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Plans Designed to the 2018 NORTH CAROLINA STATE RESIDENTIAL BUILDING CODE

CLIMATE ZONE	ZONE 3	ZONE 4	ZONE 5
FENESTRATION U-FACTOR	0.35	0.35	0.35
SKYLIGHT U-FACTOR	0.65	0.65	0.60
GLAZED FENESTRATION SHGC	0.30	0.30	0.30
CEILING R-VALUE	30	38	38
WALL R-VALUE	13	15	19
FLOOR R-VALUE	19	19	30
*BASEMENT WALL R-VALUE	10/13	10/13	10/13
**SLAB R-VALUE	0	0	10
* CRAWLSPACE WALL R-VALUE	5/13	10/13	10/13

*10/13" Means R-10 Sheathing Insulation or R-13 Cavity Insulation
 ** Insulation Depth with Monolithic Slab 18" or From Inspection Gap to bottom of Footing; Insulation Depth with Stem Wall Slab 24" or to bottom of Foundation Wall
 DESIGNED FOR WIND SPEED OF 120 MPH, 3 SECOND GUST (93 FASTEST MILE) EXPOSURE "B"

DESIGN PRESSURES FOR DOORS AND WINDOWS POSITIVE AND NEGATIVE IN PSF			
MEAN ROOF HEIGHT (FT)			
VELOCITY (MPH)	15	25	35
115	15	17	19
120	20	23	25

ASSUMED MEAN ROOF HEIGHT 15'1"

AIR LEAKAGE

Section N1102.4

N1102.4.1 Building Thermal Envelope.

The Building Thermal Envelope shall be durably sealed with an Air Barrier System to limit infiltration. The sealing methods between dissimilar materials shall allow for differential expansion and contraction. For all homes, where present, the following shall be caulked, gasketed, weatherstripped or otherwise sealed with an air barrier material or solid material consistent with Appendix E-2.4 of this code:

1. Blocking and sealing floor/ceiling systems and under knee walls open to unconditioned or exterior space.
2. Capping and sealing shafts or chases, including flue shafts.
3. Capping and sealing soffit or dropped ceiling areas.

STRUCTURAL NOTES

All construction shall conform to the latest requirements of the 2018 North Carolina Residential Building Code, plus all local codes and regulations. This document in no way shall be construed to supercede the code.

Job Site Practices And Safety:

Frazier Designs assumes no liability for contractors practices and procedures or safety program. Frazier Designs takes no responsibility for the contractor's failure to carry out the construction work in accordance with the contract documents. All members shall be framed, anchored, and braced in accordance with good construction practice and the building code.

Design Loads	Live Load (PSF)	Dead Load (PSF)	Deflection (LL)
Attics without storage	10	10	L/240
Attics with Limited storage	20	10	L/360
Attics with fixed stairs	40	10	L/360
Balconies and Decks	40	10	L/360
Fire Escapes	40	10	L/360
Guardrails and Handrails	200	--	--
Guardrail in-fill components	50	--	--
Passenger vehicle garages	50	10	L/360
Rooms other than sleeping	40	10	L/360
Sleeping rooms	30	10	L/360
Stairs	40	--	L/360
Snow	20	--	--

Framing Lumber:

All non treated framing lumber shall be SPF # 2 (Fb=875 PSI) or SYP # 2 (Fb= 750 PSI) and all treated lumber shall be SYP # 2 (Fb= 750 PSI) unless noted otherwise.

Engineered Wood Beams:

Laminated veneer lumber (LVL) = Fb= 2600 PSI, Fv=285 PSI, E= 1.9x106 PSI
 Parallel strand lumber (PSL) = Fb= 2900 PSI, Fv= 290 PSI, E= 2.0x106 PSI
 Laminated Strand Lumber (LSL) = Fb= 2250 PSI, Fv= 400 PSI, E = 1.55 x 106 PSI
 Install All connections per Manufacturers Instructions

Truss And I -Joist Members:

All Roof Truss and I-Joist Layouts shall be prepared in accordance with this document. Trusses and I-Joists shall be Installed according to the Manufacturers specifications. Any Change in Truss or I-Joist Layout shall be coordinated with Frazier Designs.

Lintels:

Brick Lintels Shall be 3 1/2" x 3 1/2" x 1/4" Steel angle for up to 6'0" Span and 6" x 4" x 5/16" Steel angle with 6" leg vertical for spans up to 9'0" unless noted otherwise.

Concrete and Soils:

See Foundation Notes.

ROOF VENTILATION

Section R806

R806.1 Ventilation required.

Enclosed Attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of the roof rafters shall have a cross ventilation for each separate space by ventilating openings protected against the entrance of rain or snow. Ventilation openings shall have a least dimension of 1/16 inch (1.6mm) minimum and 1/4 inch (6.4 mm) maximum. Ventilation openings having a least dimension larger than 1/4" inch (6.4mm) shall be provided with corrosion-resistant wire cloth screening, hardware cloth, or similar material with openings having a least dimension of 1/16 inch (1.6mm) minimum and 1/4 inch (6.4mm) maximum. Openings in roof framing members shall conform to the requirements of Section R802.7.

R806.2 Minimum Area.

The Total net free ventilating area shall not be less than 1/150 of the area of the space ventilated except that reduction of the total area to 1/300 is permitted provided that at least 50 percent and not more than 80 percent of the required ventilating area is provided by ventilators located in the upper portion of the space to be ventilated at least 3 feet (914mm) above the eave or cornice vents with the balance of the required ventilation provided by eave or cornice vents. As an alternative, the net free cross-ventilation area may be reduced to 1/300 when a Class I or II vapor retarder is installed on the warm-in-winter side of the ceiling.

Exceptions:

1. Enclosed attic/rafter spaces requiring less than 1 square foot (0.0929 m2) of ventilation may be vented with continuous soffit ventilation only.
2. Enclosed attic/rafter spaces over unconditioned space may be vented with continuous soffit vent only.

Square footage of roof to be vented = 3179 Sq. Ft. + -

Net-Free Cross Ventilation Needed:

Without 50% to 80% of Venting 30" above Eave= 21.19 Sq.Ft.
 With 50% to 80% of Venting 30" above eave; or with Class I or II Vapor Retarder on Warm-In-Winter Side of Ceiling: 10.59 Sq.Ft.

Roof Truss Requirements

TRUSS DESIGN.

Trusses, if used, to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Frazier Designs attention before construction begins.

KNEE WALL AND CEILING HEIGHTS.

All Finished knee wall heights and ceiling heights are shown furred down 10" from roof decking for insulation. If for any reason the truss manufacturer fails to meet or exceed designated heel heights, finished knee wall heights, or finished ceiling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Frazier Designs Attention, so that a suitable solution can be reached before construction begins. Any variation due to these conditions not being met is the responsibility of the truss manufacturer.

ANCHORAGE.

All required anchors for trusses due to uplift or bearing shall meet the requirements as specified on the truss schematics.

Bearing.

All trusses shall be designed for bearing on SPF # 2 Plates or Ledgers unless noted otherwise.

Plate Heights and Floor Systems.

See Elevation page(s) for plate heights and floor system thicknesses.

BRACE WALL PANEL NOTES

Exterior Walls:

All Exterior Walls to be Sheathed with CS-WSP of CS-SFB in accordance with section R602.10.3 unless noted otherwise.

Gypsum:

All Interior sides of exterior walls and both sides Interior walls to have 1/2" gypsum installed. When not using method GB gypsum to be fastened per Table R702.3.5. Method GB to be fastened per Table R602.10.1.

Required Length of Bracing:

Required brace wall length for each side of the circumscribed rectangle are interpolated per Table R602.10.3. Methods CS-WSP and CS-SFB contribute their actual length. Method GB contributes 0.5 its actual length. Method PF contributes 1.5 times its actual length. HD: 800 lbs hold down devices fastened to the edge of the brace wall panel closets to the corner.

Methods Per Table R602.10.1

CS- WSP: Shall be minimum 3/8" OSB or CDX nailed at 6" on center at edges and 12" on center at intermediate supports with 6d common nails or 8d (2 1/2" long x 0.113" diameter).

CS-SFB: Shall be minimum 1/2" structural fiber board nailed at 3" on center at edges and 3" on center at intermediate supports with 1 1/2" long x 0.12" diameter galvanized roofing nails.

GB: Interior walls show as GB are to have minimum 1/2" Gypsum board both sides of the wall fastened at 7" on center at edges and 7" on center at intermediate supports with minimum 5d cooler nails or # 6 screws.

