



NORTH CAROLINA 50' SERIES PLAN 243.2939

LOT 64 MASON POINTE - ELEVATION D

SHEET INDEX

- PLAN #243.2939**
- T5 TITLE SHEET
 - GN1 GENERAL NOTES
 - GN2 GENERAL NOTES
 - GN3 GENERAL NOTES
 - I1 FIRST FLOOR PLAN 'A'
 - I2 SECOND FLOOR PLAN 'A'
 - I3 SECOND FLOOR PLAN 'A' W/ CRAWLSPACE OPTION
 - I4 ALTERNATE SECOND FLOOR PLAN OPTION
 - I5 FLOOR PLAN OPTIONS
 - I6 FLOOR PLAN OPTIONS
 - 21 SLAB INTERFACE PLAN 'A'
 - 22 PARTIAL SLAB INTERFACE PLAN 'B' & 'C'
 - 23 PARTIAL SLAB INTERFACE PLAN 'D'
 - 24 CRAWL SPACE FOUNDATION PLAN & OPTIONS 'A'
 - 25 PARTIAL CRAWL SPACE FOUNDATION PLANS & OPTIONS 'B' & 'C'
 - 26 PARTIAL CRAWL SPACE FOUNDATION PLANS & OPTIONS 'D'
 - EXTERIOR ELEVATIONS
 - 3.A1 ROOF PLAN, FRONT & REAR ELEVATIONS 'A'
 - 3.A2 LEFT & RIGHT ELEVATIONS 'A'
 - 3.A3 PARTIAL FIRST FLOOR PLAN, FRONT & LEFT ELEVATIONS 'A' AT CRAWL SPACE
 - 3.A4 PARTIAL FRONT & LEFT ELEVATIONS W/ OPTIONAL MASONRY AT CONCRETE PORCH
 - 3.A5 FRONT ELEVATIONS 'A' AT OPTIONAL 9'-1" PLATE HEIGHT
 - 3.A6 FRONT ELEVATIONS 'A' W/ BRICK OPTION & PARTIAL RIGHT ELEVATION
 - 3.A7 FRONT ELEVATIONS 'A' W/ BRICK AT OPTIONAL 9'-1" PLATE HEIGHT
 - 3.B1 PARTIAL FIRST & SECOND FLOOR PLANS 'B'
 - 3.B2 ROOF PLAN, FRONT & REAR ELEVATIONS 'B'
 - 3.B3 LEFT & RIGHT ELEVATIONS 'B'
 - 3.B4 PARTIAL FIRST FLOOR PLAN, FRONT & LEFT ELEVATIONS 'B' AT CRAWL SPACE
 - 3.B5 PARTIAL FRONT ELEVATION W/ OPTIONAL MASONRY AT CONCRETE PORCH
 - 3.B6 FRONT ELEVATIONS 'B' AT OPTIONAL 9'-1" PLATE HEIGHT
 - 3.B7 FRONT ELEVATIONS 'B' W/ STONE OPTION & PARTIAL RIGHT ELEVATION
 - 3.B8 FRONT ELEVATIONS 'B' W/ STONE AT OPTIONAL 9'-1" PLATE HEIGHT
 - 3.C1 PARTIAL FIRST & SECOND FLOOR PLANS 'C'
 - 3.C2 ROOF PLAN, FRONT & REAR ELEVATIONS 'C'
 - 3.C3 LEFT & RIGHT ELEVATIONS 'C'
 - 3.C4 PARTIAL FIRST FLOOR PLAN, FRONT & LEFT ELEVATIONS 'C' AT CRAWL SPACE
 - 3.C5 PARTIAL FRONT & LEFT ELEVATIONS W/ OPTIONAL MASONRY AT CONCRETE PORCH
 - 3.C6 FRONT ELEVATIONS 'C' AT OPTIONAL 9'-1" PLATE HEIGHT
 - 3.C7 FRONT ELEVATIONS 'C' W/ STONE OPTION & PARTIAL RIGHT ELEVATION
 - 3.C8 FRONT ELEVATIONS 'C' W/ STONE AT OPTIONAL 9'-1" PLATE HEIGHT
 - 3.D1 PARTIAL FIRST & SECOND FLOOR PLANS 'D'
 - 3.D2 ROOF PLAN, FRONT & REAR ELEVATIONS 'D'
 - 3.D3 LEFT & RIGHT ELEVATIONS 'D'
 - 3.D4 PARTIAL FIRST FLOOR PLAN, FRONT & LEFT ELEVATIONS 'D' AT CRAWL SPACE
 - 3.D5 PARTIAL FRONT ELEVATION W/ OPTIONAL MASONRY AT CONCRETE PORCH
 - 3.D6 FRONT ELEVATIONS 'D' AT OPTIONAL 9'-1" PLATE HEIGHT
 - 3.D7 FRONT ELEVATIONS 'D' W/ STONE OPTION & PARTIAL RIGHT ELEVATION
 - 3.D8 FRONT ELEVATIONS 'D' W/ STONE AT OPTIONAL 9'-1" PLATE HEIGHT
 - 4.1 INTERIOR ELEVATIONS
 - 4.2 SECTIONS
 - 4.2 SECTIONS W/ CRAWLSPACE OPTION
 - 5.1 FIRST FLOOR UTILITY PLAN
 - 5.2 SECOND FLOOR UTILITY PLAN
 - 5.3 ALTERNATE SECOND FLOOR PLAN AND OPTIONS
 - 5.4 FIRST FLOOR UTILITY PLAN OPTIONS
 - 5.5 FIRST FLOOR UTILITY PLAN OPTIONS
 - 5.6 SECOND FLOOR UTILITY PLAN OPTIONS

- T1 PARTIAL PLANS & ELEVATIONS 'A/B/C/D' W/ OPT. 12'X26' DECK AT CRAWL SPACE
- B.1 PARTIAL PLANS, ROOF & ELEVATIONS 'A/B/C/D' W/ OPT. 12'X12'-8" SCREENED-IN COVERED DECK AT CRAWL SPACE
- B.2 PARTIAL PLANS, ROOF & ELEVATIONS 'A/B/C/D' W/ OPT. 12'X26' SCREENED-IN COVERED DECK AT CRAWL SPACE
- B.3 PARTIAL PLANS, ROOF & ELEVATIONS 'A/B/C/D' W/ OPT. 12'X12'-8" SCREENED-IN COVERED DECK W/ 12'X15'-4" DECK AT CRAWL SPACE
- B.4 PARTIAL PLANS, ROOF & ELEVATIONS 'A/B/C/D' W/ OPT. 12'X19' SCREENED-IN COVERED DECK AT CRAWL SPACE
- B.5 PARTIAL PLANS, ROOF & ELEVATIONS 'A/B/C/D' W/ OPT. 12'X12'-8" SCREENED-IN COVERED DECK AT CRAWL SPACE
- B.6 PARTIAL PLANS, ROOF & ELEVATIONS 'A/B/C/D' W/ OPT. 12'X26' SCREENED-IN COVERED PATIO
- B.7 PARTIAL PLANS, ROOF & ELEVATIONS 'A/B/C/D' W/ OPT. 12'X12'-8" SCREENED-IN COVERED PATIO
- 9.1 PARTIAL PLANS & ELEVATIONS 'X/Y/Z' W/ OPT. SUNROOM AT CRAWL SPACE
- AD1 ARCHITECTURAL DETAILS
- AD2 ARCHITECTURAL DETAILS
- AD3 ARCHITECTURAL DETAILS
- AD4 ARCHITECTURAL DETAILS
- AD5 ARCHITECTURAL DETAILS
- AD6 ARCHITECTURAL DETAILS
- AD7 ARCHITECTURAL DETAILS
- AD8 ARCHITECTURAL DETAILS



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**2018 NORTH
CAROLINA STATE
BUILDING
CODES**

