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FRONT ELEVATION

SCALE 1/4" = 1'0"



ATTIC VENTILATION:

THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1 TO 300, PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION TO BE PROVIDED BY EAVE OR CORNICE VENTS.

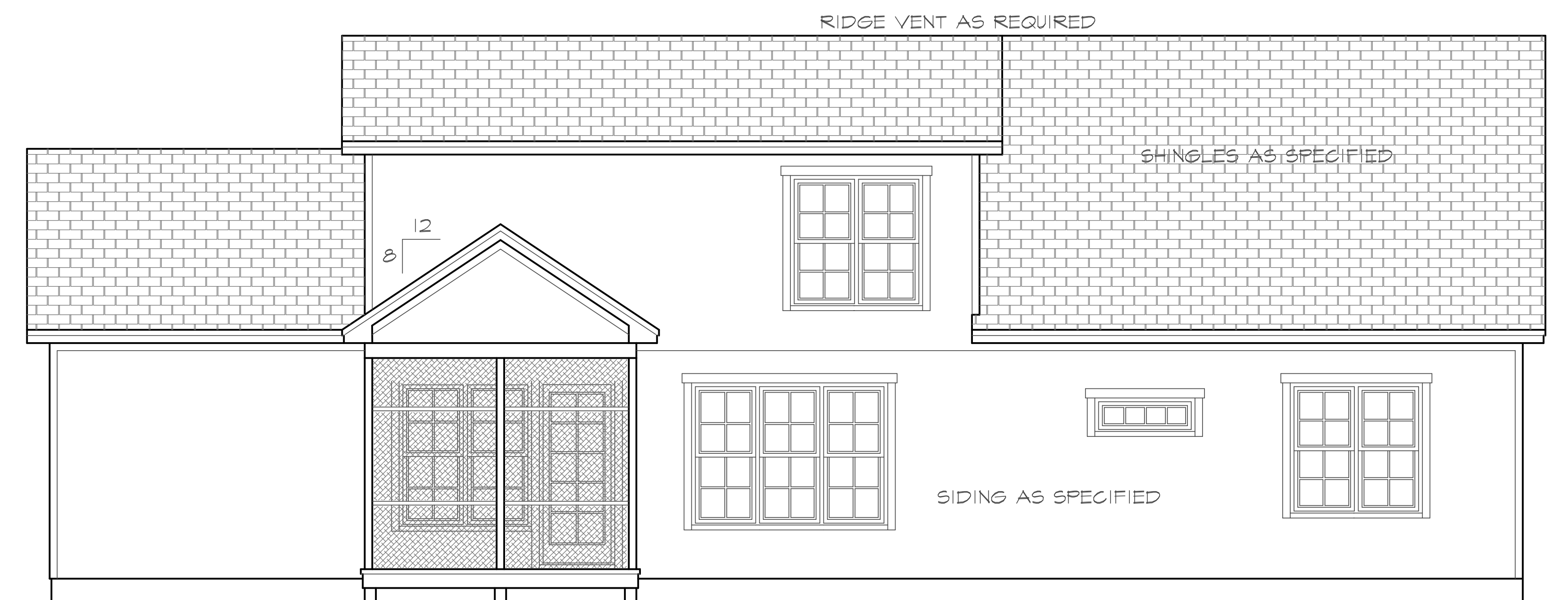
GROSS ATTIC AREA TO BE VENTILATED 2489 SQ.FT.

2489/300 = 8.11 SQ.FT. NET FREE AREA

50% OF VENTING MUST BE 5FT. ABOVE EAVE OR SOFFIT VENTS.

THIS PLAN DESIGNED UNDER NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION (2018 IRC)

NC (2018 NRC) : Wind : 115 - 120 mph



DECK NOT SHOWN (REFER TO FLOOR PLAN)

REAR ELEVATION

SCALE 1/8" = 1'0"

Plan For: **The "Howard II** GARAGE RIGHT
 MidTown Designs Inc. 1008 Ridge Dr. Clayton NC 27520 Phone: 919-783-8626 www.midtowndesigns.com

DATE	REV	DATE	REV

LOT SUB.

DATE 11/2/2020

SCALE

PROJECT # 201007



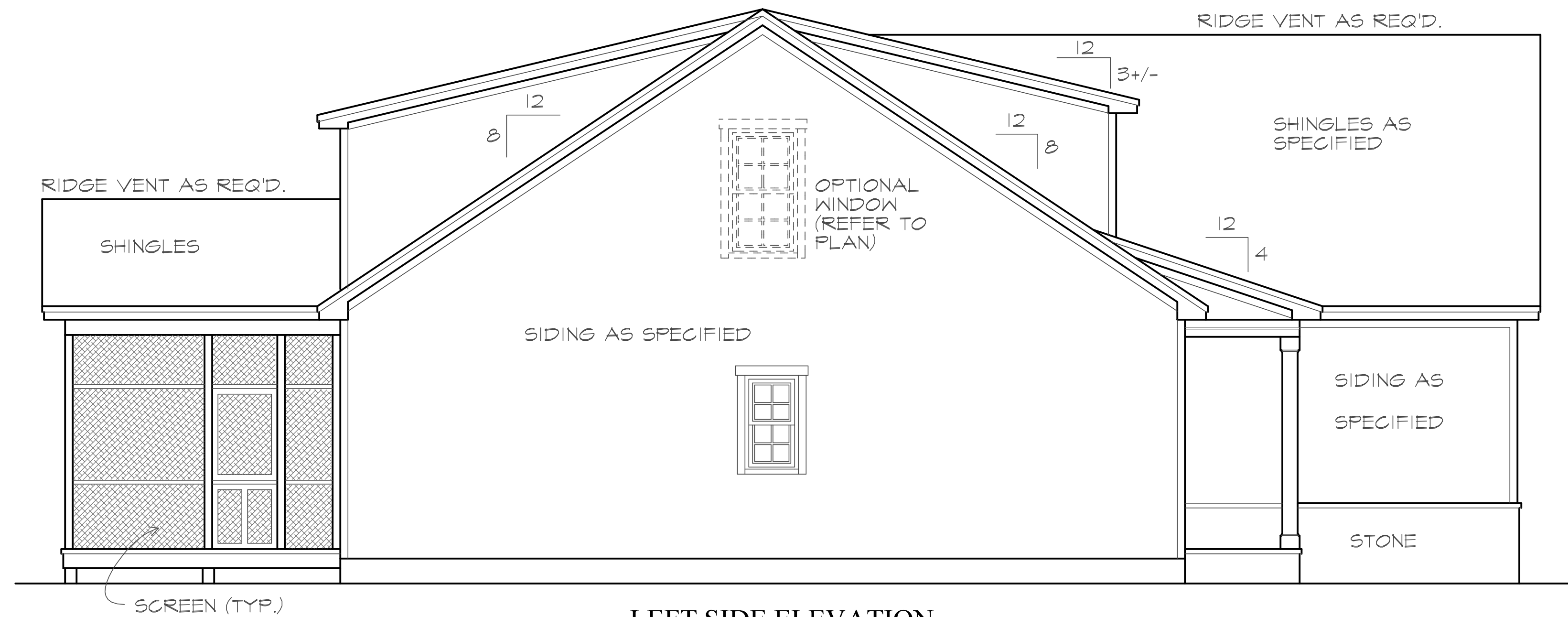
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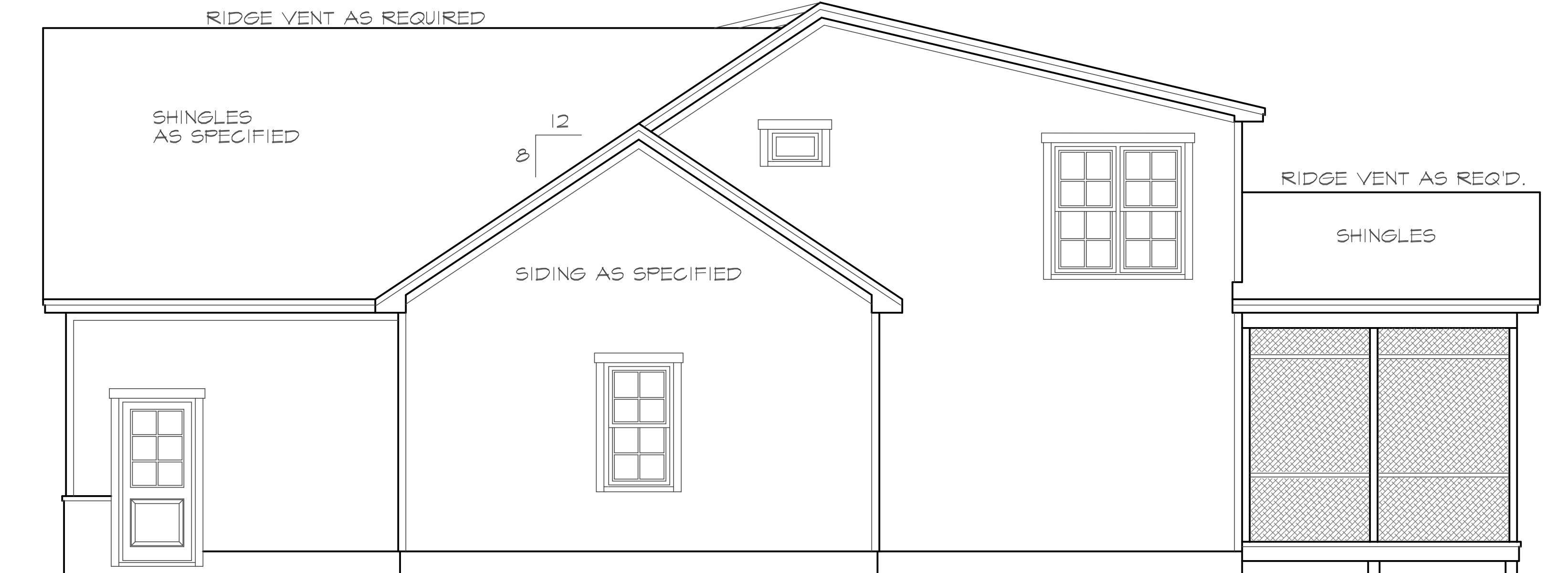
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LEFT SIDE ELEVATION