PF: Protal frame per figure R602.10.1

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 Location: 3059 N. Main Street
 Hope Mills NC
 28348 Suite 16
 Office Phone: 1 910 824 7505

Project: **Corpus Residence**
 MODEL: **SEGC-4080**
 BUILDER: **Southeastern General Contractors**

DATE PRINTED: **May 2019**

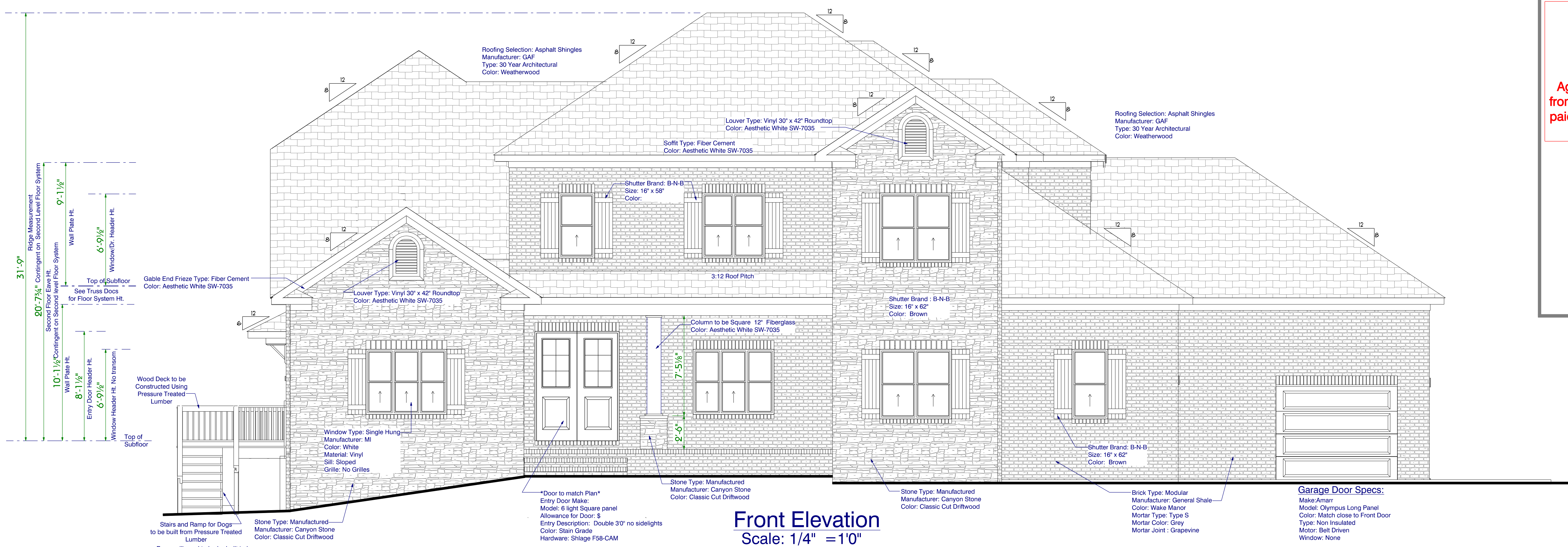
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Coversheet

SHEET

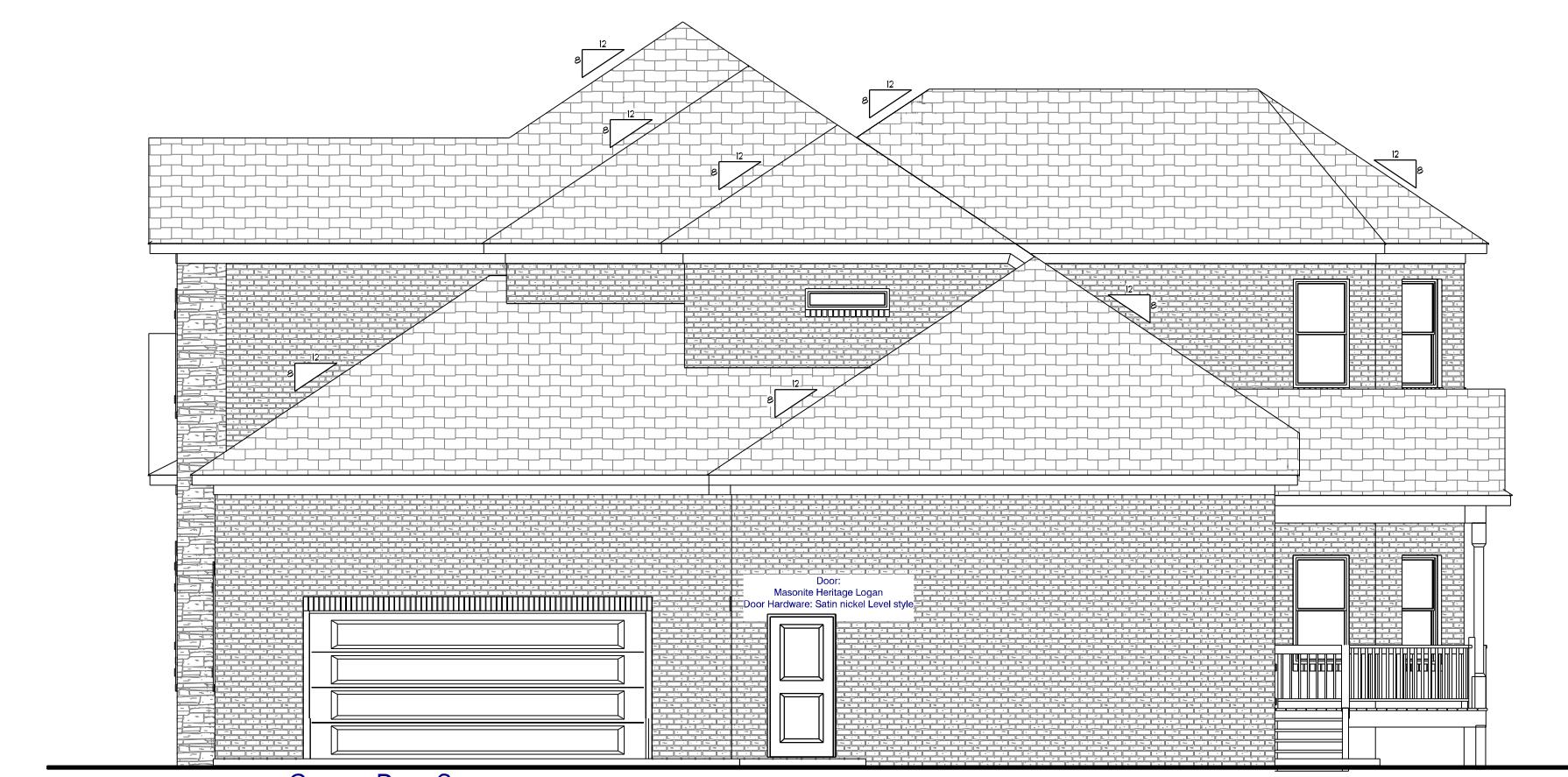
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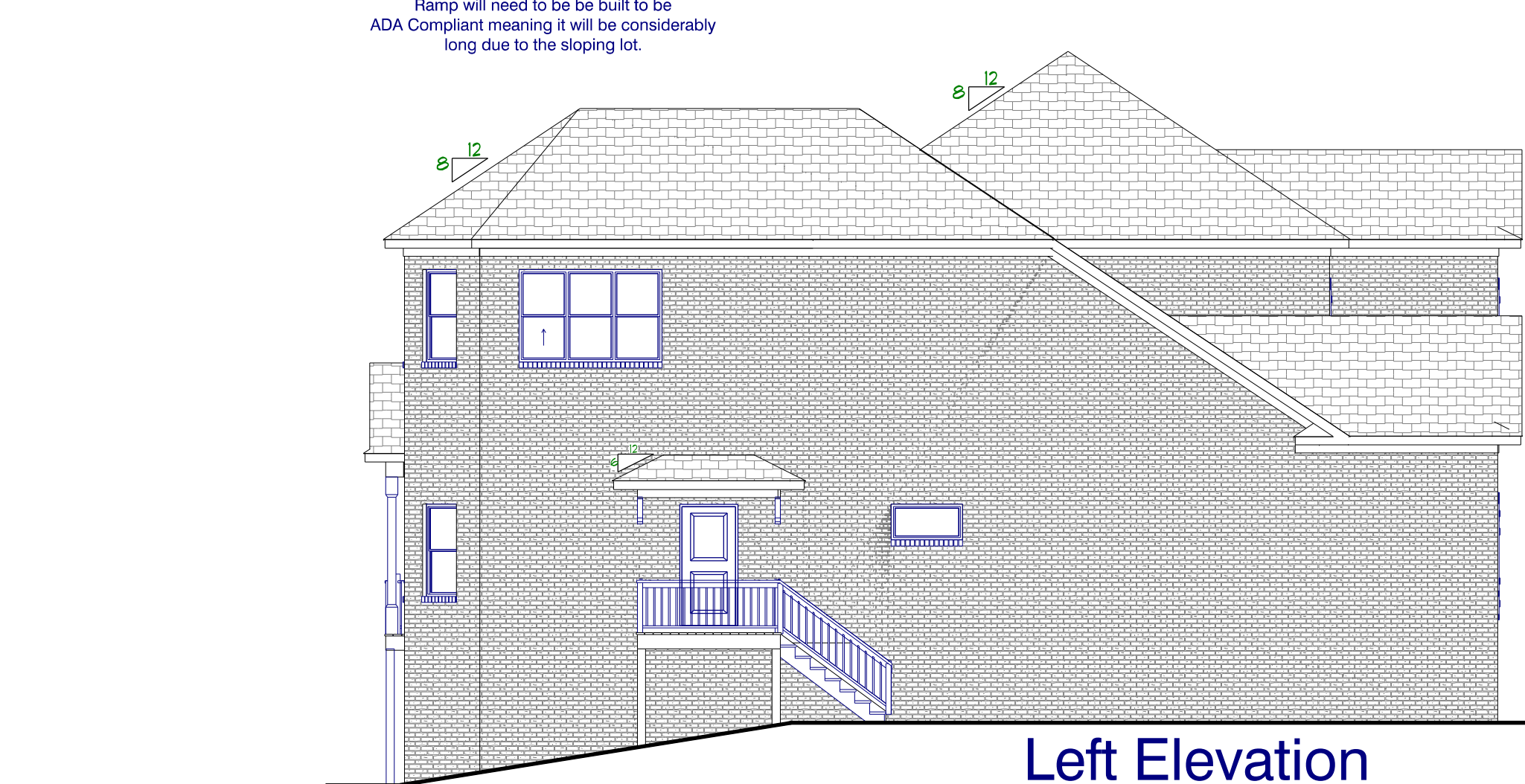


Front Elevation
Scale: 1/4" = 1'0"