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ABBREVIATIONS

ABV.	ABOVE	G.F.I.	GROUND-FAULT CIRCUIT INTERRUPTER	R.O.	ROUGH OPENING
A/C	AIR CONDITIONING			S & P	SHELF AND POLE
ADJ.	ADJUSTABLE	G.I.	GALVANIZED IRON	S.C.	SOLID CORE
ALT	ALTERNATE	GL	GLASS	S.D.	SMOKE DETECTOR
AMP.	AMPERAGE	GYP. BD.	GYPSPUM BOARD	SEC.	SECTION
BD.	BOARD	H.C.	HOLLOW CORE	S.H.	SINGLE HUNG
CL	CENTER LINE	HDR.	HEADER	SHT.	SHEET
CAB.	CABINET	HGT. / HT.	HEIGHT	SHTG.	SHEATHING
C.G.	CEILING	H.H.	HEADER HEIGHT	SHWR.	SHOWER
CLR.	CLEAR	HS	HORIZONTAL SLIDER	SIM.	SIMILAR
CONC.	CONCRETE	HS	HORIZONTAL SLIDER	SL.	SLIDING
CPT.	CARPET	I.L.O.	IN LIEU OF	SL. GL.	SLIDING GLASS
C.T.	CERAMIC TILE	INSUL.	INSULATION	STD.	STANDARD
D.	DRYER	INT.	INTERIOR	S.V.	SHEET VINYL
DBL.	DOUBLE	LAM.	LAMINATED	TEMP.	TEMPERED GLASS
D.G.	DUAL GLAZED	LAV.	LAVATORY	THK.	THICK
DIA.	DIAMETER	LUM.	LUMINOUS	T.O.C.	TOP OF CURB
DIM.	DIMENSION	M.C.	MEDICINE CABINET	T.O.P.	TOP OF PLATE
DISP.	DISPOSAL	MFR.	MANUFACTURER	T.O.S.	TOP OF SLAB
D.L.	DIVIDED LIGHT	MIN.	MINIMUM	TYP.	TYPICAL
DP.	DEEP	MTD.	MOUNTED	U.N.O.	UNLESS NOTED OTHERWISE
DR.	DOOR	MTL.	METAL	V.P.	VAPOR PROOF
D.S.	DOWNSPOUT	N.I.C.	NOT IN CONTRACT	W.	WASHER
DTL.	DETAIL	N.T.S.	NOT TO SCALE	W.	WITH
D.W.	DISHWASHER	O/	OVER	WD.	WOOD
EA.	EACH	O.C.	ON CENTER	WDW.	WINDOW
ELEV.	ELEVATION	OPT.	OPTIONAL	WH	WATER HEATER
EQ.	EQUAL	O.S.A.	OUTSIDE AIR	WI.	WROUGHT IRON
EXH.	EXHAUST	PL	PROPERTY LINE	WP.	WEATHER PROOF
EXT.	EXTERIOR	P.B.	PUSH BUTTON		
FAU	FORCED AIR UNIT	PH.	PHONE		
F.G./FX.	FIXED GLASS	PLT.	PLATE		
F.G.	FUEL GAS	PLYND.	PLYWOOD		
FIN.	FINISH	FR.	PAIR		
FLR.	FLOOR	P.T.D.F.	PRESSURE TREATED DOUGLAS FIR		
FLR. LINE	FLOOR LINE	R.	RISER		
FLUOR.	FLUORESCENT	RAD.	RADIUS		
FR. DR.	FRENCH DOOR	R.A.G.	RETURN AIR GRILL		
F.M.C.	FLOOR MATERIAL CHANGE	REF.	REFRIGERATOR		
FTS.	FOOTING	RE/S	RE-SAWN		
GA.	GAUGE	REV.	REVERSE		
GAR. DISP.	GARBAGE DISPOSAL	RM.	ROOM		

ARCH. SYMBOLS

- BUILDING SECTION**
SECTION INDICATOR
SHEET NUMBER
- DETAIL REFERENCE**
DETAIL NUMBER
SHEET NUMBER
- KEYNOTE REFERENCE**
REFERENCE NUMBER
- OFFSET REFERENCE**
DIFFERENTIAL IN FLOOR LEVEL OR FINISH SURFACE
- REVISION REFERENCE**
REVISION NUMBER
REFER TO TITLE SHEET

SCALE NOTE

IF BOX IS 1" SQ. THEN SCALE IS 1/4" = 1'-0"
IF BOX IS 1/2" SQ. THEN SCALE IS 1/8" = 1'-0"

CONSULTANTS

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TRUSS DESIGN
BUILDERS FIRST SOURCE

SQUARE FOOTAGE

PLAN 243.2939		
FIRST FLOOR AREA	1774	SQ. FT.
SECOND FLOOR AREA	1160	SQ. FT.
TOTAL AREA	2939	SQ. FT.
CRAWL GAR. AREA	481	SQ. FT.
PORCH AREA(S)		
ELEVATION 'A'	42	SQ. FT.
ELEVATION 'B'	71	SQ. FT.
ELEVATION 'C'	86	SQ. FT.
ELEVATION 'D'	128	SQ. FT.
DECK AREA(S)		
OPEN 12'X12'	144	SQ. FT.
OPEN 12'X26'	334	SQ. FT.
SCREENED-IN 12'X12'-8"	152	SQ. FT.
SCREENED-IN 12'X26'	334	SQ. FT.
SUNROOM AREA(S)		
12'X12'-8"	152	SQ. FT.

CODE INFORMATION

APPLICABLE CODES:
2018 NORTH CAROLINA STATE BUILDING CODE; RESIDENTIAL CODE, INCLUDING REFERENCED CODES AND STANDARDS

PROJECT DESCRIPTION:
2 STORY SINGLE FAMILY DETACHED RESIDENTIAL PLAN W/ 4 ELEVATIONS

OCCUPANCY:
R3

CONSTRUCTION TYPE:
V - B

CODE ABBREVIATIONS

N.C.-R.	NORTH CAROLINA RESIDENTIAL CODE
N.C.-B.	NORTH CAROLINA BUILDING CODE
N.C.-M.	NORTH CAROLINA MECHANICAL CODE
N.C.-P.	NORTH CAROLINA PLUMBING CODE
N.C.-F.	NORTH CAROLINA FUEL GAS CODE
N.C.-E.	NORTH CAROLINA ELECTRICAL CODE
N.C.-G.	NORTH CAROLINA ENERGY CODE
N.E.C.	NATIONAL ELECTRICAL CODE
I.C.B.O.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
A.S.T.M.	AMERICAN SOCIETY FOR TESTING MATERIALS
N.F.P.A.	NATIONAL FIRE PROTECTION ASSOCIATION
A.N.S.I.	AMERICAN NATIONAL STANDARDS INSTITUTE
I.E.C.C.	INTERNATIONAL ENERGY CONSERVATION CODE
I.C.C.	INTERNATIONAL CODE COUNCIL UNDERWRITERS LABORATORIES, INC.

REVISION LIST

DELTA	DATE	SHEETS REVISED	LOG NUMBER
1	03/15/19	T.S., GN1, GN2, GN3, 3.A1, 3.B2, 3.C1, 3.C2, 3.D2, 5.1 - 5.3, B.1 - B.3, 9.1	NC19015NCP
2	03/15/19	T.S., 1.4, 1.5, 4.1, 5.3, 5.4	NC19022NCP
3	04/22/19	T.S., B.6, B.7	NC19028NCP

ISSUE DATE: 08/17/18
PROJECT No.: 1350999:57
DIVISION MGR.: D.S.
REVISIONS: 03/15/19

- 1 2018 CODE UPDATE NC19015NCP/ 03/15/19 / CTD
- 2 DIVISION REVISIONS NC19022NCP/ 03/15/19 / CTD
- 3 DIVISION REVISIONS NC19028NCP/ 04/22/19 / FAR

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REVISION BY:	
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2	
3	
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5	
6	

PLAN:
243.2939
SHEET:
TS
SPEC. LEVEL 1
RALEIGH-DURHAM
50' SERIES



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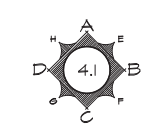
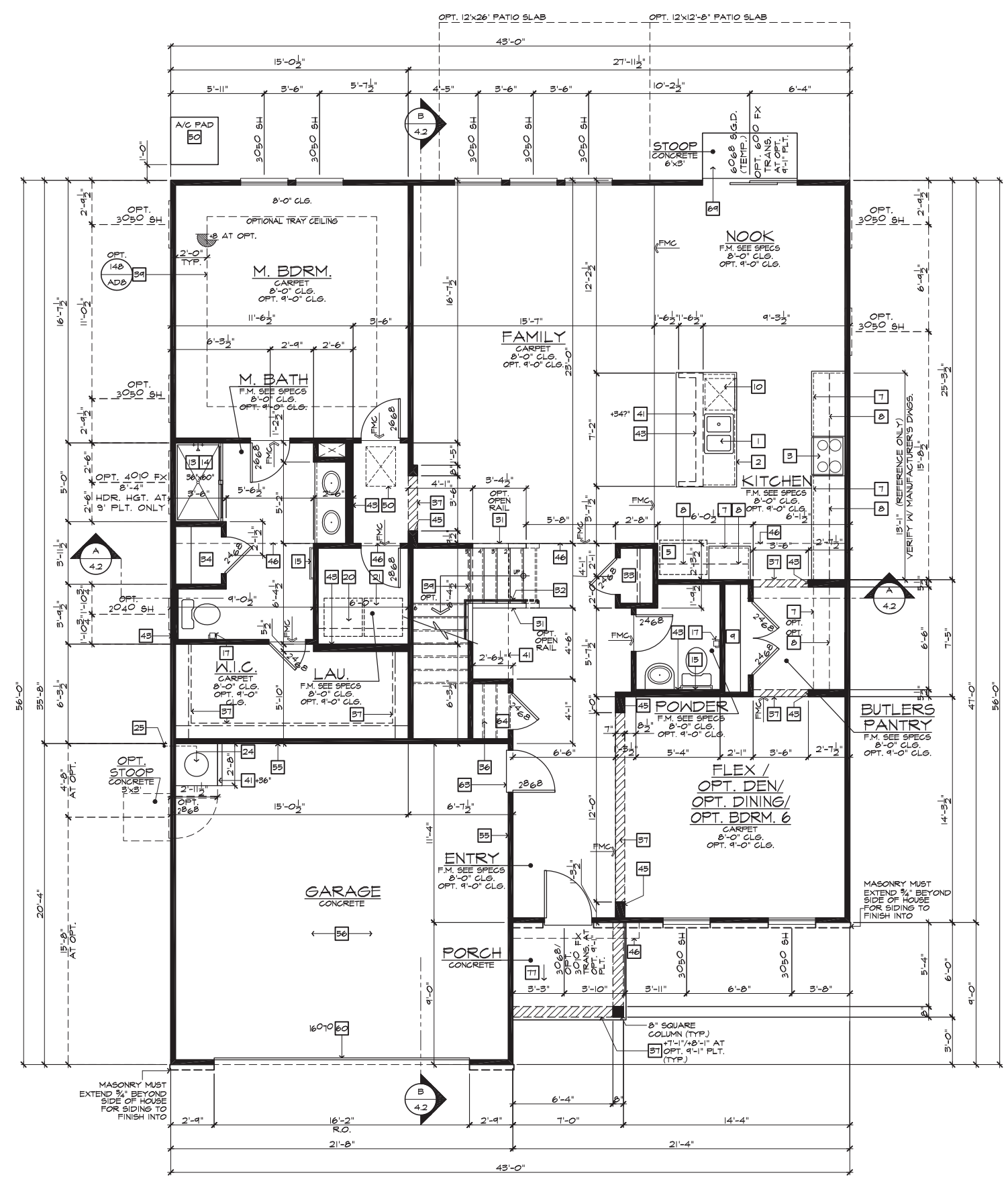
- 1 2018 CODE UPDATE NC19052NCP/ 03/15/19 / CTD
- 2 DIVISION REVISIONS NC19022NCP/ 03/15/19 / CTD
- 3 DIVISION REVISIONS NC19028NCP/ 04/22/19 / FAB

