

- GENERAL REMARKS:**
1. THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE.
 2. EXTERIOR WALL FOOTING WHERE NOTED TO BE 16" X 8" 3000 PSI STRUCTURAL CONCRETE UNLESS OTHERWISE NOTED.
 3. FOUNDINGS TO BEAR ON UNDISTURBED NATURAL OR UNSTABLE SOILS ARE ENCOUNTERED. REFER TO STATE AND LOCAL BUILDING CODES. NOTE ASSUMED SOIL BEARING CAPACITY=2000 PSF.
 4. FOUNDATION DESIGN IS VALID FOR 100 MPH WIND ZONES ONLY.
 5. FOUNDATION WALLS SHALL BE 8" BLOCK UNLESS NOTED OTHERWISE.

06 10 2019



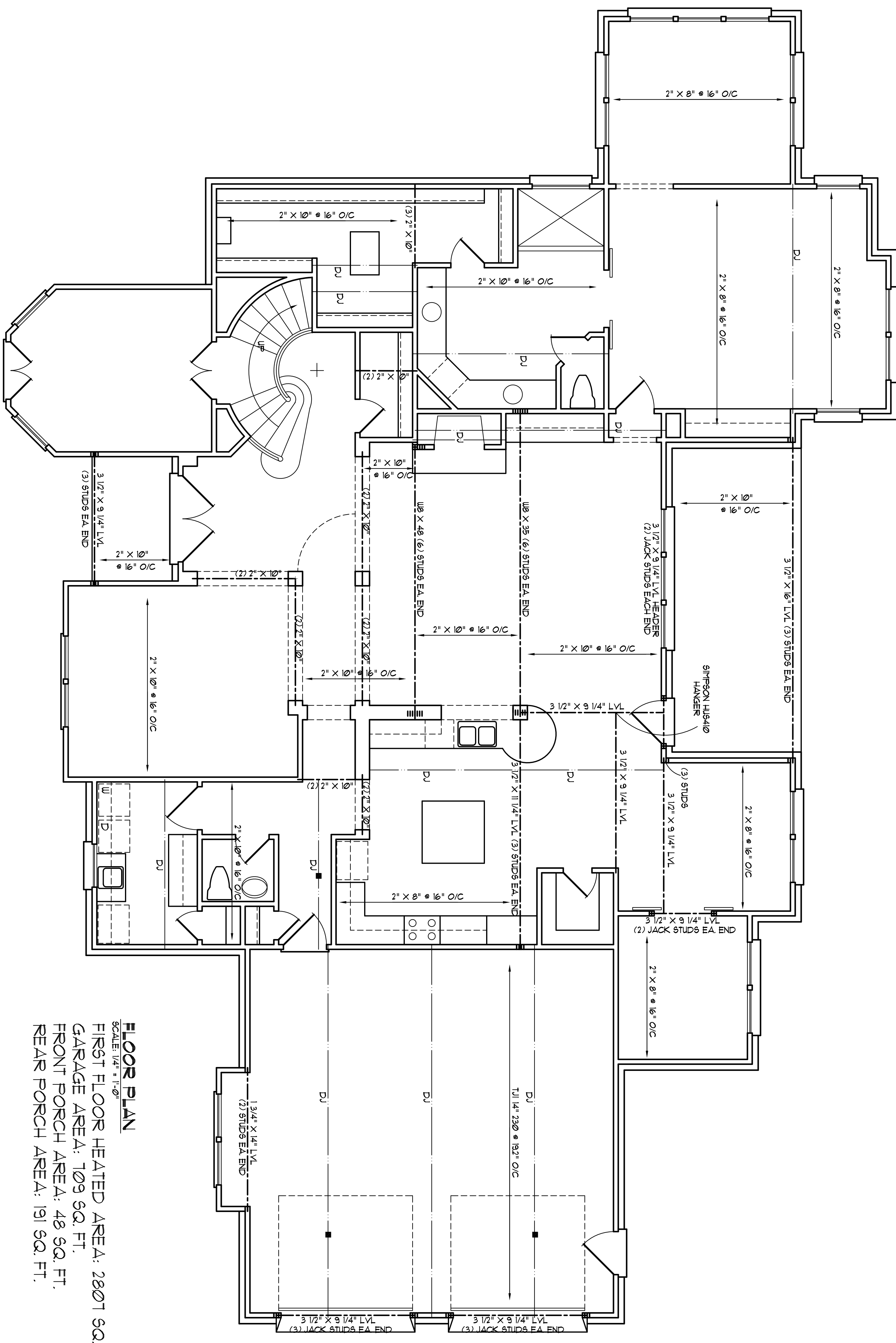
James Hart

S1
FOUNDATION PLAN
1/4"=1'-0"

Plan No. - 3975-15

STRUCTURAL EVALUATION BY:
HOWERTON SERVICES, PLLC
 3513 CATHEDRAL BELL ROAD RALEIGH, NC 27614
 LICENSE P-1716

* ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS ON THIS DOCUMENT. SEAL DOES NOT INCLUDE CONSTRUCTION REVIEW, MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS.
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FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 FIRST FLOOR HEATED AREA: 2807 SQ. FT.
 GARAGE AREA: 109 SQ. FT.
 FRONT PORCH AREA: 48 SQ. FT.
 REAR PORCH AREA: 191 SQ. FT.

- GENERAL FRAMING NOTES:**
- THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE 2018 EDITION.
 - GLAZING AREAS SHOWN ON THESE DESIGN DRAWINGS DO NOT EXCEED 15% OF THE GROSS AREA OF THE EXTERIOR WALLS. THIS STRUCTURE MEETS THE REQUIREMENTS OF N1101.2.1, RESIDENTIAL BUILDING, TYPE A-1.
 - WALL GLAZING IS DESIGNED FOR A 24.11 P/SF OR GREATER POSITIVE/NEGATIVE PRESSURE.
 - ALL WALLS, FLOORS AND CEILINGS SHALL BE INSULATED IN ACCORDANCE WITH PART IV, ENERGY CONSERVATION, CHAPTER 11, ENERGY EFFICIENCY OF THE CODE FOR ZONE 7 (TABLE N1101.2).
 - DESIGN CRITERIA
 PRIMARY FLOOR DEAD 10 PSF 40 PSF
 SECONDARY FLOOR 10 PSF 40 PSF
 SLEEPING AREAS 10 PSF 30 PSF
 ATTIC 10 PSF 20 PSF
 ROOF 10 PSF 20 PSF
 WIND 100 MPH
 - DEFLECTION LIMITS FLOOR - L/360
 (LIVE LOAD ONLY) ROOF - L/240
 - ALL HEADERS IN LOAD BEARING WALLS SHALL BE DOUBLE 2X10.
 - ALL WALLS ARE 2X4 @ 16" O.C. UNLESS OTHERWISE NOTED.
 - FLOOR INSULATION = R-19, EXTERIOR ±R-5 AND CEILING = R-38.
 - PROVIDE DOUBLE FLOOR JOISTS OR TRUSS UNDER WALLS ABOVE.

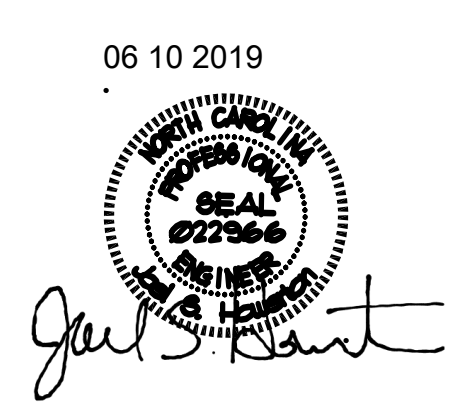
RODZ/S SUPPLIES FOR HEADERS:
 HEADERS SHALL BE SUPPORTED ON EACH END WITH ONE OR MORE JACK STUDS OR WITH APPROVED FRAMING ANCHORS IN ACCORDANCE WITH TABLE R602.7(1) OR R602.7(2). THE FULL-HEIGHT STUD ADVISANT TO EACH END OF THE HEADER SHALL BE END WALLED TO EACH END OF THE HEADER WITH FOUR-(4) WALLS (3.5 INCHES X 0.135 INCHES). THE MINIMUM NUMBER OF FULL-HEIGHT STUDS AT EACH END OF A HEADER SHALL BE IN ACCORDANCE WITH TABLE R602.7.5.