- Elevation Notes:
- Gutters are Not shown on Elevations as they are not standard Unless otherwise specified by Contractor
 - Porch Railings and Stair Railings are not shown as they are not standard Unless otherwise Specified by Contractor
 - Overhangs are to be 1'4"
 - Rake Sections on gable ends are to be 1'0"



Right Elevation
Scale: 1/8" = 1'0"



Left Elevation
Scale: 1/8" = 1'0"



Rear Elevation
Scale: 1/8" = 1'0"

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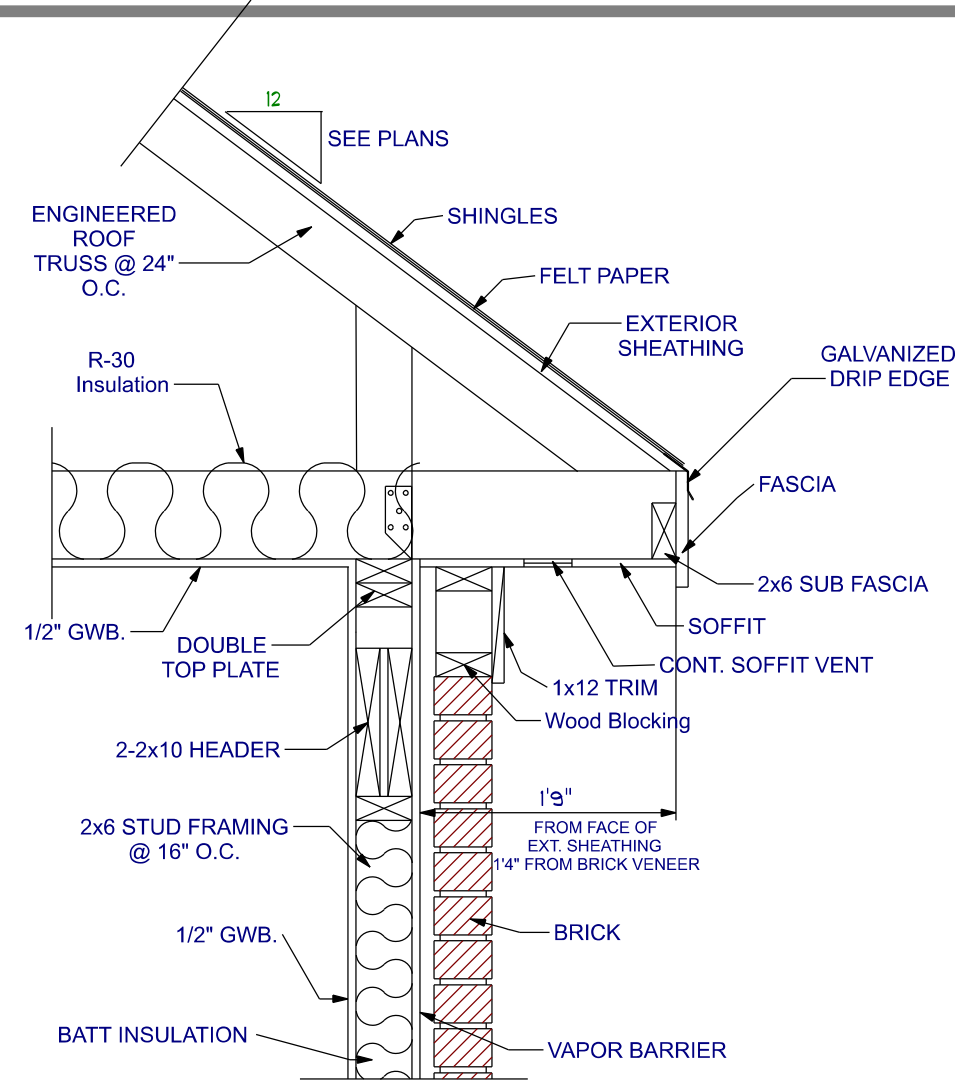
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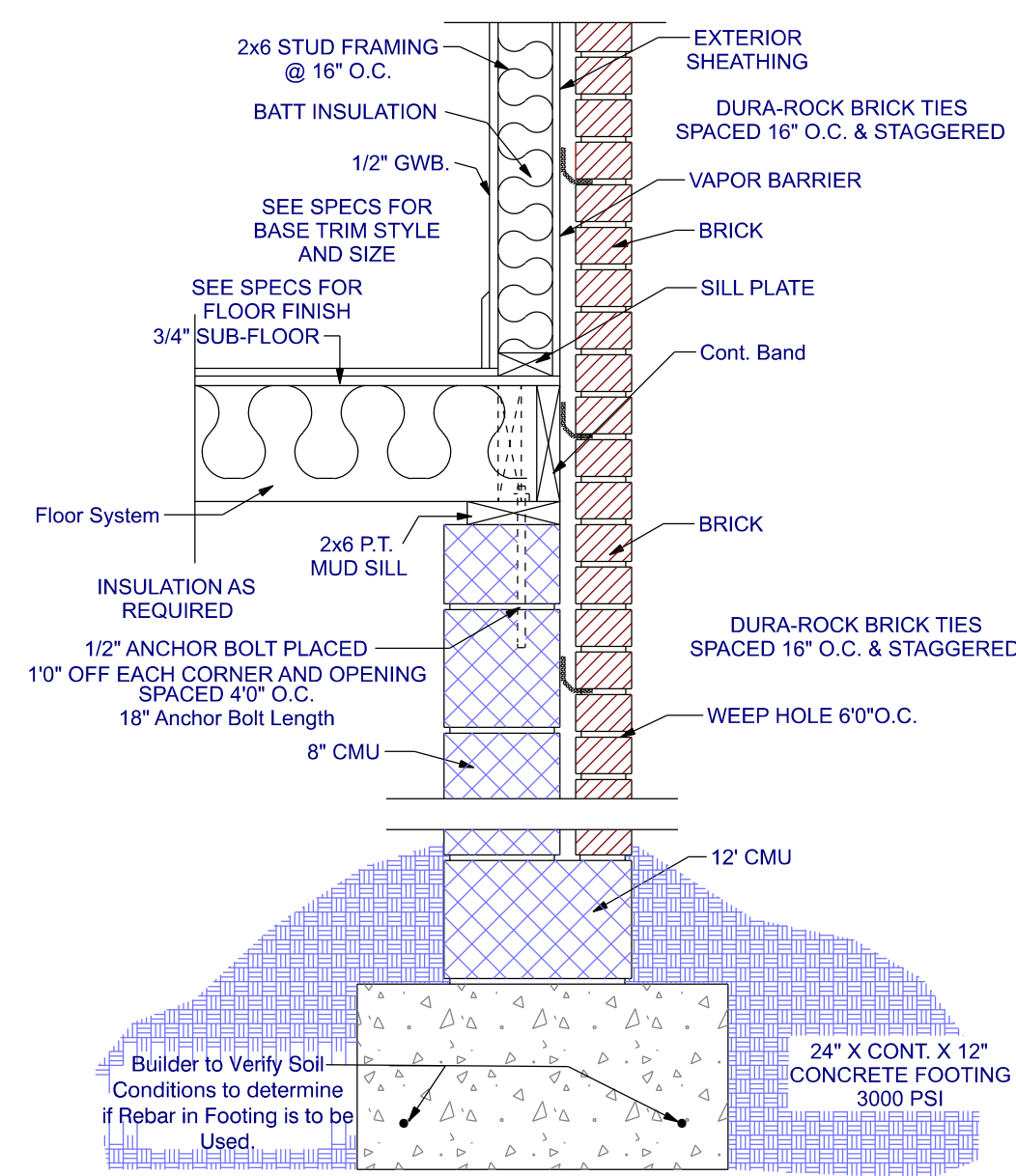
Elevations