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PLAN:
243.2939
SHEET:
1.1

**SPEC. LEVEL 1
RALEIGH-DURHAM
50' SERIES**

- # FLOOR PLAN NOTES**
- SINK WITH GARBAGE DISPOSAL - VERIFY DIMENSIONS WITH MANUFACTURER SPECS.
 - DISHWASHER - PROVIDE SURFACE MOUNT AIR GAP VERIFY DIMENSIONS WITH MANUFACTURER SPECS.
 - SLIDE-IN RANGE/ OVEN COMBINATION W/ BUILT-IN LIGHT & FAN (VENT TO OUTSIDE AIR) - VERIFY WITH MANUFACTURER SPECS.
 - 36" COOKTOP - W/ BUILT-IN HOOD W/LIGHT & FAN. (VENT TO OUTSIDE AIR) - CABINET MOUNTED MICROWAVE INCLUDED OVEN WITH VENT - VERIFY WITH MANUFACTURER SPECS.
 - 34" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL).
 - DOUBLE OVEN - VERIFY WITH MANUFACTURER SPECS.
 - BASE CABINETS - REFER TO INTERIOR ELEVATIONS
 - UPPER CABINETS - REFER TO INTERIOR ELEVATIONS
 - PANTRY - SHELVES PER SPEC
 - ISLAND CABINET - REFER TO INTERIOR ELEVATIONS
 - TUB/SHOWER COMBINATION WITH 12" FIBERGLASS ENCLOSURE (NON-ABSORBENT) VERIFY DIMENSIONS WITH MFR'S SPECS.
 - OVAL TUB - VERIFY DIMENSIONS WITH MANUFACTURER SPECS.
 - SHOWER PAN WITH MAINSCOT TO 84" - VERIFY DIMENSIONS WITH MANUFACTURER SPECS.
 - SHATTERPROOF (TEMPERED) GLASS SHOWER ENCLOSURE
 - TOWEL BAR
 - NOT USED
 - TOILET PAPER HOLDER
 - EXTEND VANITY - REFER TO INTERIOR ELEVATIONS
 - OPTIONAL SINK
 - PROVIDE WATER AND WASTE FOR WASHER (WASHER CONTROL VALVES) (RECESSED IN WALL)
 - DRYER VENT
 - NOT USED
 - FREE STANDING LAUNDRY SINK - VERIFY DIMENSIONS WITH MFR'S SPECS.
 - ELECTRIC WATER HEATER - LOCATE ON 18" HIGH FRAMED PLATFORM
 - TEMPERATURE AND PRESSURE RELIEF VALVE DRAIN TO EXTERIOR - MIN. 6" ABOVE & MAX. 24" ABOVE GRADE
 - NOT USED
 - NOT USED
 - PRE-MFR. METAL GAS APPLIANCE FIREPLACE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
 - NON-COMBUSTIBLE HEARTH MATERIAL
 - ROUTE OF FIREPLACE "B" VENT FROM BELOW - PROVIDE O.S.B. SHAFT
 - +36" GUARD WALL DETAIL 84/AD5 OR 86/AD5
 - +34" - +38" HIGH HANDRAIL DETAIL 83/AD5
 - COATS WITH SHELF & POLE - DETAIL T3/AD4
 - LINEN - SHELVES PER SPEC
 - WARDROBE WITH SHELF & POLE - DETAIL T3/AD4 U.N.O.
 - MEDIA NICHE - REFER TO INTERIOR ELEVATIONS
 - FLAT SOFFIT - REFER TO PLAN OR ELEVATIONS FOR HEIGHT
 - NOT USED
 - LINE OF CEILING BREAK
 - INTERIOR SHELF - REFER TO PLAN OR INT. ELEV. FOR HGT.
 - LOW WALL - REFER TO PLAN FOR HEIGHT - DETAIL T2/AD4
 - LOCATION OF PLUMBING WASTE DROP FROM ABOVE
 - 2x6 WALL
 - 2x6 BALLOON FRAMED WALL - REFER TO STRUCTURAL
 - DOUBLE 2x4 WALL
 - LINE OF FLOOR ABOVE
 - LINE OF FLOOR BELOW
 - EXTERIOR RAIL
 - F.A.U. VENT TO OUTSIDE AIR
 - 22"x54" ATTIC ACCESS W/ STAIRS
 - F.A.U. IN ATTIC - PROVIDE MIN. 22"x30" ATTIC ACCESS PANEL - PROVIDE FUEL GAS. REFER TO UTILITY PLAN DETAIL 88/AD5
 - DUCT CHASE - DETAIL 89 & 90/AD5 - REFER TO MECH. PLAN
 - RETURN AIR GRILL (R.A.G.) - REFER TO MECHANICAL PLAN
 - 1/2" GYPSUM BOARD ON CEILING AND WALLS AT USEABLE SPACE UNDER STAIRS
 - THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE
 - SEPARATION BETWEEN SECOND FLOOR AND GARAGE CEILING, PROVIDE (1) LAYER OF 2" TYPE "X" GYPSUM BOARD, WALLS SUPPORTING SECOND FLOOR AND GARAGE CEILING, PROVIDE (1) LAYER OF 2" GYPSUM BOARD
 - EXTERIOR SHELF - REFER TO ELEV. FOR HEIGHT
 - NOT USED
 - NOT USED
 - SECTIONAL GARAGE DOOR - VERIFY WINDOW OPTION
 - NOT USED
 - DRAFTSTOP REQUIRED IN FLOOR / CEILING SPACES EXCEEDING 1000 SQUARE FEET. DIVIDED SPACES MUST BE ROUGHLY EQUAL
 - OPENINGS BETWEEN GARAGE AND HOUSE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" THICK, OR SHALL BE 20-MINUTE FIRE RATED. DOORS SHALL BE WEATHERSTRIPPED
- NOTE:
FOR ALL PLAN OPTIONS REFER TO BASIC PLAN FOR INFORMATION NOT SHOWN HERE.



INTERIOR KEY

SQUARE FOOTAGE	
PLAN 243.2939	
FIRST FLOOR AREA	1774 SQ. FT.
SECOND FLOOR AREA	1160 SQ. FT.
TOTAL AREA	2939 SQ. FT.
CRAWL GAR. AREA	437 SQ. FT.
PORCH AREA(S)	
ELEVATION 'A'	42 SQ. FT.
ELEVATION 'B'	71 SQ. FT.
ELEVATION 'C'	86 SQ. FT.
ELEVATION 'D'	128 SQ. FT.
DECK AREA(S)	
OPEN 12'x12'	144 SQ. FT.
OPEN 12'x26'	334 SQ. FT.
SCREENED-IN 12'x12'-8"	152 SQ. FT.
SCREENED-IN 12'x26'	334 SQ. FT.
SUNROOM AREA(S)	
12'x12'-8"	152 SQ. FT.
PLATE NOTES	
8'-1" PLATE NOTES	
WINDOW HEADER HEIGHT:	6'-8" U.N.O.
2nd FLOOR WINDOW HDR. HEIGHT:	7'-0" U.N.O.
ENTRY DOOR HEIGHT:	6'-8" U.N.O.
SLIDING GLASS DOOR HEIGHT:	6'-8" (TEMP.)
INTERIOR SOFFIT HEIGHT:	7'-4" U.N.O.
INTERIOR DOOR HEIGHT:	6'-8" U.N.O.
9'-1" PLATE NOTES	
WINDOW HEADER HEIGHT:	7'-8" U.N.O.
2nd FLOOR WINDOW HDR. HEIGHT:	7'-8" U.N.O.
SLIDING GLASS DOOR HEIGHT:	6'-8" W/ 12" TRANSOM ABV.
INTERIOR SOFFIT HEIGHT:	8'-0" U.N.O.
TRAY CEILING:	7" DROP U.N.O.
INTERIOR DOOR HEIGHT:	6'-8" U.N.O.
GENERAL PLAN NOTES	
ALL CEILING HEIGHTS PER SECTION AND ELEVATION PLATE HEIGHTS, U.N.O.	
ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THICK, U.N.O. (REFER TO PLAN FOR SIZE).	
ALL GARAGE SERVICE DOORS TO BE HOLLOW CORE EXTERIOR GRADE (REFER TO PLAN FOR SIZE).	
ALL HOUSE TO GARAGE DOORS TO BE 20-MINUTE FIRE-RATED (REFER TO PLAN FOR SIZE).	
ALL ENTRY DOORS AND EXTERIOR FRENCH DOORS TO BE SOLID CORE 1 3/4" THICK (REFER TO PLAN FOR SIZE).	
ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR JAMBS, U.N.O.	
STAIR DATA NOTES	
FIRST FLOOR WITH 9'-1" PLATE HEIGHT:	
16" DEEP T.J.I. FLOOR JOISTS WITH 3/4" T&G DECKING.	
15 TREADS AT 10" EACH	
16 RISERS AT 7-1/8" EACH	
FIRST FLOOR WITH 10'-1" PLATE HEIGHT:	
16" DEEP T.J.I. FLOOR JOISTS WITH 3/4" T&G DECKING.	
16 TREADS AT 10" EACH	
17 RISERS AT 8-1/8" EACH	