SCALE 1/8" = 1'0"



RIGHT SIDE ELEVATION

SCALE 1/8" = 1'0"

Plan For:

The "Howard II"

GARAGE RIGHT

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LOT SUB.

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FOUNDATION STRUCTURAL NOTES:

- 1 (3) 2 x 10 SFF #2 GIRDER DROPPED, TYPICAL I/O.
- 2 CONCRETE BLOCK PIER SIZE SHALL BE:

SIZE	HOLLOW MASONRY	SOLID MASONRY
8 x 16	UP TO 32' HIGH	UP TO 3'-0" HIGH
12 x 16	UP TO 48' HIGH	UP TO 4'-0" HIGH
16 x 16	UP TO 64' HIGH	UP TO 12'-0" HIGH
24 x 24	UP TO 96' HIGH	

WITH 30" x 30" x 10" CONCRETE FOOTING, I/O.
- 3 WALL FOOTING AS FOLLOWS:
 DEPTH: 8" - UP TO 2-1/2 STORY
 10" - 3 STORY
 WIDTH: SIDING (OR EQUAL)
 - 16" - UP TO 2-1/2 STORY
 - 18" - 3 STORY
 BRICK VENEER
 - 16" - 1 STORY
 - 20" - 2 STORY
 - 24" - 3 STORY
 FOR FOUNDATION WALL HEIGHT AND BACKFILL REQUIREMENTS, REFER TO NORTH CAROLINA RESIDENTIAL CODE TABLE R404.1 (1 THRU 4) NOTE: ASSUMED SOIL BEARING CAPACITY = 2000 PSF. CONTRACTOR MUST VERIFY SITE CONDITIONS AND CONTACT SOILS ENGINEER IF MARGINAL OR UNSTABLE SOILS ARE ENCOUNTERED. ATTACH SILL PLATE WITH 1/2" DIA. ANCHOR BOLTS AT 6'-0" CENTERS (1" EMBEDMENT) AND 12" FROM EACH PLATE END, (SECTION R 403.1.6)
- 4 ■ DESIGNATES A SIGNIFICANT POINT LOAD TO HAVE SOLID BLOCKING TO PIER. SOLID BLOCK ALL BEAM BEARING POINTS NOTED TO HAVE THREE OR MORE STUDS TO END, TYPICAL.
- 5 ABBREVIATIONS:
 'SJ' = SINGLE JOIST
 'DJ' = DOUBLE JOIST
 'TJ' = TRIPLE JOIST
- 6 (4) 2 x 10 SFF #2 GIRDER, TYPICAL I/O.
 W/3-6" TIMBERLOK SCREWS @12" OC