TABLE R602.7.5
 MINIMUM NUMBER OF FULL-HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS

HEADER SPAN	MAXIMUM STUD SPACING (INCHES) PER TABLE R602.3(5)	24
LESS THAN/EQUAL TO 3'	16	24
4'	1	1
6'	2	2
12'	3	3
16'	5	4

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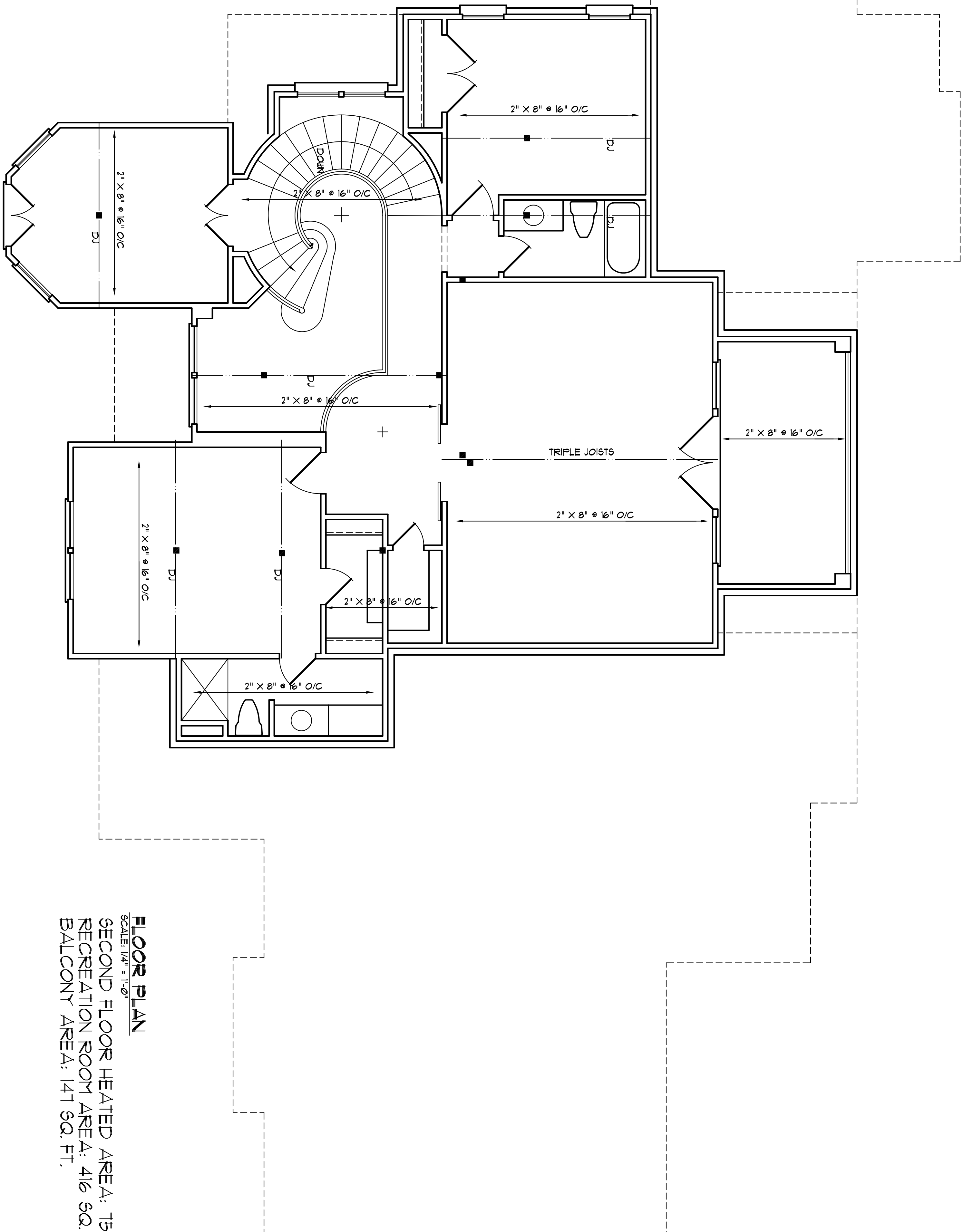
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S2
01
 1/4"=1'-0"
FIRST FLOOR FRAMING

Plan No. - 3975-15

S2	DATE: 06/10/2019 DRAWING: MAIN LEVEL FLOOR FRAMING	AVILEZ RESIDENCE CHRISTIAN LIGHT RD - - FUQUAY-VARINA, N.C.	BUILDING DESIGN BY: VUNCANNON DESIGNS	STRUCTURAL EVALUATION BY: HOWERTON SERVICES, PLLC 3513 CATHEDRAL BELL RD., RALEIGH N.C. 27614
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FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 SECOND FLOOR HEATED AREA: 1752 SQ. FT.
 RECREATION ROOM AREA: 416 SQ. FT.
 BALCONY AREA: 141 SQ. FT.

- GENERAL FRAMING NOTES:**
1. THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
 2. GLAZING AREAS SHOWN ON THESE DESIGN DRAWINGS DO NOT EXCEED 15' THE GROSS AREA OF THE EXTERIOR WALLS. THIS STRUCTURE MEETS THE REQUIREMENTS OF N1101.2.1, RESIDENTIAL BUILDING, TYPE A-1.
 3. WALL CLADDING IS DESIGNED FOR A 24.1 #/SF OR GREATER POSITIVE/NEGATIVE PRESSURE.
 4. ALL WALLS, FLOORS AND CEILINGS SHALL BE INSULATED IN ACCORDANCE WITH PART IV, ENERGY CONSERVATION, CHAPTER 11, ENERGY EFFICIENCY OF THE CODE FOR ZONE 7 (TABLE N1101.2).
 5. DESIGN CRITERIA

DEAD	10 PSF	LIVE	40 PSF
PRIMARY FLOOR	10 PSF	SECONDARY FLOOR	40 PSF
SLEEPING AREAS	10 PSF	SLEEPING AREAS	30 PSF
ATTIC	10 PSF	ATTIC	20 PSF
ROOF	10 PSF	ROOF	20 PSF
 6. DEFLECTION LIMITS

FLOOR - L/360	ROOF - L/240
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 7. ALL HEADERS IN LOAD BEARING WALLS SHALL BE DOUBLE 2X10.
 8. ALL WALLS ARE 2X4 @ 16" O.C. UNLESS OTHERWISE NOTED.
 9. FLOOR INSULATION = R-19, EXTERIOR = R-15 AND CEILING = R-38.
 10. PROVIDE DOUBLE FLOOR JOISTS UNDER WALLS ABOVE.

8002.7.5. SUPPORTS FOR HEADERS:

HEADERS SHALL BE SUPPORTED ON EACH END WITH ONE OR MORE JACK STUDS OR WITH APPROVED FRAMING ANCHORS IN ACCORDANCE WITH TABLE 8002.7(1) OR 8002.7(2). THE FULL-HEIGHT STUD ADVANCED TO EACH END OF THE HEADER SHALL BE END NAIL TO EACH END OF THE HEADER WITH FOUR (4) NAILS (3.5 INCHES X 0.135 INCHES). THE MINIMUM NUMBER OF FULL-HEIGHT STUDS AT EACH END OF A HEADER SHALL BE IN ACCORDANCE WITH TABLE 8002.7.5.

MINIMUM NUMBER OF FULL-HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS	MAXIMUM STUD SPACING (INCHES) PER TABLE 8002.3(9)	LESS THAN/EQUAL TO 3'
16	1	4'
24	2	6'
	3	12'
	5	16'
	6	

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06 10 2019



Julie S. Hart

SECOND FLOOR FRAMING PLAN
 01 1/4"=1'-0"

