



Purchaser must verify all dimensions and conditions before beginning construction.

MidTown Designs Inc. assumes no liability for contractors practices and procedures

These drawings are instruments of service and as such shall remain property of the designer

© Copyright 2020

MidTown Designs Inc. All Rights Reserved



FRONT ELEVATION

SCALE 1/4" = 1'0"



ATTIC VENTILATION:

THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1 TO 300, PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION TO BE PROVIDED BY EAVE OR CORNICE VENTS.

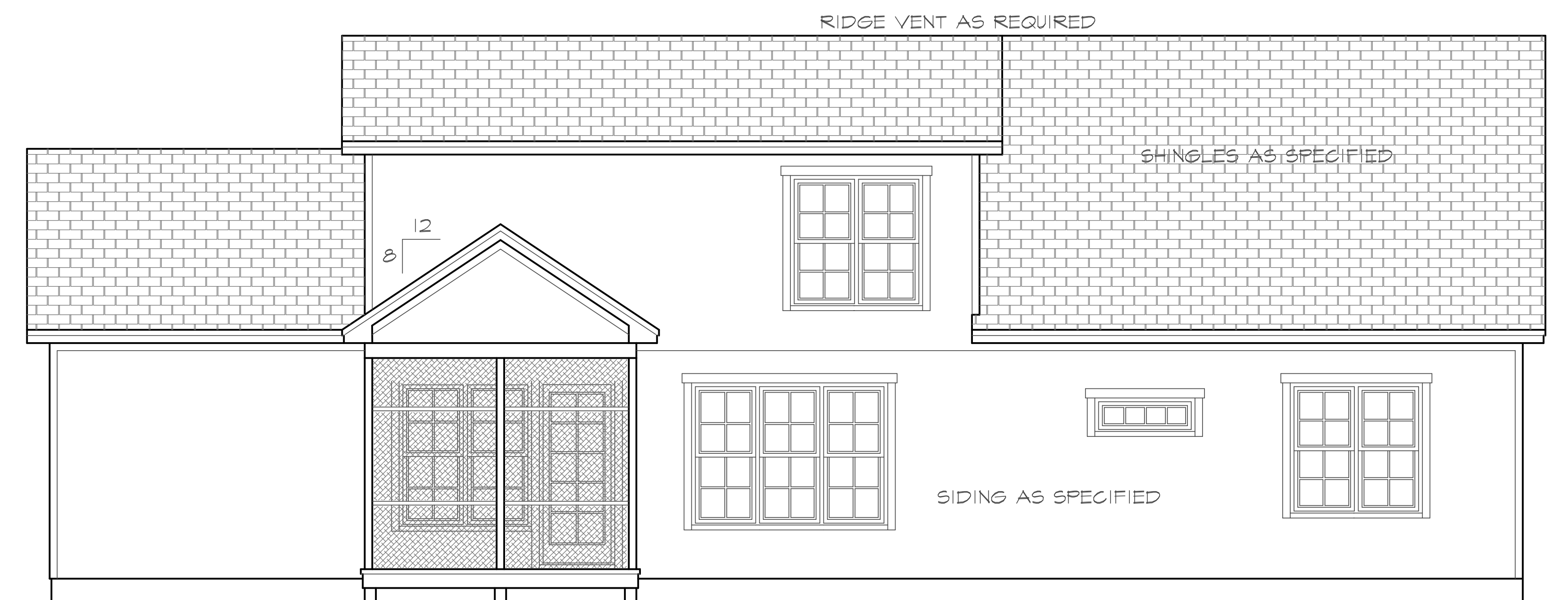
GROSS ATTIC AREA TO BE VENTILATED 2488 SQ.FT.

2488/300 = 8.11 SQ.FT. NET FREE AREA

50% OF VENTING MUST BE 5FT. ABOVE EAVE OR SOFFIT VENTS.

THIS PLAN DESIGNED UNDER NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION (2018 IRC)

NC (2018 NRC) : Wind : 115 - 120 mph



DECK NOT SHOWN (REFER TO FLOOR PLAN)

REAR ELEVATION

SCALE 1/8" = 1'0"

Plan For: **The "Howard II"** GARAGE RIGHT
 MidTown Designs Inc. 1008 Ridge Dr. Clayton NC 27520 Phone: 919-783-8626 www.midtowndesigns.com

DATE	REV	DATE	REV

LOT SUB.