FIRST FLOOR PLAN 'A'

SCALE 1/4"=1'-0" (22"x34") - 1/8"=1'-0" (11"x17")

BASIC PLAN

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NC19028NCP/ 04/22/19 / FAB

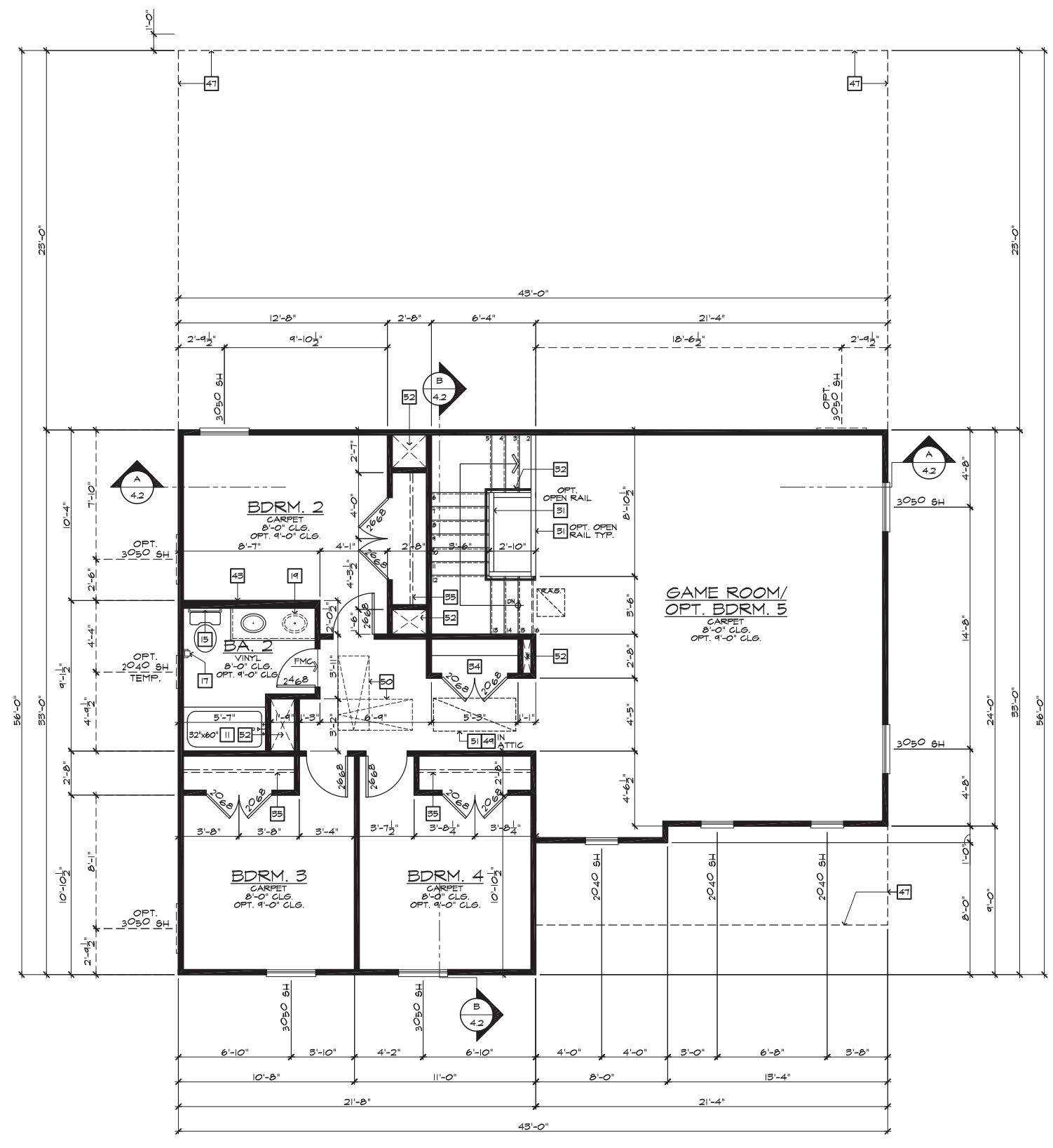
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PLAN:
243.2939

SHEET:
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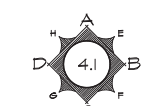
**SPEC. LEVEL 1
RALEIGH-DURHAM
50' SERIES**

- # FLOOR PLAN NOTES**
1. SINK WITH GARBAGE DISPOSAL - VERIFY DIMENSIONS WITH MANUFACTURER SPECS.
 2. DISHWASHER - PROVIDE SURFACE MOUNT AIR GAP VERIFY DIMENSIONS WITH MANUFACTURER SPECS.
 3. SLIDE-IN RANGE/ OVEN COMBINATION W/ BUILT-IN LIGHT & FAN (VENT TO OUTSIDE AIR) - VERIFY WITH MANUFACTURER SPECS.
 4. 36" COOKTOP - W/ BUILT-IN HOOD W/LIGHT & FAN. (VENT TO OUTSIDE AIR) - CABINET MOUNTED MICROWAVE INCLUDED OVEN WITH VENT - VERIFY WITH MANUFACTURER SPECS.
 5. 34" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL).
 6. DOUBLE OVEN - VERIFY WITH MANUFACTURER SPECS.
 7. BASE CABINETS - REFER TO INTERIOR ELEVATIONS
 8. UPPER CABINETS - REFER TO INTERIOR ELEVATIONS
 9. PANTRY - SHELVES PER SPEC
 10. ISLAND CABINET - REFER TO INTERIOR ELEVATIONS
 11. TUB/SHOWER COMBINATION WITH 12" FIBERGLASS ENCLOSURE (NON-ABSORBENT) VERIFY DIMENSIONS WITH MFR'S SPECS.
 12. OVAL TUB - VERIFY DIMENSIONS WITH MANUFACTURER SPECS.
 13. SHOWER PAN WITH MAINSCOT TO 84" - VERIFY DIMENSIONS WITH MANUFACTURER SPECS.
 14. SHATTERPROOF (TEMPERED) GLASS SHOWER ENCLOSURE
 15. TOWEL BAR
 16. NOT USED
 17. TOILET PAPER HOLDER
 18. EXTEND VANITY - REFER TO INTERIOR ELEVATIONS
 19. OPTIONAL SINK
 20. PROVIDE WATER AND WASTE FOR WASHER (WASHER CONTROL VALVES) (RECESSED IN WALL)
 21. DRYER VENT
 22. NOT USED
 23. FREE STANDING LAUNDRY SINK - VERIFY DIMENSIONS WITH MFR'S SPECS.
 24. ELECTRIC WATER HEATER - LOCATE ON 18" HIGH FRAMED PLATFORM
 25. TEMPERATURE AND PRESSURE RELIEF VALVE DRAIN TO EXTERIOR - MIN. 6" ABOVE & MAX. 24" ABOVE GRADE
 26. NOT USED
 27. NOT USED
 28. PRE-MFR. METAL GAS APPLIANCE FIREPLACE INSTALLED PER MANUFACTURERS INSTRUCTIONS
 29. NON-COMBUSTIBLE HEARTH MATERIAL
 30. ROUTE OF FIREPLACE "B" VENT FROM BELOW - PROVIDE O.S.B. SHAFT
 31. +36" GUARD WALL DETAIL 84/AD5 OR 86/AD5
 32. +34" - +38" HIGH HANDRAIL DETAIL 83/AD5
 33. COATS WITH SHELF & POLE - DETAIL T3/AD4
 34. LINEN - SHELVES PER SPEC
 35. WARDROBE WITH SHELF & POLE - DETAIL T3/AD4 U.N.O.
 36. MEDIA NICHE - REFER TO INTERIOR ELEVATIONS
 37. FLAT SOFFIT - REFER TO PLAN OR ELEVATIONS FOR HEIGHT
 38. NOT USED
 39. LINE OF CEILING BREAK
 40. INTERIOR SHELF - REFER TO PLAN OR INT. ELEV. FOR HGT.
 41. LOW WALL - REFER TO PLAN FOR HEIGHT - DETAIL T2/AD4
 42. LOCATION OF PLUMBING WASTE DROP FROM ABOVE
 43. 2x6 WALL
 44. 2x6 BALLOON FRAMED WALL - REFER TO STRUCTURAL
 45. DOUBLE 2x4 WALL
 46. LINE OF FLOOR ABOVE
 47. LINE OF FLOOR BELOW
 48. EXTERIOR RAIL
 49. F.A.U. VENT TO OUTSIDE AIR
 50. 22"x54" ATTIC ACCESS W/ STAIRS
 51. F.A.U. IN ATTIC - PROVIDE MIN. 22"x30" ATTIC ACCESS PANEL - PROVIDE FUEL GAS. REFER TO UTILITY PLAN DETAIL 88/AD5
 52. DUCT CHASE - DETAIL 89 & 90/AD5 - REFER TO MECH. PLAN
 53. RETURN AIR GRILL (R.A.G.) - REFER TO MECHANICAL PLAN
 54. 1/2" GYPSUM BOARD ON CEILING AND WALLS AT USEABLE SPACE UNDER STAIRS
 55. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE
 56. SEPARATION BETWEEN SECOND FLOOR AND GARAGE CEILING, PROVIDE (1) LAYER OF 7" TYPE "X" GYPSUM BOARD. WALLS SUPPORTING SECOND FLOOR AND GARAGE CEILING, PROVIDE (1) LAYER OF 7" GYPSUM BOARD
 57. EXTERIOR SHELF - REFER TO ELEV. FOR HEIGHT
 58. NOT USED
 59. NOT USED
 60. SECTIONAL GARAGE DOOR - VERIFY WINDOW OPTION
 61. NOT USED
 62. DRAFTSTOP REQUIRED IN FLOOR / CEILING SPACES EXCEEDING 1000 SQUARE FEET. DIVIDED SPACES MUST BE ROUGHLY EQUAL.
 63. OPENINGS BETWEEN GARAGE AND HOUSE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" INCH THICK, OR SHALL BE 20-MINUTE FIRE RATED. DOORS SHALL BE WEATHERSTRIPPED
- NOTE:
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SECOND FLOOR PLAN 'A'
SCALE 1/4"=1'-0" (22"x34") - 1/8"=1'-0" (11"x17")

