

NOTICE TO CONTRACTOR
 All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED
 Limited building only review
 Permit holder responsible for full compliance with the code

02/19/2021




Approved 3rd Revision



FRONT ELEVATION
 SCALE 1/4" = 1'0"



ATTIC VENTILATION:
 THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1 TO 300, PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION TO BE PROVIDED BY EAVE OR CORNICE VENTS.
 GROSS ATTIC AREA TO BE VENTILATED 2485 SQ.FT.
 2485/300 = 8.11 SQ.FT. NET FREE AREA
 50% OF VENTING MUST BE 5FT. ABOVE EAVE OR SOFFIT VENTS.

THIS PLAN DESIGNED UNDER NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION (2018 IRC)
 NC (2018 NRC) : Wind : 115 - 120 mph



REAR ELEVATION
 SCALE 1/8" = 1'0"



Purchaser must verify all dimensions and conditions before beginning construction.
 MidTown Designs Inc. assumes no liability for contractors practices and procedures
 These drawings are instruments of service and as such shall remain property of the designer
 Copyright 2020
 MidTown Designs Inc. All Rights Reserved

Plan For: **The "Howard II"** GARAGE RIGHT

MidTown Designs Inc. 1008 Ridge Dr. Clayton NC 27520 Phone: 919-783-8626 www.midtowndesigns.com

DATE	REV	DATE	REV

LOT SUB: _____

DATE: 11/2/2020

SCALE: _____

PROJECT #: 201007



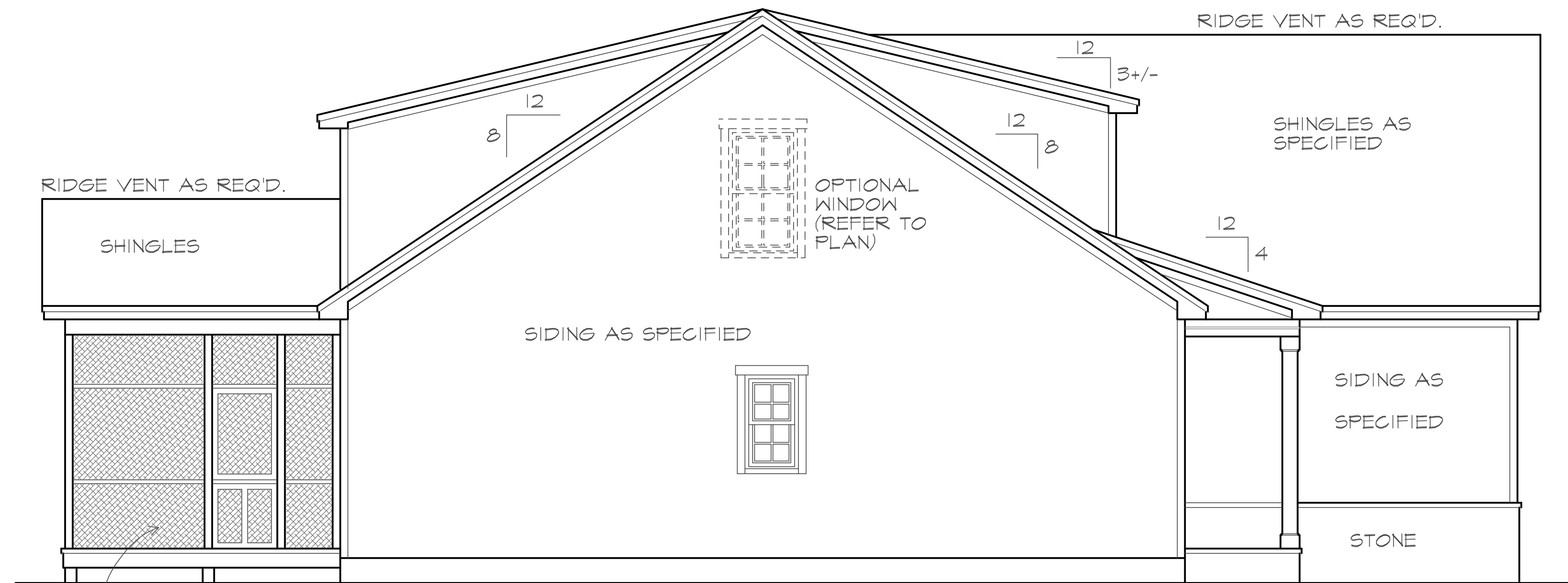
Purchaser must verify all dimensions and conditions before beginning construction.

MidTown Designs Inc. assumes no liability for contractors practices and procedures

These drawings are instruments of service and as such shall remain property of the designer

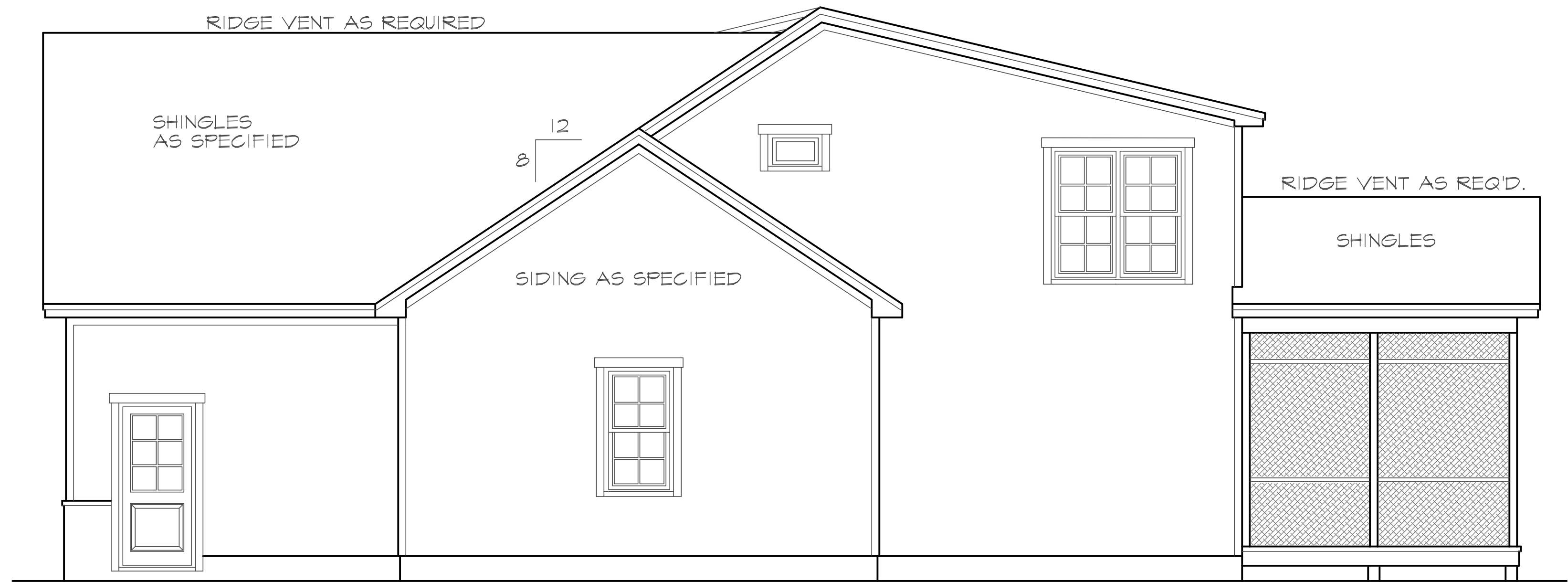
© Copyright 2020

MidTown Designs Inc. All Rights Reserved



LEFT SIDE ELEVATION

SCALE 1/8" = 1'0"



RIGHT SIDE ELEVATION

SCALE 1/8" = 1'0"

Plan For:

The "Howard II

GARAGE RIGHT

MidTown Designs Inc. 1008 Ridge Dr. Clayton NC 27520 Phone: 919-783-8626 www.midtowndesigns.com

DATE	REV	DATE	REV

Copyright © MidTown Designs, Inc. All Rights Reserved. The distribution or reproduction of these drawings without the written consent of MidTown Designs, Inc. is prohibited. All dimensions are in feet and inches unless otherwise noted.

LOT SUB.

