACI 318: "Building Code Requirements for Reinforced Concrete" and ACI 301: "Specifications for Structural Concrete for Buildings".
3. Air entrained concrete must be used for all structural elements exposed to freeze/thaw cycles and deicing chemicals. Air entrainment amounts (in percent) shall be within -1% to +2% of target values as follows:
3.1. Footings: 5%
3.2. Exterior Slabs: 5%
4. No admixtures shall be added to any structural concrete without written permission of the SER.

- 5. Concrete slabs-on-grade shall be constructed in accordance with ACI 302.1R-96: "Guide for Concrete Slab and Slab Construction".
6. The concrete slab-on-grade has been designed using a subgrade modulus of k=250 pci and a design loading of 200 psf. The SER is not responsible for differential settlement, slab cracking or other future defects resulting from unreported conditions not in accordance with the above assumptions.
7. Control or saw cut joints shall be spaced in interior slabs-on-grade at a maximum of 15'-0" O.C. and in exterior slabs-on-grade at a maximum of 10'-0" unless otherwise noted.
8. Control or saw cut joints shall be produced using conventional process within 4 to 12 hours after the slab has been finished.
9. Reinforcing steel may not extend through a control joint. Reinforcing steel may extend through a saw cut joint.
10. All welded wire fabric (WWF) for concrete slabs-on-grade shall be placed at mid-depth of slab. The WWF shall be securely supported during the concrete pour.

CONCRETE REINFORCEMENT:

- 1. Fibrous concrete reinforcement, or fiber mesh, specified in concrete slabs-on-grade may be used for control of cracking due to shrinkage and thermal expansion/contraction, lowered water migration, an increase in impact capacity, increased abrasion resistance, and residual strength.
2. Fiber mesh reinforcing to be 100% virgin polypropylene fibers containing no reprocessed olefin materials and specifically manufactured for use as concrete secondary reinforcement.
3. Application of fiber mesh per cubic yard of concrete shall equal a minimum of 0.1% by volume (15 pounds per cubic yard).
4. Fiber mesh shall comply with ASTM C116, any local building code requirements, and shall meet or exceed the current industry standard.
5. Steel reinforcing bars shall be new billet steel conforming to ASTM A615, grade 60.
6. Detailing, fabrication, and placement of reinforcing steel shall be in accordance with the latest edition of ACI 318: "Manual of Standard Practice for Detailing Concrete Structures".
7. Horizontal footing and wall reinforcement shall be continuous and shall have 90 degree bends, or corner bars with the same size/spacing as the horizontal reinforcement with a class B tension splice.
8. Lap reinforcement as required, a minimum of 40 bar diameters for tension or compression unless otherwise noted. Splices in masonry shall be a minimum of 48 bar diameters.

- 9. Where reinforcing dowels are required, they shall be equivalent in size and spacing to the vertical reinforcement. The dowel shall extend 48 bar diameters vertically and 20 bar diameters into the footing.
10. Where reinforcing steel is required vertically, dowels shall be provided unless otherwise noted.

WOOD FRAMING:

- 1. Solid sawn wood framing members shall conform to the specifications listed in the latest edition of the "National Design Specification for Wood Construction" (NDS). Unless otherwise noted, all wood framing members are designed to be Southern-Yellow-Pine (SYP) #2.
2. LVL or FSL engineered wood shall have the following minimum design values:
2.1. E = 1900000 psi
2.2. Fo = 2600 psi
2.3. Fv = 285 psi
2.4. Fc = 100 psi
3. Wood in contact with concrete, masonry, or earth shall be pressure treated in accordance with AWPFA standard C-15. All other moisture exposed wood shall be treated in accordance with AWPFA standard C-2.
4. Nails shall be common wire nails unless otherwise noted.
5. Lag screws shall conform to ANSI/ASME standard B18.21-1981. Lead holes for lag screws shall be in accordance with NDS specifications.
6. All beams shall have full bearing on supporting framing members unless otherwise noted.
7. Exterior and load bearing stud walls are to be 2x4 SYP #2 @ 16" O.C. unless otherwise noted. Studs shall be continuous from the sole plate to the double top plate. Studs shall only be discontinued at headers for window/door openings. A minimum of one king stud shall be placed at each end of the header. King studs shall be continuous.
8. Individual studs forming a column shall be attached with one 10d nail @ 6" O.C. staggered. The stud column shall be continuous to the foundation or beam. The column shall be properly blocked at all floor levels to ensure proper load transfer.
9. Multi-ply beams shall have each ply attached with (3) 10d nails @ 24" O.C.
10. Four and five ply beams shall be bolted together with (2) rows of 1/2" diameter through bolts staggered @ 16" O.C. unless noted otherwise.

WOOD TRUSSES:

- 1. The wood truss manufacturer/fabricator is responsible for the design of the wood trusses. Submit sealed shop drawings and supporting calculations to the SER for review prior to fabrication. The SER shall have a minimum of five (5) days for review. The review by the SER shall review for overall compliance with the design documents. The SER shall assume no responsibility for the correctness for the structural design for the wood trusses.
2. The wood trusses shall be designed for all required loadings as specified in the local building code, the ASCE Standard "Minimum Design Loads for Buildings and Other Structures," (ASCE 7-10), and the loading requirements shown on these specifications. The truss drawings shall be coordinated with all other construction documents and provisions provided for loads shown on these drawings including but not limited to HVAC equipment, piping, and architectural fixtures attached to the trusses.
3. The trusses shall be designed, fabricated, and erected in accordance with the latest edition of the "National Design Specification for Wood Construction" (NDS) and "Design Specification for Metal Plate Connected Wood Trusses," (ASCE 7-10), and the loading requirements shown on these specifications. The truss drawings shall be coordinated with all other construction documents and provisions provided for loads shown on these drawings including but not limited to HVAC equipment, piping, and architectural fixtures attached to the trusses.
4. The truss manufacturer shall provide adequate bracing information in accordance with "Commentary and Recommendations for Handling, Installing, and Bracing Metal Plate Connected Wood Trusses" (HIB-9). This bracing, both temporary and permanent, shall be shown on the shop drawings. Also, the shop drawings shall show the required attachments for the trusses.
5. Any chords or truss webs shown on these drawings have been shown as a reference only. The final design of the trusses shall be per the manufacturer.