DATE 11/2/2020

SCALE

PROJECT # 201007

Copyright © 2020 MidTown Designs, Inc. All Rights Reserved. The publication or distribution of these drawings without the written consent of MidTown Designs, Inc. is prohibited.



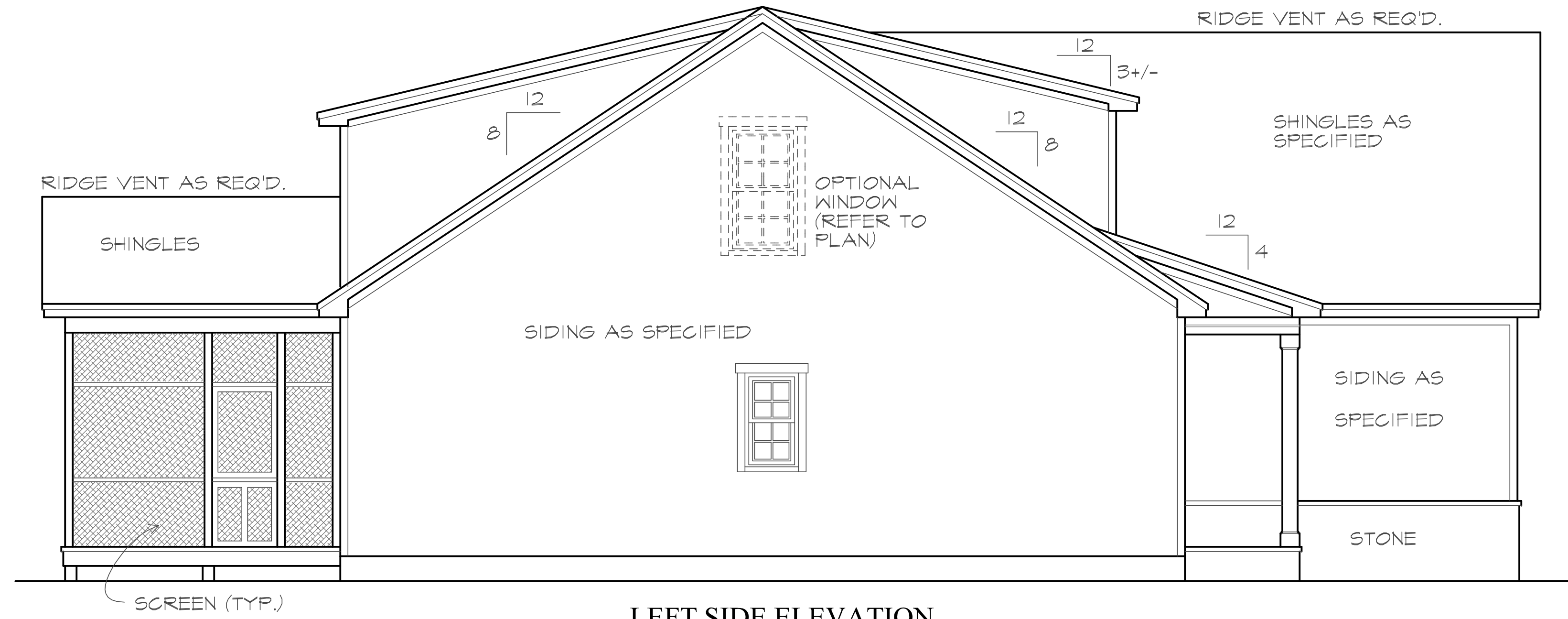
Purchaser must verify all dimensions and conditions before beginning construction.

MidTown Designs Inc. assumes no liability for contractors practices and procedures

These drawings are instruments of service and as such shall remain property of the designer