DATE 11/2/2020

SCALE

PROJECT # 201007

FOUNDATION STRUCTURAL NOTES:

- 1 (3) 2 x 10 SFF #2 GIRDER DROPPED, TYPICAL I/O.
- 2 CONCRETE BLOCK PIER SIZE SHALL BE:

SIZE	HOLLOW MASONRY	SOLID MASONRY
8 x 16	UP TO 32' HIGH	UP TO 3'-0" HIGH
12 x 16	UP TO 48' HIGH	UP TO 4'-0" HIGH
16 x 16	UP TO 64' HIGH	UP TO 12'-0" HIGH
24 x 24	UP TO 96' HIGH	UP TO 12'-0" HIGH
- 3 WALL FOOTING AS FOLLOWS:

DEPTH:	8' - UP TO 2-1/2 STORY
	10' - 3 STORY
WIDTH:	SIDING (OR EQUAL)
	- 16" - UP TO 2-1/2 STORY
	- 18" - 3 STORY
BRICK VENEER:	- 16" - 1 STORY
	- 20" - 2 STORY
	- 24" - 3 STORY
- 4 FOR FOUNDATION WALL HEIGHT AND BACKFILL REQUIREMENTS, REFER TO NORTH CAROLINA RESIDENTIAL CODE TABLE R404.1 (1 THRU 4). NOTE: ASSUMED SOIL BEARING CAPACITY = 2000 PSF. CONTRACTOR MUST VERIFY SITE CONDITIONS AND CONTACT SOILS ENGINEER IF MARGINAL OR UNSTABLE SOILS ARE ENCOUNTERED. ATTACH SILL PLATE WITH 1/2" DIA. ANCHOR BOLTS AT 6'-0" CENTERS (1" EMBEDMENT) AND 12" FROM EACH PLATE END. (SECTION R 403.1.6)
- 5 ■ DESIGNATES A SIGNIFICANT POINT LOAD TO HAVE SOLID BLOCKING TO PIER. SOLID BLOCK ALL BEAM BEARING POINTS NOTED TO HAVE THREE OR MORE STUDS TO END, TYPICAL.
- 6 ABBREVIATIONS:

'SJ'	= SINGLE JOIST
'DJ'	= DOUBLE JOIST
'TJ'	= TRIPLE JOIST
- 7 (4) 2 x 10 SFF #2 GIRDER DROPPED, TYPICAL I/O. W/3-6" TIMBERLOK SCREWS @12" OC

FOUNDATION VENTING

SECTION R408 UNDER FLOOR SPACE
 R408.1 Ventilation. The under-floor space between the bottom of the floor joists and the earth under any building (except space occupied by a basement or cellar) shall be provided with ventilation openings through foundation walls or exterior walls. The minimum net area of ventilation openings shall not be less than 1 square foot for each 150 square feet (0.67 m squared for each 100 m squared) of under-floor space area. One such ventilating opening shall be within 3 feet (914 mm) of each corner of said building.

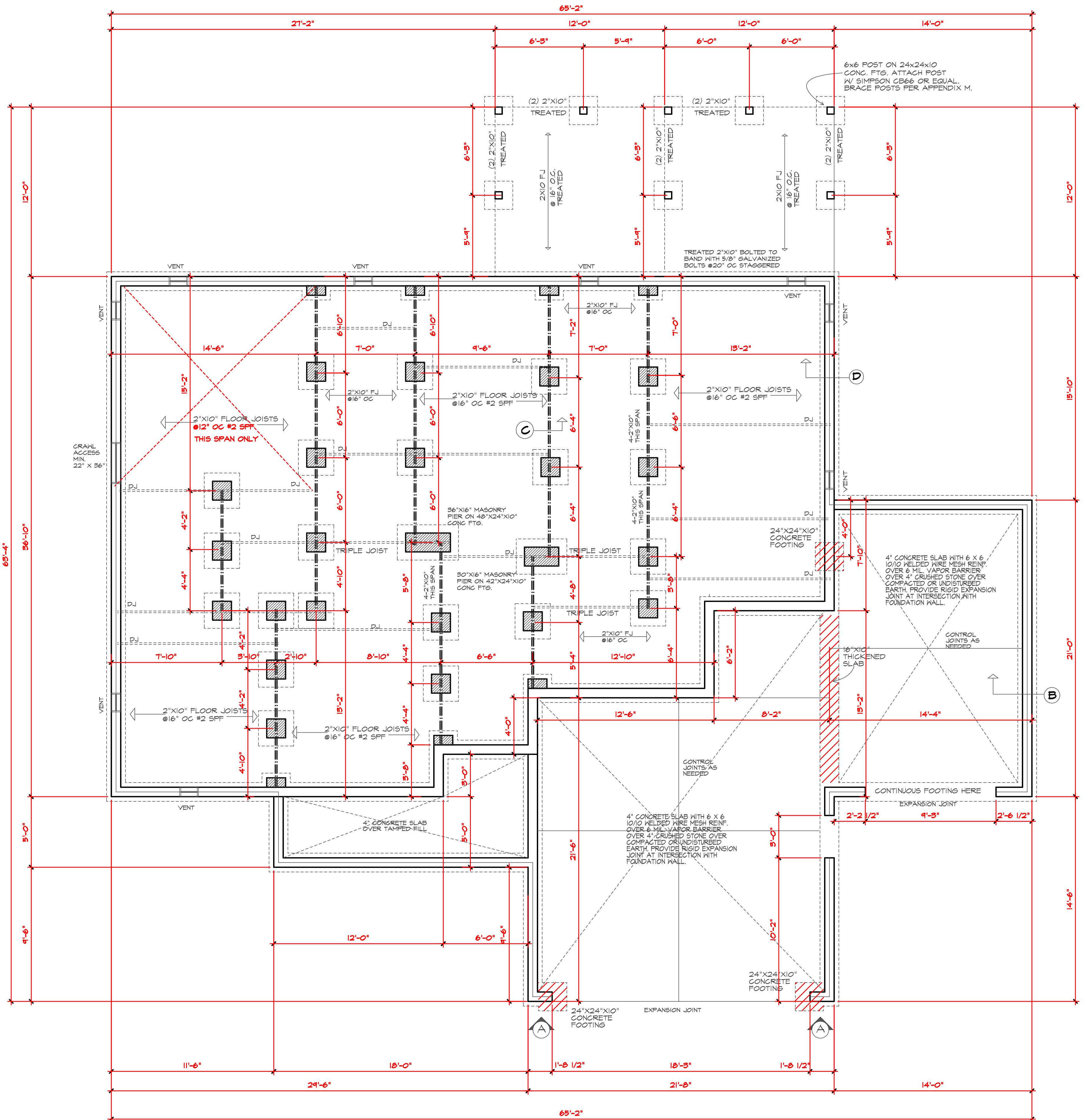
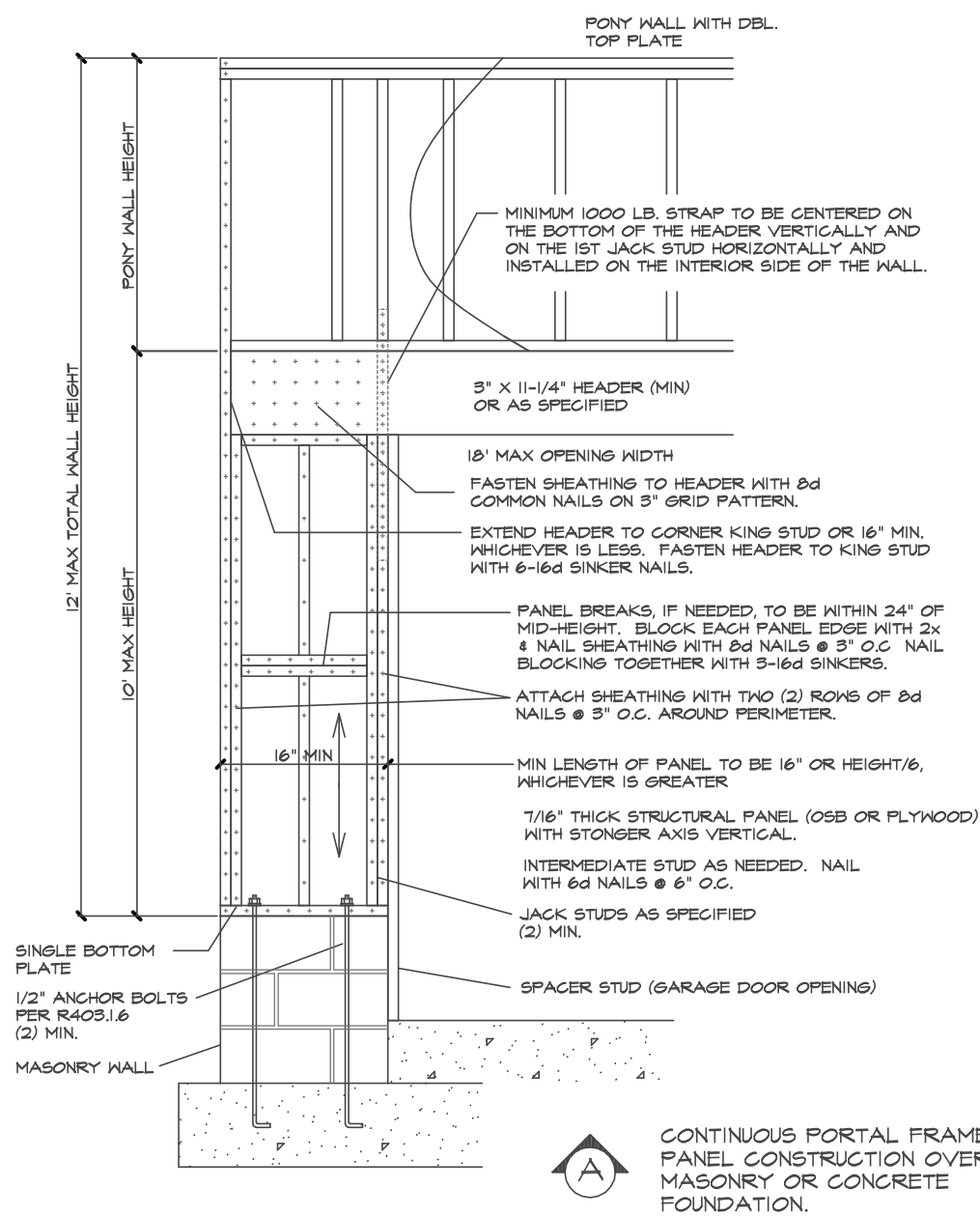
CRAWL AREA TO BE VENTED: 1658 SQ.FT.
 1658/1500 = 1.105 NET FREE VENTING AREA REQUIRED