EXTERIOR WOOD FRAMED DECKS:

- 1. Decks are to be framed in accordance with local building codes and as referenced on the structural plans, either through code references or construction details.

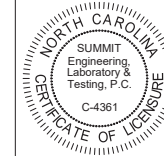
WOOD STRUCTURAL PANELS:

- 1. Fabrication and placement of structural wood sheathing shall be in accordance with the APA Design/Construction Guide "Residential and Commercial," and all other applicable APA standards.
2. All structurally required wood sheathing shall bear the mark of the APA.

- 3. Wood wall sheathing shall comply with the requirements of local building codes for the appropriate state as indicated on these drawings. Refer to wall bracing notes in plan set for more information. Sheathing shall be applied with the long direction perpendicular to framing, unless noted otherwise.
4. Roof sheathing shall be APA rated sheathing exposure 1 or 2. Roof sheathing shall be continuous over two supports and attached to its supporting roof framing with (1)-8d CC nail at 6" o/c at panel edges and at 12" o/c in panel field unless otherwise noted on the plans. Sheathing shall be applied with the long direction perpendicular to framing. Sheathing shall have a span rating consistent with the framing spacing. Use suitable edge support by use of plywood clips or lumber blocking unless otherwise noted. Panel end joints shall occur over framing. Apply building paper over the sheathing as required by the state Building Code.
5. Wood floor sheathing shall be APA rated sheathing exposure 1 or 2. Attach sheathing to its supporting framing with (1)-8d CC ringshank nail at 6" o/c at panel edges and at 12" o/c in panel field unless otherwise noted on the plans. Sheathing shall be applied perpendicular to framing. Sheathing shall have a span rating consistent with the framing spacing. Use suitable edge support by use of T&G plywood or lumber blocking unless otherwise noted. Panel end joints shall occur over framing. Apply building paper over the sheathing as required by the state Building Code.
6. Sheathing shall have a 1/8" gap at panel ends and edges as recommended in accordance with the APA.

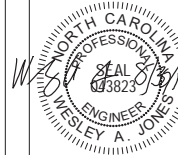
STRUCTURAL FIBERBOARD PANELS:

- 1. Fabrication and placement of structural fiberboard sheathing shall be in accordance with the applicable AFA standards.
2. All structurally required fiberboard sheathing shall bear the mark of the AFA.
3. Fiberboard wall sheathing shall comply with the requirements of local building codes for the appropriate state as indicated on these drawings. Refer to wall bracing notes in plan set for more information.
4. Sheathing shall have a 1/8" gap at panel ends and edges as recommended in accordance with the AFA.



CLIENT: McKee Homes
109 Hay St., Suite 301
Fayetteville, NC 28301

PROJECT: Torino II - RH
Coversheet



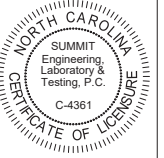
STRUCTURAL MEMBERS ONLY

DRAWING DATE: 08/30/2019
SCALE: 2/24 1/4"=1'-0"
PROJECT # 42483000 24396
DRAWN BY: EPB
CHECKED BY: WAJ

ORIGINAL INFORMATION
PROJECT # 42483000
DATE 08/30/2019

REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

SHEET CSI



CLIENT:
 McKee Homes
 103 Hay St., Suite 201
 Fayetteville, NC 28301

PROJECT:
 Torino II - R4
 Monolithic Slab Foundation

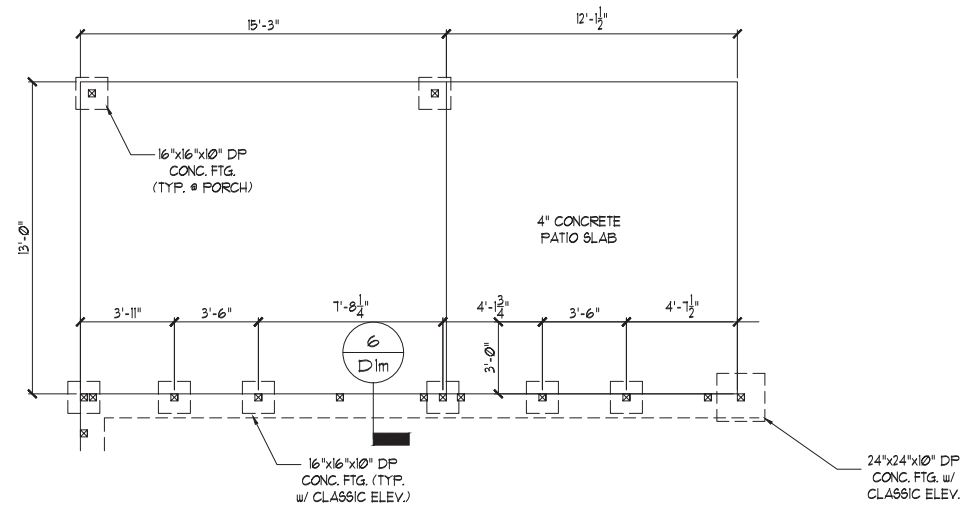


STRUCTURAL MEMBERS ONLY

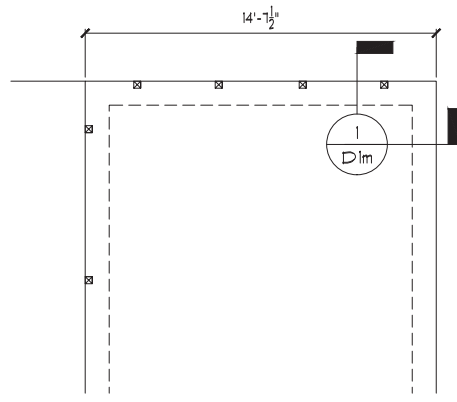
DRAWING
 DATE: 08/30/2019
 SCALE: 22x4 1/4" x 18" x 11" x 11"
 PROJECT # 42405000 24396
 DRAWN BY: EPB
 CHECKED BY: WAJ

ORIGINAL INFORMATION
 PROJECT # 24396 DATE 08/30/2019
 REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

SHEET
 S13m



OPT. COVERED PORCH



OPT. SITTING ROOM

STRUCTURAL MEMBERS ONLY

ENGINEERING SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS ON THIS DOCUMENT. SEAL DOES NOT INCLUDE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS. ANY DEVIATIONS OR DISCREPANCIES ON PLANS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF SUMMIT ENGINEERING, LABORATORY & TESTING, P.C. FAILURE TO DO SO WILL VOID SUMMIT LIABILITY.