SHEET
1



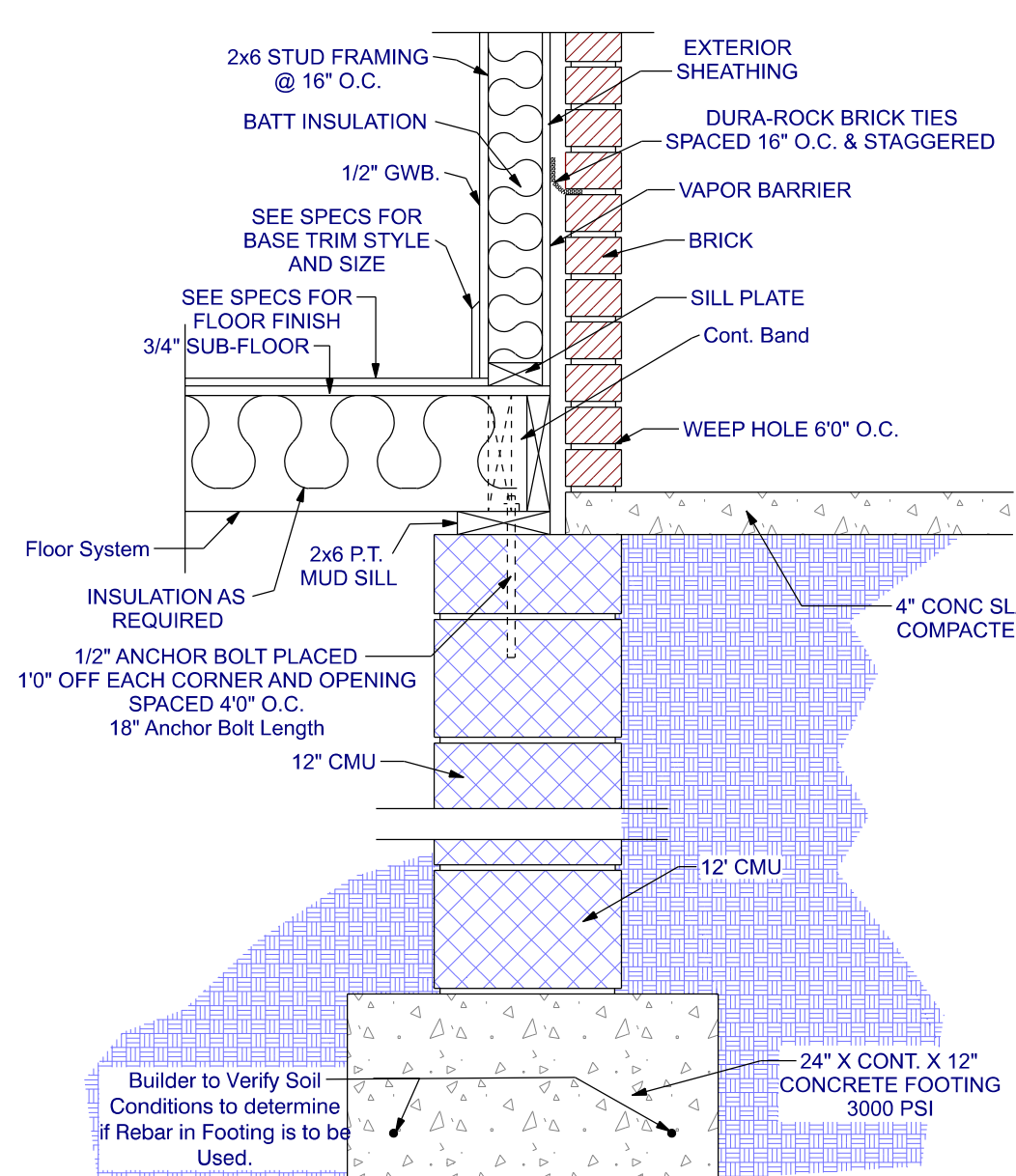
Overhang Detail - Brick

SCALE: 1" = 10"



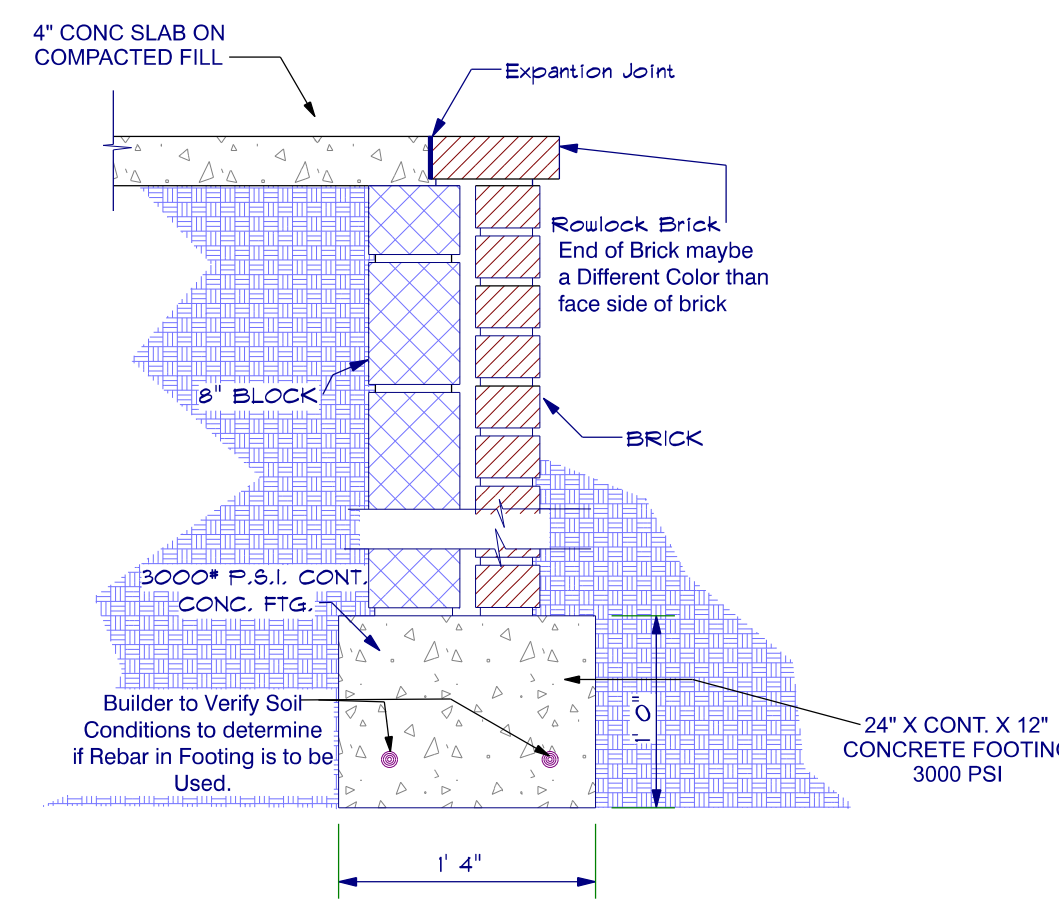
Exterior Wall Detail - Brick

SCALE: 1" = 10"



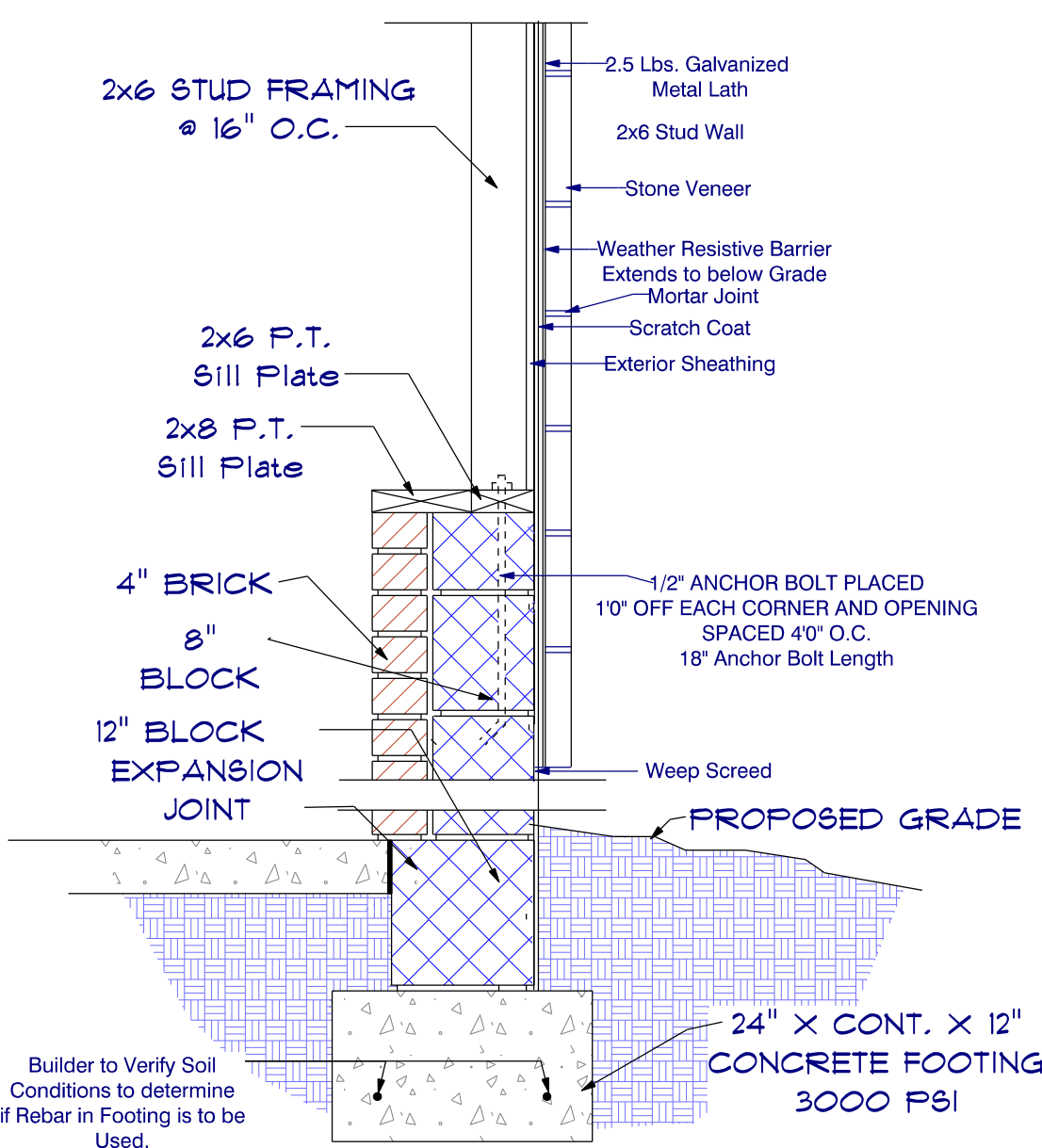
Exterior Wall Detail - Porch

SCALE: 1" = 10"