Plan No. - 3975-15

STRUCTURAL EVALUATION BY:
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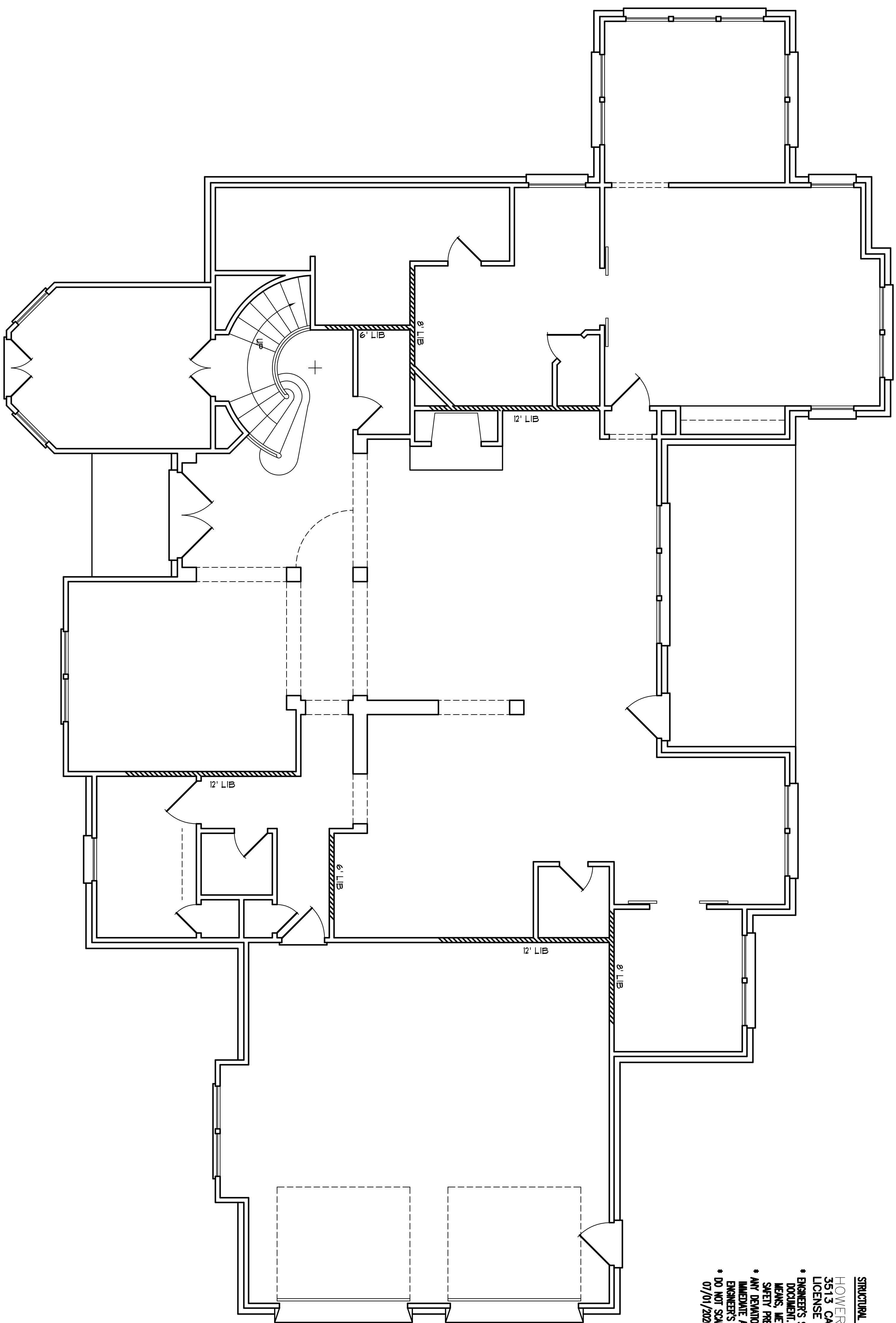
BUILDING DESIGN BY:
VUNCANNON DESIGNS

AVILEZ RESIDENCE
 CHRISTIAN LIGHT RD - FUQUAY-VARINA, N.C.

DATE
 06/10/2019

DATE
 06/10/2019

S3



- BRACED WALL NOTES:**
1. BRACED WALLS ARE REQUIRED PER SECTION 802.10.1 2018 NBC RESIDENTIAL CODE.
 2. THE EXTERIOR WALL STRUCTURE SHALL BE CONTINUOUSLY SHEATHED FULL HEIGHT WITH MIN. THICKNESS 7/16" OSB. THESE WALLS SHALL BE CONSTRUCTED IN CONFORMANCE TO THE CS-185P DETAILS.
 3. BASIS OF DESIGN FOR INTERIOR BRACE WALLS IS LB (LET IN BRACING) METHOD AS DETAIL PER CODE TABLE 802.10.2.
 4. SPECIAL BRACING DETAILS ARE ILLUSTRATED IN THE CODE AND ALLOWED WHERE WALLS DO NOT MEET THE MINIMUM REQUIREMENTS FOR SUPPORT. REFER TO GARAGE OPENING, PORCH FINISHING DETAILS.

STRUCTURAL EVALUATION BY:
HOWERTON SERVICES, PLLC
 3513 CATHEDRAL BELL ROAD RALEIGH, NC 27614
 LICENSE P-1716

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06 10 2019

J. S. Sant

S4
BRACE WALL PLAN
 01
 1/4"=1'-0"

Plan No. - 3975-15

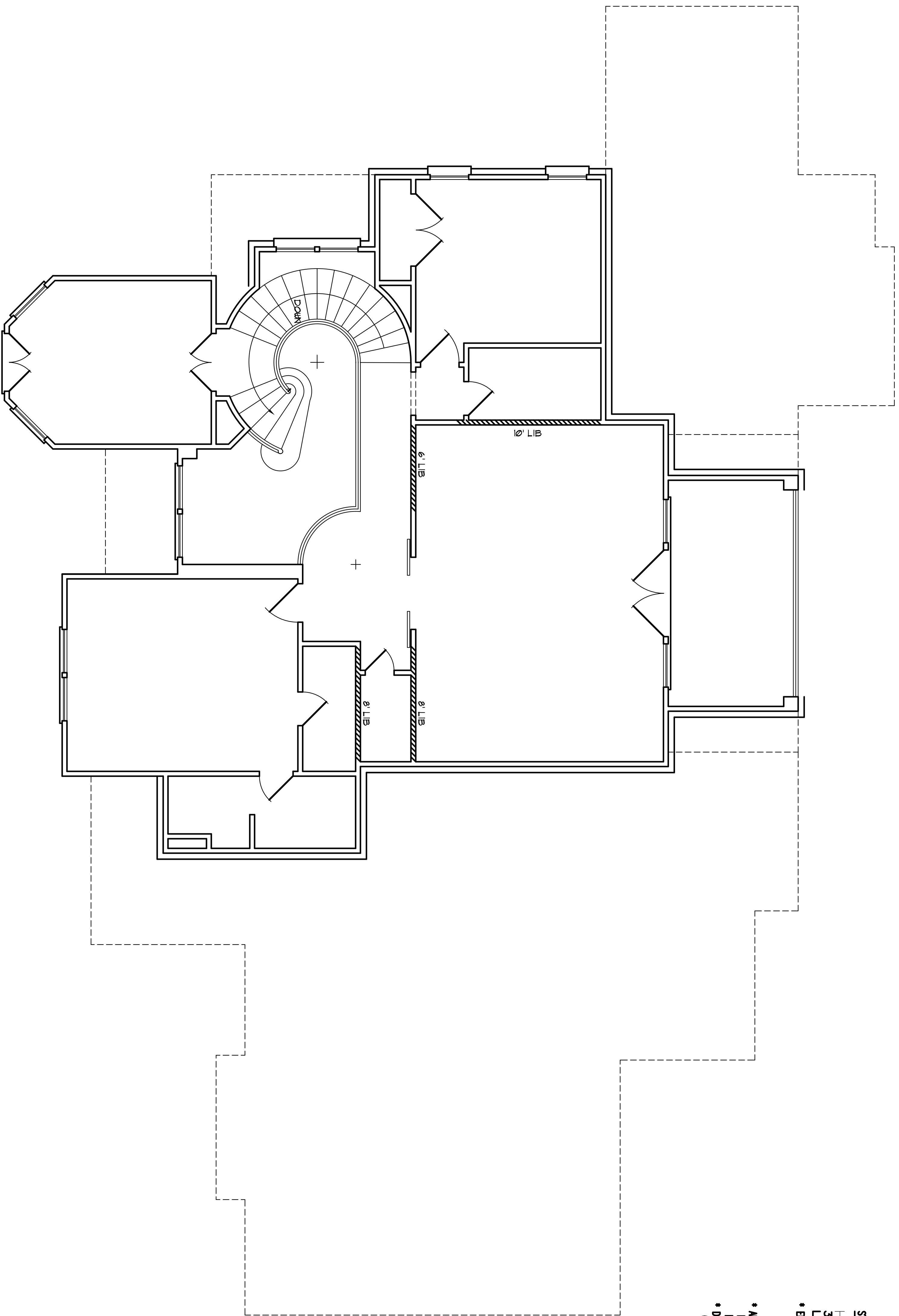
S4

DATE: 06/10/2019
 DRAWING: BRACING PLAN

AVILEZ RESIDENCE
 CHRISTIAN LIGHT RD - FUQUAY-VARINA, N.C.