FOUNDATION VENTING

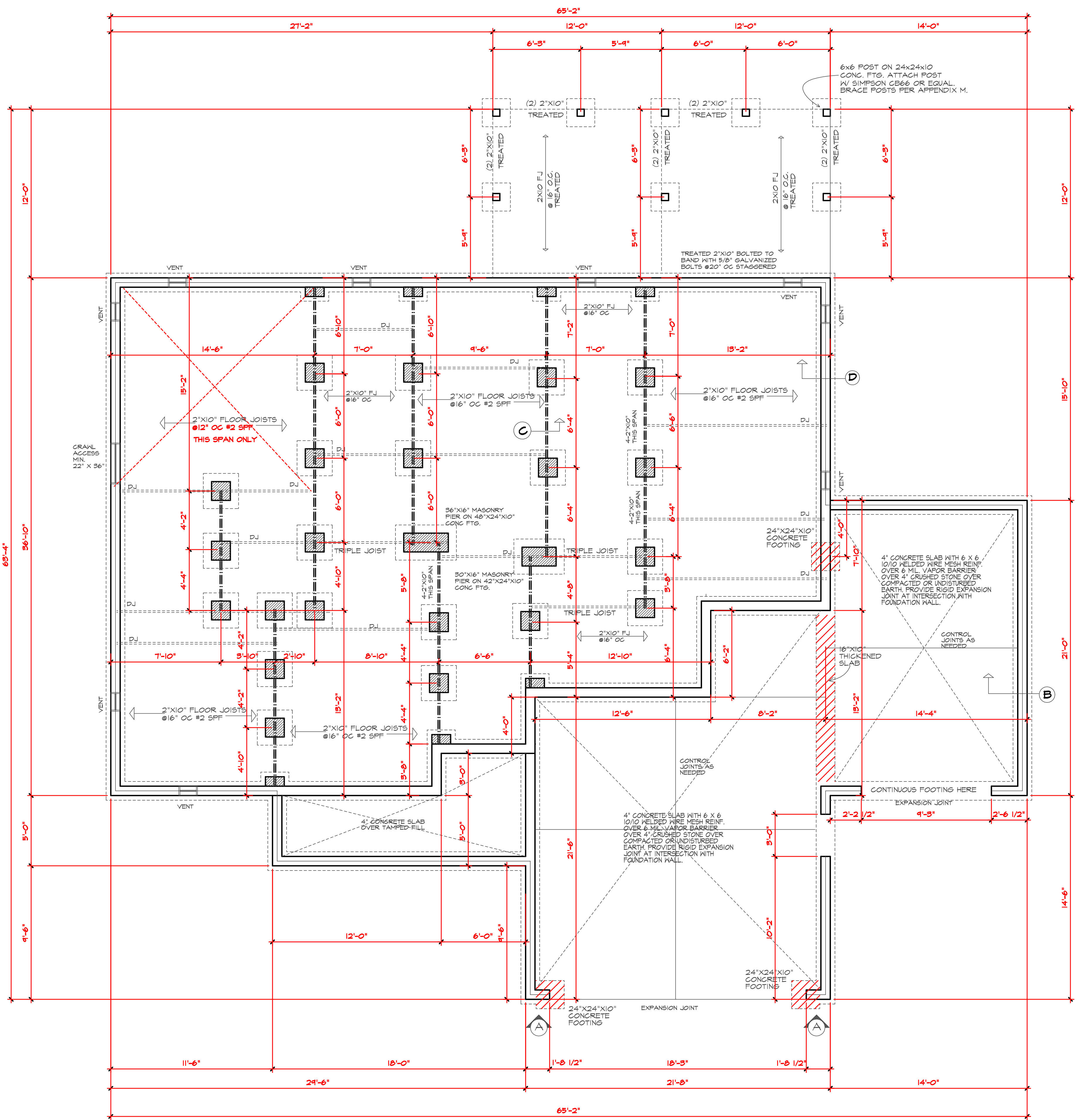
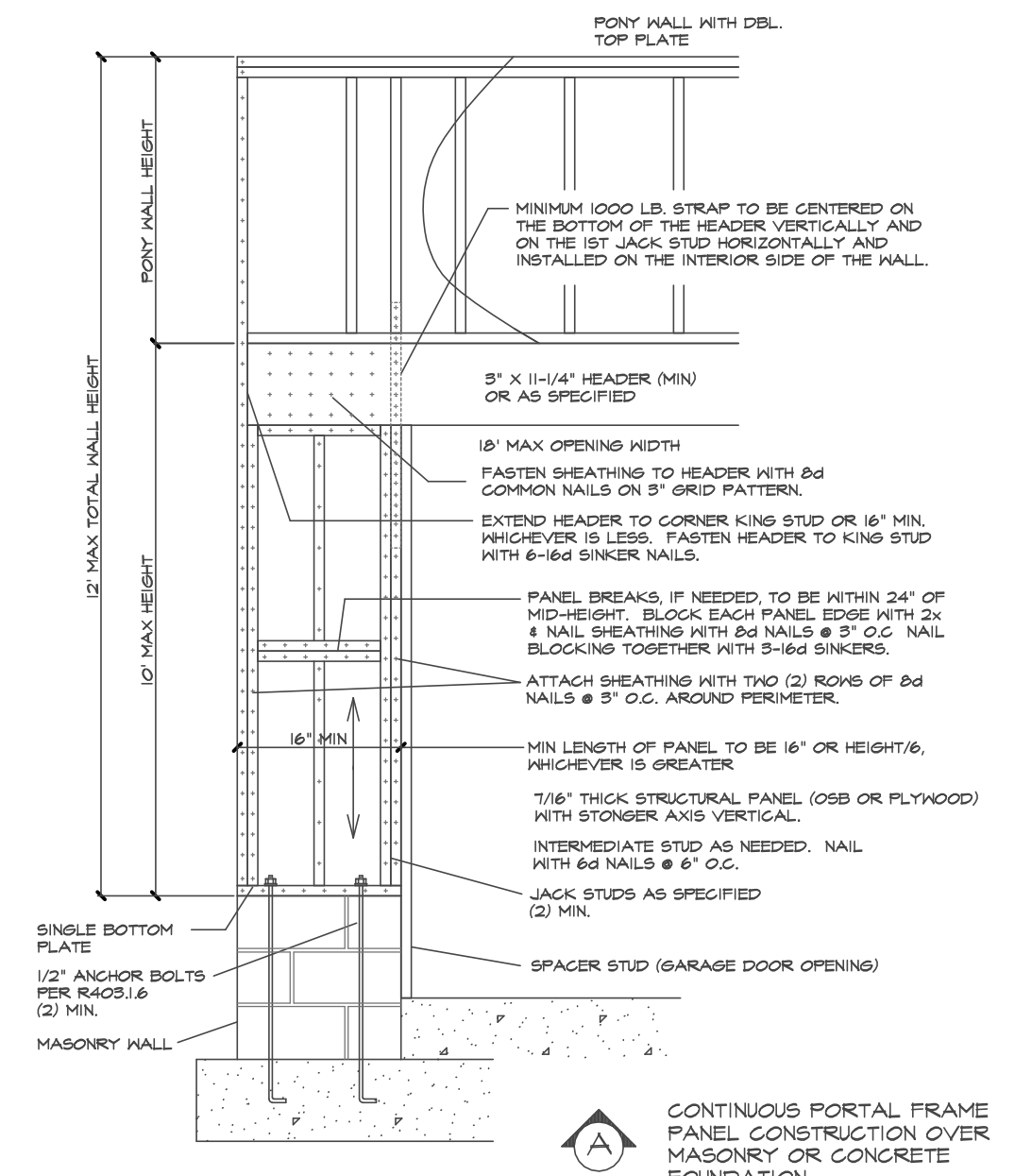
SECTION R408 UNDER FLOOR SPACE
 R408.1 Ventilation. The under-floor space between the bottom of the floor joists and the earth under any building (except space occupied by a basement or cellar) shall be provided with ventilation openings through foundation walls or exterior walls. The minimum net area of ventilation openings shall not be less than 1 square foot for each 150 square feet (0.67 m squared for each 100 m squared) of under-floor space area. One such ventilating opening shall be within 3 feet (914 mm) of each corner of said building.
 CRAWL AREA TO BE VENTED: 1658 SQ.FT.
 1658/1500 = 1.105 NET FREE VENTING AREA REQUIRED

R408.2 Ground Vapor Retarder
 A minimum 6 mil. polyethylene vapor retarder shall be installed to cover all earth in the crawl space with joints lapped not less than 12"

OR
SEALED CRAWL SPACE BY OTHERS



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FOUNDATION PLAN
 SCALE 1/4" = 1'-0"



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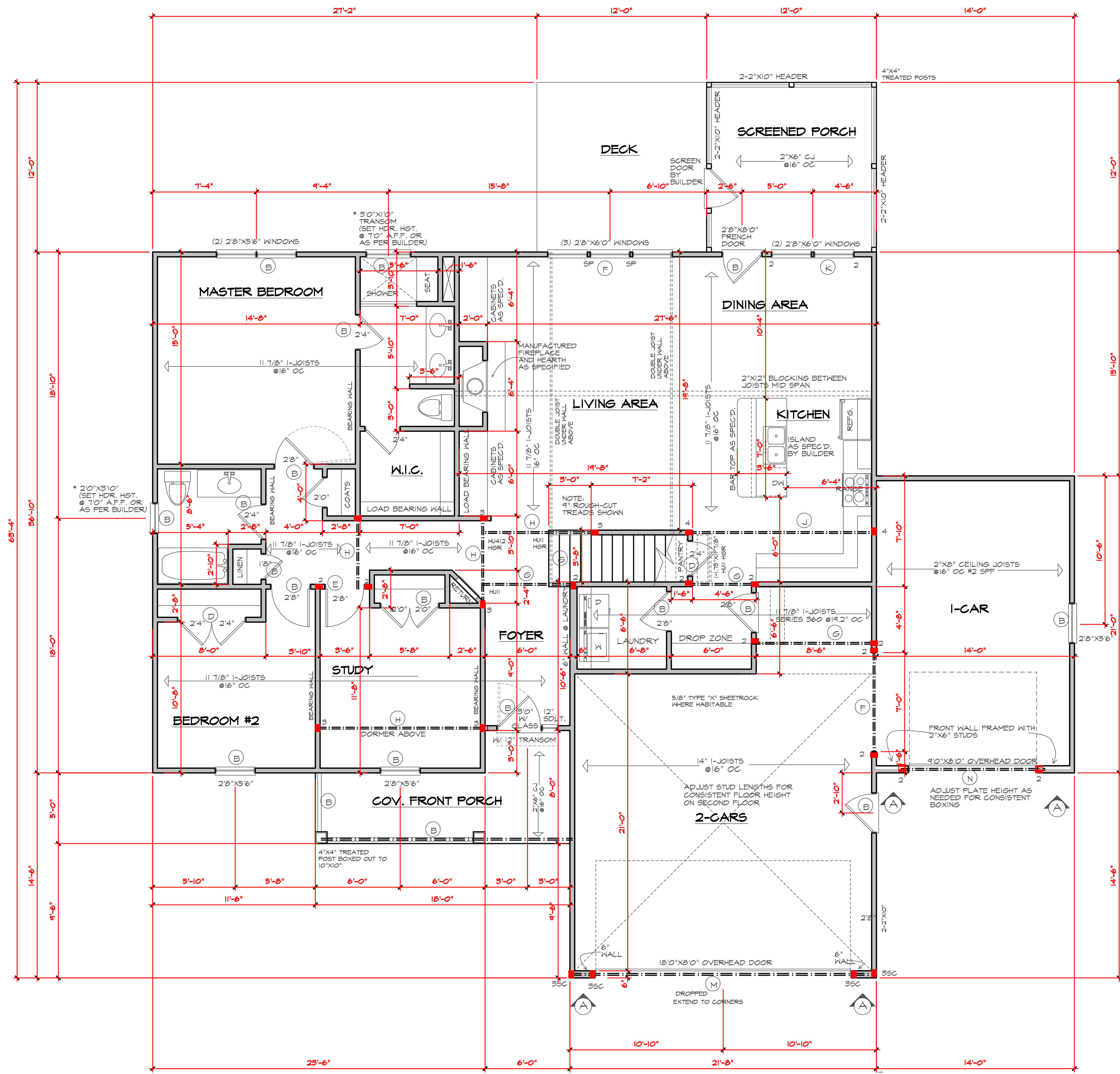
DATE	REV	DATE	REV