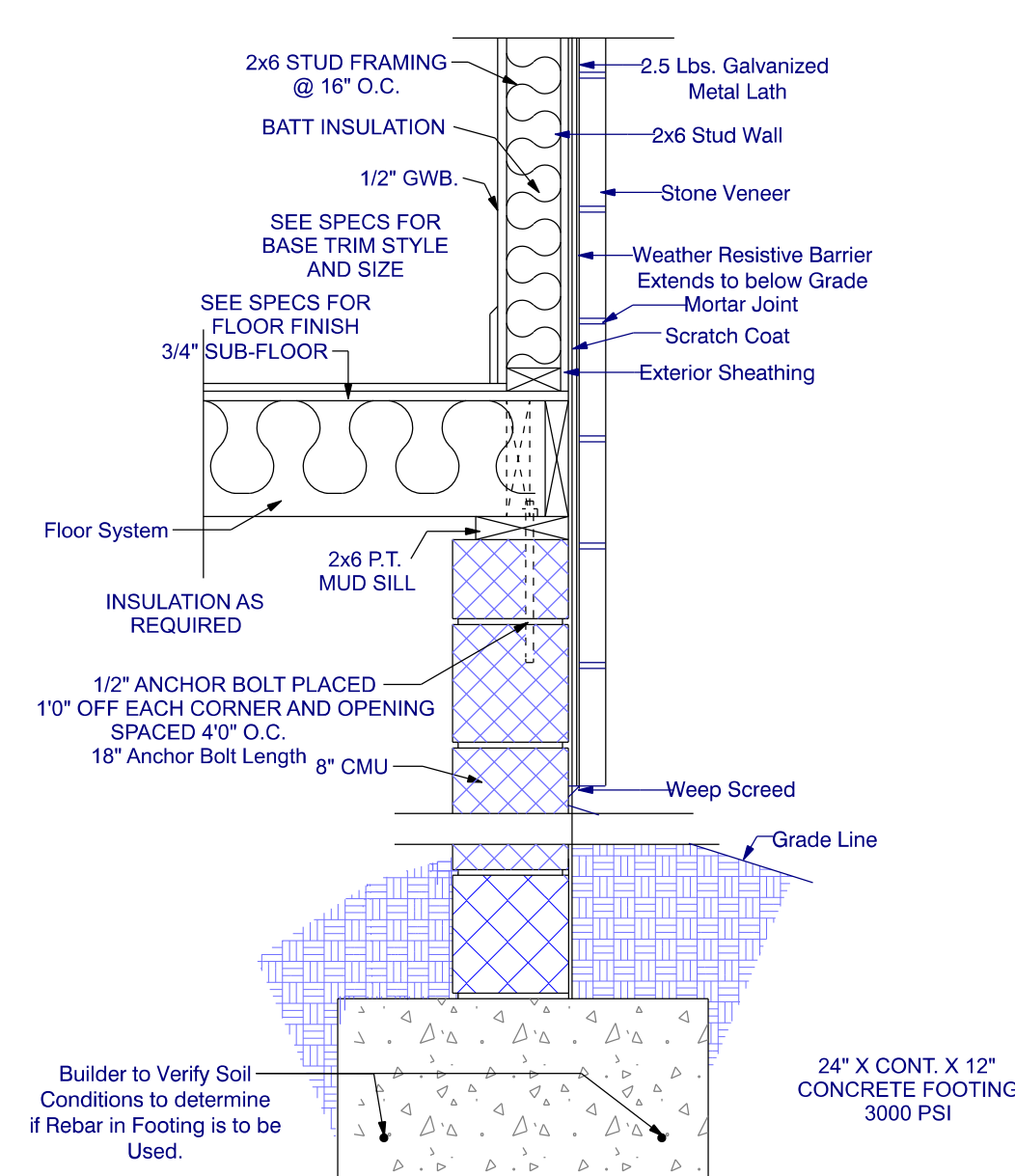
Foundation Wall & Porch

SCALE: 1" = 10"



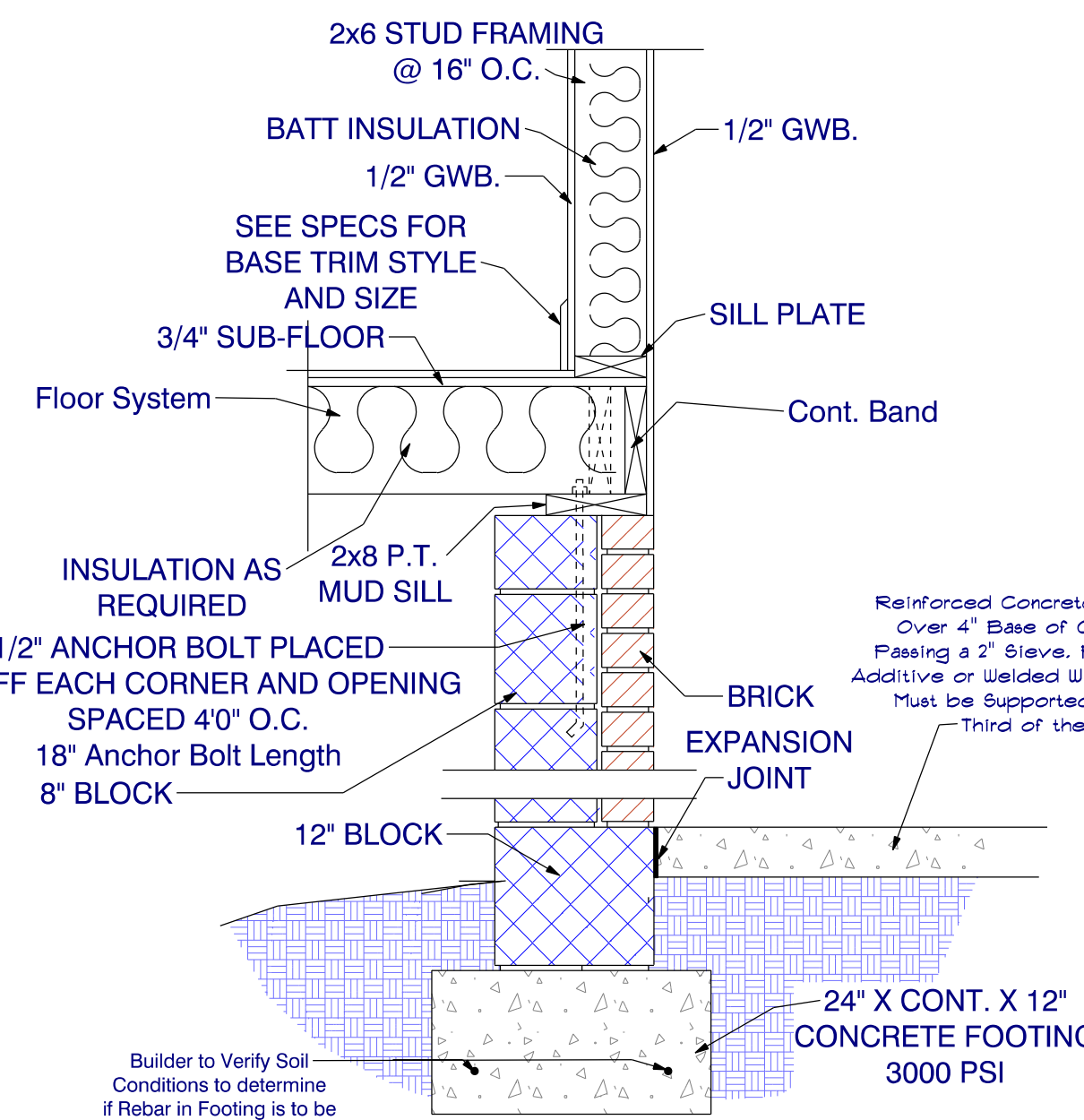
Exterior Wall Detail - Stone - Garage Exterior

SCALE: 1" = 10"



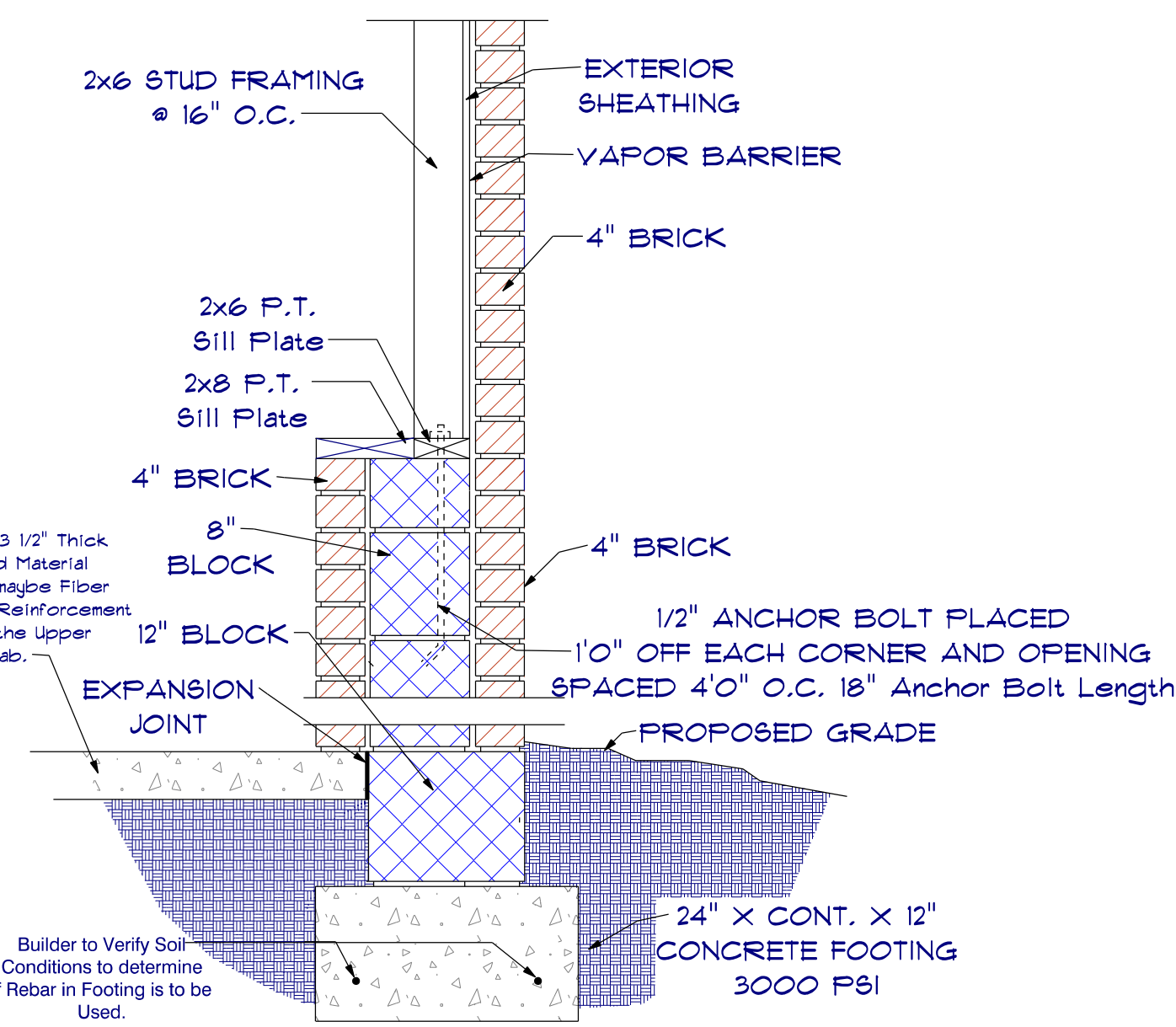
Exterior Wall Detail - Stone

SCALE: 1" = 10"