BASIC PLAN



INTERIOR KEY

PLATE NOTES

8'-1" PLATE NOTES

- WINDOW HEADER HEIGHT: 6'-8" U.N.O.
- 2nd FLOOR WINDOW HDR. HEIGHT: 7'-0" U.N.O.
- ENTRY DOOR HEIGHT: 6'-8" U.N.O.
- SLIDING GLASS DOOR HEIGHT: 6'-8" (TEMP)
- INTERIOR SOFFIT HEIGHT: 7'-4" U.N.O.
- INTERIOR DOOR HEIGHT: 6'-8" U.N.O.

9'-1" PLATE NOTES

- WINDOW HEADER HEIGHT: 7'-8" U.N.O.
- 2nd FLOOR WINDOW HDR. HEIGHT: 7'-8" U.N.O.
- ENTRY DOOR HEIGHT: 6'-8" W/ 12" TRANSOM ABV.
- SLIDING GLASS DOOR HEIGHT: 6'-8" W/ 12" TRANSOM ABV.
- INTERIOR SOFFIT HEIGHT: 8'-0" U.N.O.
- TRAY CEILING: 7" DROP U.N.O.
- INTERIOR DOOR HEIGHT: 6'-8" U.N.O.

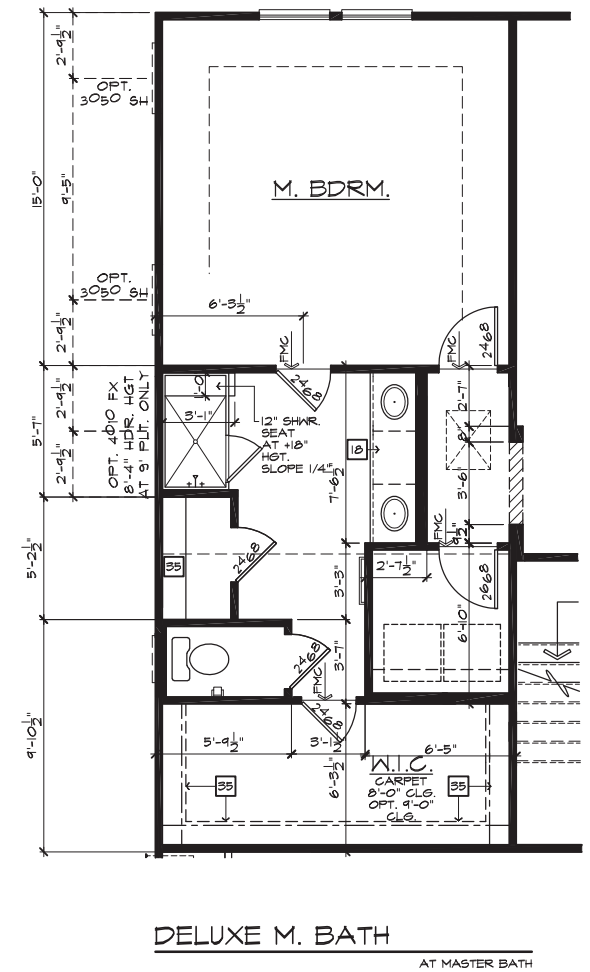
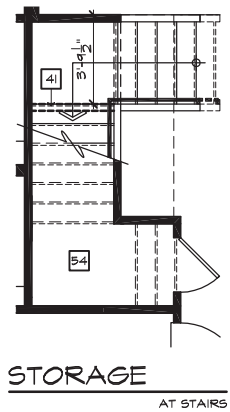
GENERAL PLAN NOTES

- ALL CEILING HEIGHTS PER SECTION AND ELEVATION PLATE HEIGHTS, U.N.O.
- ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THICK, U.N.O. (REFER TO PLAN FOR SIZE).
- ALL GARAGE SERVICE DOORS TO BE HOLLOW CORE EXTERIOR GRADE (REFER TO PLAN FOR SIZE).
- ALL HOUSE TO GARAGE DOORS TO BE 20-MINUTE FIRE-RATED (REFER TO PLAN FOR SIZE).
- ALL ENTRY DOORS AND EXTERIOR FRENCH DOORS TO BE SOLID CORE 1 3/4" THICK (REFER TO PLAN FOR SIZE).
- ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR JAMBS, U.N.O.

STAIR DATA NOTES

- FIRST FLOOR WITH 9'-0" PLATE HEIGHT:**
16" DEEP T.J.I. FLOOR JOISTS WITH 3/4" T&G DECKING.
15 TREADS AT 10" EACH
16 RISERS AT 7-1/8" EACH
- FIRST FLOOR WITH 10'-0" PLATE HEIGHT:**
16" DEEP T.J.I. FLOOR JOISTS WITH 3/4" T&G DECKING.
16 TREADS AT 10" EACH
17 RISERS AT 8-1/8" EACH

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- ### FLOOR PLAN NOTES
- SINK WITH GARBAGE DISPOSAL - VERIFY DIMENSIONS WITH MANUFACTURER SPEC'S.
 - DISHWASHER - PROVIDE SURFACE MOUNT AIR GAP VERIFY DIMENSIONS WITH MANUFACTURER SPEC'S.
 - SLIDE-IN RANGE/ OVEN COMBINATION W/ BUILT-IN LIGHT & FAN (VENT TO OUTSIDE AIR) - VERIFY WITH MANUFACTURER SPEC'S.
 - 36" COOKTOP - W/ BUILT-IN HOOD W/LIGHT & FAN. (VENT TO OUTSIDE AIR) - CABINET MOUNTED MICROWAVE INCLUDED OVEN WITH VENT - VERIFY WITH MANUFACTURER SPEC'S.
 - 34" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL).
 - DOUBLE OVEN - VERIFY WITH MANUFACTURER SPEC'S.
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NORTH CAROLINA 50' SERIES

KB HOME
NORTH CAROLINA DIVISION
4518 S. MIAMI BLVD.
SUITE 180
DURHAM, NC 27703
TEL: (919) 768-7988
FAX: (919) 472-0582

2018 NORTH CAROLINA STATE BUILDING CODES

ISSUE DATE: 08/17/18
PROJECT No.: 1350999:57
DIVISION MGR.: D.S.
REVISIONS: 03/15/19

- 1 2018 CODE UPDATE NC19015NCP/ 03/15/19 / CTD
- 2 DIVISION REVISIONS NC19022NCP/ 03/15/19 / CTD
- 3 DIVISION REVISIONS NC19021NCP/ 04/22/19 / FAB

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REVISION BY:	
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PLAN:
243.2939
SHEET:
1.4