R408.2 Ground Vapor Retarder
 A minimum 6 mil. polyethylene vapor retarder shall be installed to cover all earth in the crawl space with joints lapped not less than 12"

OR SEALED CRAWL SPACE BY OTHERS



10/20/2020
P.E. TEAGUE, P.E., PLLC
 2705 WATERLOO CT, NC 27613
 PETEAGUE50@GMAIL.COM
 (919)247-2572 (Lic. #P-0207)



FOUNDATION PLAN
 SCALE 1/4" = 1'-0"



Purchaser must verify all dimensions and conditions before beginning construction.

MidTown Designs Inc. assumes no liability for contractors practices and procedures

These drawings are instruments of service and as such shall remain property of the designer

Copyright 2020

MidTown Designs Inc. All Rights Reserved

Plan For: **The "Howard II"**
 GARAGE RIGHT
 MidTown Designs Inc. 1008 Ridge Dr. Clayton NC 27520 Phone: 919-783-8626 www.midtowndesigns.com

DATE	REV	DATE	REV

LOT: SUB: DATE: 11/2/2020 SCALE: PROJECT #: 201007



Purchaser must verify all dimensions and conditions before beginning construction.

MidTown Designs Inc. assumes no liability for contractors practices and procedures

These drawings are instruments of service and as such shall remain property of the designer

© Copyright 2020
MidTown Designs Inc.
All Rights Reserved

Plan For: **The "Howard II** GARAGE RIGHT

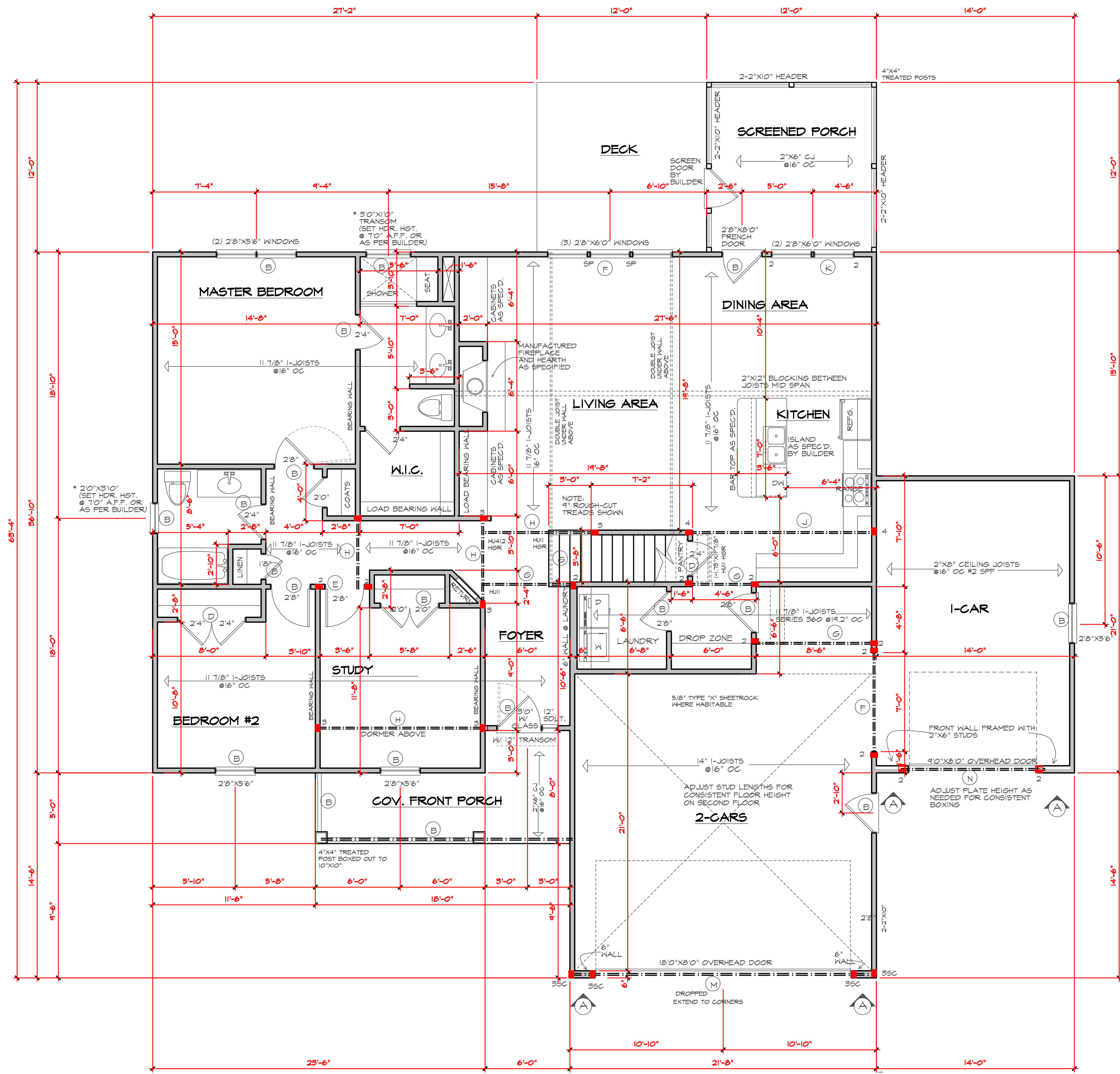
DATE	REV	DATE	REV

LOT:	
BLK:	
DATE:	2/18/2021
SCALE:	
PROJECT #:	201007

- BEAM SCHEDULE
- (A) 2-2"x10" FLUSH
 - (B) 2-2"x10" DROPPED
 - (C) 2-2"x8" FLUSH
 - (D) 2-2"x8" DROPPED
 - (E) 2-1.75"x9.25" LVL FLUSH
 - (F) 2-1.75"x9.25" DROPPED
 - (G) 1-1.75"x11 7/8" LVL FLUSH
 - (H) 2-1.75"x11 7/8" LVL FLUSH
 - (J) 3-1.75"x11 7/8" LVL FLUSH
 - (K) 2-2"x12" DROPPED
 - (M) 2-1.75"x18" LVL DROPPED
 - (N) 2-1.75"x11 7/8" LVL DROPPED



2/18/2021
P.E. TEAGUE, P.E., PLLC
2705 WATERLOO CT. NC 27613
PTEAGUES0@GMAIL.COM
(919)247-2572 (Lic. #P-0207)



FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

- 1-JOIST OPTIONS
- TJI 230 SERIES
 - BLULINK BUI 60
 - BCI 60 SERIES
 - GPI 65 SERIES
 - LP1 32 PLUS

SQUARE FOOTAGE	
FIRST FLOOR	1663 SQ.FT.
SECOND FLOOR	590 SQ.FT.
TOTAL	2261 SQ.FT.
GARAGES	
FRONT PORCH	108 SQ.FT.
SCREENED PORCH	144 SQ.FT.
DECK	144 SQ.FT.



Purchaser must verify all dimensions and conditions before beginning construction.

MidTown Designs Inc. assumes no liability for contractor practices and procedures.

These drawings are instruments of service and as such shall remain property of the designer.