BUILDING DESIGN BY:
 VUNCANNON DESIGNS

STRUCTURAL EVALUATION BY:
 HOWERTON SERVICES, PLLC
 3513 CATHEDRAL BELL RD., RALEIGH N.C. 27614



- BRACED WALL NOTES:**
1. BRACED WALLS ARE REQUIRED PER SECTION 802.10.1 2018 NBC RESIDENTIAL CODE.
 2. THE EXTERIOR WALL STRUCTURE SHALL BE CONTINUOUSLY STRENGTHENED FULL HEIGHT WITH MIN. THICKNESS 7/16\"/>

STRUCTURAL EVALUATION BY:

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 LICENSE P-1716

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06 10 2019



Paul S. Sent

S4 BRACE WALL PLAN
01 1/4"=1'-0"

Plan No. - 3975-15

S5

DATE	06/10/2019
REVISION	
DESCRIPTION	BRACING PLAN

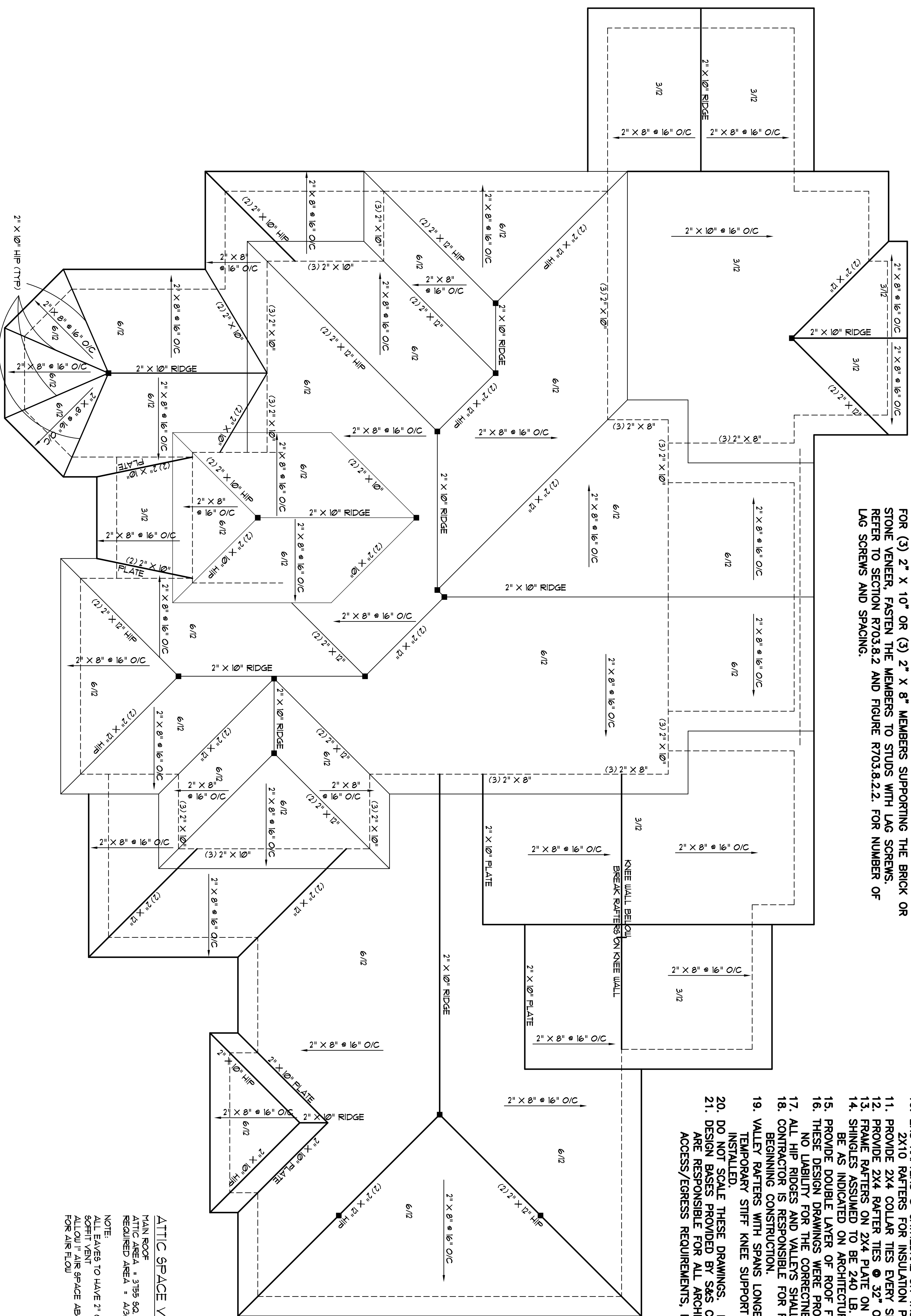
AVILEZ RESIDENCE
 CHRISTIAN LIGHT RD - FUQUAY-VARINA, N.C.

BUILDING DESIGN BY:
 VUNCANNON DESIGNS

STRUCTURAL EVALUATION BY:
 HOWERTON SERVICES, PLLC
 3513 CATHEDRAL BELL
 RD., RALEIGH N.C. 27614

NOTE:
ALL UNTELS FOR SUPPORT OF BRICK VENEER SHALL BE 4" X 6" X 5/16".
PLACE THE 6" LEG VERTICALLY.

FOR (3) 2" X 10" OR (3) 2" X 8" MEMBERS SUPPORTING THE BRICK OR STONE VENEER, FASTEN THE MEMBERS TO STUDS WITH LAG SCREWS. REFER TO SECTION R703.8.2 AND FIGURE R703.8.2.2. FOR NUMBER OF LAG SCREWS AND SPACING.



- GENERAL ROOF NOTES:**
- THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
 - ROOF CLADDING DESIGN VALUES (POSITIVE/NEGATIVE) SHALL BE AS FOLLOWS:
45.5 #/SF FOR ROOF PITCHES FROM 0 /12 TO 2.25 /12
34.5 #/SF FOR ROOF PITCHES FROM 2.25 /12 TO 7 /12
21 #/SF FOR ROOF PITCHES FROM 7 /12 TO 12 /12
 - ALL ROOFING ELEMENTS SHALL MEET THE REQUIREMENTS OF CHAPTER 8 OF THE CODE.
 - ALL LUMBER SHALL BE #2 SPF OR BETTER. RAFTERS MAY BE FINGER JOINTED PER NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, AND MUST HAVE THE STRUCTURAL CERTIFICATION STAMPED ON THE MEMBER.
 - RAFTER SIZES, SPANS AND SPACING SHALL NOT EXCEED THE FOLLOWING:

2X6	2X8	2X10
SPACING 12" O.C.	14'-9"	19'-6"
SPACING 16" O.C.	13'-5"	17'-9"
	22'-3"	24'-10"
 - ALL RAFTERS TO BE 2X8 @ 16" O.C. #2 SPF UNLESS NOTED OTHERWISE.
 - 2-2X10 HIPS MAY BE SPLICED WITH A MIN. 6'-0" OVERLAP.
 - PROVIDE DOUBLE RAFTER EACH SIDE OF DORMERS WITH DOUBLE HEADER.
 - ATTACH VAULTED RAFTERS WITH HURRICANE CLIP SIMPSON "H-5" OR EQUIVALENT. PROVIDE DOUBLE OPPOSING RAFTERS WHERE NOTED.
 - 2X8 RAFTERS @ CATHEDRAL OR VAULTED CEILINGS TO BE FURRED DOWN 2" OR USE 2X10 RAFTERS FOR INSULATION PER CODE.
 - PROVIDE 2X4 COLLAR TIES @ 32" O.C. (TYPICAL)
 - FRAME RAFTERS ON 2X4 PLATE ON TOP OF CEILING JOISTS UNLESS NOTED OTHERWISE. SHINGLES ASSUMED TO BE 240 LB. FIBERGLASS, OR EQUAL. MINIMUM ROOF PITCH TO BE AS INDICATED ON ARCHITECTURAL PLAN SHEETS.
 - PROVIDE DOUBLE LAYER OF ROOF FELT WHERE ROOF PITCH IS LESS THAN 4 /12.
 - THESE DESIGN DRAWINGS WERE PRODUCED BY HOWERTON CONSULTING ENGINEERING, INC ASSUMES NO LIABILITY FOR THE CORRECTNESS OF ARCHITECTURAL FEATURES, DIMENSIONS OR FIXTURES.
 - ALL HIP RIDGES AND VALLEYS SHALL BE DOUBLE 2X10 UNLESS NOTED OTHERWISE.
 - CONTRACTOR IS RESPONSIBLE FOR REVIEWING DRAWINGS FOR CONSTRUCTABILITY PRIOR TO BEGINNING CONSTRUCTION.
 - VALLEY RAFTERS WITH SPANS LONGER THAN 15' SHALL BE LVS SUPPORTED AS NOTED. PROVIDE TEMPORARY STIFF KNEE SUPPORT UNTIL ALL SHEATHING AND RAFTER TIES/COLLARS ARE INSTALLED.
 - DO NOT SCALE THESE DRAWINGS. IF DISCREPANCIES ARE NOTED, CONTACT THE ENGINEER.
 - DESIGN BASES PROVIDED BY SAS CONTRACTING INC., FLOUQUAY VARIANA, NC AND THEY ARE RESPONSIBLE FOR ALL ARCHITECTURAL FEATURES, DIMENSIONS, COMPLIANCE WITH ALL ACCESS/EGRESS REQUIREMENTS, FIRE CODE AND LIFE SAFETY DESIGN ISSUES.