SPEC. LEVEL 1 RALEIGH-DURHAM 50' SERIES

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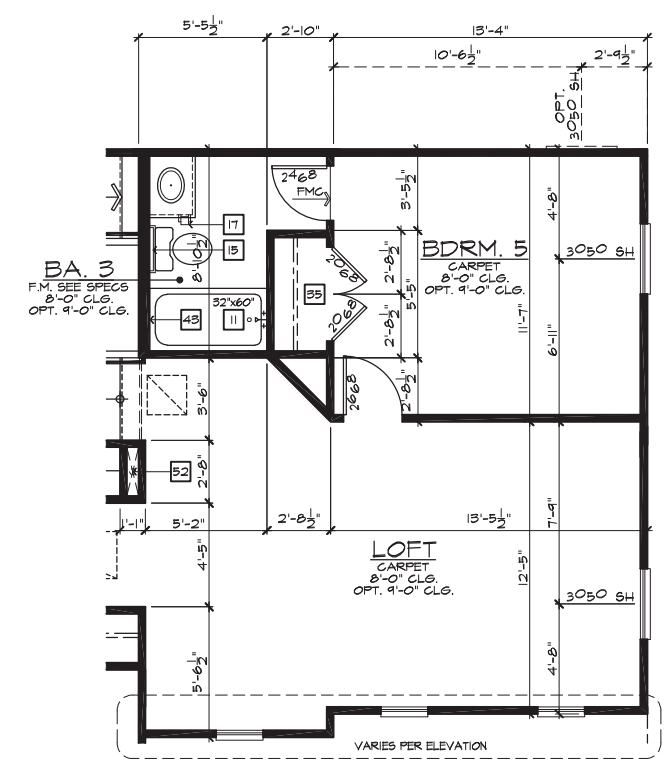
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**SPEC. LEVEL 1
RALEIGH-DURHAM
50' SERIES**

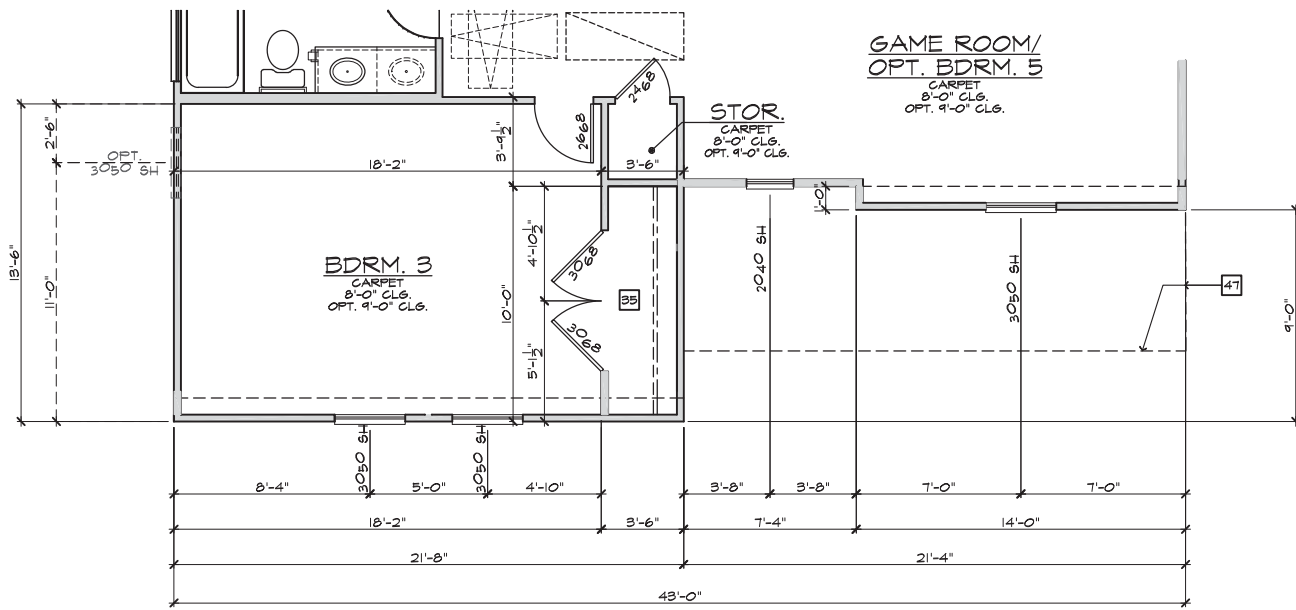
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 61. NOT USED
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- NOTE:
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BEDROOM 5 W/ BATH 3 AND LOFT
AT GAME ROOM

SECOND FLOOR PLAN OPTIONS
SCALE 1/4"=1'-0" (22'x34') - 1/8"=1'-0" (11'x17')

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ENLARGED BEDROOM 2 & 3 - 'D'
SCALE 1/4"=1'-0" (22"x34") - 1/8"=1'-0" (11"x17")

FLOOR PLAN NOTES	
NOTE: NOT ALL KEY NOTES APPLY.	
1.	SINK - GARBAGE DISPOSAL OPTIONAL - VERIFY DIMENSIONS WITH MANUFACTURERS' SPECS
2.	DISHWASHER - PROVIDE AIR GAP - VERIFY SPACINGS & DIMENSIONS PER MANUFACTURERS' SPECS
3.	SLIDE-IN RANGE/OVEN COMBINATION W/ BUILT-IN NON-VENTED HOOD W/LIGHT & FAN. - VERIFY WITH MANUFACTURERS' SPECS
4.	30" COOKTOP W/ BUILT-IN VENTED HOOD W/ LIGHT & FAN VERIFY WITH MANUFURS' SPECS
5.	34" CLEAR REFRIGERATOR SPACE W/ OPTIONAL CABINETS ABOVE - OPT. PLUMBING FOR ICEMAKER (RECESSED IN WALL)
6.	COMBINATION DOUBLE OVEN OR OVEN/MICROWAVE OVEN OR OVEN VERIFY DIMENSIONS WITH MANUFACTURERS' SPECS
7.	BASE CABINETS - REFER TO INTERIOR ELEVATIONS
8.	UPPER CABINETS - REFER TO INTERIOR ELEVATIONS
9.	ISLAND CABINET - REFER TO INTERIOR ELEVATIONS
10.	MIN. 12" BAR TOP/ BREAKFAST BAR
11.	DESK AREA - REFER TO INTERIOR ELEVATIONS
12.	BUILT-IN PANTRY (15" DEEP OR U.N.O.)
13.	SINK CABINET(S) - REFER TO INTERIOR ELEVATIONS
14.	SINK CABINET W/ EXTENDED VANITY & KNEE SPACE BELOW - REFER TO INTERIOR ELEVATIONS
15.	OPT. SINK - REFER TO INTERIOR ELEVATIONS
16.	KNEE SPACE - REFER TO INTERIOR ELEVATIONS
17.	PRE-FAB TUB SHOWER COMBO W/ FIBERGLASS MAINSCOT TO T2 - VERIFY DIMENSIONS W/ MANUF'S SPECS
18.	OVAL TUB - VERIFY DIMENSIONS WITH MANUF'S SPECS
19.	PRE-FAB. SHOWER PAN W/ 30" MIN. CLR. INSIDE & MAINSCOT TO T2 - VERIFY DIMENSIONS W/ MANUF'S SPECS
20.	SHATTERPROOF (TEMPERED) GLASS SHOWER ENCLOSURE
21.	TOWEL BAR - PROVIDE 2x SOLID BLK'S IN WALL
22.	TOILET PAPER HOLDER - PROVIDE 2x SOLID BLK'S IN WALL
23.	RECESSED, MIRRORED MEDICINE CABINET
24.	WASHER & DRYER. - PROVIDE WATER & WASTE FOR WASHER - RECESS WASHER CONTROL VALVES IN WALL - VENT DRYER TO OUTSIDE AIR. - PROVIDE "SMITTY PAN" W/ DRAIN BELOW WASHER AT 2ND FLOOR LAUNDRY LOCATION ACCOMMODATE APPLIANCES TO BE LOCATED WASHER AT LEFT AND DRYER AT RIGHT.
25.	12" SHELF PER SPECS
26.	OPT. LAUNDRY SINK - REFER TO INTERIOR ELEV'S
27.	WATER HEATER LOCATION. - FOR GAS - LOCATE ON 10' HIGH PLATFORM - FOR INTERIOR LOCATION - PROVIDE PAN & DRAIN. REFER TO DETAILS
28.	WATER HEATER 'B' VENT TO OUTSIDE AIR
29.	MAIN LINE SHUT-OFF VALVE AND TEMP. & PRESSURE RELIEF VALVE
30.	F.A.U. LOCATION (REFER TO DETAIL SHEETS)
31.	F.A.U. 'B' VENT TO OUTSIDE AIR
32.	LISTED FACTORY-BUILT GAS FIRED DEC. APPLIANCE (REF. B0/AD4) - INSTALL PER MFR. SPECS
33.	HEARTH TO BE INSTALLED PER FACTORY-BUILT FIREPLACE LISTING
34.	GAS APPLIANCE 'B' VENT FROM BELOW
35.	LINEN PER SPECS (15" DEEP OR U.N.O.)
36.	COAT CLOSET W/ SHELF & POLE (REFER TO DETAIL SHEETS)
37.	HARDROBE W/ SHELF & POLE (REFER TO DETAIL SHEETS)
38.	22"x30" MIN. ATTIC ACCESS (REFER TO DETAIL SHEETS) W/ 25"x54" FULL DOWN LADDER R.O. ATTIC ACCESS TO BE PROTECTED
39.	LINE OF WALL BELOW
40.	DUCT CHASE
41.	LINE OF FLOOR ABOVE
42.	LINE OF FLOOR BELOW
43.	LINE OF OPTIONAL TRAY CEILING (REFER TO DETAIL SHEETS)
44.	LINE OF HIP AT OPTIONAL VOLUME CEILING
45.	LINE OF RIDGE AT OPTIONAL VOLUME CEILING
46.	CEILING BREAK
47.	STAIR TREADS & RISERS: - MIN. 10" TREAD & MAX. 7 3/4" RISER - (REFER TO DETAIL SHEETS)
48.	MIN. 36" HIGH GUARDRAIL (REFER TO DETAIL SHEETS)
49.	34" TO 38" HIGH HANDRAIL (REFER TO DETAIL SHEETS)
50.	A/C PAD LOCATION
51.	LOW WALL - REFER TO PLAN FOR HEIGHT
52.	2x6 STUD WALL
53.	2x6 BALLOON FRAMED WALL PER STRUCTURAL
54.	DBL. 2x4 WALL PER PLAN
55.	INTERIOR SHELF-SEE PLAN FOR HT. (REFER TO DETAIL SHEETS)
56.	MEDIA NICHE
57.	FLAT SOFFIT - REFER TO PLATE NOTES / ELEV. FOR H6T.
58.	ARCHED SOFFIT - REFER TO PLATE NOTES / ELEV. FOR H6T.
59.	WINDOW SEAT
60.	OPT. DOOR/ WINDOW
61.	PRE-MANUFACTURED DECORATIVE COLUMN (SIZE, SEE ELEV.) PYPON OR EQ. SURROUNDING STRUCTURAL POST.
62.	BRICK / STONE VENEER - REFER TO ELEVATIONS VENEER TO COMPLY WITH THE N.C.-R
63.	SECTIONAL GARAGE DOOR PER SPECS
64.	MIN. 1/2" GYP. BD. ON CEILING & WALLS @ USEABLE SPACE UNDER STAIR.
65.	GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BD. @ GARAGE SIDE WALLS & 5/8" UNDER LIVING AREA U.N.O.
66.	3" DIAM. CONCRETE FILLED PIPE BOLLARD 36" HIGH WITH MIN. 12" EMBEDMENT INTO CONCRETE (NOT REQUIRED AT ELECTRIC WATER HEATERS OR FOR APPLIANCES LOGATED OUT OF THE VEHICLE'S NORMAL TRAVEL PATH).
67.	5/8" TYPE-X GYP. IN GARAGE BETWEEN CEILING & FLOOR ABV.
68.	P.T. POST W/ VINYL WRAP
69.	CONCRETE STOOP: 36"x36" STANDARD SLOPE 1/4" PER FT. MIN.
70.	EGRESS WINDOW
71.	PROVIDE ADDITIONAL RISER(S) AT OPTIONAL PLATE HT.
72.	MDF TOP
73.	PLUMBING DROP FROM ABOVE
74.	ADJUST OPENINGS AT OPTION TO FIT THE DOOR SIZE SHOWN
75.	WINDOW LEDGE: HEIGHT & WIDTH OF OPENING TO EXTEND 6" BEYOND WINDOW(S) ON ALL SIDES U.N.O.
76.	SITE-BUILT COLUMN - SEE ELEVATION FOR TYPE
77.	CONCRETE SLAB. SLOPE 1/4" PER FT. MIN. SEE PLAN FOR SIZE.
78.	LOUVERED DOOR
79.	SLOPING LOW WALL 36" ABOVE ADJACENT TREADS
80.	20 MIN. FIRE-RATED DOOR