STRUCTURAL ANALYSIS BASED ON 2018 NCR.

MONOLITHIC SLAB FOUNDATION PLAN

SCALE: 1/4" = 1'-0" ON 22"x34" OR 1/8" = 1'-0" ON 11"x17"

GENERAL STRUCTURAL NOTES:

- CONSTRUCTION SHALL CONFORM TO 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE WITH ALL LOCAL AMENDMENTS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS. CONTRACTOR SHALL COMPLY WITH THE CONTENTS OF THE DRAWING FOR THIS SPECIFIC PROJECT. ENGINEER IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THIS PLAN.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY BRACING REQUIRED TO RESIST ALL FORCES ENCOUNTERED DURING ERECTION. PROPERTIES USED IN THE DESIGN ARE AS FOLLOWS:
MICROLLAM (LVL): $F_b = 2600$ PSI, $F_v = 285$ PSI, $E = 13 \times 10^6$ PSI
PARALLAM (PSL): $F_b = 2900$ PSI, $F_v = 290$ PSI, $E = 125 \times 10^6$ PSI
- ALL WOOD MEMBERS SHALL BE #2 SYP UNLESS NOTED ON PLAN. ALL STUD COLUMNS AND JOISTS SHALL BE #2 SYP (UNO).
- ALL BEAMS SHALL BE SUPPORTED WITH A (2) 2x4 #2 SYP STUD COLUMN AT EACH END UNLESS NOTED OTHERWISE.
- ALL REINFORCING STEEL SHALL BE GRADE 60 BARS CONFORMING TO ASTM A615 AND SHALL HAVE A MINIMUM COVER OF 3".
- FOUNDATION ANCHORAGE SHALL BE CONSTRUCTED PER THE 2018 NORTH CAROLINA RESIDENTIAL CODE SECTION R403.1.6. MINIMUM 1/2" DIA BOLTS SPACED AT 6'-0" ON CENTER WITH A 1" MINIMUM EMBEDMENT INTO MASONRY OR CONCRETE. ANCHOR BOLTS SHALL BE 12" FROM THE END OF EACH PLATE SECTION. MINIMUM (2) ANCHOR BOLTS PER PLATE SECTION. ANCHOR BOLTS SHALL BE LOCATED IN THE CENTER THIRD OF THE PLATE.
- CONTRACTOR TO PROVIDED LOOKOUTS WHEN CEILING JOISTS SPAN PERPENDICULAR TO RAFTERS.
- FLITCH BEAMS, 4-PLY LVL'S AND 3-PLY SIDE LOADED LVL'S SHALL BE BOLTED TOGETHER WITH 1/2" DIA. THRU BOLTS SPACED AT 24" O.C. (MAX) STAGGERED OR EQUIVALENT CONNECTIONS PER DETAIL 1/037. MIN. EDGE DISTANCE SHALL BE 2" AND (2) BOLTS SHALL BE LOCATED MINIMUM 6" FROM EACH END OF THE BEAM.
- ALL NON-LOAD BEARING HEADERS SHALL BE (1) FLAT 2x4 SYP #2, DROPPED, FOR NON-LOAD BEARING HEADERS EXCEEDING 8'-0" IN WIDTH AND/OR WITH MORE THAN 2'-0" OF CRIPPLE WALL ABOVE, SHALL BE (2) FLAT 2x4 SYP #2, DROPPED. (UNLESS NOTED OTHERWISE)
- ABBREVIATIONS:

DJ = DOUBLE JOIST SJ = SINGLE JOIST
GT = GIRDER TRUSS FT = FLOOR TRUSS
SC = STUD COLUMN DR = DOUBLE RAFTER
EE = EACH END TR = TRIPLE RAFTER
TJ = TRIPLE JOIST OC = ON CENTER
CL = CENTER LINE PL = POINT LOAD

SHADED WALLS INDICATED LOAD BEARING WALLS

NOTE: REDUCE JOIST SPACING UNDER TILE FLOORS, GRANITE COUNTERTOPS AND/OR ISLANDS.

JOIST & BEAM SIZES SHOWN ARE MINIMUMS. BUILDER MAY INCREASE DEPTH FOR EASE OF CONSTRUCTION.

NOTE:
--- DESIGNATES JOIST SUPPORTED LOAD BEARING WALL ABOVE. PROVIDE BLOCKING UNDER JOIST SUPPORTED LOAD BEARING WALL.

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STRUCTURAL MEMBERS ONLY

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STRUCTURAL ANALYSIS BASED ON 2018 NCR. C.