LOT:	
BLK:	
DATE:	2/18/2021
SCALE:	
PROJECT #:	201007

- BEAM SCHEDULE
- (A) 2-2"x10" FLUSH
 - (B) 2-2"x10" DROPPED
 - (C) 2-2"x8" FLUSH
 - (D) 2-2"x8" DROPPED
 - (E) 2-1.75"x9.25" LVL FLUSH
 - (F) 2-1.75"x9.25" DROPPED
 - (G) 1-1.75"x11 7/8" LVL FLUSH
 - (H) 2-1.75"x11 7/8" LVL FLUSH
 - (J) 3-1.75"x11 7/8" LVL FLUSH
 - (K) 2-2"x12" DROPPED
 - (M) 2-1.75"x18" LVL DROPPED
 - (N) 2-1.75"x11 7/8" LVL DROPPED



2/18/2021
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FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

- 1-JOIST OPTIONS
- TJ1 230 SERIES
 - BLULINK BULI 60
 - BCI 60 SERIES
 - GPI 65 SERIES
 - LP1 32 PLUS

SQUARE FOOTAGE	
FIRST FLOOR	1663 SQ.FT.
SECOND FLOOR	590 SQ.FT.
TOTAL	2261 SQ.FT.
GARAGES	
FRONT PORCH	108 SQ.FT.
SCREENED PORCH	144 SQ.FT.
DECK	144 SQ.FT.



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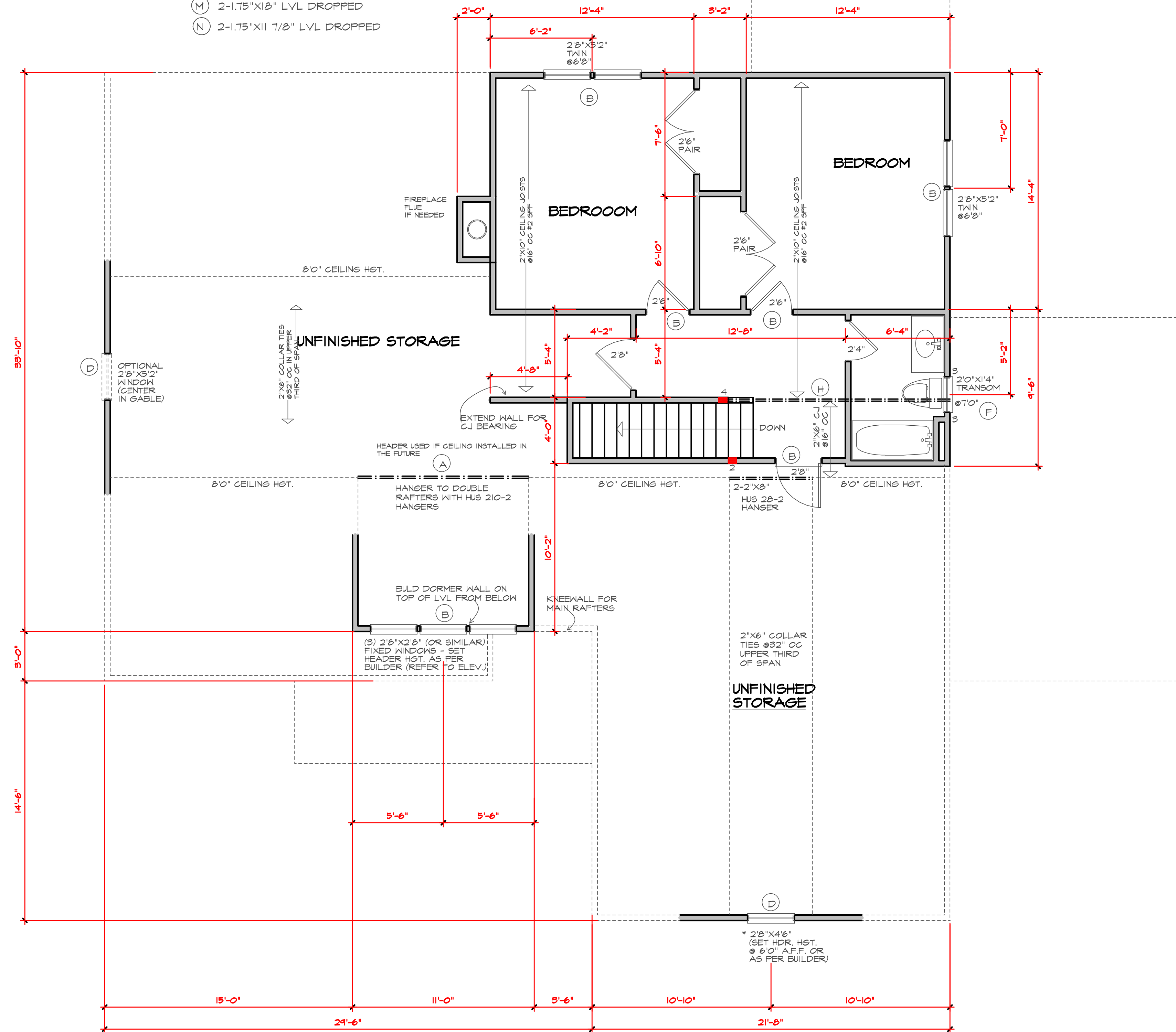
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 - (G) 1-1.75"X11 7/8" LVL FLUSH
 - (H) 2-1.75"X11 7/8" LVL FLUSH
 - (J) 3-1.75"X11 7/8" LVL FLUSH
 - (K) 2-2"X12" DROPPED
 - (M) 2-1.75"X18" LVL DROPPED
 - (N) 2-1.75"X11 7/8" LVL DROPPED



SECOND FLOOR PLAN
 SCALE 1/4" = 1'-0"