Wall Detail Between Heated Space & Garage

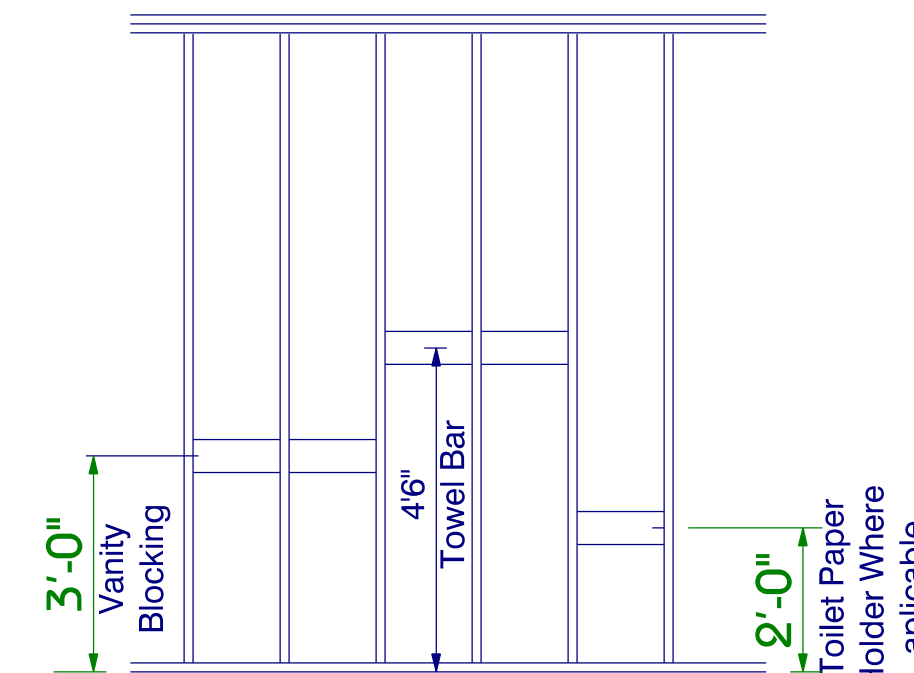
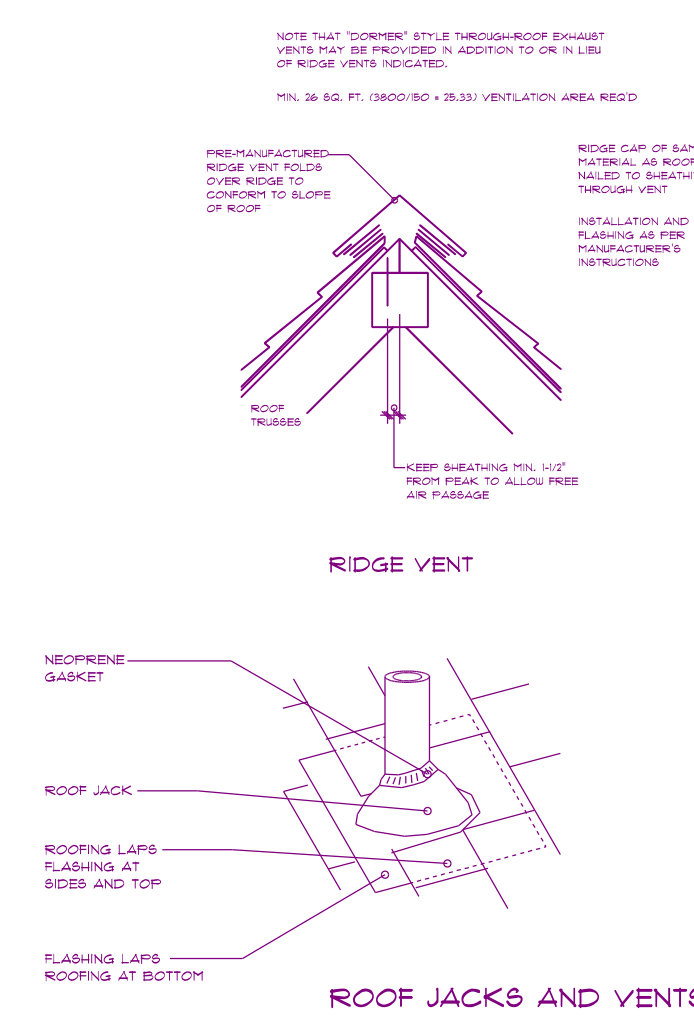
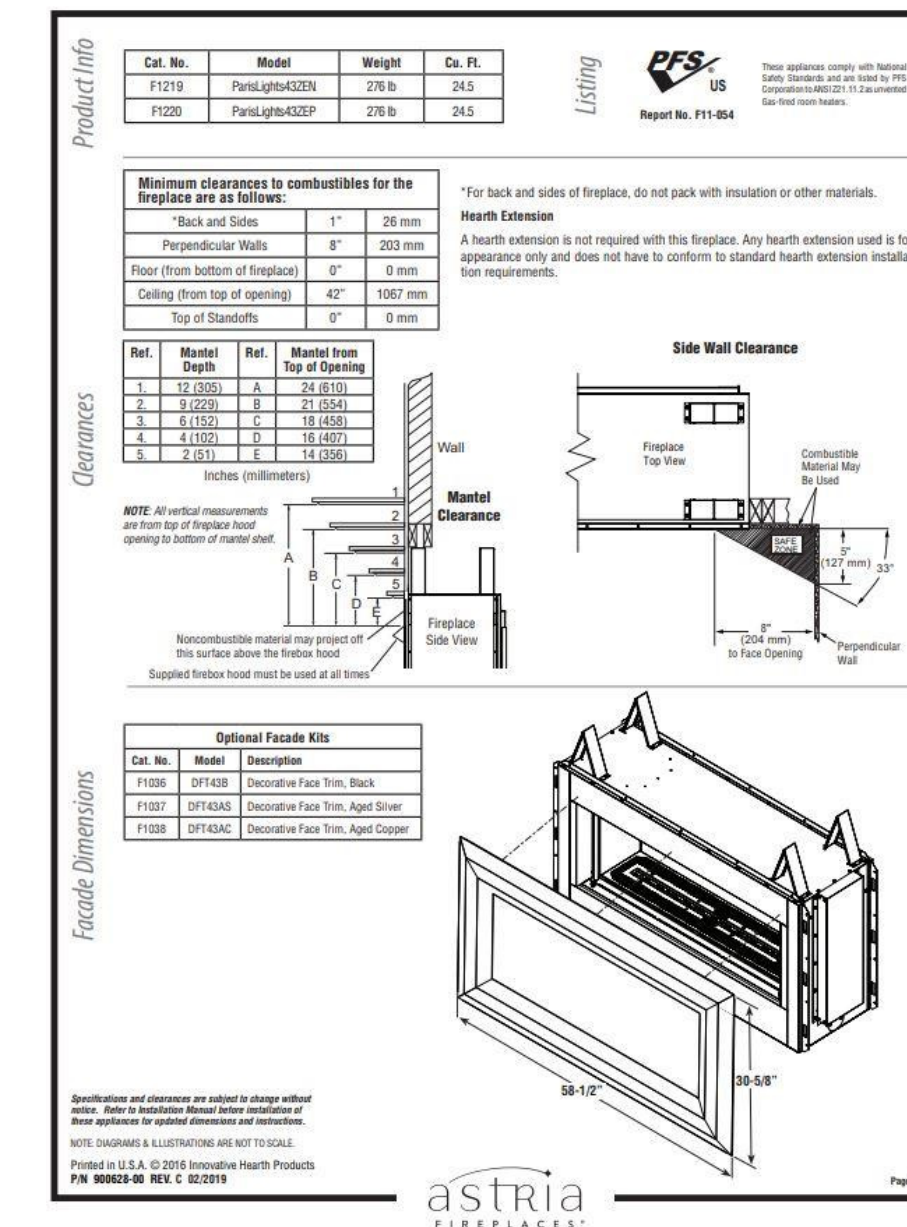
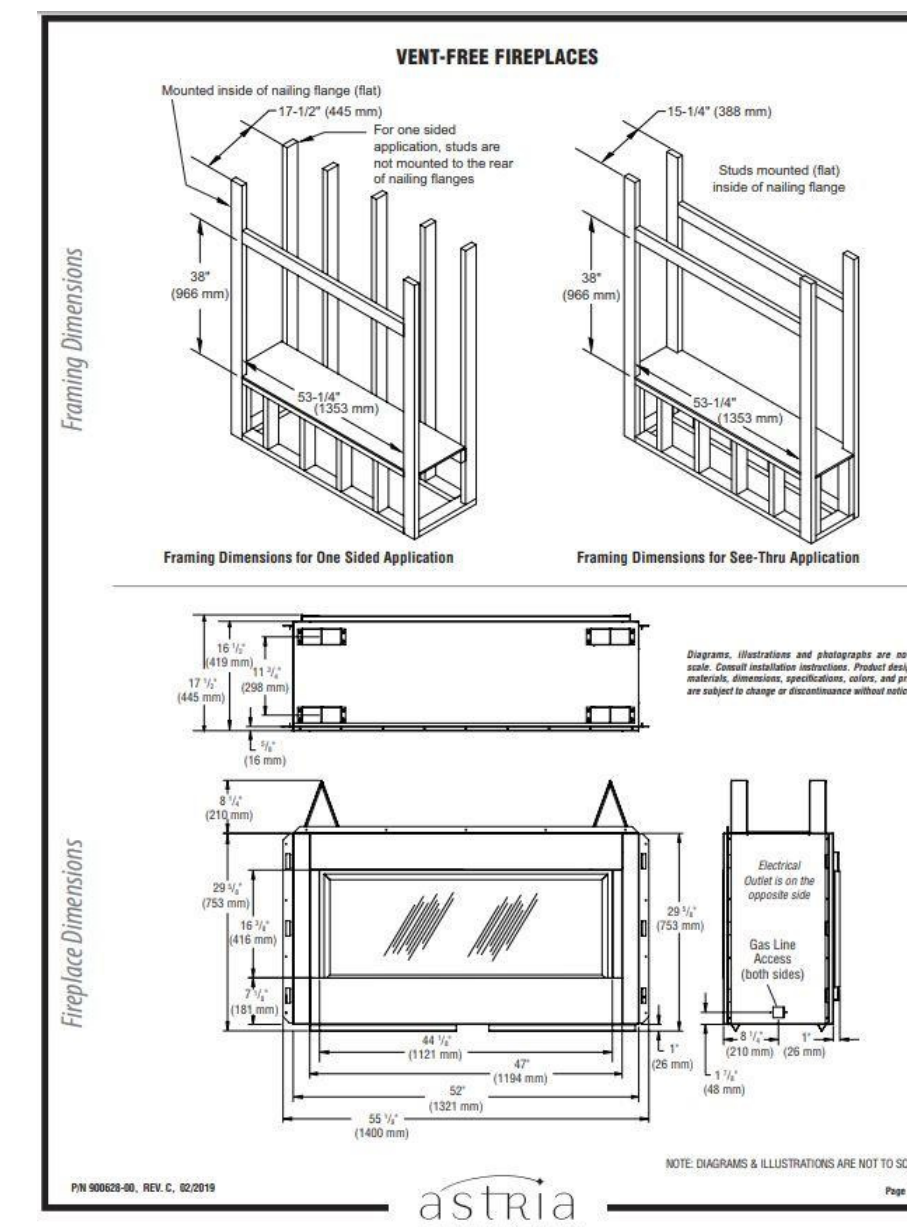
SCALE: 1" = 10"