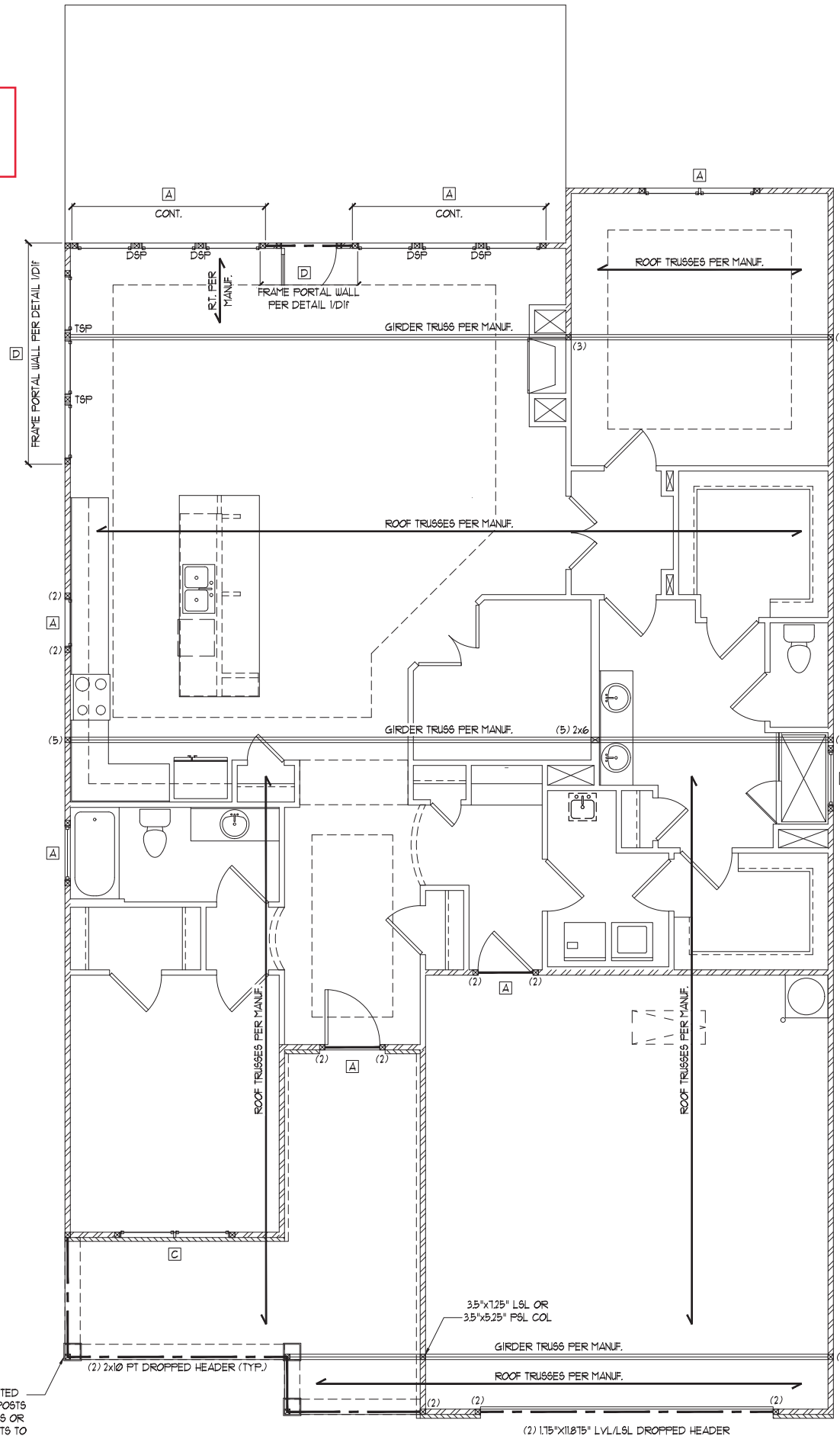
FIRST FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0" OR 22'x34" OR 1/8"=1'-0" ON 11x17"

Covered
Porch - see
next pg

Sitting Room
- See next pg

L Shaped
Shower -
See detail
below



| HEADER SCHEDULE | | |
|-----------------|--------------------|------------------|
| TAG | SIZE | JACKS (EACH END) |
| A | (2) 2x6 | (1) |
| B | (2) 2x8 | (2) |
| C | (2) 2x10 | (2) |
| D | (2) 2x12 | (2) |
| E | (2) 9-1/4" LSL/LVL | (3) |
| F | (3) 2x6 | (1) |
| G | (3) 2x8 | (2) |
| H | (3) 2x10 | (2) |
| I | (3) 2x12 | (3) |

- NOTES:
- HEADER SIZES SHOWN ON PLANS ARE MINIMUMS. GREATER HEADER SIZES MAY BE USED FOR EASE OF CONSTRUCTION.
 - ALL HEADERS TO BE DROPPED (UNO).
 - STUD COLUMNS NOTED ON PLAN OVERRIDE STUD COLUMNS LISTED ABOVE (UNO).
 - OPENINGS LESS THAN 3'-0" USE (1) KING STUD AT E.E. OPENINGS 3'-1" TO 4'-0" USE (2) KING STUDS AT E.E. OPENINGS 4'-1" TO 8'-0" USE (3) KING STUDS AT E.E. OPENINGS 8'-1" TO 12'-0" USE (5) KING STUDS AT E.E. OPENINGS 12'-1" TO 16'-0" USE (6) KING STUDS AT E.E.

ALL HEADERS WHERE BRICK IS USED, TO BE:

① LINTEL (UNO)

LINTEL SCHEDULE:

STEEL ANGLES TO HAVE MINIMUM 4" BEARING ONTO BRICK AT EACH END.

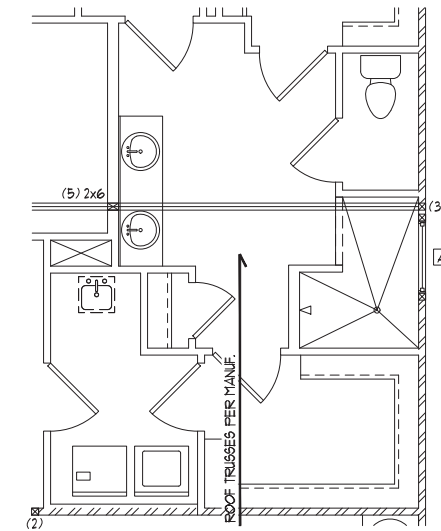
- L3x3x1/4"
- L5x3"x1/4"
- L5x3-1/2x5/16"
- L5x3-1/2"x5/16" ROLLED OR EQUAL ARCHED COMPONENT.

SECURE LINTEL TO HEADER w/ (2) 1/2" DIAMETER LAG SCREWS STAGGERED @ 16" O.C. (TYP FOR ③)

| WALL STUD SCHEDULE (10 FT HEIGHT) | | | | |
|-----------------------------------|---------------------|----------------|-----------------|------------------|
| STUD SIZE | STUD SPACING (O.C.) | | | |
| | ROOF ONLY | ROOF & 1 FLOOR | ROOF & 2 FLOORS | NON-LOAD BEARING |
| 2x4 | 24" | 16" | 12" | 24" |
| 2x6 | 24" | 24" | 16" | 24" |

NOTES:

- BRACED WALLS STUDS SHALL BE A MAX. OF 16" O.C.
- STUDS SUPPORTS OPTIONAL WALK-UP ATTIC SHALL BE SPACED A MAX. OF 16" O.C.
- TWO STORY WALLS SHALL BE FRAMED w/ 2x4 STUDS @ 12" O.C. OR 2x6 STUDS @ 16" O.C. BALLOON FRAMED w/ CROSS BRACING @ 6'-0" O.C. VERTICALLY.