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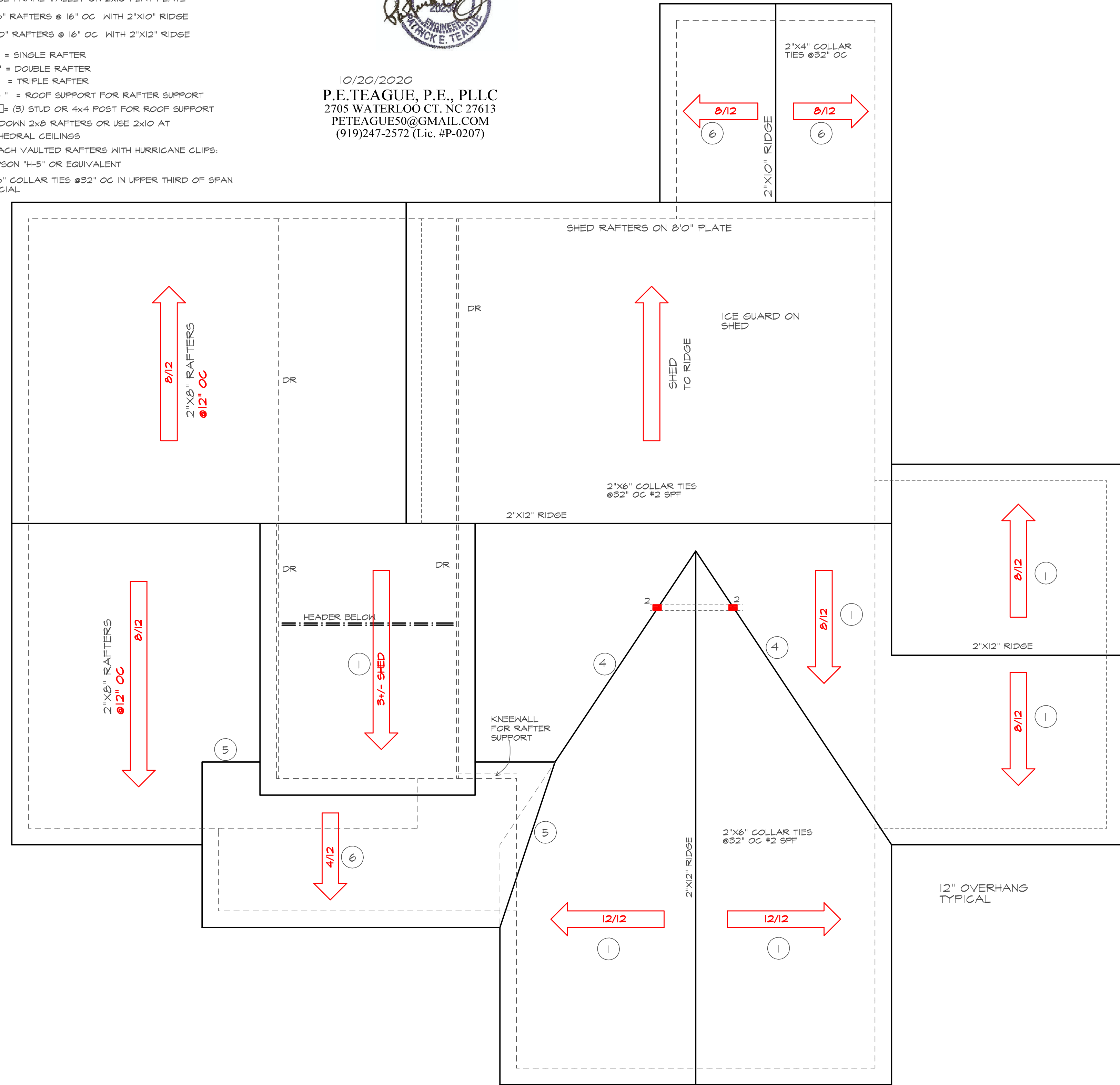
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ROOF FRAMING NOTES:

- ① ALL RAFTERS TO BE 2x8 @ 16" O.C. WITH 2 X 12 RIDGE, UNO.
 - ② (2)2x10 OR 1.75"x11 7/8" LVL HIP, HIPs MAY BE SPLICED WITH A MINIMUM 6'-0" OVERLAP AT CENTER.
 - ③ (2)2x10 OR 1.75"x11 7/8" VALLEY, DO NOT SPLICE VALLEYS
 - ④ 1.75"x11 7/8" LVL VALLEY
 - ⑤ FALSE FRAME VALLEY ON 2x10 FLAT PLATE
 - ⑥ 2"x6" RAFTERS @ 16" OC WITH 2"x10" RIDGE
 - ⑦ 2"x10" RAFTERS @ 16" OC WITH 2"x12" RIDGE
- "SR" = SINGLE RAFTER
 - "DR" = DOUBLE RAFTER
 - "TR" = TRIPLE RAFTER
 - "RS" = ROOF SUPPORT FOR RAFTER SUPPORT
 - " (3) STUD OR 4x4 POST FOR ROOF SUPPORT
 - FIR DOWN 2x8 RAFTERS OR USE 2x10 AT CATHEDRAL CEILINGS
 - ATTACH VAULTED RAFTERS WITH HURRICANE CLIPS; SIMPSON "H-5" OR EQUIVALENT
 - 2"x6" COLLAR TIES @32" OC IN UPPER THIRD OF SPAN TYPICAL



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ROOF PLAN
 SCALE 1/4" = 1'-0"



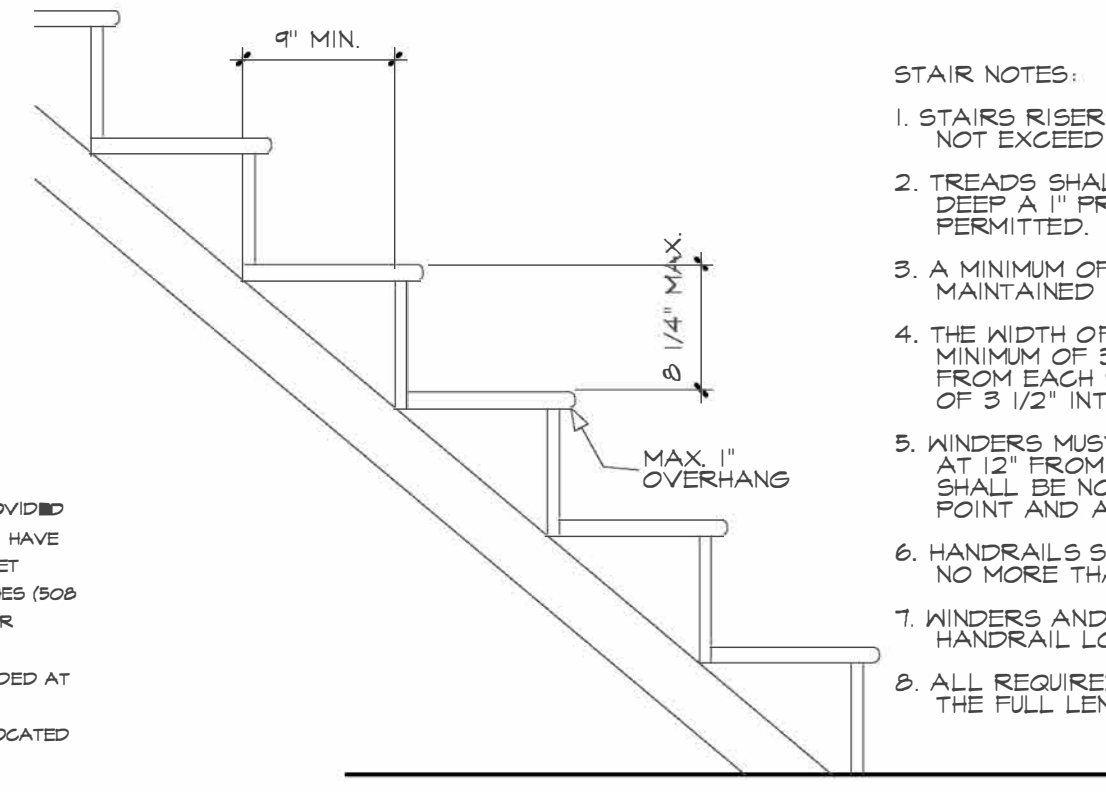
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- STAIR NOTES:
1. STAIR RISERS MUST BE UNIFORM AND NOT EXCEED 6 1/4\".
 2. TREADS SHALL NOT BE LESS THAN 10\" DEEP A 1\" PROJECTION OVER RISER IS PERMITTED.
 3. A MINIMUM OF 6'8\" HEADROOM MUST BE MAINTAINED AT ALL PLACES ON STAIR.
 4. THE WIDTH OF THE STAIR SHALL BE A MINIMUM OF 8'0\" HANDRAIL MAY PROJECT FROM EACH SIDE OF STAIR A DISTANCE OF 3 1/2\" INTO THE REQUIRED WIDTH.
 5. HANDRAILS MUST BE A MINIMUM OF 3\" IN WIDTH AT 12\" FROM THE NARROWEST SIDE. TREAD SHALL BE NO NARROWER THAN 4\" AT ANY POINT AND AVERAGE NO LESS THAN 9 INCHES.
 6. HANDRAILS SHALL BE NO LESS THAN 3/4\" AND NO MORE THAN 3/8\" ABOVE TREAD NOSING.
 7. HANDRAILS AND SPIRAL STAIRS SHALL HAVE THE HANDRAIL LOCATED ON THE OUTSIDE RADIUS.
 8. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS.