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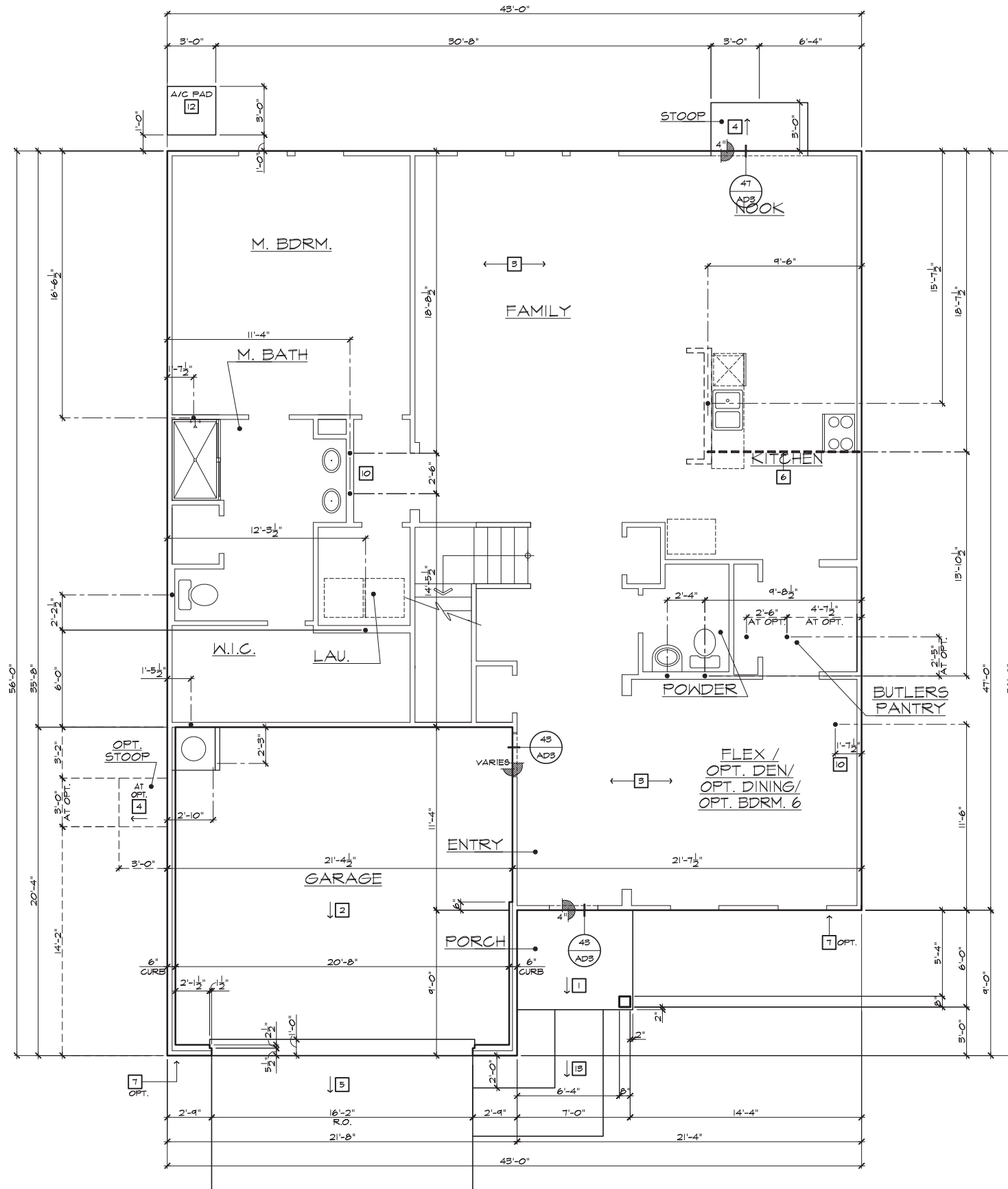
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- 2 DIVISION REVISIONS NC19022NCP/ 03/15/19 / CTD
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SPEC. LEVEL 1 RALEIGH-DURHAM 50' SERIES

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- SLAB PLAN NOTES**
- NOTE: NOT ALL KEY NOTES APPLY.
1. CONCRETE PATIO/PORCH SLAB PER STRUCTURAL- SLOPE 1/4" PER FT. MIN.
 2. CONCRETE GARAGE SLAB PER STRUCTURAL- SLOPE 1/8" PER 1'-0" MIN. TOWARD DOOR OPENING.
 3. CONCRETE FOUNDATION PER STRUCTURAL.
 4. CONCRETE STOOP, 36"x36" STANDARD SLOPE 1/4" PER FT. MIN.
 5. CONCRETE DRIVEWAY SLOPE 1/4" PER FT. MIN. AWAY FROM GARAGE DOOR OPENING.
 6. PROVIDE ELECTRICAL CONDUIT UNDER SLAB AT ISLAND. VERIFY LOCATION.
 7. 5" BRICK LEDGE FOR MASONRY VENEER.
 8. 3" DIAMETER CONCRETE FILLED PIPE BOLLARD 36" HIGH WITH MIN. 12" EMBEDMENT INTO CONCRETE.
 9. REFER TO CIVIL DRAWINGS FOR ALL FINISH SURFACE ELEVATIONS.
 10. VERIFY ALL PLUMBING STUB DIMENSIONS SHOWN HERE PRIOR TO POUR OF SLAB.
 11. 4" MIN. Ø 1/4" MAX. TO HARD SURFACE.
 12. A/C PAD. VERIFY LOCATION.
 13. 36" WIDE WALKWAY- SLOPE 1/4" PER FT. MIN.