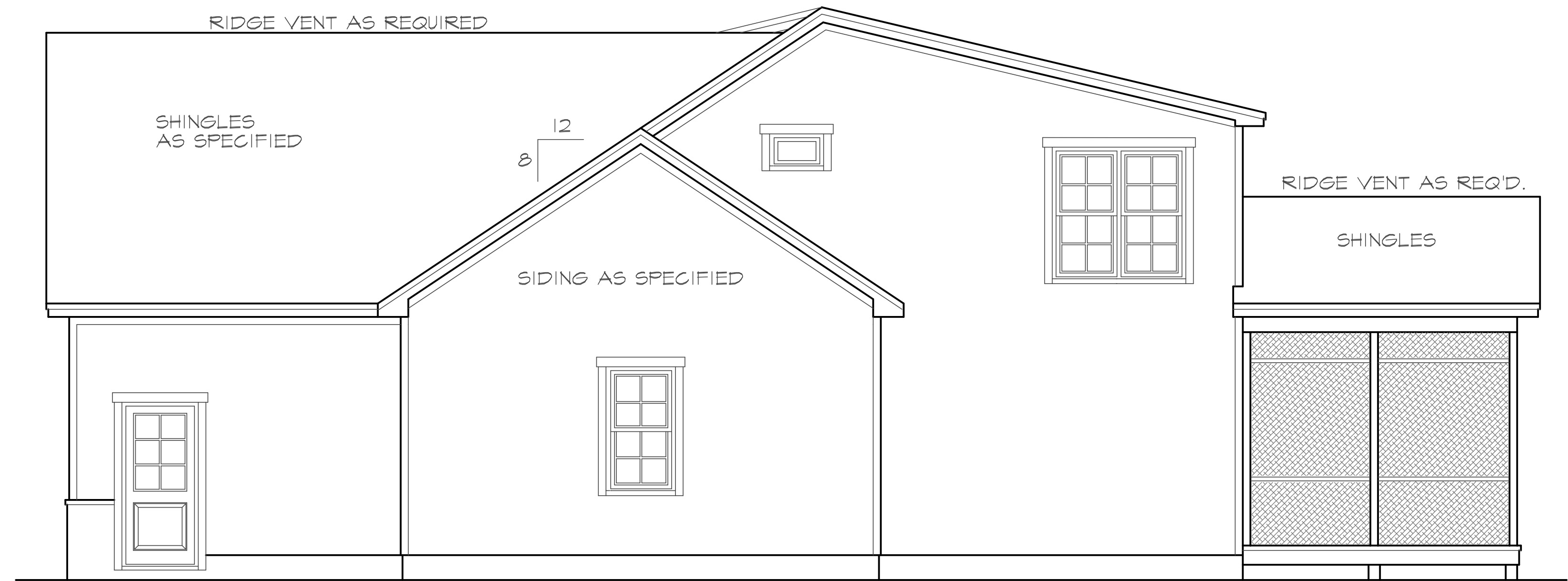
© Copyright 2020

MidTown Designs Inc. All Rights Reserved



LEFT SIDE ELEVATION

SCALE 1/8" = 1'0"



RIGHT SIDE ELEVATION

SCALE 1/8" = 1'0"

Plan For: GARAGE RIGHT

The "Howard II"

Plan For:

MidTown Designs Inc. 1008 Ridge Dr. Clayton NC 27520 Phone: 919-783-8626 www.midtowndesigns.com

DATE	REV	DATE	REV

LOT SUB.

DATE 11/2/2020

SCALE

PROJECT # 201007

Copyright © 2020 MidTown Designs, Inc. All Rights Reserved. The distribution or reproduction of these drawings without the written consent of MidTown Designs, Inc. is prohibited. All dimensions are in feet and inches unless otherwise noted.

FOUNDATION STRUCTURAL NOTES:

- 1 (3) 2 x 10 SFF #2 GIRDER DROPPED, TYPICAL I.N.O.
- 2 CONCRETE BLOCK PIER SIZE SHALL BE:

SIZE	HOLLOW MASONRY	SOLID MASONRY
8 x 16	UP TO 32' HIGH	UP TO 3'-0" HIGH
12 x 16	UP TO 48' HIGH	UP TO 4'-0" HIGH
16 x 16	UP TO 64' HIGH	UP TO 12'-0" HIGH
24 x 24	UP TO 96' HIGH	UP TO 12'-0" HIGH