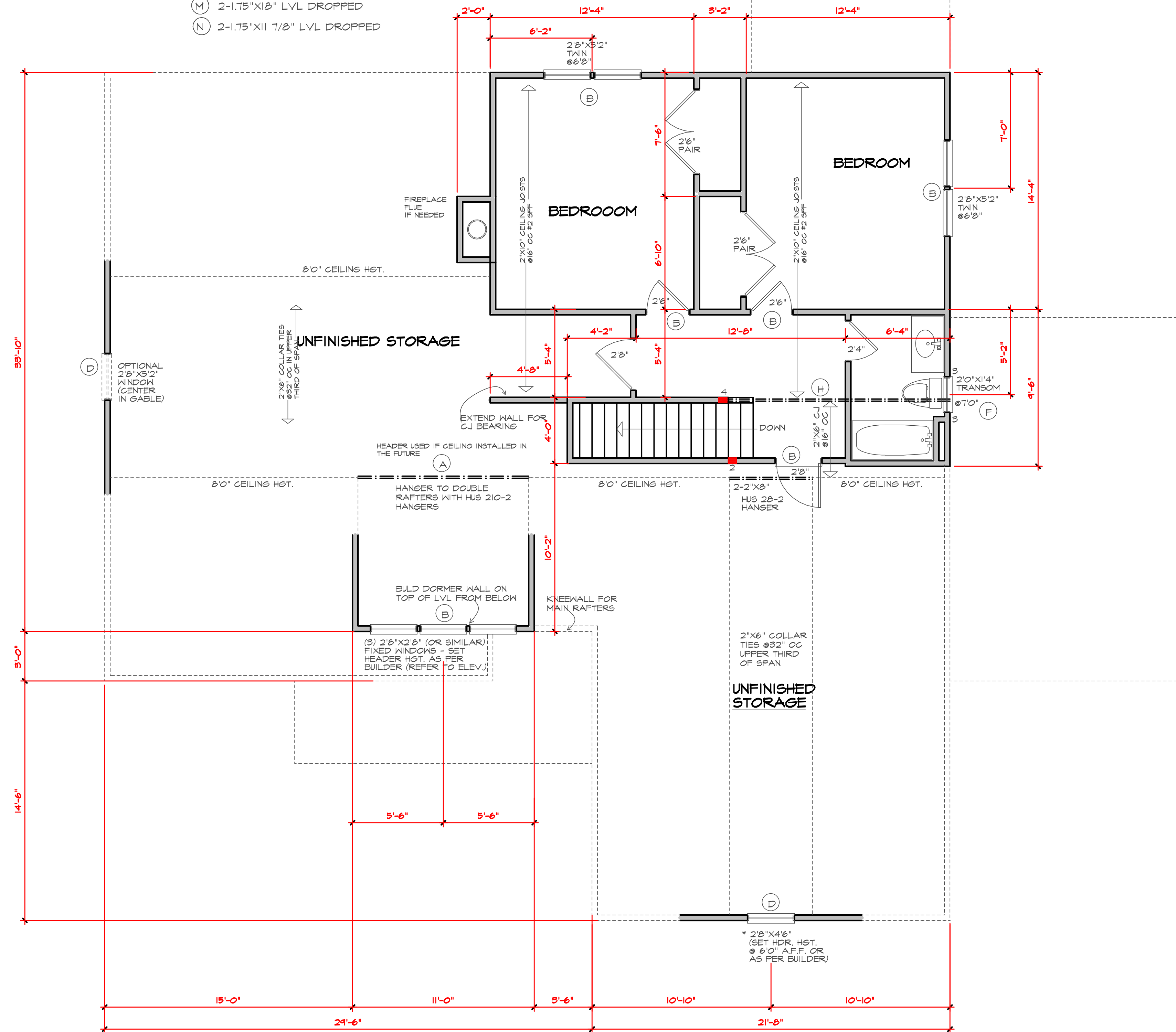
© Copyright 2020

MidTown Designs Inc. All Rights Reserved



10/20/2020
 P.E. TEAGUE, P.E., PLLC
 2705 WATERLOO CT, NC 27613
 PETEAGUE50@GMAIL.COM
 (919)247-2572 (Lic. #P-0207)

- BEAM SCHEDULE
- (A) 2-2"X10" FLUSH
 - (B) 2-2"X10" DROPPED
 - (C) 2-2"X8" FLUSH
 - (D) 2-2"X8" DROPPED
 - (E) 2-1.75"X9.25" LVL FLUSH
 - (F) 2-1.75"X9.25" DROPPED
 - (G) 1-1.75"X11 7/8" LVL FLUSH
 - (H) 2-1.75"X11 7/8" LVL FLUSH
 - (J) 3-1.75"X11 7/8" LVL FLUSH
 - (K) 2-2"X12" DROPPED
 - (M) 2-1.75"X18" LVL DROPPED
 - (N) 2-1.75"X11 7/8" LVL DROPPED



SECOND FLOOR PLAN
 SCALE 1/4" = 1'-0"

Plan For: **The "Howard II** GARAGE RIGHT

MidTown Designs Inc. 1008 Ridge Dr. Clayton NC 27520 Phone: 919-783-8626 www.midtowndesigns.com

DATE	REV	DATE	REV

LOT: _____ SUB: _____

DATE: 11/2/2020

SCALE: _____

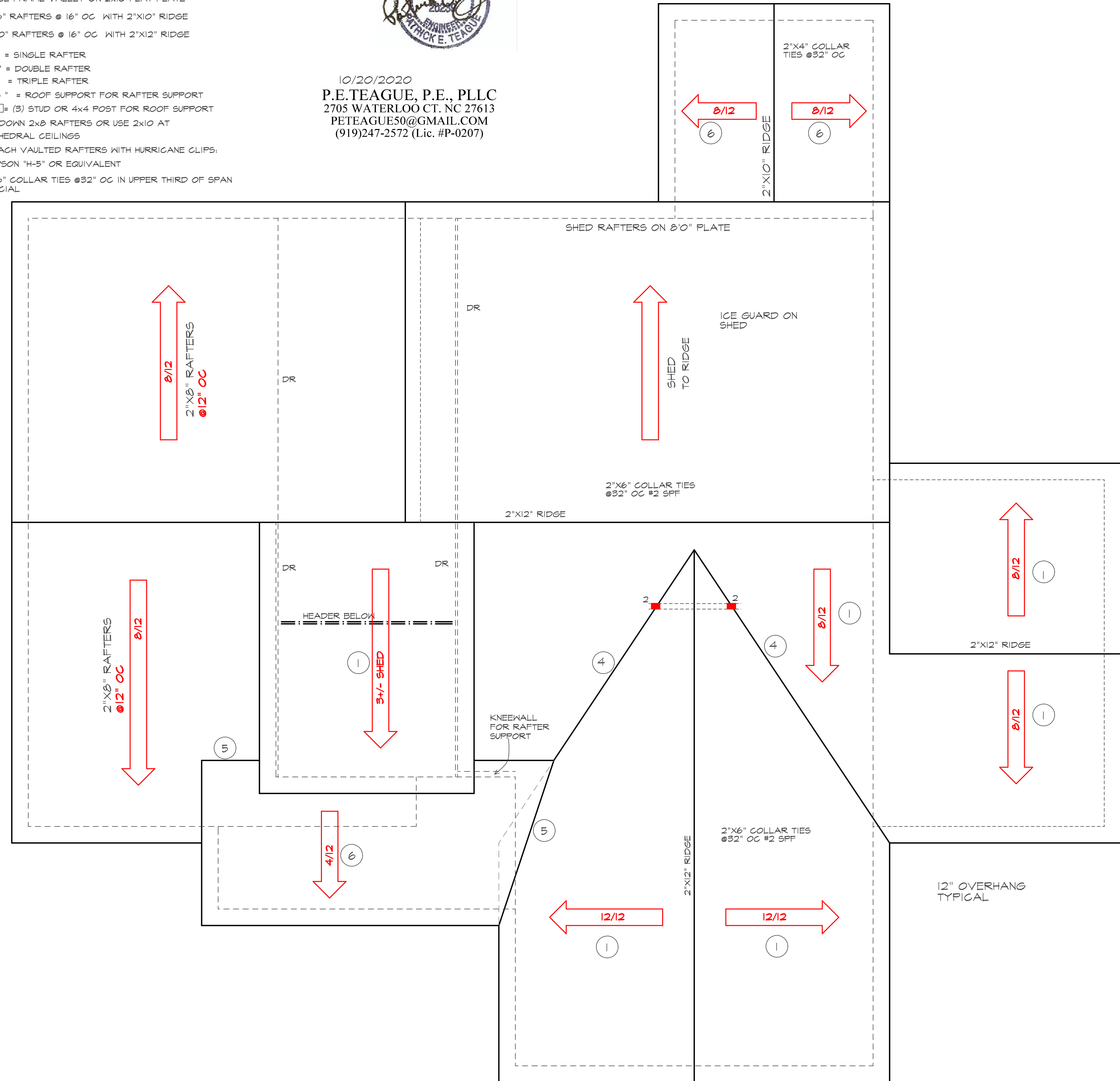
PROJECT #: 201007

ROOF FRAMING NOTES:

- 1) ALL RAFTERS TO BE 2x8 @ 16" O.C. WITH 2 X 12 RIDGE, UNO.
 - 2) 2/2x10 OR 1.75"x11 7/8" LVL HIP, HIPS MAY BE SPLICED WITH A MINIMUM 6'-0" OVERLAP AT CENTER.
 - 3) 2/2x10 OR 1.75"x11 7/8" VALLEY, DO NOT SPLICE VALLEYS
 - 4) 1.75"x11 7/8" LVL VALLEY
 - 5) FALSE FRAME VALLEY ON 2x10 FLAT PLATE
 - 6) 2"x6" RAFTERS @ 16" O.C. WITH 2"x10" RIDGE
 - 7) 2"x10" RAFTERS @ 16" O.C. WITH 2"x12" RIDGE
- "SR" = SINGLE RAFTER
 - "DR" = DOUBLE RAFTER
 - "TR" = TRIPLE RAFTER
 - "RS" = ROOF SUPPORT FOR RAFTER SUPPORT
 - " (3) STUD OR 4x4 POST FOR ROOF SUPPORT
 - FIR DOWN 2x8 RAFTERS OR USE 2x10 AT CATHEDRAL CEILINGS
 - ATTACH VAULTED RAFTERS WITH HURRICANE CLIPS; SIMPSON "H-5" OR EQUIVALENT
 - 2"x6" COLLAR TIES @32" O.C. IN UPPER THIRD OF SPAN TYPICAL



10/20/2020
P.E. TEAGUE, P.E., PLLC
 2705 WATERLOO CT. NC 27613
 PETEAGUE50@GMAIL.COM
 (919)247-2572 (Lic. #P-0207)



ROOF PLAN
 SCALE 1/4" = 1'-0"



Purchaser must verify all dimensions and conditions before beginning construction.