OPT. L-SHAPED SHOWER

CRAFTSMAN

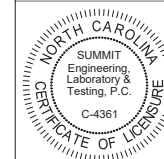
STRUCTURAL MEMBERS ONLY

DRAWING
DATE: 08/30/2019
SCALE: 22x4 1/4"=1'-0"
1/8"=1'-0"
PROJECT # 42405009 24396
DRAWN BY: EPB
CHECKED BY: WAJ

ORIGINAL INFORMATION
PROJECT # 42405009
DATE 08/30/2019

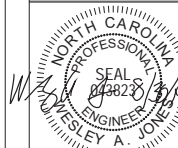
REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

SHEET



CLIENT:
 McKee Homes
 103 Hay St., Suite 201
 Fayetteville, NC 28301

PROJECT:
 Torino II - R4
 First Floor Framing Plan



STRUCTURAL MEMBERS ONLY

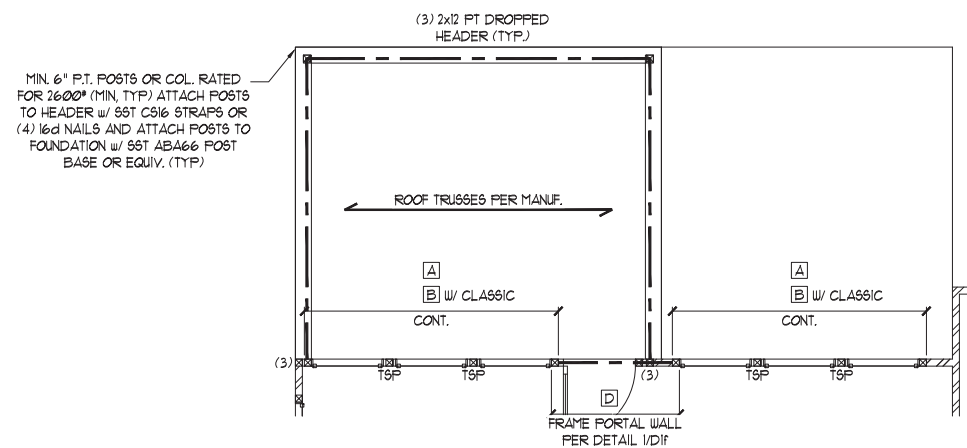
DRAWING
 DATE: 08/30/2018
 SCALE: 22x4 1/4" x 18" x 1-0"
 PROJECT: 4-42405000-24396
 DRAWN BY: EPB
 CHECKED BY: WAJ

ORIGINAL INFORMATION
 PROJECT: 24396 DATE: 08/30/2018

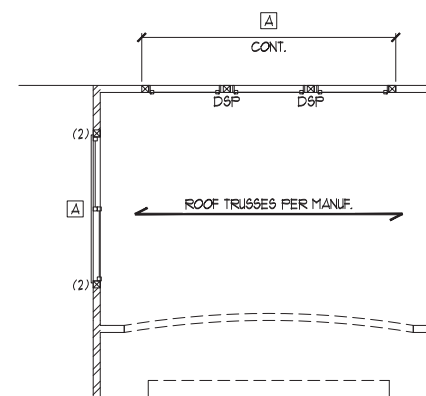
REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

SHEET

533



OPT. COVERED PORCH



OPT. SITTING ROOM

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STRUCTURAL ANALYSIS BASED ON 2018 NCR. C.

FIRST FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0" ON 22'x34" OR 1/8"=1'-0" ON 11'x17"

| TRUSS UPLIFT CONNECTOR SCHEDULE | | | |
|---------------------------------|--------------|--------------------------------|--------------|
| MAX. UPLIFT | ROOF TO WALL | FLOOR TO FLOOR | FLOOR TO END |
| 600 LBS | H2.5A | PER WALL SHEATHING & FASTENERS | |
| 1200 LBS | (2) H2.5A | C916 (END = 11") | DTT2Z |
| 1450 LBS | HT520 | C916 (END = 11") | DTT2Z |
| 2000 LBS | (2) HT520 | (2) C916 (END = 11") | DTT2Z |
| 2900 LBS | (2) HT520 | (2) C916 (END = 11") | HTT4 |
| 3685 LBS | LGT3-SD525 | M9TC52 | HTT4 |

- ALL PRODUCTS LISTED ARE SIMPSON STRONG-TIE. EQUIVALENT PRODUCTS MAY BE USED PER MANUFACTURER'S SPECIFICATIONS.
- UPLIFT VALUES LISTED ARE FOR SYP #2 GRADE MEMBERS.
- REFER TO TRUSS LAYOUT PER MANUF. FOR UPLIFT VALUES AND TRUSS TO TRUSS CONNECTIONS. CONNECTORS SPECIFIED BY TRUSS MANUFACTURER OVERRIDE THOSE LISTED ABOVE.
- CONTACT SUMMIT FOR REQUIRED CONNECTORS WHEN LOADS EXCEED THOSE LISTED ABOVE.

NOTE: 1ST PLY OF ALL SHOWN GIRDER TRUSSES TO ALIGN WITH INSIDE FACE OF WALL (TYP, UNO)