WITH 30" x 30" x 10" CONCRETE FOOTING I.N.O.
- 3 WALL FOOTING AS FOLLOWS:
 DEPTH: 8" - UP TO 2-1/2 STORY
 10" - 3 STORY
 WIDTH: SIDING (OR EQUAL)
 - 16" - UP TO 2-1/2 STORY
 - 18" - 3 STORY
 BRICK VENEER
 - 16" - 1 STORY
 - 20" - 2 STORY
 - 24" - 3 STORY
 FOR FOUNDATION WALL HEIGHT AND BACKFILL REQUIREMENTS, REFER TO NORTH CAROLINA RESIDENTIAL CODE TABLE R404.1 (1 THRU 4) NOTE: ASSUMED SOIL BEARING CAPACITY = 2000 PSF. CONTRACTOR MUST VERIFY SITE CONDITIONS AND CONTACT SOILS ENGINEER IF MARGINAL OR UNSTABLE SOILS ARE ENCOUNTERED. ATTACH SILL PLATE WITH 1/2" DIA. ANCHOR BOLTS AT 6'-0" CENTERS (1" EMBEDMENT) AND 12" FROM EACH PLATE END. (SECTION R 403.1.6)
- 4 ■ DESIGNATES A SIGNIFICANT POINT LOAD TO HAVE SOLID BLOCKING TO PIER. SOLID BLOCK ALL BEAM BEARING POINTS NOTED TO HAVE THREE OR MORE STUDS TO END, TYPICAL.
- 5 ABBREVIATIONS:
 'SJ' = SINGLE JOIST
 'DJ' = DOUBLE JOIST
 'TJ' = TRIPLE JOIST
- 6 (4) 2 x 10 SFF #2 GIRDER, TYPICAL I.N.O.
 W/3-6" TIMBERLOK SCREWS @12" OC