MidTown Designs Inc. assumes no liability for contractors practices and procedures

These drawings are instruments of service and as such shall remain property of the designer

© Copyright 2020

MidTown Designs Inc. All Rights Reserved

Plan For: **The "Howard II** GARAGE RIGHT

MidTown Designs Inc. 1008 Ridge Dr. Clayton NC 27520 Phone: 919-783-8626 www.midtowndesigns.com

DATE	REV	DATE	REV

LOT: _____ SUB: _____

DATE: 11/2/2020

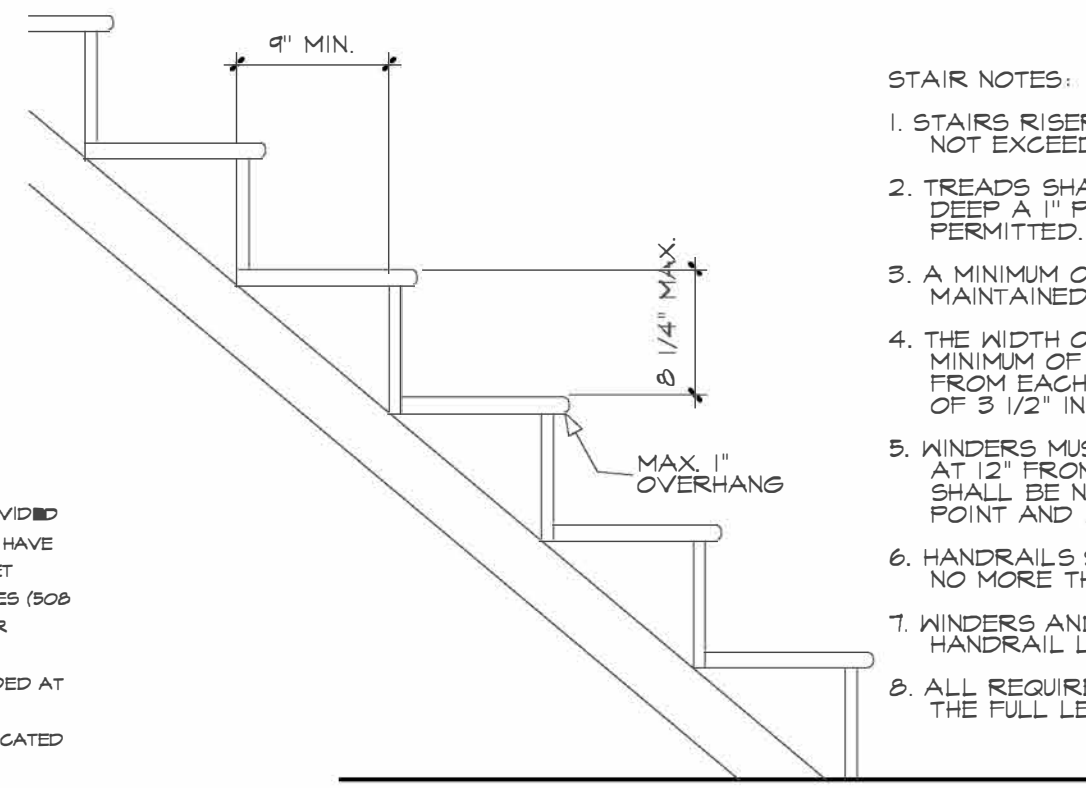
SCALE: _____

PROJECT #: 201007

Copyright © 2020 MidTown Designs, Inc. All Rights Reserved. The Distribution or Reproduction of this drawing without the written consent of MidTown Designs, Inc. is strictly prohibited. All other persons, including contractors, are hereby notified that this drawing is the property of MidTown Designs, Inc.

ATTIC ACCESS

SECTION R807
 ATTIC ACCESS: ATTIC ACCESS OPENING SHALL BE PROVIDED TO ATTIC AREAS THAT EXCEED 400 SQUARE FEET (36 M²) AND HAVE A VERTICAL HEIGHT OF 60 INCHES (524 MM) OR GREATER. THE NET CLEAR OPENING SHALL NOT BE LESS THAN 20 INCHES (508 MM) BY 762 MM AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. A 30-INCH (762 MM) MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT SOME POINT ABOVE THE ACCESS OPENING. SEE SECTION M503.15 FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED IN ATTICS.
 EXCEPTIONS:
 1. CONCEALED AREAS NOT LOCATED OVER THE MAIN STRUCTURE INCLUDING PORCHES, AREAS BEHIND KNEE WALLS, BARNERS, BAY WINDOWS, ETC. ARE NOT REQUIRED TO HAVE ACCESS.
 2. FULL DOWN STAIR TREADS, STRINGERS, HANDRAILS, AND HARDWARE MAY PROTRUDE INTO THE NET CLEAR OPENING.

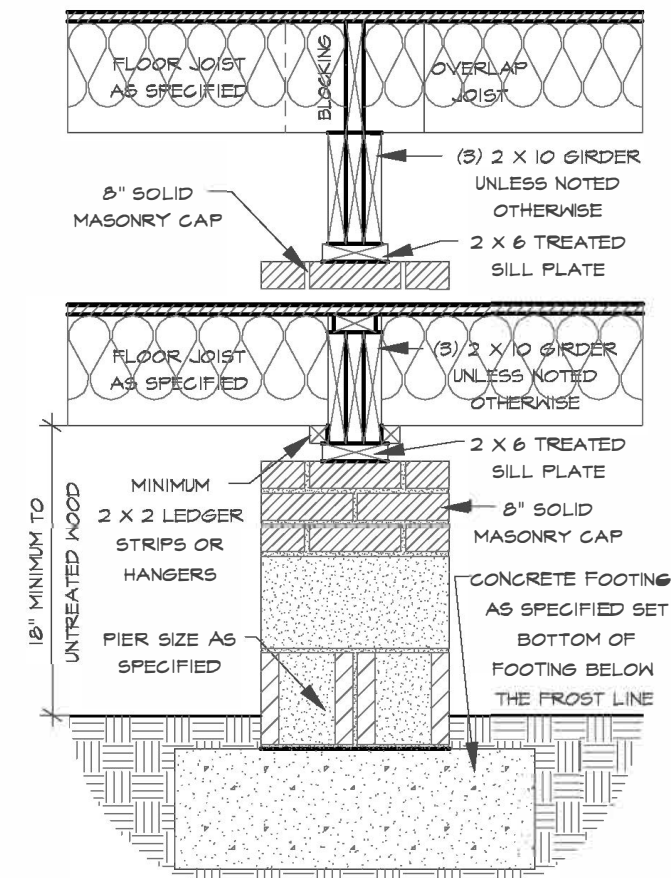


STAIR NOTES:

- STAIR RISERS MUST BE UNIFORM AND NOT EXCEED 6 1/4".
- TREADS SHALL NOT BE LESS THAN 10" DEEP. A 1" PROJECTION OVER RISER IS PERMITTED.
- A MINIMUM OF 6'8" HEADROOM MUST BE MAINTAINED AT ALL PLACES ON STAIR.
- THE WIDTH OF THE STAIR SHALL BE A MINIMUM OF 36" HANDRAIL MAY PROJECTIONS FROM EACH SIDE OF STAIR A DISTANCE OF 3 1/2" INTO THE REQUIRED WIDTH.
- HANDRAILS SHALL BE A MINIMUM OF 3" IN WIDTH AT 12" FROM THE NARROWEST SIDE. TREADS SHALL BE NO NARROWER THAN 4" AT ANY POINT AND AVERAGE NO LESS THAN 9 INCHES.
- HANDRAILS SHALL BE NO LESS THAN 3/4" AND NO MORE THAN 3/8" ABOVE TREAD NOSING.
- HANDRAILS AND SPIRAL STAIRS SHALL HAVE THE HANDRAIL LOCATED ON THE OUTSIDE RADIUS.
- ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS.