STAIR DETAIL

NO SCALE

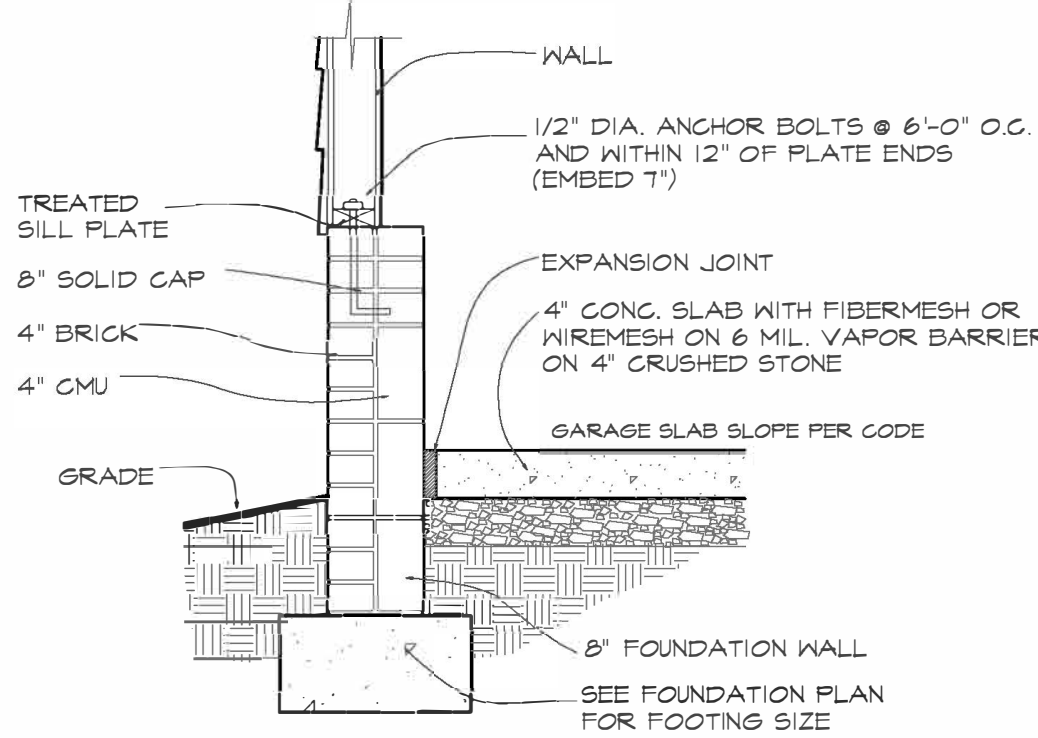
ATTIC ACCESS

SECTION R807
 R807: ATTIC ACCESS/ATTIC OPENING SHALL BE PROVIDED TO ATTIC AREAS THAT EXCEED 400 SQUARE FEET (316 M²) AND HAVE A VERTICAL HEIGHT OF 60 INCHES (524 MM) OR GREATER. THE NET CLEAR OPENING SHALL NOT BE LESS THAN 30 INCHES (762 MM) BY 762 MM AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. A 30-INCH (762 MM) MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT SOME POINT ABOVE THE ACCESS OPENING. SEE SECTION M803.19 FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED IN ATTICS.
 EXCEPTIONS:
 1. CONCEALED AREAS NOT LOCATED OVER THE MAIN STRUCTURE INCLUDING PORCHES, AREAS BEHIND KNEE WALLS, BARNERS, BAY WINDOWS, ETC. ARE NOT REQUIRED TO HAVE ACCESS.
 2. FALL DOWN STAIR TREADS, STRINGERS, HANDRAILS, AND HARDWARE MAY PROJECT INTO THE NET CLEAR OPENING.