FOUNDATION VENTING

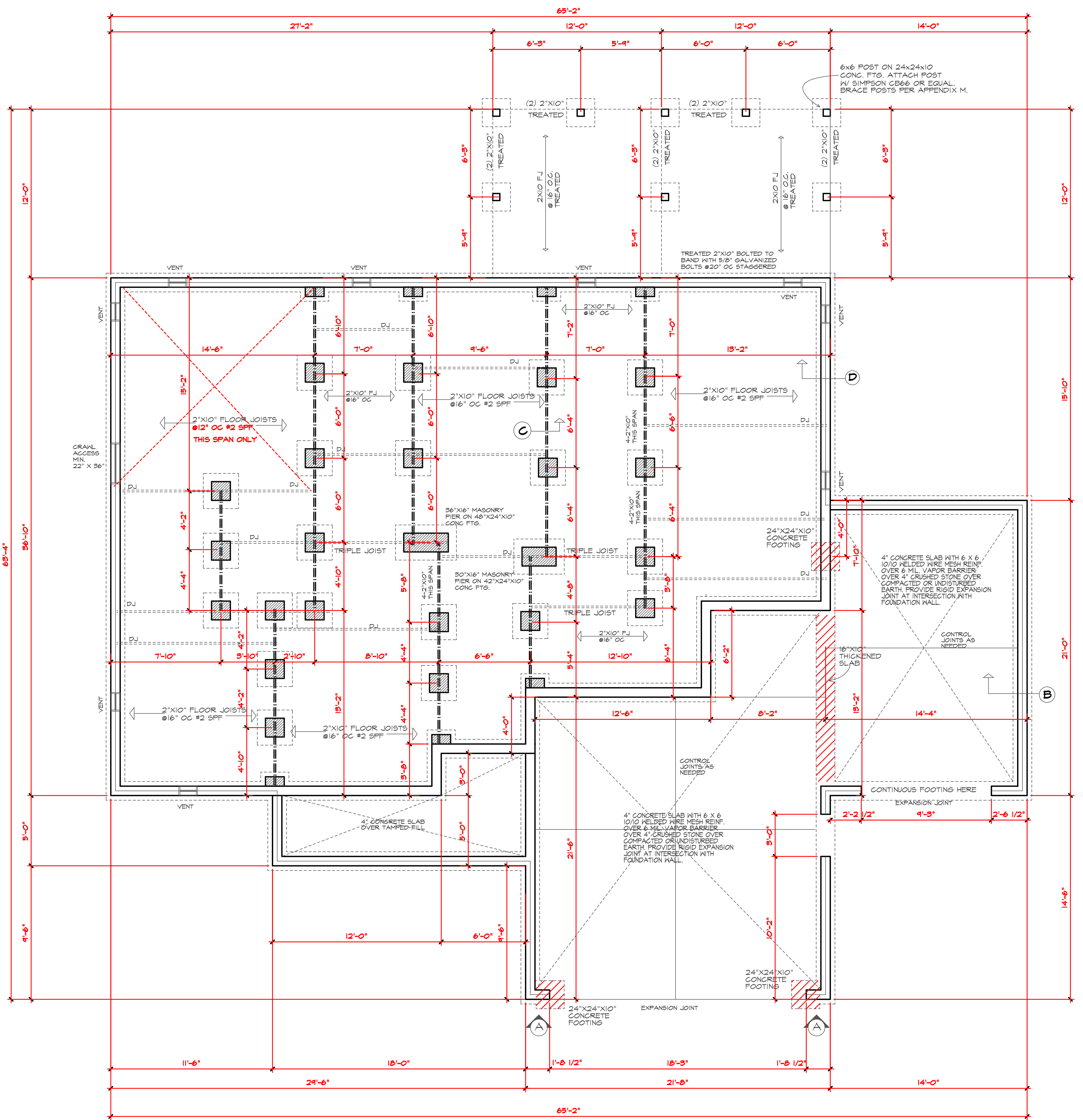
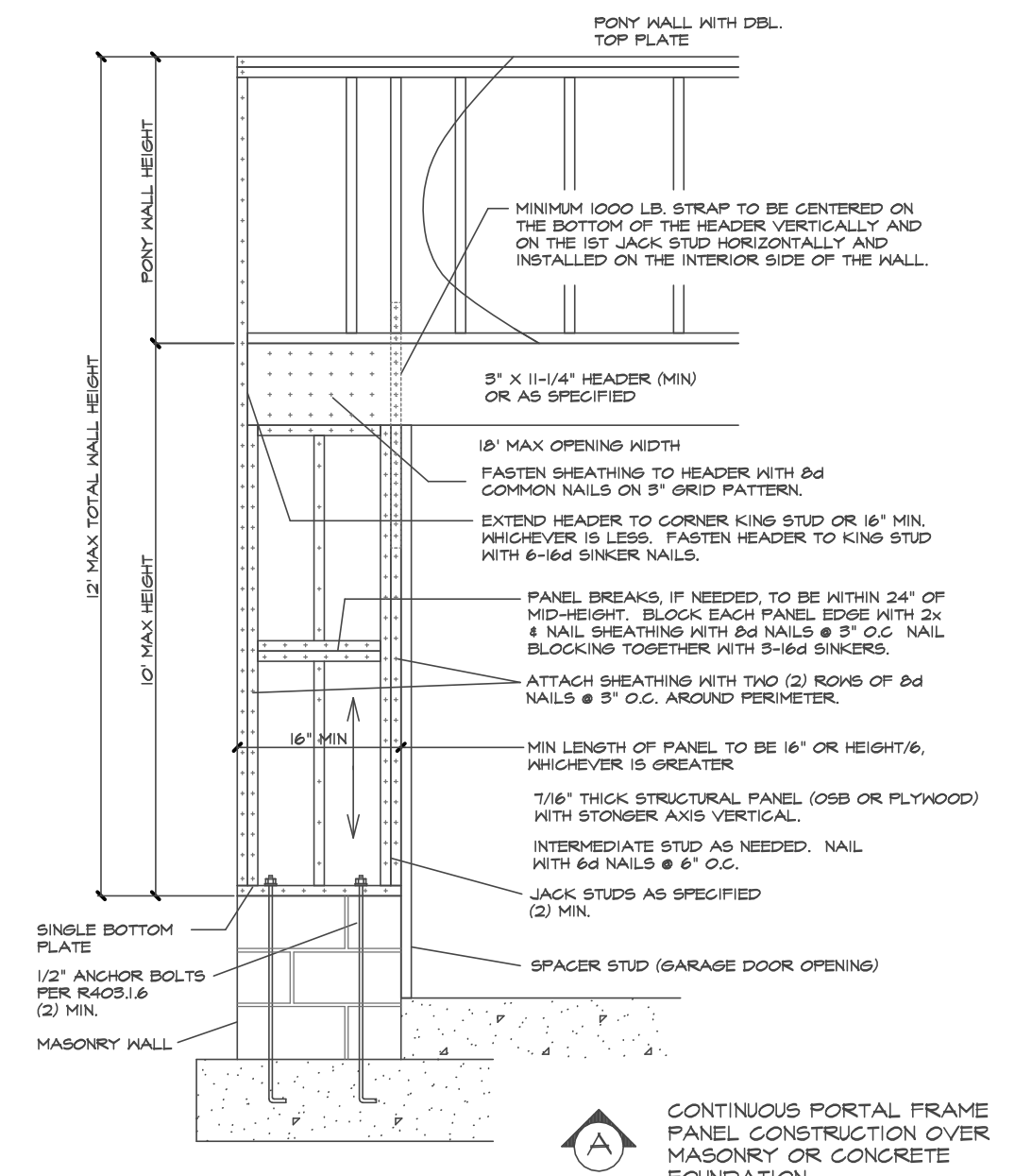
SECTION R408 UNDER FLOOR SPACE
 R408.1 Ventilation. The under-floor space between the bottom of the floor joists and the earth under any building (except space occupied by a basement or cellar) shall be provided with ventilation openings through foundation walls or exterior walls. The minimum net area of ventilation openings shall not be less than 1 square foot for each 150 square feet (0.67 m squared for each 100 m squared) of under-floor space area. One such ventilating opening shall be within 3 feet (914 mm) of each corner of said building.
 CRAWL AREA TO BE VENTED: 1658 SQ.FT.
 1658/1500 = 1.105 NET FREE VENTING AREA REQUIRED