Exterior Wall Detail - Brick - Garage Exterior

SCALE: 1" = 10"

Fireplace Details



Bathroom Blocking Detail

Scale: 3/8" = 10"

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Project: Corpuz Residence

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BUILDER: Southeastern General Contractors

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Construction Details

SHEET 2

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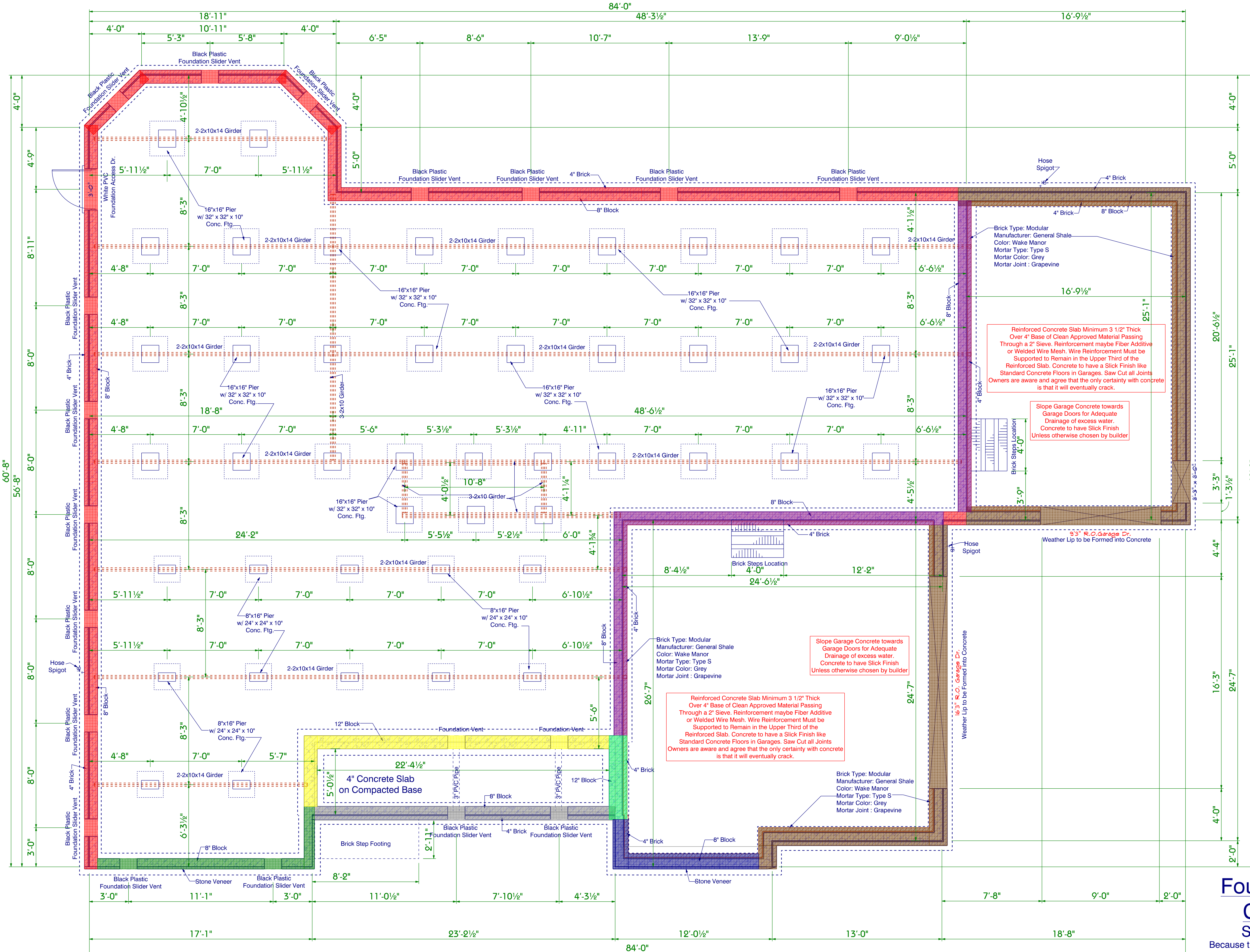
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Foundation Notes:

- Crawlspace to be Cleaned, Raked level, and free of any debris, trash, and vegetation. All masonry pieces and concrete are to be removed from the crawlspace.
- Masons to install Grout Stop in foundation walls so that the 18 inch anchor bolts are fully embedded into the mortar. Anchor Bolts to be 18" Long 5/8" Diameter. Spaced 1'0" off the corners and 6'0" O.C.
- Inside all garages are to have brick on the foundation wall
- Anchor bolts are to be installed straight and at the right height to make sure the mud sill is installed properly with enough room for the washer and nut.
- All piers are to be filled solid with mortar/concrete.
- All Remaining pallets, block, bricks, bags of mortar are to be placed neatly at the rear of the property and covered/protected with plastic, not visible from the front of the property.
- Waterproof all masonry that is below grade.

Notes for Framing Contractor:

- 7'0" Spacing of Piers = Use 2x10x14 for Girders
- 8'0" Spacing of Piers = Use 2x10x16 for Girders
- Use this method so that joints break over the piers
- 2x2 Ledgers need 3 nails under each joist above them



Foundation Plan

Crawlspace
Scale: 1/4" = 1'0"

Because this is a sloping lot, Pier Heights and Foundation Wall Heights will be different. The shortest wall height will be at the front of the home and will be 32" in Height from Grade level.

Wall Type	Wall Description
	8" Block/4" Brick Wall with 24" Wide by 12" Deep Continuous Footing
	8" Block/Stone Veneer wall with 24" Wide by 12" Deep Continuous Footing
	12" Block/4" Brick wall with 24" Wide by 12" Deep Continuous Footing @ Garage Brick Veneer in Garage to match Selection
	8" Block/4" Brick wall with 24" Wide by 12" Deep Continuous Footing @ Garage Brick Veneer in Garage to match Selection
	12" Block Wall with 24" Wide by 12" Deep Continuous Footing
	8" Block wall with 4" Brick on Garage Side and Stone Veneer on Exterior Side. 24" Wide by 12" Deep Continuous Footing. Brick inside garage to match Selection
	8" Block/4" Brick @ Porch with 24" Wide by 12" Deep Continuous Footing
	8" Block wall with 4" Brick on Garage Side and 4" Brick on Exterior Side. 24" Wide by 12" Deep Continuous Footing. Brick inside garage to match selection

Note Taken from 2018 NC Residential Code
R403.1.5 Slope. The top surface of footings shall be level (1/4" inch in 10 feet) or shall be banded level under the width of the wall with masonry units with full mortar joints. The bottom surface of footings shall not have a slope exceeding one unit vertical in 10 units horizontal (10-percent slope). Footings shall be stepped where it is necessary to change the elevation of the top surface of the footings or where the slope of the bottom surface of the footings will exceed one unit vertical in 10 units horizontal (10-percent slope).