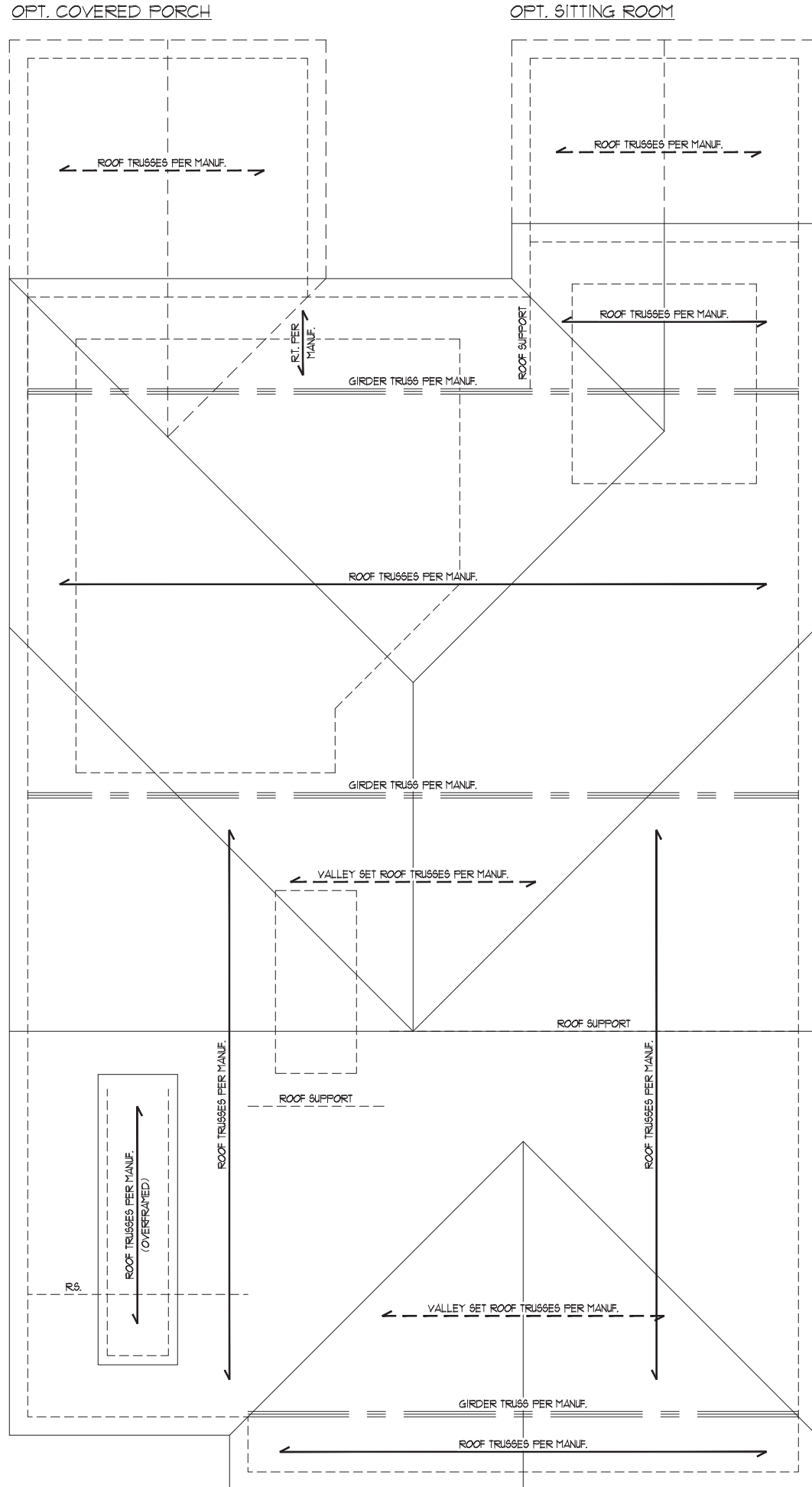
NOTE: ROOF TRUSSES SHALL BE SPACED TO SUPPORT FALSE FRAMED DORMER WALLS (TYP, UNO)

REFER TO DETAIL 5/D3F FOR EYEBROW, RETURN OR SHED ROOF FRAMING REQUIREMENTS. (TYP FOR ROOFS PROTRUDING MAXIMUM 24" FROM STRUCTURE)

NOTE: TRUSS UPLIFT LOADS SHALL BE DETERMINED PER TRUSS MANUFACTURER IN ACCORDANCE WITH SECTION R602.10.11. WALL SHEATHING AND FASTENERS HAVE BEEN DESIGNED TO RESIST THE WIND UPLIFT LOAD PATH IN ACCORDANCE WITH METHOD 3 OF SECTION R602.3.5 OF THE 2018 NCRC. REFER TO BRACED WALL PLANS FOR SHEATHING AND FASTENER REQUIREMENTS.

Add Covered Porch

Add Sitting Room



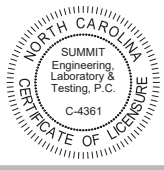
THESE PLANS ARE DESIGNED IN ACCORDANCE WITH ARCHITECTURAL PLANS PROVIDED BY MCKEE HOMES COMPLETED/REVISED ON 07/25/2019. IT IS THE RESPONSIBILITY OF THE CLIENT TO NOTIFY SUMMIT ENGINEERING, LABORATORY & TESTING, P.C. IF ANY CHANGES ARE MADE TO THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. SUMMIT ENGINEERING, LABORATORY & TESTING, P.C. CANNOT GUARANTEE THE ADEQUACY OF THESE STRUCTURAL PLANS WHEN USED WITH ARCHITECTURAL PLANS DATED DIFFERENTLY THAN THE DATE LISTED ABOVE.

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STRUCTURAL ANALYSIS BASED ON 2018 NCRC.

ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22'x34" OR 1/8"=1'-0" ON 11'x11"

CRAFTSMAN



CLIENT:
 McKee Homes
 109 Hwy 61, Suite 301
 Fayetteville, NC 28301

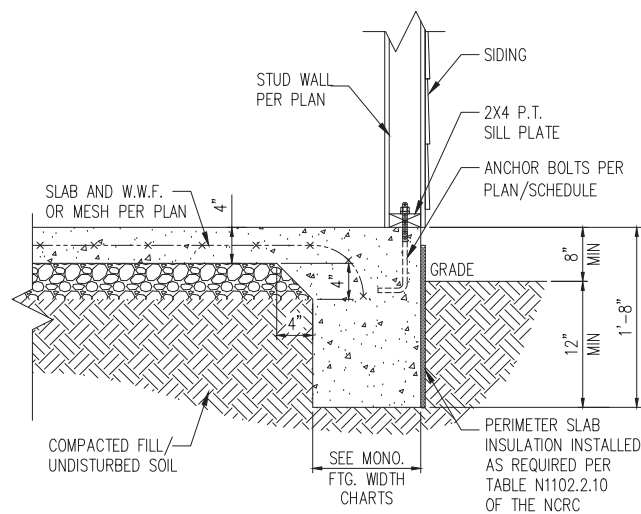
PROJECT:
 Torino II - R4
 Roof Framing Plan