R408.2 Ground Vapor Retarder
 A minimum 6 mil. polyethylene vapor retarder shall be installed to cover all earth in the crawl space with joints lapped not less than 12"

OR
SEALED CRAWL SPACE BY OTHERS



10/20/2020
P.E. TEAGUE, P.E., PLLC
 2705 WATERLOO CT, NC 27613
 PETEAGUE50@GMAIL.COM
 (919)247-2572 (Lic. #P-0207)



FOUNDATION PLAN
 SCALE 1/4" = 1'-0"



Purchaser must verify all dimensions and conditions before beginning construction.
 MidTown Designs Inc. assumes no liability for contractors practices and procedures.
 These drawings are instruments of service and as such shall remain property of the designer.
 Copyright 2020
 MidTown Designs Inc. All Rights Reserved

Plan For: **The "Howard II"** GARAGE RIGHT
 MidTown Designs Inc. 1008 Ridge Dr. Clayton NC 27520 Phone: 919-783-8626 www.midtowndesigns.com

DATE	REV	DATE	REV

LOT: SUB: DATE: 11/2/2020 SCALE: PROJECT #: 201007



Purchaser must verify all dimensions and conditions before beginning construction.

MidTown Designs Inc. assumes no liability for contractors practices and procedures

These drawings are instruments of service and as such shall remain property of the designer