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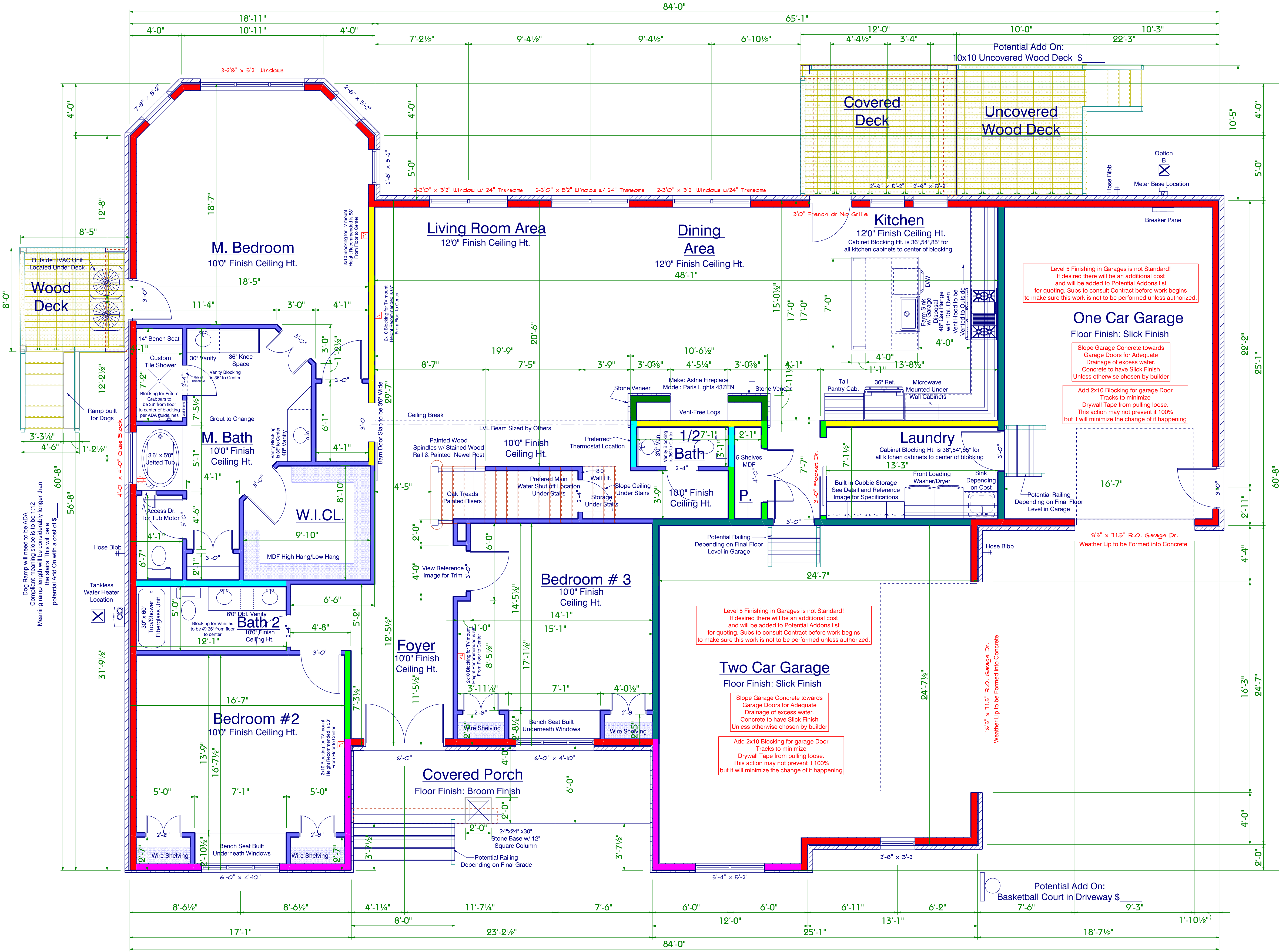
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Foundation Plan

SHEET
3

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Potential Add on List:

- Stamped Concrete = \$ _____
- Extra Window in Living Room = \$ _____
- Adding 10x10' Uncovered Deck off Rear Behind one car garage = \$ _____
- Irrigation and Landscaping Well = \$ _____
- Find out from Electrician about Dedicated circuit for Koi Pond = \$ _____
- Basketball Court = \$ _____
- Prewire for Surround Sound in Recreation Room = \$ _____
- Dog ramp on side deck = \$ _____

Wall Type	Wall Description
	2x6/Brick Exterior Wall 5/8" Drywall on Interior Side of Wall
	2x6/Stone Exterior Wall 5/8" Drywall on Interior Side of Wall
	2x6 Interior Wall with Stone Veneer Located at Fireplace
	2x6 Interior Wall 5/8" Drywall on Side of wall Wall up to 100" in Ht.
	2x6 Interior Framing wall between Heated and UnHeated Space 5/8" Drywall on Both Sides
	2x6 Interior Wall 5/8" Drywall on Both Sides of Wall... Wall is Taller than 100"
	2x6 Interior Plumbing Wall 5/8" Drywall on both sides
	2x4 Interior Framing Wall 5/8" Drywall on Both Sides

Main Level Floorplan

Scale: 1/4" = 1'0"
100" Finished Ceiling Ht. Main Floor (Unless otherwise Noted)

2660 S.F. Main Level Heated
1420 S.F. Upper Level Heated
4080 S.F. Total Heated Both Floors
638 S.F. Two Car Garage
415 S.F. One Car Garage
139 S.F. Covered Porch (Front)
120 S.F. Covered Deck (Rear)
100 S.F. Uncovered Deck (Rear)
64 S.F. Wood Deck(off Master)

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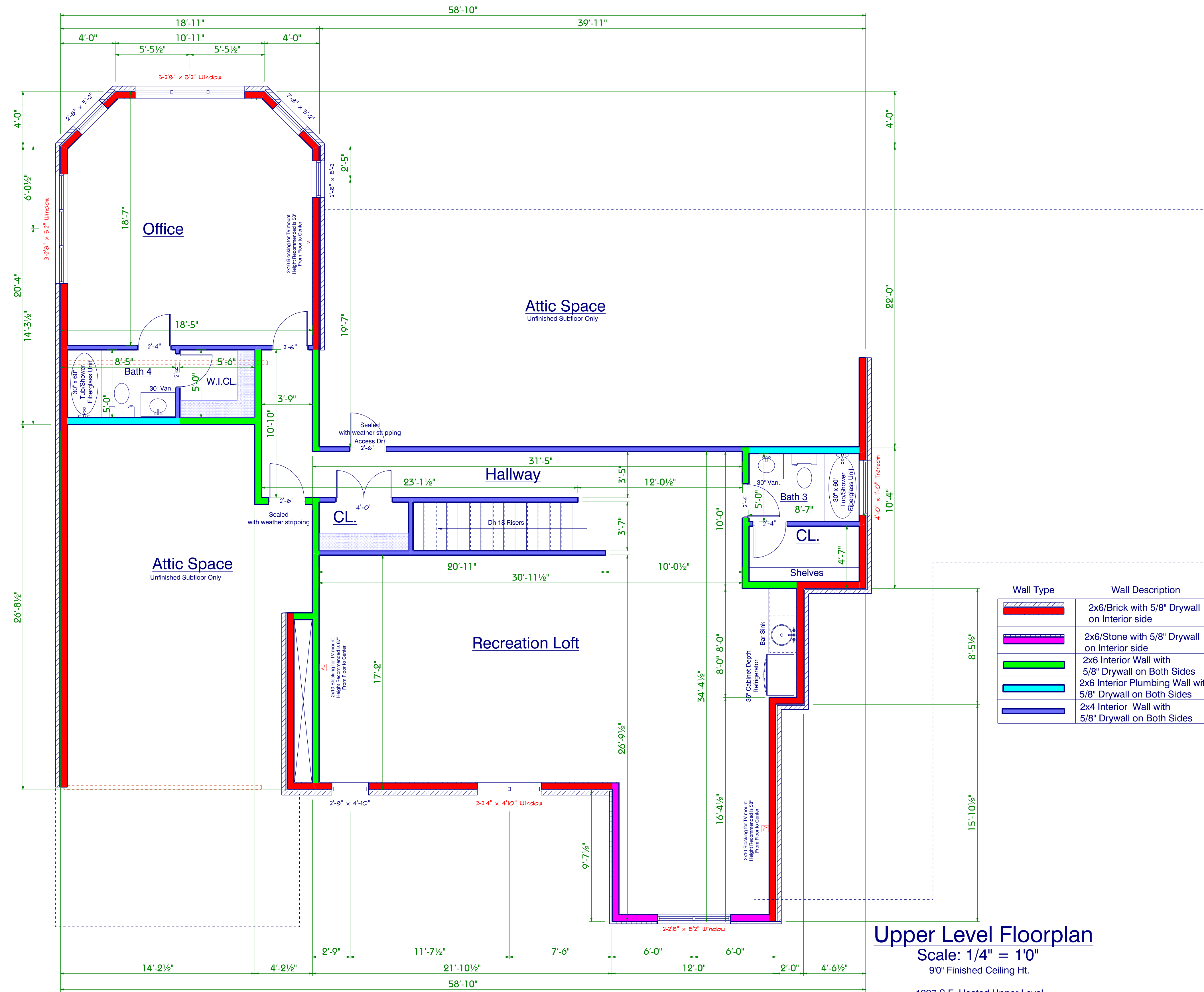
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Main Level Floorplan

SHEET
4

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Upper Level Floorplan

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