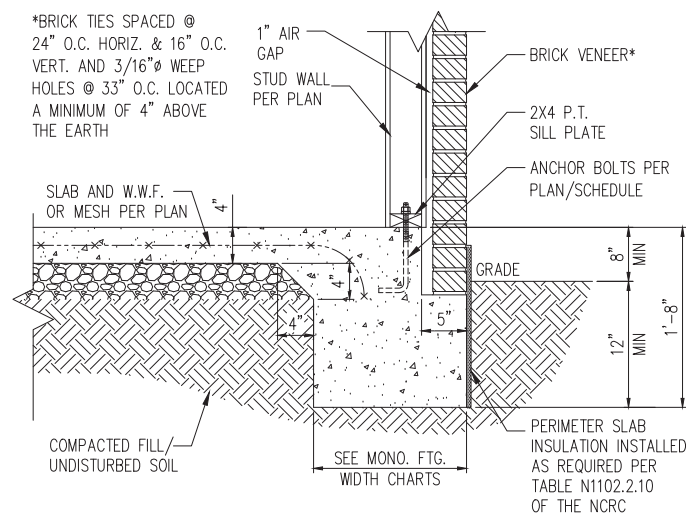
DATE: 08/08/2019
 SCALE: 1/2"=1'-0" / 1/8"=1'-0"
 PROJECT # 42405000 24396
 DRAWN BY: EPB
 CHECKED BY: WAJ

REFER TO COVER SHEET FOR A COMPLETE LIST OF REVISIONS

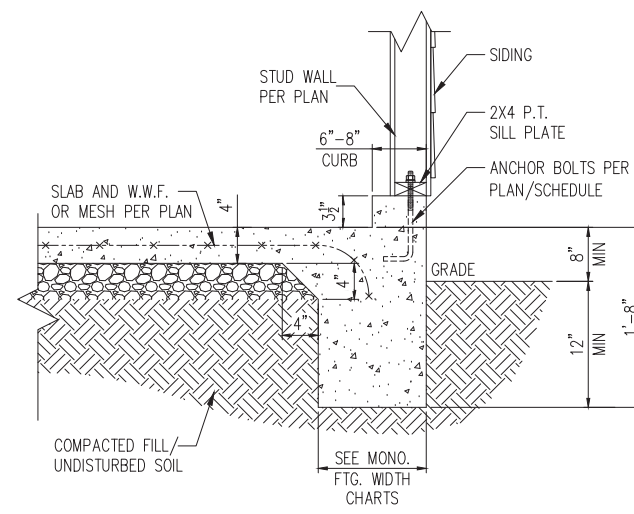
SHEET
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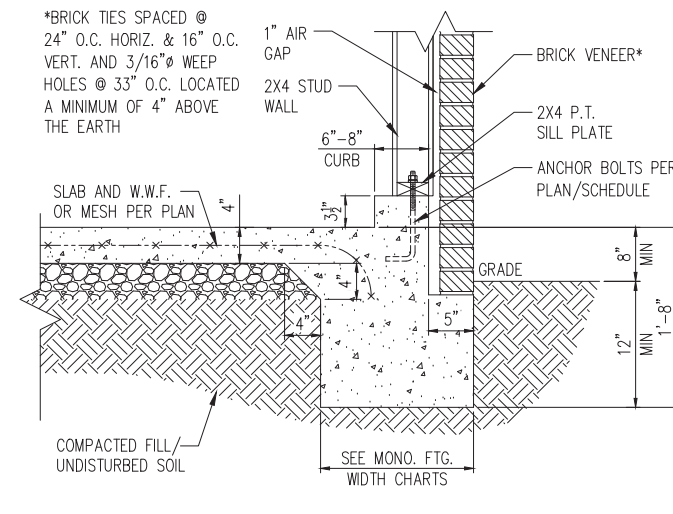
STANDARD - SIDING



STANDARD - BRICK



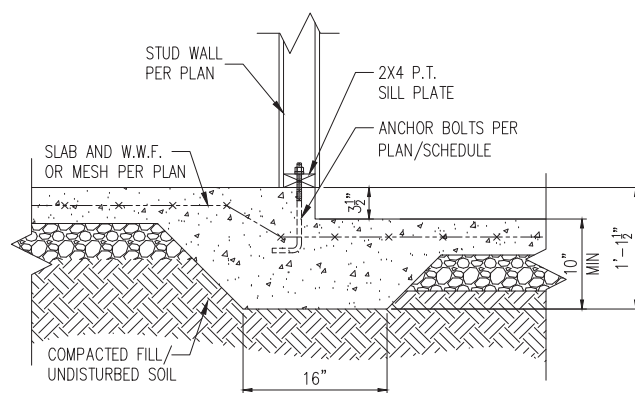
STANDARD - SIDING



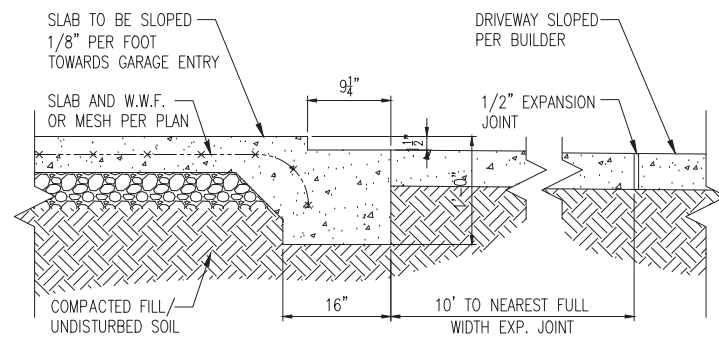
STANDARD - BRICK

1 TYP. SLAB DETAIL
D1m N.T.S.

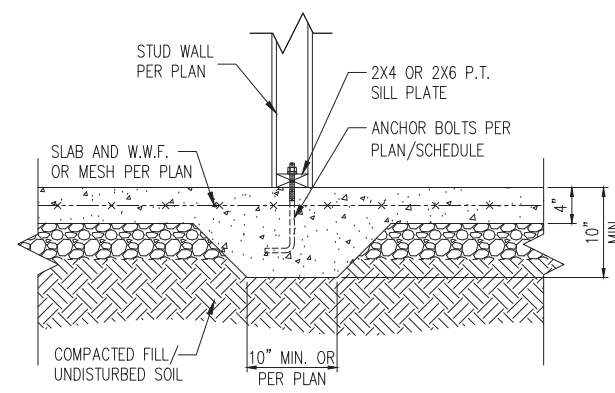
2 TYP. GARAGE CURB DETAIL
D1m N.T.S.