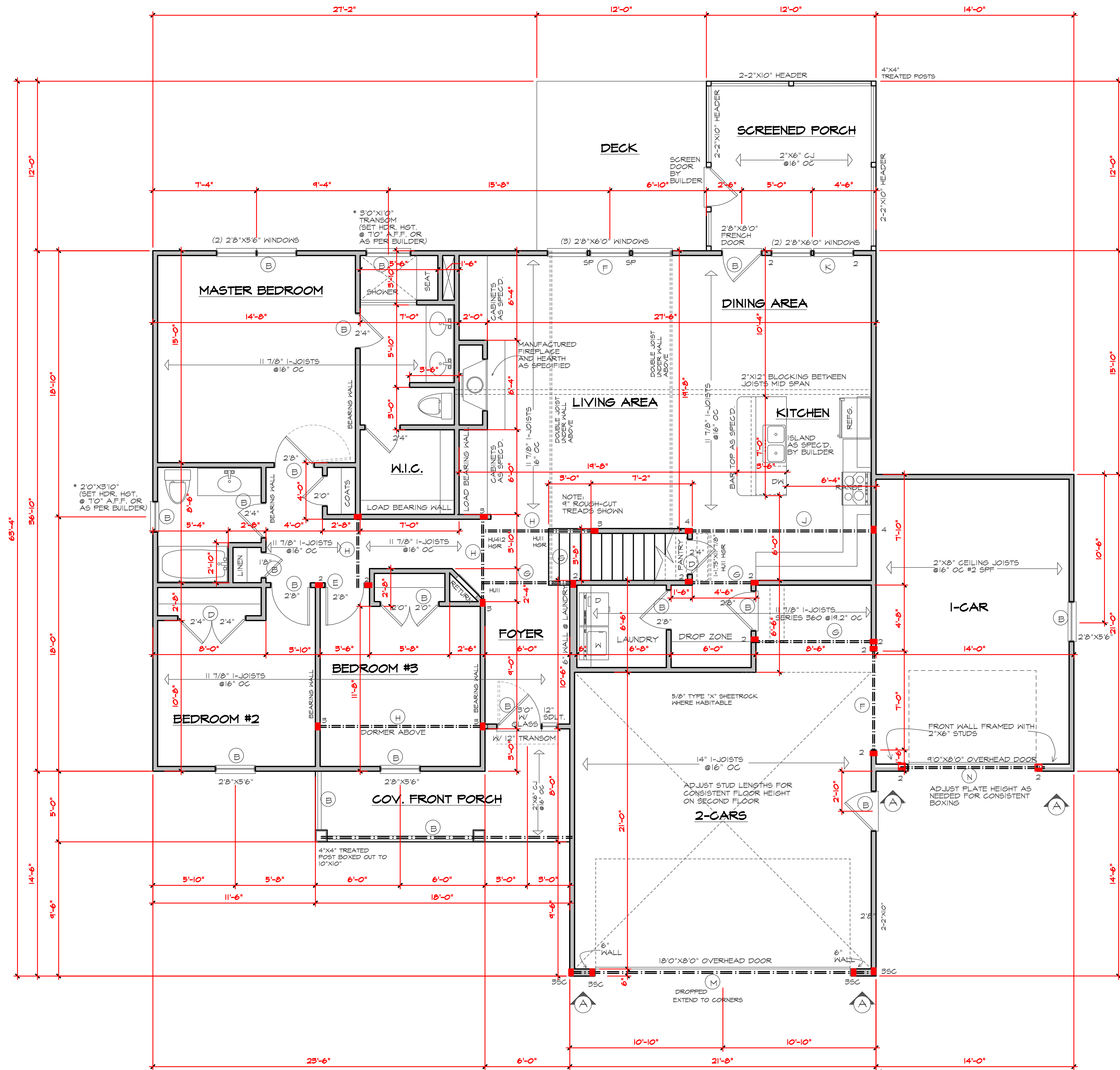
© Copyright 2020

MidTown Designs Inc. All Rights Reserved

- BEAM SCHEDULE
- (A) 2-2"x10" FLUSH
 - (B) 2-2"x10" DROPPED
 - (C) 2-2"x8" FLUSH
 - (D) 2-2"x8" DROPPED
 - (E) 2-1.75"x9.25" LVL FLUSH
 - (F) 2-1.75"x9.25" DROPPED
 - (G) 1-1.75"x11 7/8" LVL FLUSH
 - (H) 2-1.75"x11 7/8" LVL FLUSH
 - (J) 3-1.75"x11 7/8" LVL FLUSH
 - (K) 2-2"x12" DROPPED
 - (M) 2-1.75"x18" LVL DROPPED
 - (N) 2-1.75"x11 7/8" LVL DROPPED



10/20/2020
P.E. TEAGUE, P.E., PLLC
 2705 WATERLOO CT. NC 27613
 PETEAGUE50@GMAIL.COM
 (919)247-2572 (Lic. #P-0207)



FIRST FLOOR PLAN
 SCALE 1/4" = 1'-0"

1-JOIST OPTIONS
 TJI 230 SERIES
 BLULINX BLI 60
 BCI 60 SERIES
 GPI 65 SERIES
 LPI 32 PLUS

SQUARE FOOTAGE	
FIRST FLOOR	1663 SQ.FT.
SECOND FLOOR	546 SQ.FT.
TOTAL	2261 SQ.FT.
GARAGES	
FRONT PORCH	108 SQ.FT.
SCREENED PORCH	144 SQ.FT.
DECK	144 SQ.FT.

Plan For: **The "Howard II** GARAGE RIGHT
 MidTown Designs Inc. 1008 Ridge Dr. Clayton NC 27520 Phone: 919-783-8626 www.midtowndesigns.com

DATE	REV	DATE	REV

LOT: SUB: DATE: 11/2/2020
 SCALE: PROJECT #: 201007



Purchaser must verify all dimensions and conditions before beginning construction.

MidTown Designs Inc. assumes no liability for contractor practices and procedures.

These drawings are instruments of service and as such shall remain property of the designer.