ATTIC SPACE VENTILATION
MAIN ROOF ATTIC AREA = 3785 SQ. FT.
REQUIRED AREA = A1300 = 12311 SQ. FT.

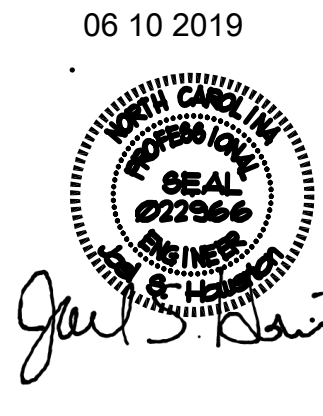
NOTE:
ALL EAVES TO HAVE 2" CONTINUOUS AIRFLOW THROUGH INSULATION FOR AIR FLOW

NOTE:
20 LB. LIVE AND 20 LB. DEAD LOAD USED FOR RAFTER LOADS FOR TERRA COTTA TILE ROOFING.

STRUCTURAL EVALUATION BY:
HOWERTON SERVICES, PLLC
3513 CATHEDRAL BELL ROAD, RALEIGH, NC 27614
LICENSE P-1716

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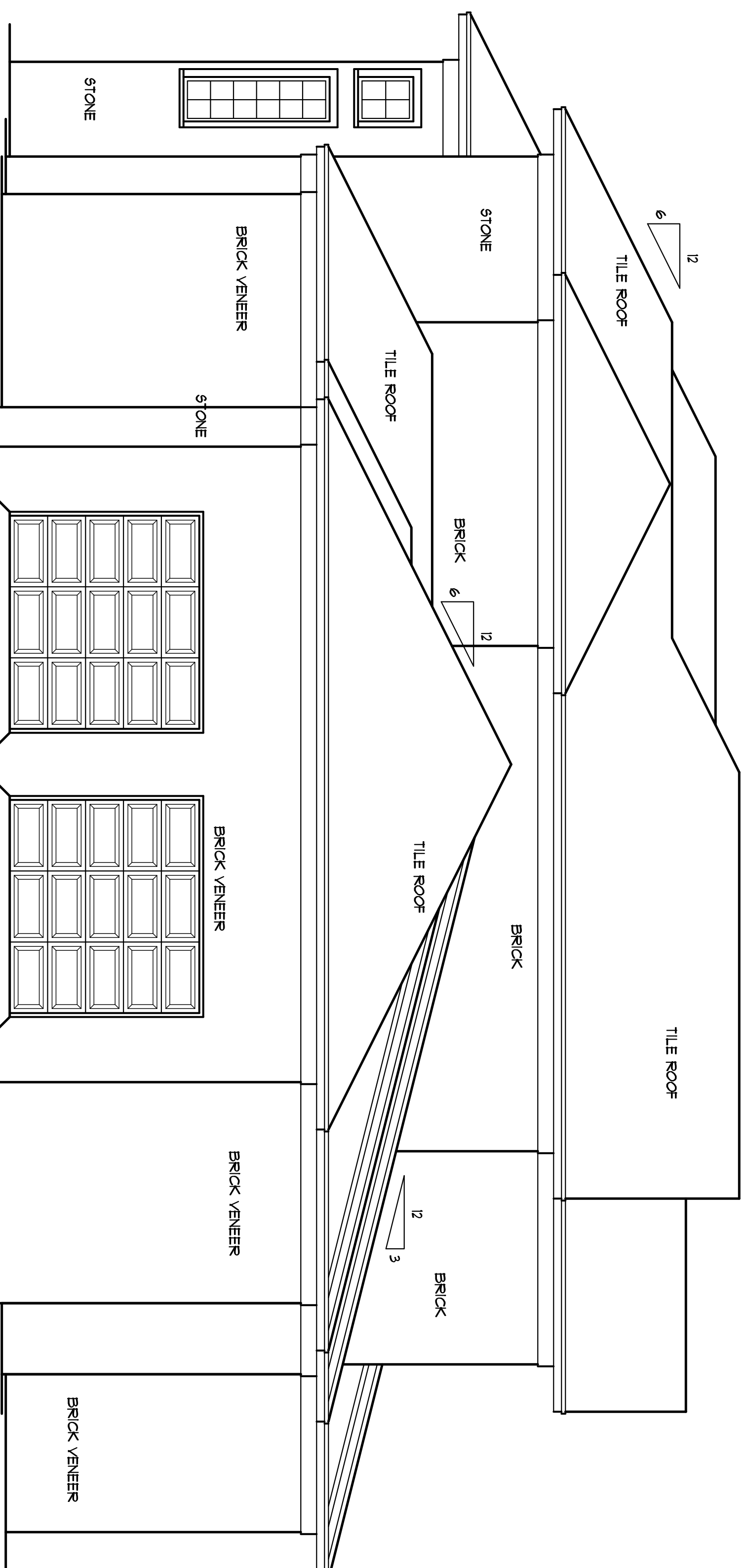
■ INDICATES (3) 2X4 STIFF KNEE ON BEAM BELOW



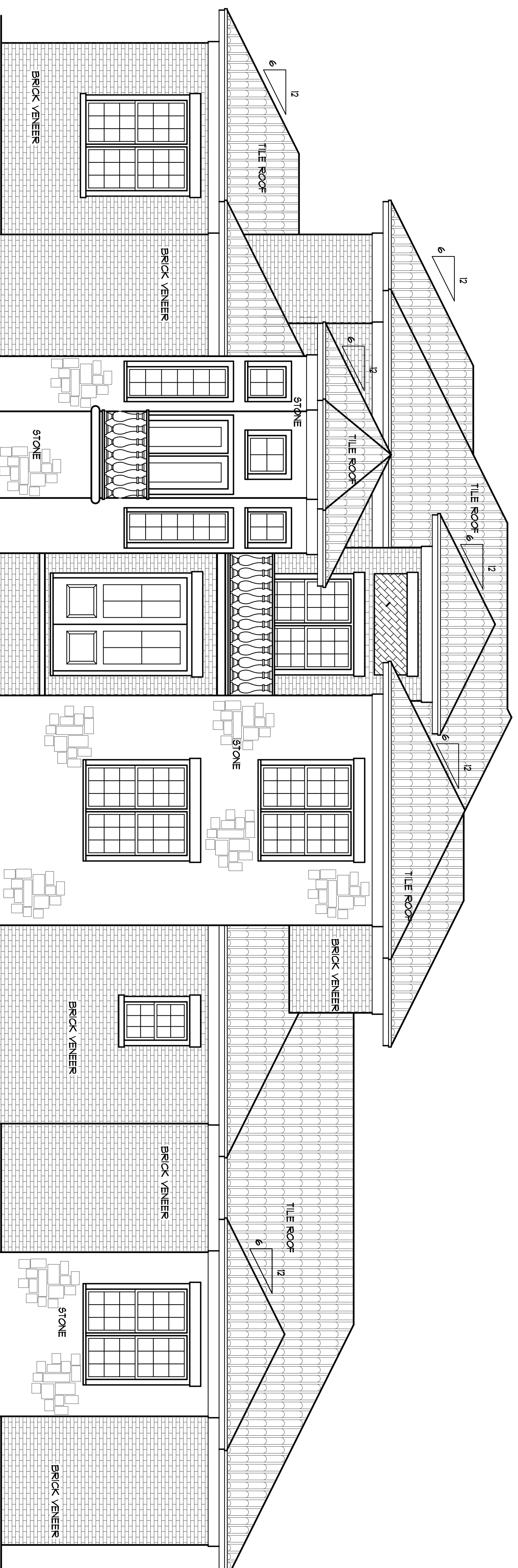
S5 ROOF PLAN
01 1/4"=1'-0"

Plan No. - 3975-15

BUILDER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT TIME OF CONSTRUCTION.
 ALL CONSTRUCTION SHALL CONFORM TO THE 2018 EDITION OF THE NC STATE BUILDING CODE. CODES GOVERN OVER DRAWINGS. DIMENSIONS GOVERN OVER SCALE.
 VERIFY ALL MECHANICAL REQUIREMENTS BEFORE DRAWING.
 YUNCANNON DESIGNS DOES NOT ASSUME LIABILITY FOR ANY DEVIATION OF OR CONSTRUCTION METHODS OF THESE PLANS.



RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

Phil/Melissa Avilez
 Christian Light Road
 Fuquay Varina, NC

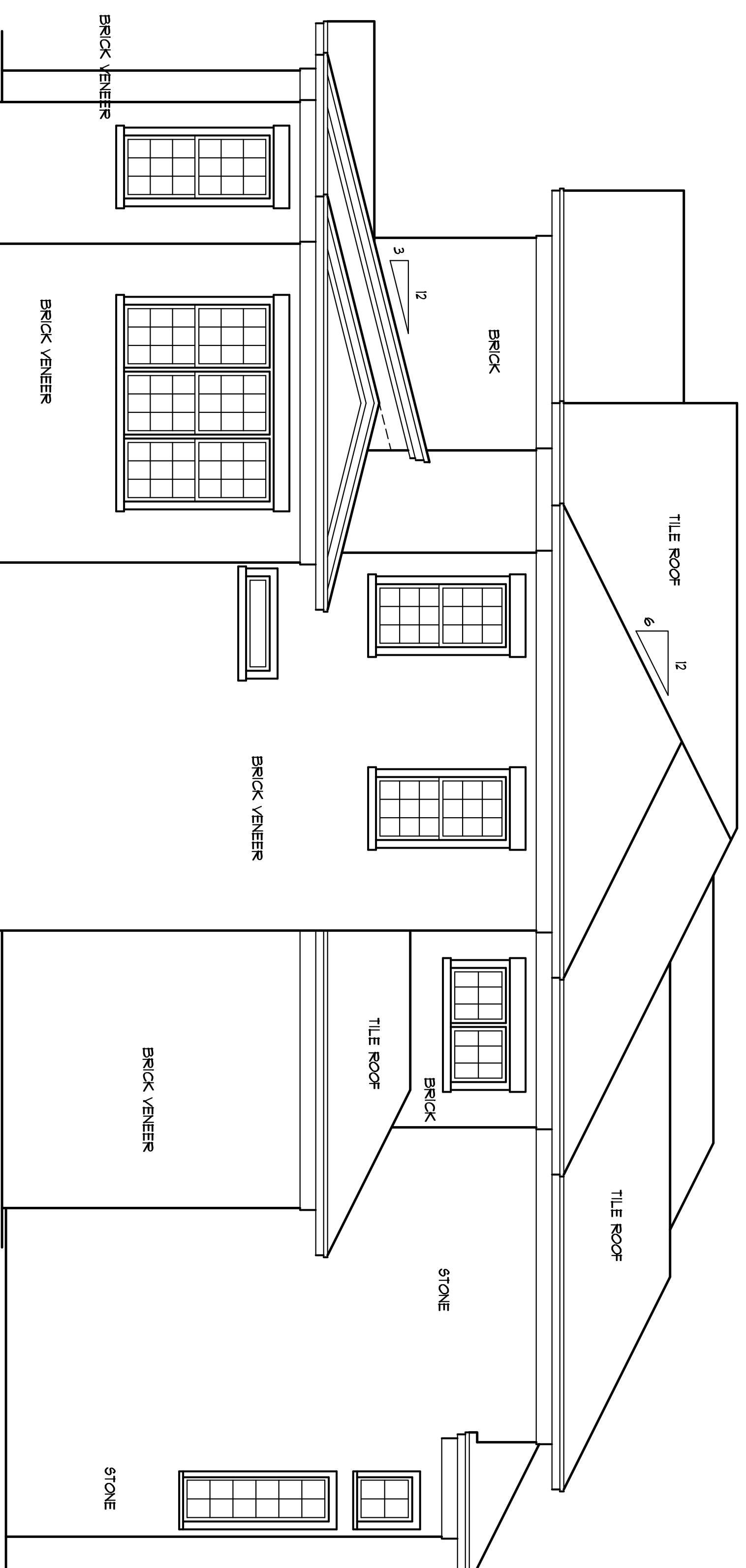
YUNCANNON DESIGNS
 CUSTOM HOME PLANS
 FUQUAY-VARINA, NC - (919) 421-1374

DRAWN BY : JRV
 CKD BY : JRV
 DATE : 06/10/19
 REVISIONS :

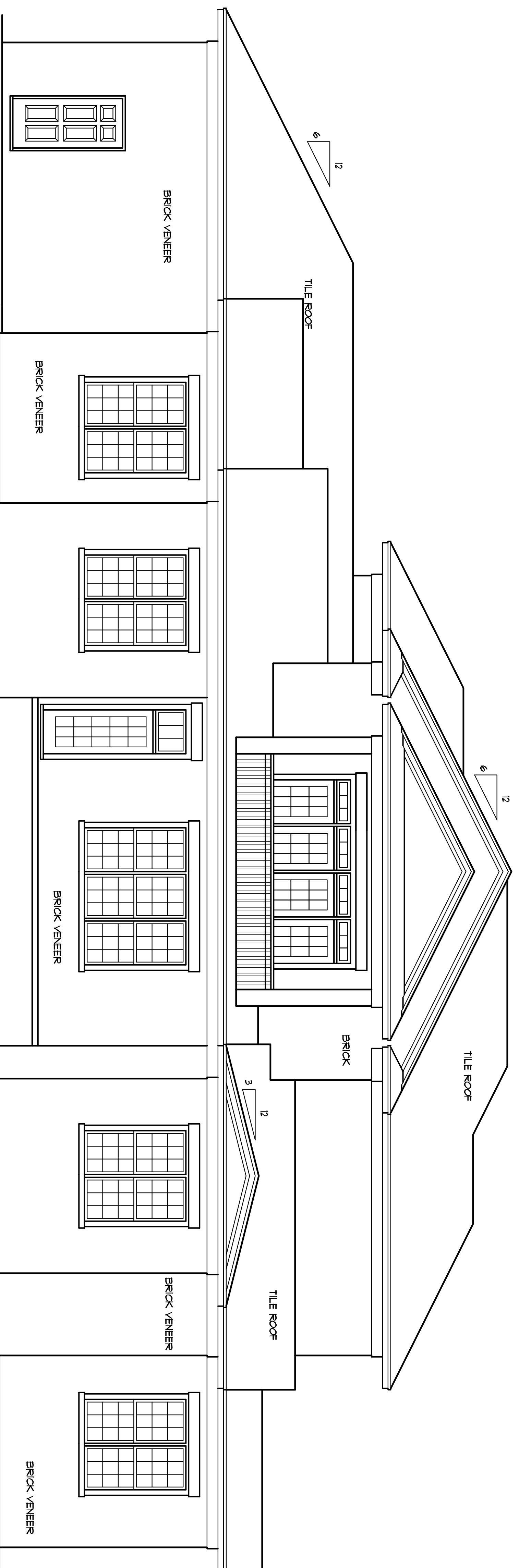
Plan No.-3975-20

SHEET
 A-1

BUILDER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT TIME OF CONSTRUCTION.
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 VERIFY ALL MECHANICAL REQUIREMENTS BEFORE FINISHING.
 YUNCANNON DESIGNS DOES NOT ASSUME LIABILITY FOR ANY DEVIATION OF OR CONSTRUCTION METHODS OF THESE PLANS.



LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



REAR ELEVATION
 SCALE: 1/4" = 1'-0"

Phil/Melissa Avilez
 Christian Light Road
 Fuquay Varina, NC

YUNCANNON DESIGNS
 CUSTOM HOME PLANS
 FUQUAY-VARINA, NC - (919) 421-1314

DRAWN BY : UNV
 CKD BY : UNV
 DATE : 06/10/19
 REVISIONS :

Plan No.-3975-20

SHEET
 A-2

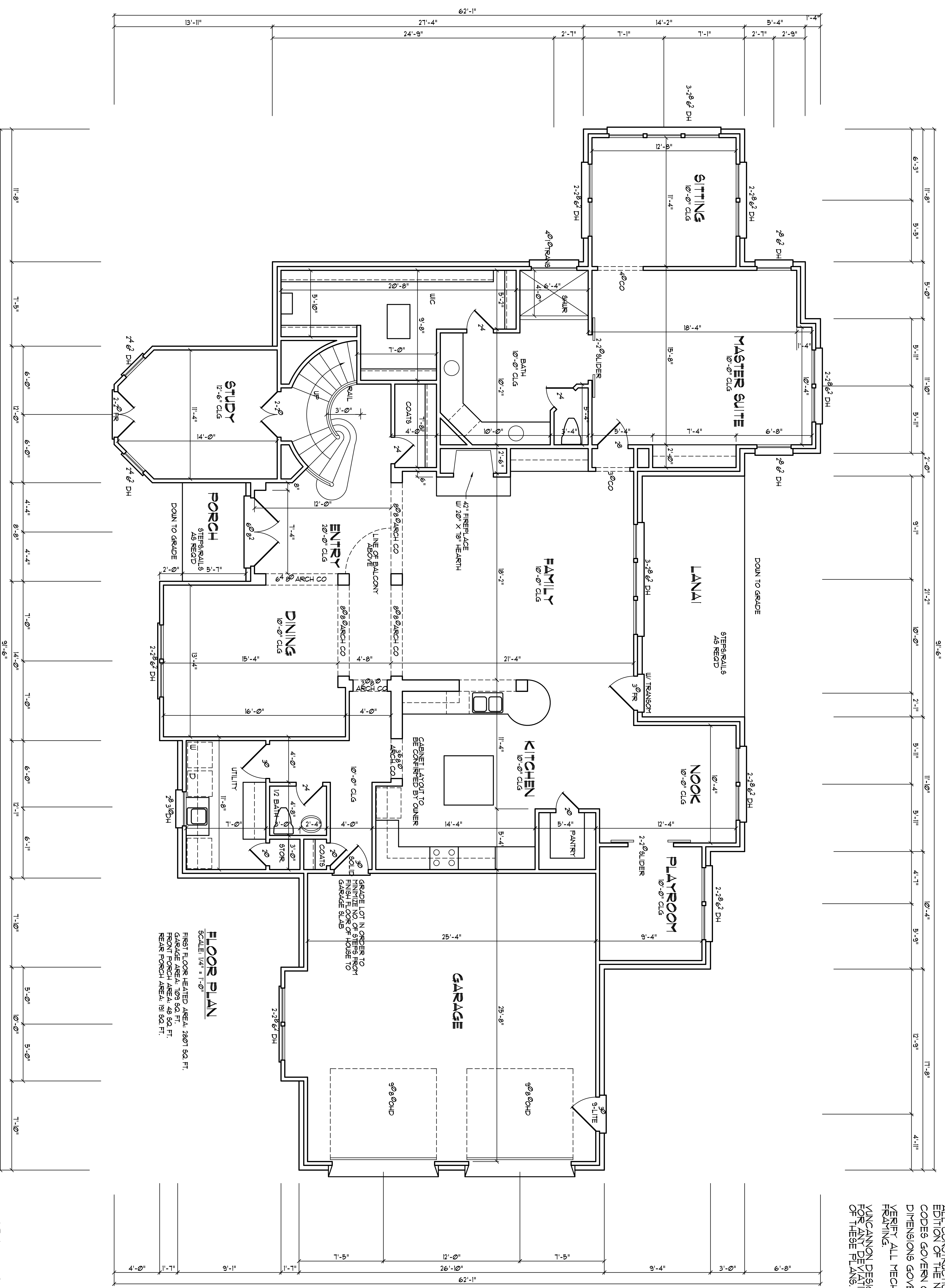
BUILDER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT TIME OF CONSTRUCTION.

ALL CONSTRUCTION SHALL CONFORM TO THE 2018 EDITION OF THE NC STATE BUILDING CODE. CODES GOVERN OVER DRAWINGS.

DIMENSIONS GOVERN OVER SCALE.

VERIFY ALL MECHANICAL REQUIREMENTS BEFORE RRAFTING.

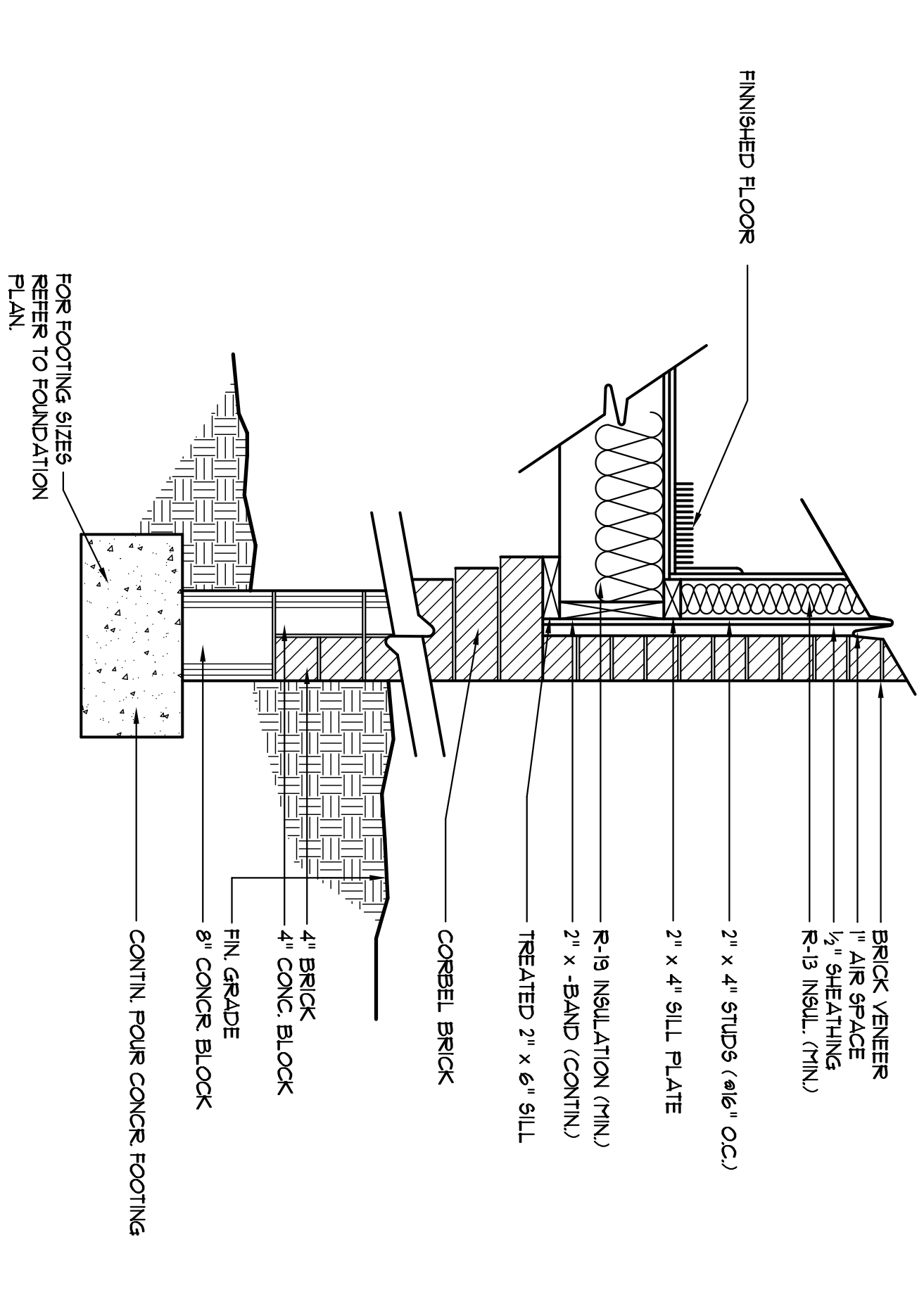
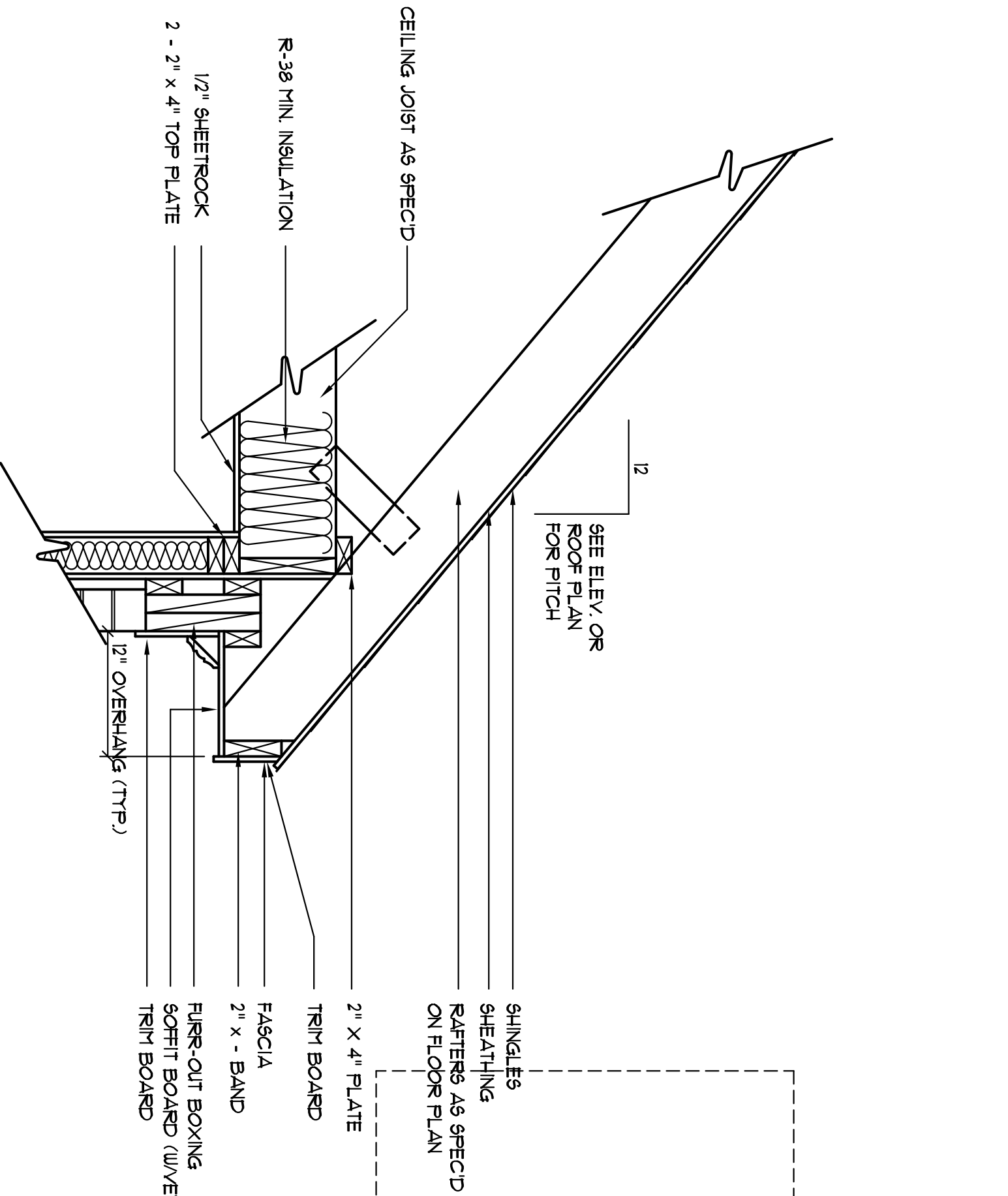
YUNCANNON DESIGNS DOES NOT ASSUME LIABILITY FOR ANY DEVIATION OF OR CONSTRUCTION METHODS OF THESE PLANS.