3 STEP IN GARAGE
D1m N.T.S.



4 SLAB AT GARAGE DOOR
D1m N.T.S.



5 TYP. THICKENED SLAB DETAIL
D1m N.T.S.

MONOLITHIC FOOTING WIDTH

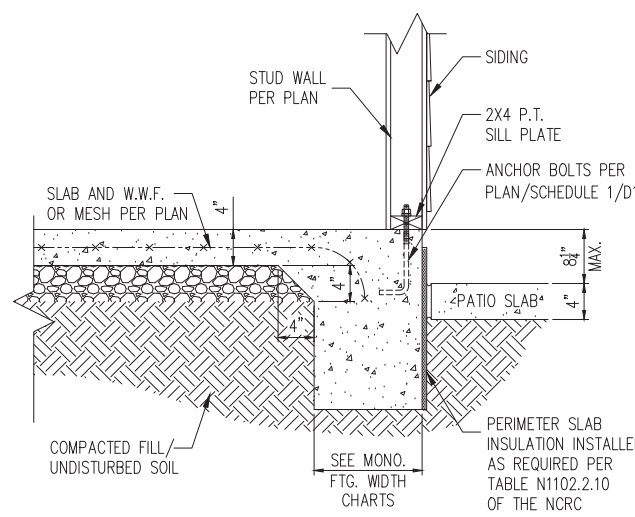
| # OF STORIES | WIDTH BASED ON SOIL BEARING CAPACITY | | |
|------------------------|--------------------------------------|----------|----------|
| | 1500 PSF | 2000 PSF | 2500 PSF |
| 1 STORY - STD. | 16" | 16" | 16" |
| 1 STORY - BRICK VENEER | 21" | 21" | 21" |
| 2 STORY - STD. | 16" | 16" | 16" |
| 2 STORY - BRICK VENEER | 21" | 21" | 21" |
| 3 STORY - STD. | 23" | 18" | 18" |
| 3 STORY - BRICK VENEER | 32" | 24" | 24" |

*5" BRICK LEDGE HAS BEEN ADDED TO THE MONOLITHIC FOOTING WIDTH FOR BRICK SUPPORT

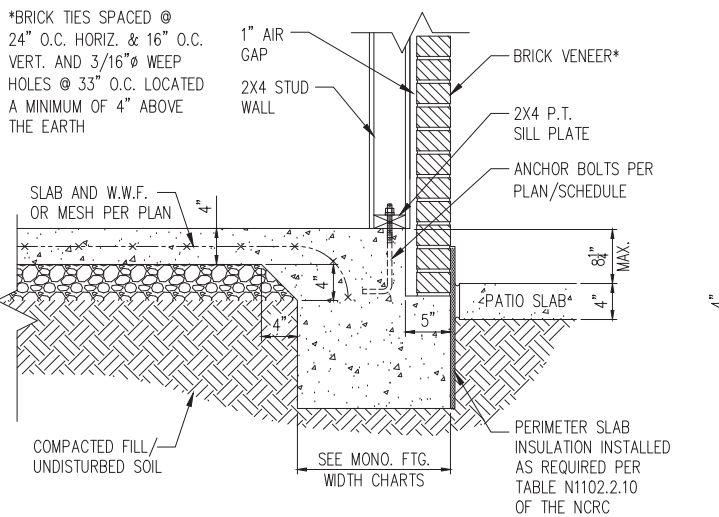
WALL ANCHOR SCHEDULE

| TYPE OF ANCHOR | MIN. CONC. EMBEDMENT | SPACING EMBEDMENT | INTERIOR WALL | EXTERIOR WALL |
|---|----------------------|-------------------|---------------|---------------|
| 1/2" Ø A307 BOLTS w/ STD. 90° BEND | 7" | 6'-0" | YES | YES |
| SST - MAS | 4" | 5'-0" | NO | YES |
| HILTI KWIK BOLT KBI 1/2-2-3/4 | 2-1/4" | 6'-0" | YES | NO |
| 1/2" Ø HILTI THREADED ROD w/ HIT HY150 ADHESIVE | 7" | 6'-0" | YES | YES |

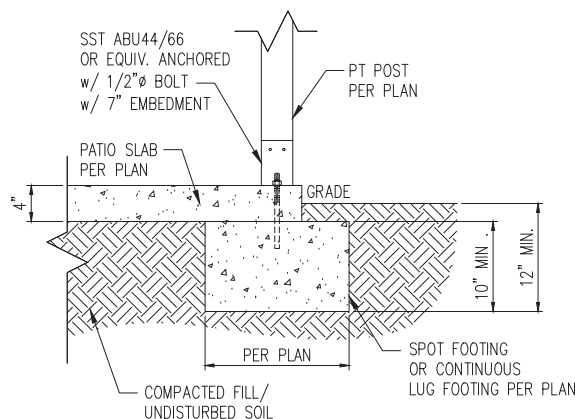
NOTE: INSTALL ALL ANCHORS 12" MAX. FROM ALL BOTTOM PLATE ENDS AND JOINTS.



STANDARD - SIDING



STANDARD - BRICK



6A COVERED PATIO DETAIL
D1m N.T.S.

6 PATIO SLAB DETAIL
D1m N.T.S.

NOTES:

- REFER TO GENERAL NOTES & SPECIFICATIONS ON COVERSHEET FOR ADDITIONAL INFORMATION.
- PROVIDE 6 MIL VAPOR BARRIER UNDER ALL SLABS-ON-GRADE.
- SEE ARCH. DWGS. FOR ALL TOP OF THE SLAB ELEVATIONS, SLOPES AND DEPRESSIONS.
- REFER TO STRUCTURAL PLANS AND FRAMING DETAILS FOR BRACED WALL PANEL LAYOUT, DIMENSIONS, ATTACHMENT AND CONNECTIONS
- REFER TO LOCAL AND STATEWIDE CODES FOR ADDITIONAL AMENDMENTS AND REQUIREMENTS NOT SHOWN
- PERIMETER INSULATION SHOWN AS REQUIRED BY LOCAL CLIMATE ZONE. INSTALL PER TABLE N1102.2.10 OF THE 2018 NCRS