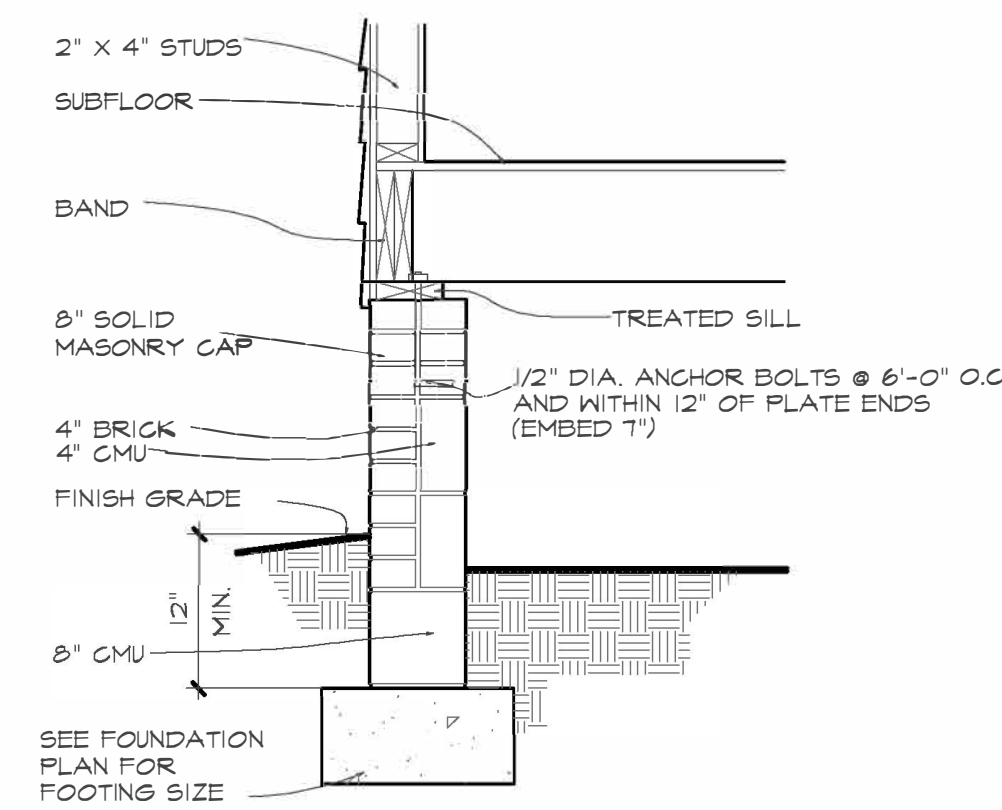
STRUCTURAL NOTES

- 1) ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA STATE RESIDENTIAL CODE - 2018 EDITION (2015 IRC), PLUS ALL LOCAL CODES AND REGULATIONS.
 ALL MEMBERS SHALL BE FRAMED, ANCHORED, TIED AND BRACED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICE AND THE BUILDING CODE.
- 2) DESIGN LOADS SEE TABLE R301.5
- 3) WIND SPEED: REFER TO TABLE R301.2.4) VERIFY ZONE BEFORE CONSTRUCTION.
- 4) WALL BRACING: WALLS SHALL BE BRACED ALONG BRACED WALL LINES ACCORDING TO SECTION R602.10. THE AMOUNT, LOCATION AND CONSTRUCTION OF BRACING SHALL COMPLY WITH R602.10. NOTE THAT THE BRACING SHOWN ON THE PLANS IS BASED ON THE PRESCRIPTIVE BRACING REQUIREMENTS OF THE CODE AND SHALL BE VERIFIED AND/OR APPROVED BY THE CODE OFFICIAL.
- 5) CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI AND A MAXIMUM SLUMP OF 5 INCHES UNLESS NOTED OTHERWISE (NO). ALL ENTRAINED PER TABLE 402.2 ALL CONCRETE SHALL BE PROPORTIONED, MIXED, HANDLED, SAMPLED, TESTED AND PLACED IN ACCORDANCE WITH ACI STANDARDS. ALL SAMPLES FOR PUMPING SHALL BE TAKEN FROM THE EXIT END OF THE PUMP.
- 6) ALLOWABLE SOIL BEARING PRESSURE ASSUMED TO BE 2000 PSF. THE CONTRACTOR MUST CONTACT A GEOTECHNICAL ENGINEER AND THE STRUCTURAL ENGINEER IF UNSATISFACTORY SUBSURFACE CONDITIONS ARE ENCOUNTERED. THE SURFACE AREA ADJACENT TO THE FOUNDATION WALL SHALL BE PROVIDED WITH ADEQUATE DRAINAGE AND SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS.
- 7) ALL FRAMING LUMBER SHALL BE SPP #2 (FB = 215 PSI) UNLESS NOTED OTHERWISE (NO). ALL TREATED LUMBER SHALL BE SPP #2 (FB=215 PSI), PLATE MATERIAL MAY BE SPP #3 OR SPP #3 (FC/PERP) = 425 PSI - MIN.
- 8) ALL WOODEN BEAMS AND HEADERS SHALL HAVE THE FOLLOWING END SUPPORTS: (1) 2X4 STUD COLUMN FOR 6'-0\" MAX BEAM SPAN (NO), (2) 2X4 STUDS FOR BEAM SPAN GREATER THAN 6'-0\" (NO).
- 9) L.V.L. SHALL BE LAMINATED VENEER LUMBER, FB=2600 PSI, FV=255 PSI, EI=400,000 PSI, P.S.L. SHALL BE PARALLEL STRAND LUMBER, FB=2400 PSI, FV=250 PSI, EI=200,000 PSI. L.S.L. SHALL BE LAMINATED STRAND LUMBER, FB=2250 PSI, FV=400 PSI, EI=350,000 PSI. INSTALL ALL CONNECTIONS PER MANUFACTURER'S INSTRUCTIONS.
- 10) ALL ROOF TRUSS AND JOIST LAYOUTS SHALL BE PREPARED IN ACCORDANCE WITH THE SEALED STRUCTURAL DRAWINGS. TRUSSES AND JOISTS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

- 11) REBAR SHALL BE DEFORMED STEEL, ASTM#65, GRADE 60
- 12) FLITCH BEAMS SHALL BE BOLTED TOGETHER USING (2) ROWS OF 1/2\" DIAMETER BOLTS (ASTM A307) WITH WASHERS FLANGED UNDER THE TREADS END OF BOLT. BOLTS SHALL BE SPACED AT 24\" O.C. (MAX) AND STAGGERED AT THE TOP AND BOTTOM OF BEAM (2\" EDGE DISTANCE), WITH 2 BOLTS LOCATED AT 6\" FROM EACH END.
- 13) BRICK LINTELS SHALL BE 3 1/2\"X3 1/2\"X1/4\" STEEL ANGLE FOR UP TO 6'-0\" SPAN AND 6\"X4\"X5/16\" STEEL ANGLE WITH 6\" LEG VERTICAL FOR SPAN UP TO 4'-0\" (NO).
- 14) THE POSITIVE AND NEGATIVE DESIGN PRESSURE FOR DOORS AND WINDOWS SEE R301.2(6)