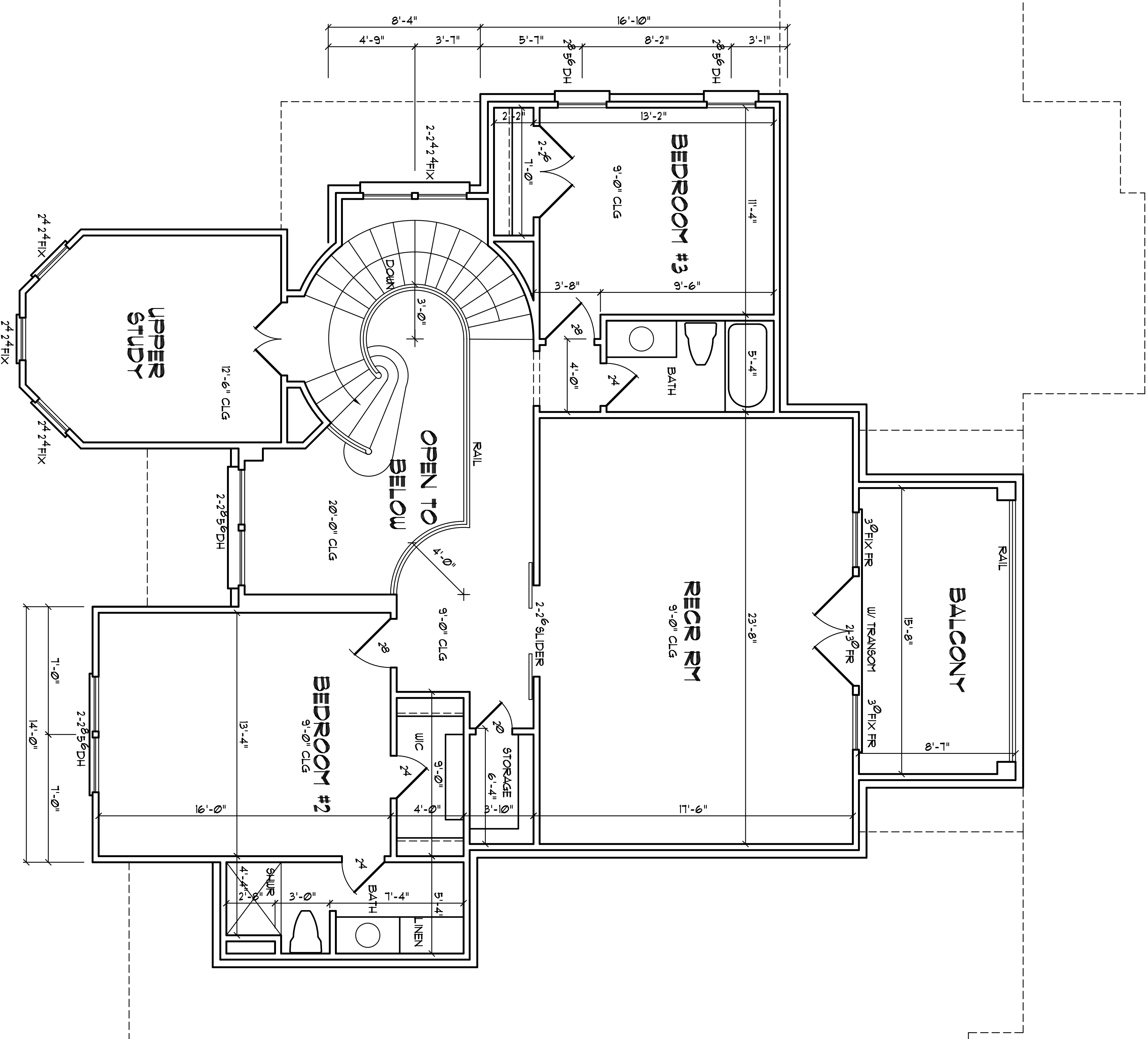
Plan No.-3975-20

SHEET A-3	YUNCANNON DESIGNS CUSTOM HOME PLANS FUQUAY-VARINA, NC - (919) 421-1374	Phil/Melissa Avilez Christian Light Road Fuquay Varina, NC
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BUILDER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT TIME OF CONSTRUCTION
 ALL CONSTRUCTION SHALL CONFORM TO THE 2018 EDITION OF THE NC STATE BUILDING CODE. DIMENSIONS GOVERN OVER SCALE.
 VERIFY ALL MECHANICAL REQUIREMENTS BEFORE FRAMING.
 UNCANNON DESIGN DOES NOT ASSUME LIABILITY FOR ANY DEVIATION OF OR CONSTRUCTION METHODS OF THESE PLANS.



EXTERIOR WALL SECTION
 SCALE 1/2" = 1'-0"



- NOTE**
- 1) 3'-0" CEILING HEIGHT
 - 2) REMOVE UNIFORM AT THIS ABOVE FINISHED FLOOR
 - 3) DOUBLE ALL JOIST PARALLEL TO WALLS ABOVE
 - 4) USE 2\"/>
 - 5) USE 2\"/>
 - 6) USE 2\"/>
 - 7) REMOVE ABOVE BATH OR WHERE SHOWN
 - 8) ROOMS TO BE FINISHED ABOVE
 - 9) DOOR HEIGHT ASSUME TO ADJUST TO BE 80\"/>
 - 10) CEILING HEIGHT TO OBSERVE 1' HATCHED SPACE
 - 11) CEILING HEIGHT TO OBSERVE 1' HATCHED SPACE
 - 12) CENTER LINE OF SLIDING DOOR
 - 13) PROVIDE TREATED BOND AT CONCRETE SLABS

FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 SECOND FLOOR HEATED AREA: 197 SQ. FT.
 UNHEATED AREA: 480 SQ. FT.
 BALCONY AREA: 115 SQ. FT.
 466 SQ. FT.