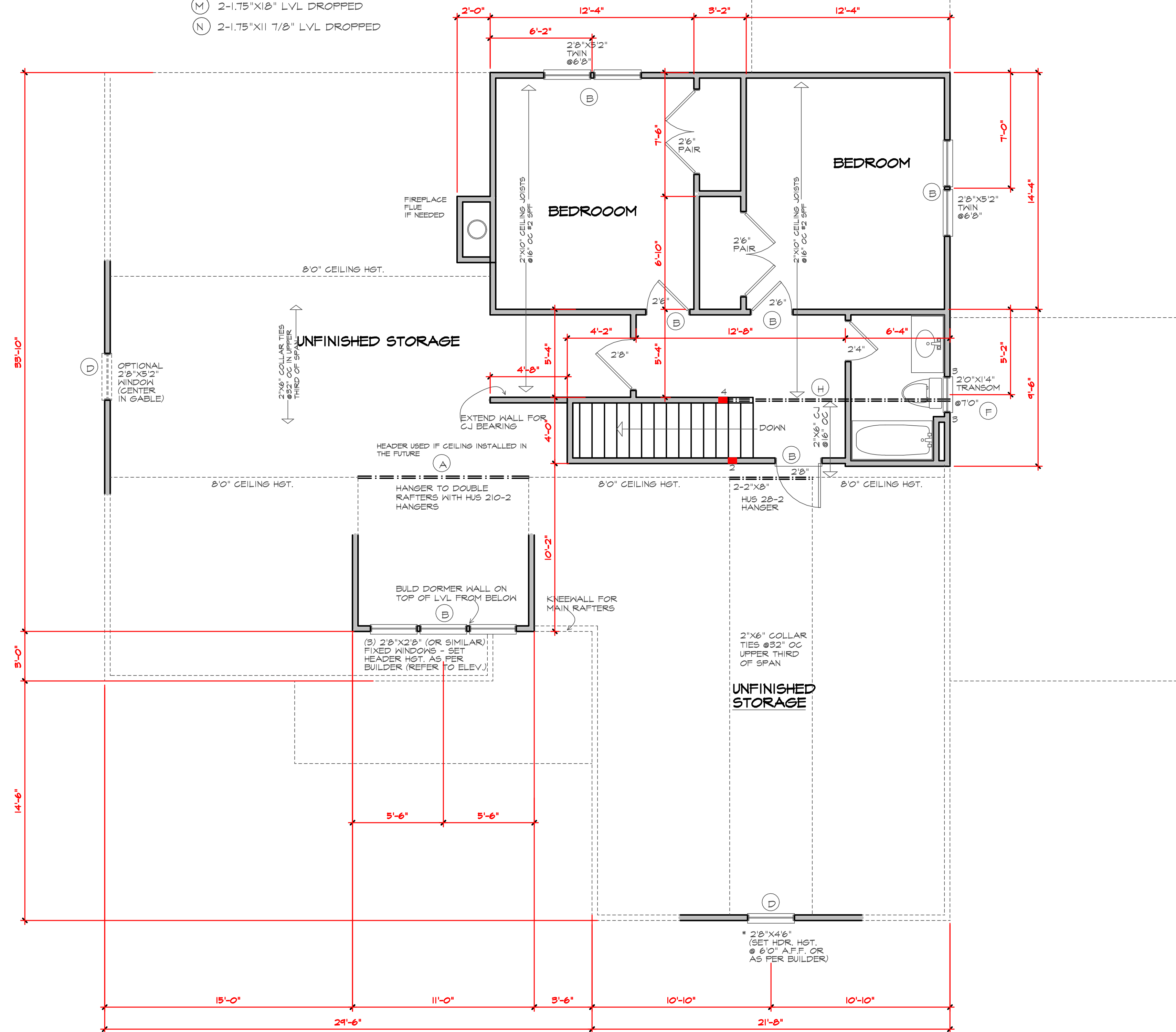
© Copyright 2020

MidTown Designs Inc. All Rights Reserved.



10/20/2020
 P.E. TEAGUE, P.E., PLLC
 2705 WATERLOO CT, NC 27613
 PETEAGUE50@GMAIL.COM
 (919)247-2572 (Lic. #P-0207)

- BEAM SCHEDULE
- (A) 2-2"X10" FLUSH
 - (B) 2-2"X10" DROPPED
 - (C) 2-2"X8" FLUSH
 - (D) 2-2"X8" DROPPED
 - (E) 2-1.75"X9.25" LVL FLUSH
 - (F) 2-1.75"X9.25" DROPPED
 - (G) 1-1.75"X11 7/8" LVL FLUSH
 - (H) 2-1.75"X11 7/8" LVL FLUSH
 - (J) 3-1.75"X11 7/8" LVL FLUSH
 - (K) 2-2"X12" DROPPED
 - (M) 2-1.75"X18" LVL DROPPED
 - (N) 2-1.75"X11 7/8" LVL DROPPED



SECOND FLOOR PLAN
 SCALE 1/4" = 1'-0"

Plan For: **The "Howard II** GARAGE RIGHT

MidTown Designs Inc. 1008 Ridge Dr. Clayton NC 27520 Phone: 919-783-8626 www.midtowndesigns.com

DATE	REV	DATE	REV

LOT SUB.

DATE 11/2/2020

SCALE

PROJECT # 201007