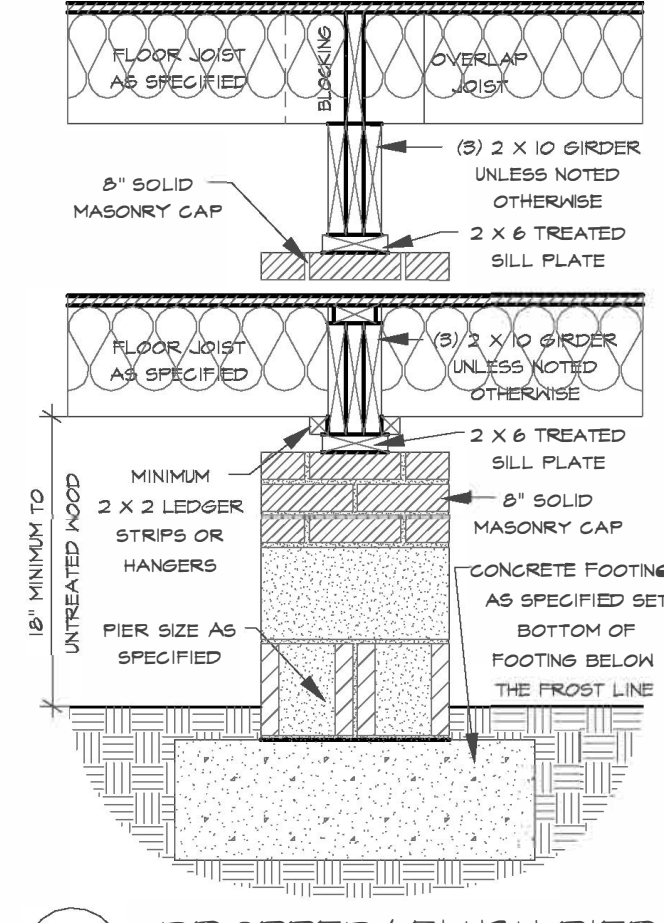
B) SECTION AT GARAGE SLAB



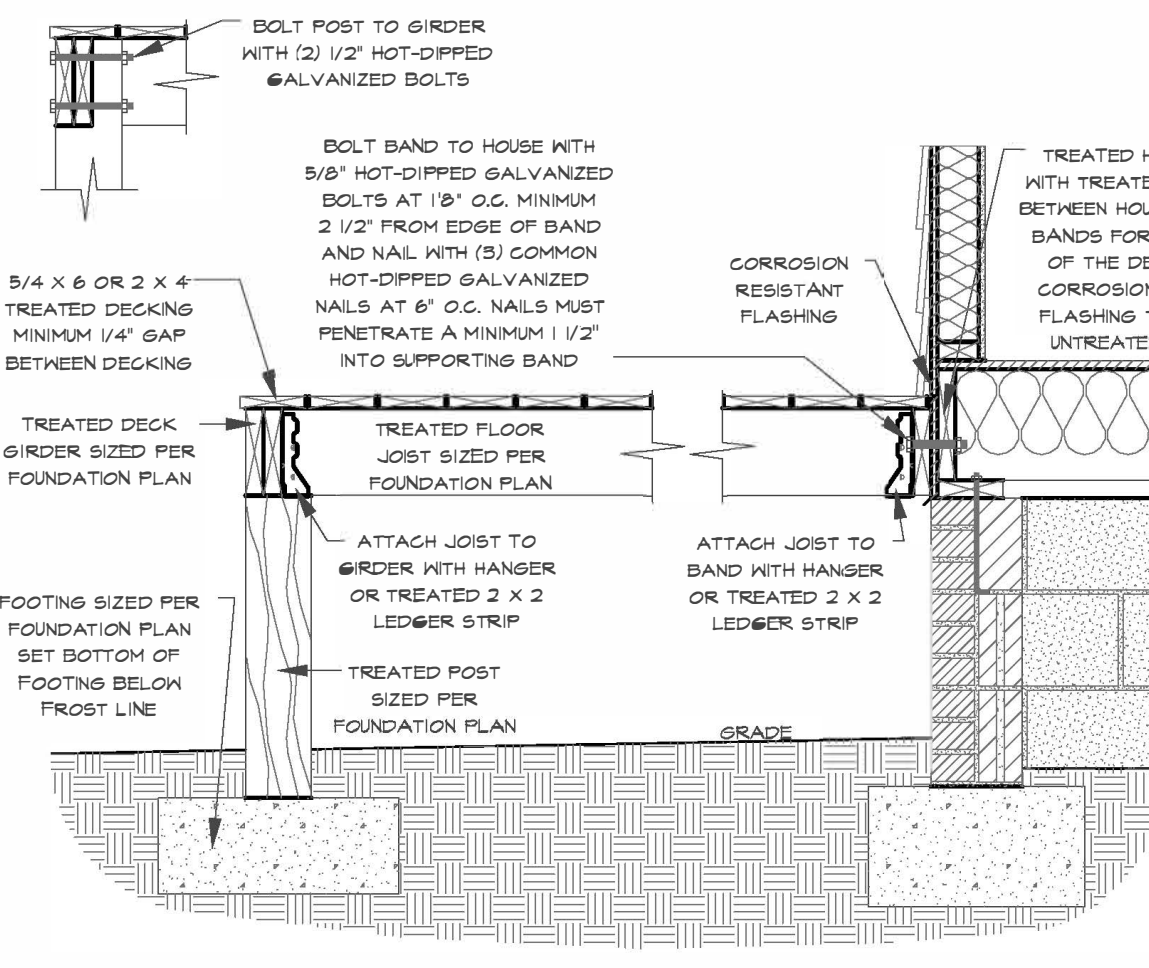
C) SECTION AT CRAWL

DWELLING / GARAGE SEPARATION

REFER TO SECTIONS R302B, R302C, AND R302T
 WALLS: A MINIMUM 1/2\" GYPSUM BOARD MUST BE INSTALLED ON ALL WALLS SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION. STAIRS: A MINIMUM OF 1/2\" GYPSUM BOARD MUST BE INSTALLED ON THE UNDERSIDE AND EXPOSED SIDES OF ALL STAIRWAYS.
 CEILING: A MINIMUM OF 1/2\" GYPSUM MUST BE INSTALLED ON THE GARAGE CEILING IF THERE ARE NO HABITABLE ROOMS ABOVE THE GARAGE. IF THERE ARE HABITABLE ROOMS ABOVE THE GARAGE A MINIMUM OF 5/8\" TYPE X GYPSUM BOARD MUST BE INSTALLED ON THE GARAGE CEILING.
 OPENING PENETRATIONS: OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8 INCHES (35 MM) IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8 INCHES (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS.
 DUCT PENETRATIONS: DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAUGE (0.48 MM) SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
 OTHER PENETRATIONS: PENETRATIONS THROUGH THE SEPARATION REQUIRED IN SECTION R302A SHALL BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4.

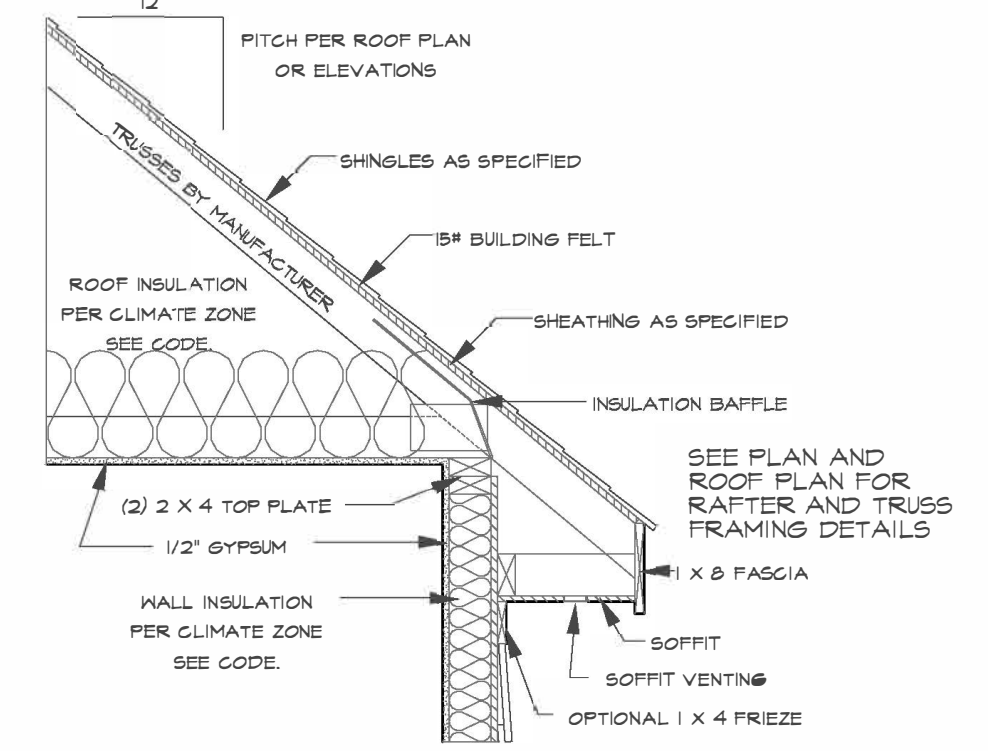


DROPPED/ FLUSH PIER
 SCALE 3/4\" = 1'-0\"



DECK ATTACHMENT DETAIL TO FRAMED WALL

SCALE 3/4\" = 1'-0\"



TYPICAL WALL SECTION
 SCALE 3/4\" = 1'-0\"

THIS PLAN DESIGNED UNDER NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION (2015 IRC)

HOUSE DESIGNED FOR 115 or 120 MPH EXPOSURE B

ANCHOR BOLTS SHALL BE MINIMUM 1/2\" DIAMETER 4\" SHALL EXTEND A MINIMUM OF 7\" INTO MASONRY OR CONCRETE. ANCHOR BOLTS TO BE NO MORE THAN 6\" ON CENTER AND WITHIN 12\" OF ALL CORNERS. THERE SHALL BE A MINIMUM OF TWO (2) ANCHOR BOLTS PER PLATE SECTION.
 MINIMUM VALUES FOR ENERGY COMPLIANCE ZONE 4A, # 5. VERIFY ZONE BEFORE CONSTRUCTION

TABLE R902.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT*

CLIMATE ZONE	FENESTRATION U-FACTOR†	SKYLIGHT U-FACTOR	Ceiling U-FACTOR	WOOD FRAME WALL U-FACTOR	FLOOR WALL U-FACTOR	FLOOR U-FACTOR	BASEMENT WALL U-FACTOR	SLAB U-FACTOR & DEFTH	CRAWL SPACE WALL U-FACTOR
3	0.35	0.55	0.30	38 or 30 ^b	15 or 13 ^c	19	5/15 ^d	0	5/13
4	0.35	0.55	0.30	38 or 30 ^b	15 or 13 ^c	19	10/15	10	10/15
5	0.35	0.55	NR	38 or 30 ^b	15 or 13 ^c	19	10/15	10	10/15

TABLE R902.1.4 EQUIVALENT U-FACTORS*

CLIMATE ZONE	FENESTRATION U-FACTOR†	SKYLIGHT U-FACTOR	Ceiling U-FACTOR	FRAME WALL U-FACTOR	MASS WALL U-FACTOR*	FLOOR U-FACTOR	BASEMENT WALL U-FACTOR	CRAWL SPACE WALL U-FACTOR
3	0.35	0.55	0.030	0.072	0.141	0.047	0.091 ^f	0.136
4	0.35	0.55	0.030	0.072	0.141	0.047	0.059	0.065
5	0.35	0.55	0.030	0.061	0.082	0.033	0.059	0.065

- * Nonfenestration U-factors shall be obtained from measurement, calculation or an approved source.
 b. When more than half the insulation is on the interior, the mass wall U-factors shall be a maximum of 0.07 in Climate Zone 3, 0.07 in Climate Zone 4 and 0.054 in Climate Zone 5.
 c. Basement wall U-factor of 0.360 in warm-humid locations as defined by Figure R301.1 and Table R301.1.
 d. A maximum of two placed fenestration products assemblies having a U-factor no greater than 0.55 and a SHGC no greater than 0.70 shall be permitted to be substituted for minimum code compliant fenestration product assemblies without penalty. When using this note and using the RIS-Book UVA Trade-off compliance method to allow continued use of the software, the applicable fenestration products shall be modeled as meeting the U-factor of 0.35 and the SHGC of 0.50, as applicable, but the fenestration products actual U-factor and actual SHGC shall be noted in the comments section of the software for documentation of application of this note to the applicable products. Compliance for these substitute products shall be verified compared to the allowed substituted maximum U-value requirement and maximum SHGC requirement, as applicable.

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