STAIR DETAIL

NO SCALE



DROPPED / FLUSH PIER
 SCALE 3/4" = 1'-0"

DWELLING / GARAGE SEPARATION

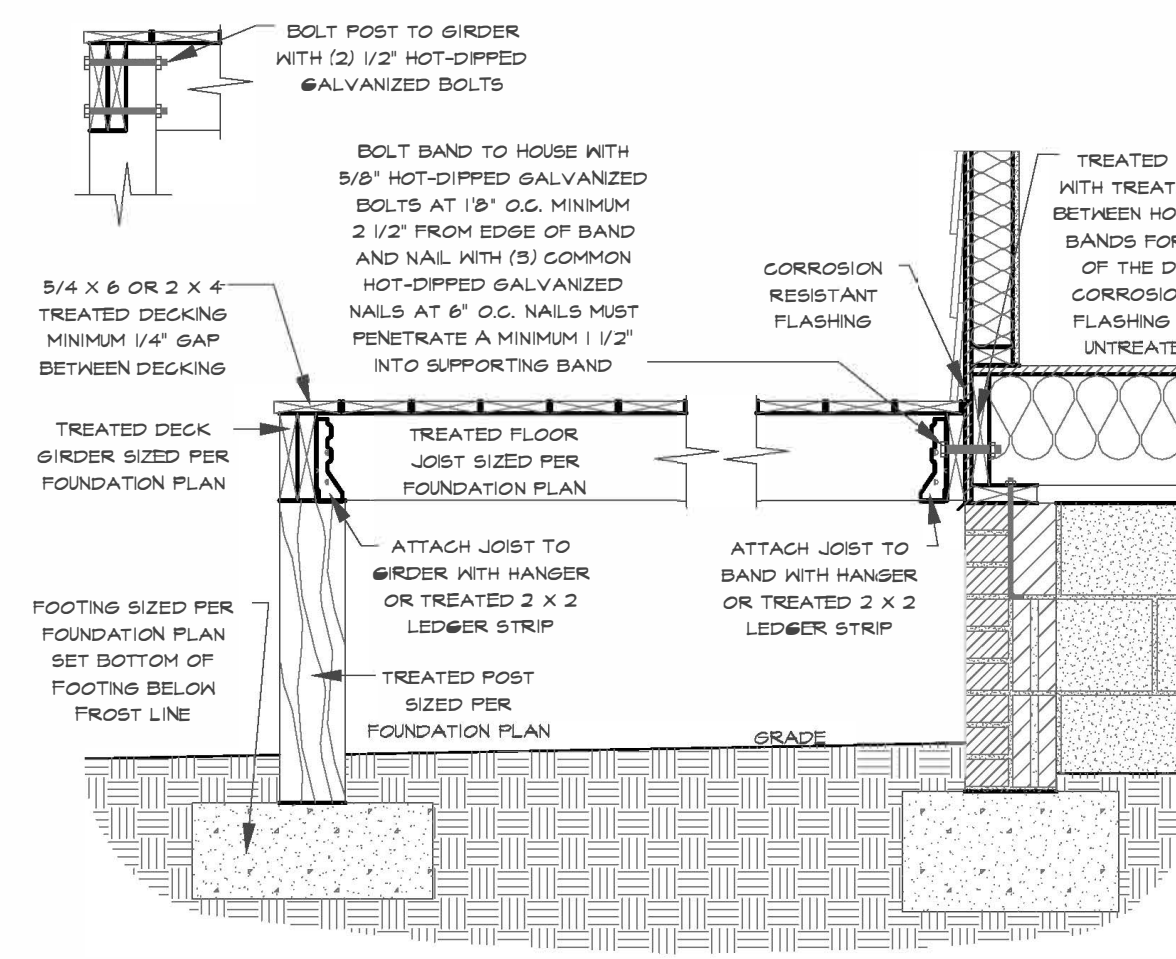
REFER TO SECTIONS R502B, R502C, R502D, AND R502T
 WALLS: A MINIMUM 1/2" GYPSUM BOARD MUST BE INSTALLED ON ALL WALLS SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION. STAIRS: A MINIMUM OF 1/2" GYPSUM BOARD MUST BE INSTALLED ON THE UNDERSIDE AND EXPOSED SIDES OF ALL STAIRWAYS.
 CEILING: A MINIMUM OF 1/2" GYPSUM MUST BE INSTALLED ON THE GARAGE CEILING IF THERE ARE NO HABITABLE ROOMS ABOVE THE GARAGE. IF THERE ARE HABITABLE ROOMS ABOVE THE GARAGE A MINIMUM OF 5/8" TYPE X GYPSUM BOARD MUST BE INSTALLED ON THE GARAGE CEILING.
 OPENING PENETRATIONS: OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8 INCHES (35 MM) IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8 INCHES (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS.
 DUCT PENETRATIONS: DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAUGE (0.48 MM) SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
 OTHER PENETRATIONS: PENETRATIONS THROUGH THE SEPARATION REQUIRED IN SECTION R502A SHALL BE PROTECTED AS REQUIRED BY SECTION R502.1, ITEM 4.

DECK BRACING

SECTION AM04
 AM04.1 DECK BRACING: DECKS SHALL BE BRACED TO PROVIDE LATERAL STABILITY. THE FOLLOWING ARE ACCEPTABLE MEANS TO PROVIDE LATERAL STABILITY.
 AM04.1.1 WHEN THE DECK FLOOR HEIGHT IS LESS THAN 4'-0" ABOVE FINISHED GRADE PER FIGURE AM04.1 AND THE DECK IS ATTACHED TO THE STRUCTURE IN ACCORDANCE WITH SECTION AM04.1, LATERAL BRACING IS NOT REQUIRED.
 AM04.1.2 4 x 4 WOOD KNEE BRACES MAY BE PROVIDED ON EACH COLUMN IN BOTH DIRECTIONS. THE KNEE BRACES SHALL ATTACH TO EACH POST AT A POINT NOT LESS THAN 1/3 OF THE POST LENGTH FROM THE TOP OF THE POST, AND THE BRACES SHALL BE ANGLED BETWEEN 45 DEGREES AND 60 DEGREES FROM THE HORIZONTAL. KNEE BRACES SHALL BE BOLTED TO THE POST AND THE GRID/DOUBLE BAND WITH ONE 5/8 INCH HOT-DIPPED GALVANIZED BOLT WITH NUT AND WASHER AT BOTH ENDS OF THE BRACE PER FIGURE AM04.1.
 AM04.1.3 FOR FREE-STANDING DECKS WITHOUT KNEE BRACES OR DIAGONAL BRACING, LATERAL STABILITY MAY BE PROVIDED BY DEBRIDGING THE POST IN ACCORDANCE WITH FIGURE AM04.2 AND THE FOLLOWING:

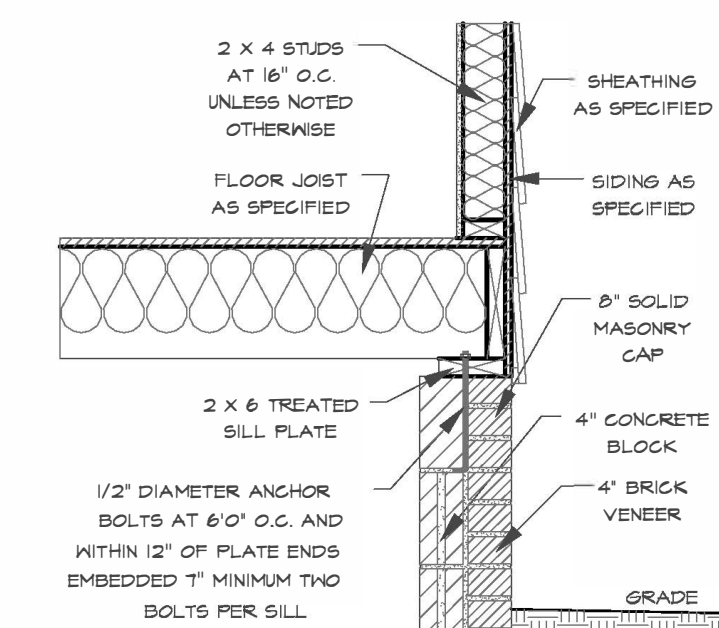
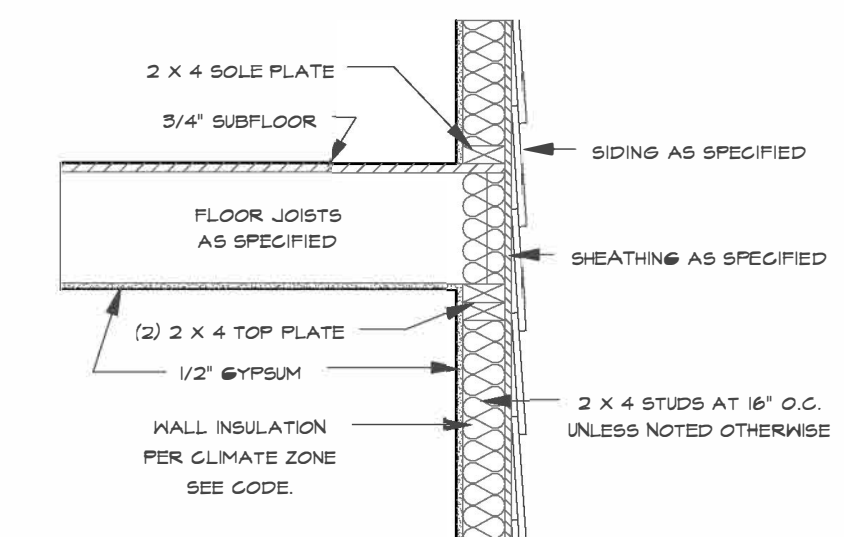
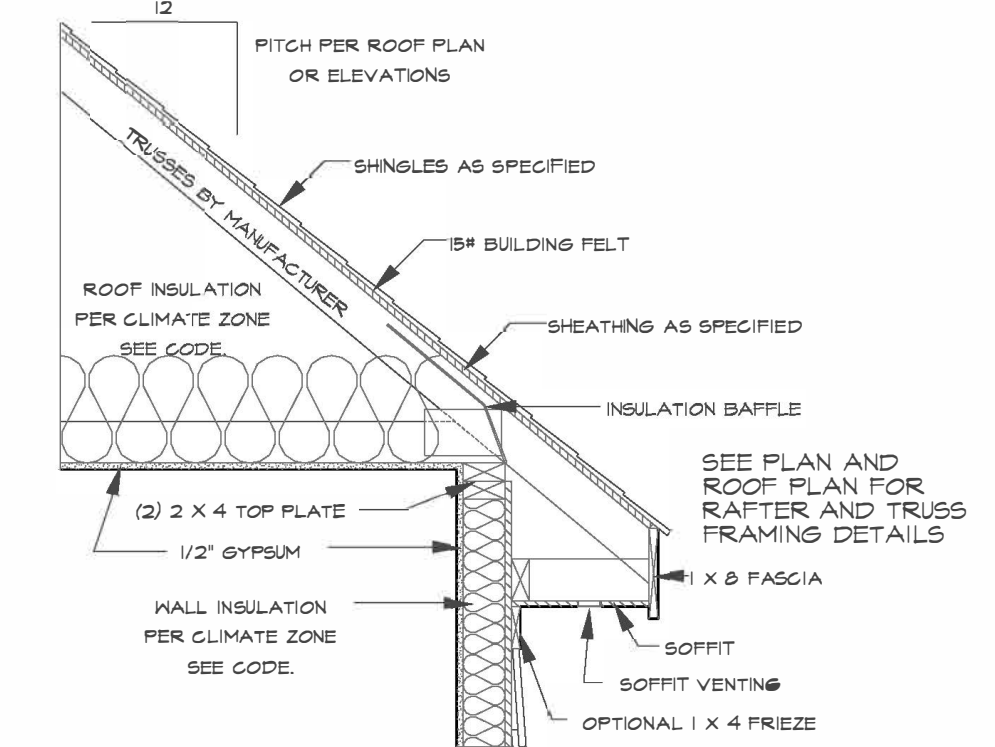
POST SIZE	MAX. TRIANGULAR AREA	MAX. POST HEIGHT	EMBEDMENT DEPTH	CONCRETE DIAMETER
4 x 4	48 SF	4'-0"	2'-6"	1'-0"
6 x 6	120 SF	6'-0"	5'-6"	1'-8"

 AM04.1.4 2 x 6 DIAGONAL VERTICAL CROSS BRACING MAY BE PROVIDED IN TWO PERPENDICULAR DIRECTIONS FOR FREE-STANDING DECKS OR PARALLEL TO THE STRUCTURE AT THE EXTERIOR COLUMN LINE FOR ATTACHED DECKS. THE 2 x 6'S SHALL BE ATTACHED TO THE POSTS WITH ONE 5/8 INCH HOT-DIPPED GALVANIZED BOLT WITH NUT AND WASHER AT EACH END OF EACH BRACING MEMBER PER FIGURE AM04.3.
 AM04.1.5 FOR EMBEDMENT OF PILES IN COASTAL REGIONS, SEE CHAPTER 45.



DECK ATTACHMENT DETAIL TO FRAMED WALL

SCALE 3/4" = 1'-0"



TYPICAL WALL SECTION
 SCALE 3/4" = 1'-0"

THIS PLAN DESIGNED UNDER NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION (2015 IRC)

HOUSE DESIGNED FOR 115 or 120 MPH EXPOSURE B

ANCHOR BOLTS SHALL BE MINIMUM 1/2" DIAMETER 4" SHALL EXTEND A MINIMUM OF 7" INTO MASONRY OR CONCRETE. ANCHOR BOLTS TO BE NO MORE THAN 6" ON CENTER AND WITHIN 12" OF ALL CORNERS. THERE SHALL BE A MINIMUM OF TWO (2) ANCHOR BOLTS PER PLATE SECTION.
 MINIMUM VALUES FOR ENERGY COMPLIANCE ZONE 4A, 4B, 5. VERIFY ZONE BEFORE CONSTRUCTION

CLIMATE ZONE	FENESTRATION U-FACTOR ¹	SKYLIGHT U-FACTOR	CEILING U-FACTOR	WOOD FRAME WALL U-FACTOR	MASS WALL U-FACTOR	FLOOR U-FACTOR	BASEMENT WALL U-FACTOR	SLAB U-FACTOR & DEPTH	CRAWL SPACE WALL U-FACTOR
3	0.35	0.55	0.30	38 or 30 ²	15or 13+2.5 ³ or 20 ³	19	5/8"	0	5/13
4	0.35	0.55	0.30	38 or 30 ²	15or 13+2.5 ³ or 20 ³	19	10/15	10	10/15
5	0.35	0.55	NR	38 or 30 ²	18 ⁴ or 13+2.5 ³ or 20 ³	13/17 or 13/21 ⁵	3P	10/15	10

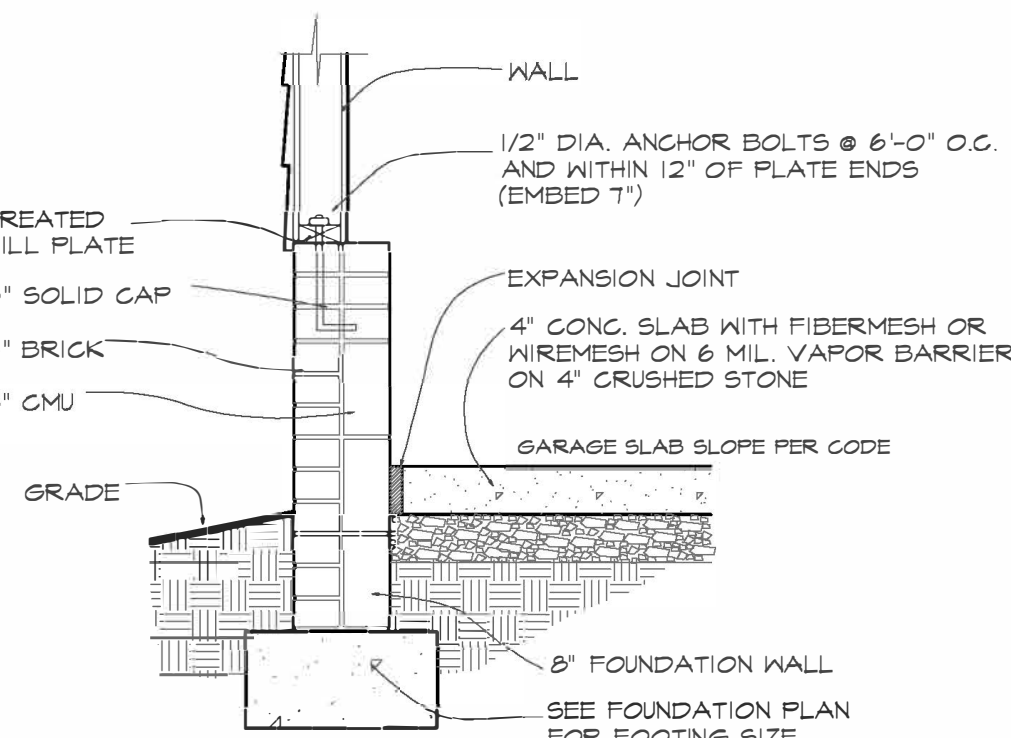
TABLE R402.1.4 EQUIVALENT U-FACTORS*

CLIMATE ZONE	FENESTRATION U-FACTOR ¹	SKYLIGHT U-FACTOR	CEILING U-FACTOR	FRAME WALL U-FACTOR	MASS WALL U-FACTOR ²	FLOOR U-FACTOR	BASEMENT WALL U-FACTOR	CRAWL SPACE WALL U-FACTOR
3	0.35	0.55	0.030	0.072	0.141	0.047	0.091 ³	0.136
4	0.35	0.55	0.030	0.072	0.141	0.047	0.059	0.065
5	0.35	0.55	0.030	0.061	0.082	0.033	0.059	0.065

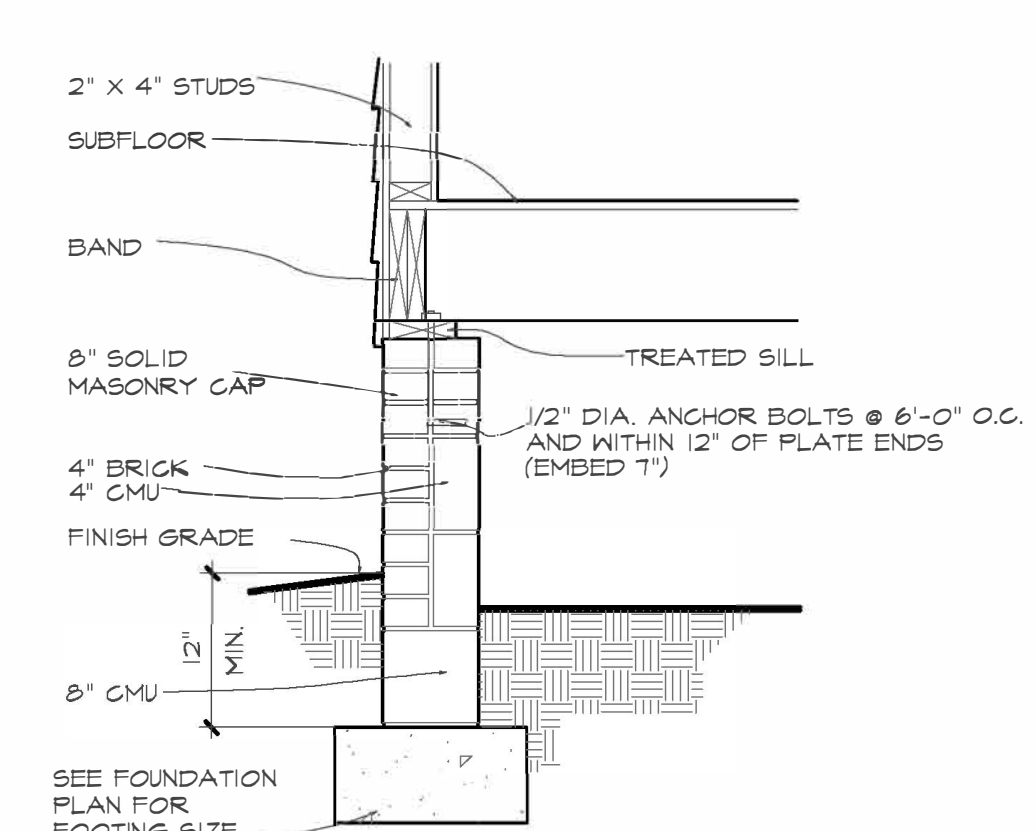
* Nonfenestration U-factors shall be obtained from measurement, calculation or an approved source.
 b. When more than half the insulation is on the interior, the mass wall U-factors shall be a maximum of 0.07 in Climate Zone 3, 0.07 in Climate Zone 4 and 0.054 in Climate Zone 5.
 c. Basement wall U-factor of 0.360 in warm-humid locations as defined by Figure R301.1 and Table R301.1.
 d. A maximum of two placed fenestration product assemblies having a U-factor no greater than 0.55 and a SHGC no greater than 0.70 shall be permitted to be substituted for minimum code compliant fenestration product assemblies without penalty. When using this note and using the R3-Book U-1A Trade-off compliance method to allow continued use of the software, the applicable fenestration products shall be modeled as meeting the U-factor of 0.35 and the SHGC of 0.40, as applicable, but the fenestration products actual U-factor and actual SHGC shall be noted in the comments section of the software for documentation of application of this note to the applicable products. Compliance for these substitute products shall be verified compared to the allowed substituted maximum U-value requirement and maximum SHGC requirement, as applicable.

STRUCTURAL NOTES

- CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA STATE RESIDENTIAL CODE - 2018 EDITION (2015 IRC), PLUS ALL LOCAL CODES AND REGULATIONS.
 ALL MEMBERS SHALL BE FRAMED, ANCHORED, TIED AND BRACED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICE AND THE BUILDING CODE.
 2) DESIGN LOADS SEE TABLE R301.3
 WIND SPEED, REFER TO TABLE R301.2.4
 VERIFY ZONE BEFORE CONSTRUCTION.
 3) WALL BRACING: WALLS SHALL BE BRACED ALONG BRACED WALL LINES ACCORDING TO SECTION R602.10, THE AMOUNT, LOCATION AND CONSTRUCTION OF BRACING SHALL COMPLY WITH R602.10. NOTE THAT THE BRACING SHOWN ON THE PLANS IS BASED ON THE PRESCRIPTIVE BRACING REQUIREMENTS OF THE CODE AND SHALL BE VERIFIED AND/OR APPROVED BY THE CODE OFFICIAL.
 4) CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI AND A MAXIMUM SLUMP OF 5 INCHES UNLESS NOTED OTHERWISE (NO). ALL ENTRAINED AIR SHALL BE VERIFIED AND/OR APPROVED BY THE CODE OFFICIAL.
 5) ALLOWABLE SOIL BEARING CAPACITY ASSUMED TO BE 2000 PSF. THE CONTRACTOR MUST CONTACT A GEOTECHNICAL ENGINEER AND THE STRUCTURAL ENGINEER IF UNSATISFACTORY SUBSURFACE CONDITIONS ARE ENCOUNTERED. THE SURFACE AREA ADJACENT TO THE FOUNDATION WALL SHALL BE PROVIDED WITH ADEQUATE DRAINAGE, AND SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS.
 6) ALL FRAMING LUMBER SHALL BE SPF #2 (FB = 25 PSI) UNLESS NOTED OTHERWISE (NO). ALL TREATED LUMBER SHALL BE SYP #2 (FB=475 PSI). PLATE MATERIAL MAY BE SPF #3 OR SYP #3 (FC/PERP) = 425 PSI - MIN.
 7) ALL WOODEN BEAMS AND HEADERS SHALL HAVE THE FOLLOWING END SUPPORTS: (1) 2X4 STUD COLUMN FOR 6'-0" MAX BEAM SPAN (NO), (2) 2X4 STUDS FOR BEAM SPAN GREATER THAN 6'-0" (NO).
 8) L.V.L. SHALL BE LAMINATED VENEER LUMBER: FB=2600 PSI, FV=255 PSI, E=1,400,000 PSI, P.S.L. SHALL BE PARALLEL STRAND LUMBER: FB=2400 PSI, FV=250 PSI, E=2,000,000 PSI. L.S.L. SHALL BE LAMINATED STRAND LUMBER: FB=2250 PSI, FV=400 PSI, E=1,500,000 PSI. INSTALL ALL CONNECTIONS PER MANUFACTURER'S INSTRUCTIONS.
 9) ALL ROOF TRUSSES AND JOIST LAYOUTS SHALL BE PREPARED IN ACCORDANCE WITH THE SEALED STRUCTURAL DRAWINGS. TRUSSES AND JOISTS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.
 10) ALL STRUCTURAL STEEL SHALL BE ASTM A-36. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 8 1/2" NICES AND FULL FLANGE WIDTH. PROVIDE SOLID BEARINGS FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED TO EACH SUPPORT WITH TWO LAG SCREWS (1/2" DIAMETER X 4" LONG). LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDED THE JOIST ARE TOE NAILED TO THE SOLE PLATE, AND SOLE PLATE IS NAILED OR BOLTED TO THE BEAM FLANGE @ 48" O.C. ALL STEEL TIEING SHALL BE ASTM A502.
 11) REBAR SHALL BE DEFORMED STEEL, ASTM#65, GRADE 60.
 12) FLITCH BEAMS SHALL BE BOLTED TOGETHER USING (2) ROWS OF 1/2" DIAMETER BOLTS (ASTM A307) WITH WASHERS FLANGED UNDER THE TREADS END OF BOLT. BOLTS SHALL BE SPACED AT 24" O.C. (MAX) AND STAGGERED AT THE TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH 2 BOLTS LOCATED AT 6" FROM EACH END.
 13) BRICK LINTELS SHALL BE 3 1/2"x3 1/2"x1/4" STEEL ANGLE FOR UP TO 6'-0" SPAN AND 6"x4"x5/8" STEEL ANGLE WITH 6" LEG VERTICAL FOR SPANS UP TO 4'-0" (NO).
 14) THE POSITIVE AND NEGATIVE DESIGN PRESSURE FOR DOORS AND WINDOWS SEE R301.2(6)



B) SECTION AT GARAGE SLAB



D) SECTION AT CRAWL

Purchaser must verify all dimensions and conditions before beginning construction.
 MidTown Designs Inc. assumes no liability for contractors practices and procedures.
 These drawings are instruments of service and as such shall remain property of the designer

Copyright 2017
 MidTown Designs Inc.
 All Rights Reserved

RESIDENCE FOR:
 Detail Sheet
 www.midtowndesigns.com
 Phone: 919-783-8626
 107 Raleigh NC 27609

DATE	REV	DATE	REV

LOT: _____
 SUB: _____
 DATE: _____
 SCALE: _____