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**SPEC. LEVEL 1
RALEIGH-DURHAM
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SLAB INTERFACE PLAN 'A'
SCALE 1/4"=1'-0" (22'x34") - 1/8"=1'-0" (11'x17") BASIC PLAN AT SLAB-ON-GRADE

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#	SLAB PLAN NOTES
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1.	CONCRETE PATIO/PORCH SLAB PER STRUCTURAL- SLOPE 1/4" PER FT. MIN.
2.	CONCRETE GARAGE SLAB PER STRUCTURAL- SLOPE 1/8" PER 1'-0" MIN. TOWARD DOOR OPENING.
3.	CONCRETE FOUNDATION PER STRUCTURAL.
4.	CONCRETE STOOP, 36"x36" STANDARD SLOPE 1/4" PER FT. MIN.
5.	CONCRETE DRIVEWAY SLOPE 1/4" PER FT. MIN. AWAY FROM GARAGE DOOR OPENING.
6.	PROVIDE ELECTRICAL CONDUIT UNDER SLAB AT ISLAND. VERIFY LOCATION.
7.	5" BRICK LEDGE FOR MASONRY VENEER.
8.	3" DIAMETER CONCRETE FILLED PIPE BOLLARD 36" HIGH WITH MIN. 12" EMBEDMENT INTO CONCRETE.
9.	REFER TO CIVIL DRAWINGS FOR ALL FINISH SURFACE ELEVATIONS.
10.	VERIFY ALL PLUMBING STUB DIMENSIONS SHOWN HERE PRIOR TO POUR OF SLAB.
11.	4" MIN. Ø 1/4" MAX. TO HARD SURFACE.
12.	A/C PAD. VERIFY LOCATION.
13.	36" WIDE WALKWAY- SLOPE 1/4" PER FT. MIN.



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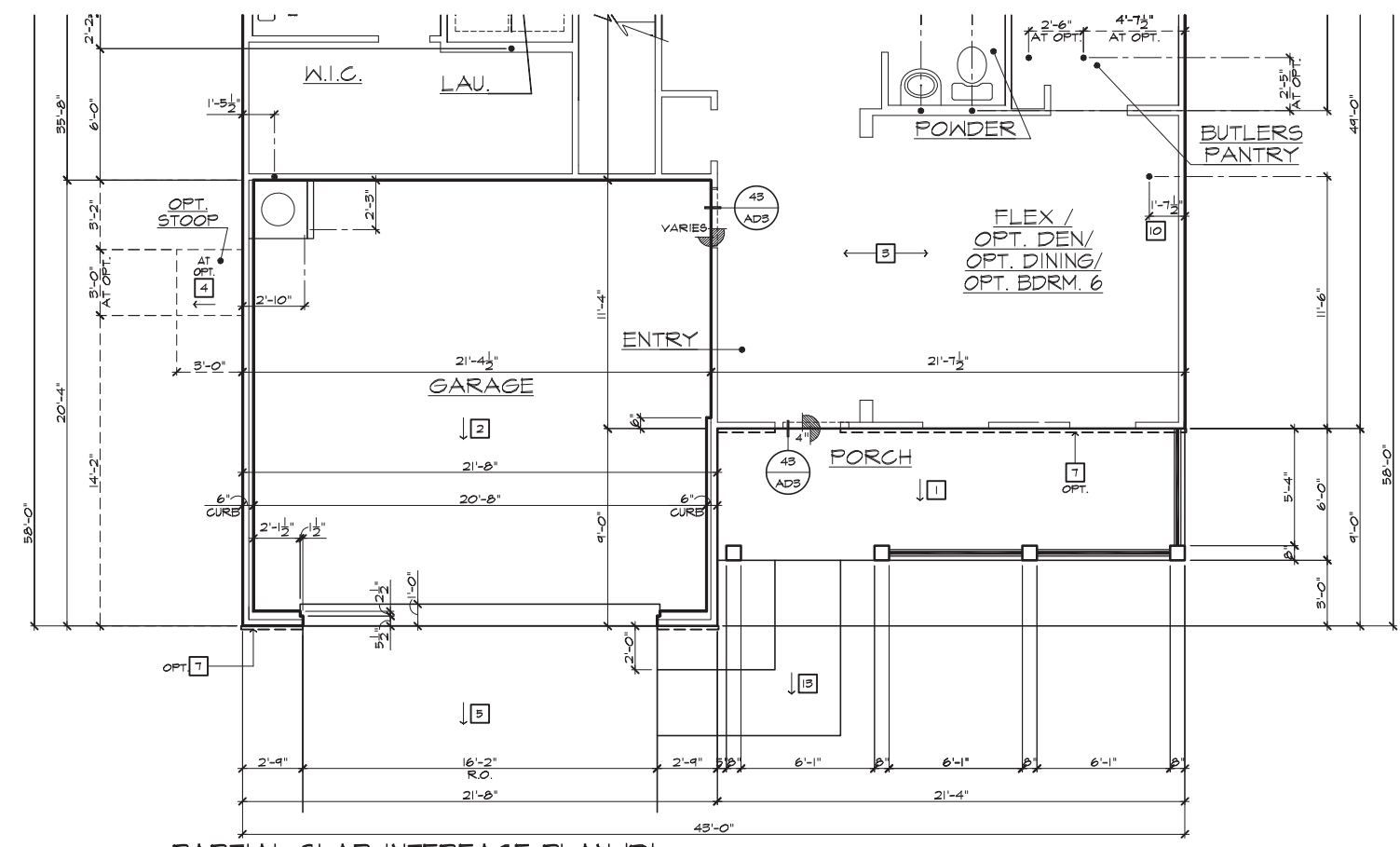
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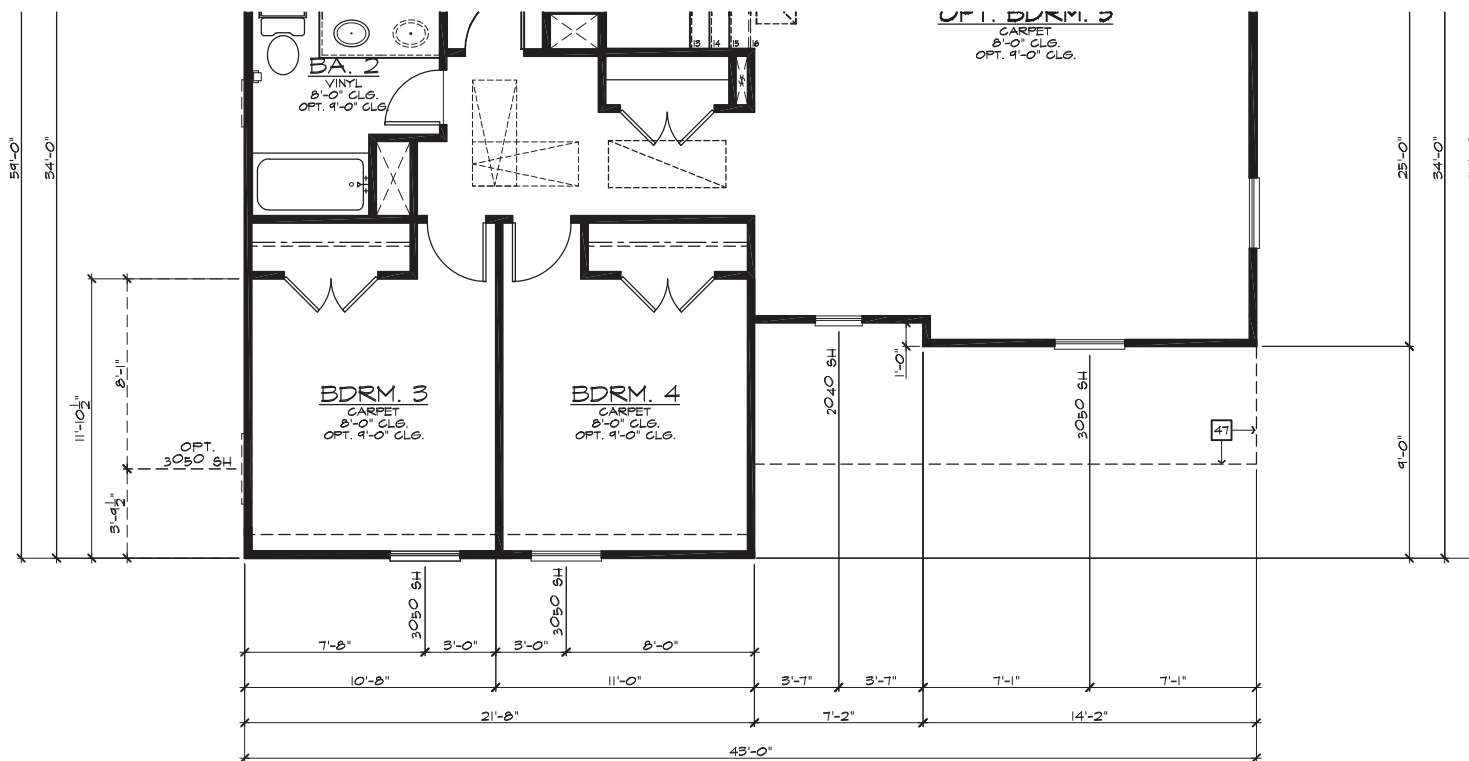
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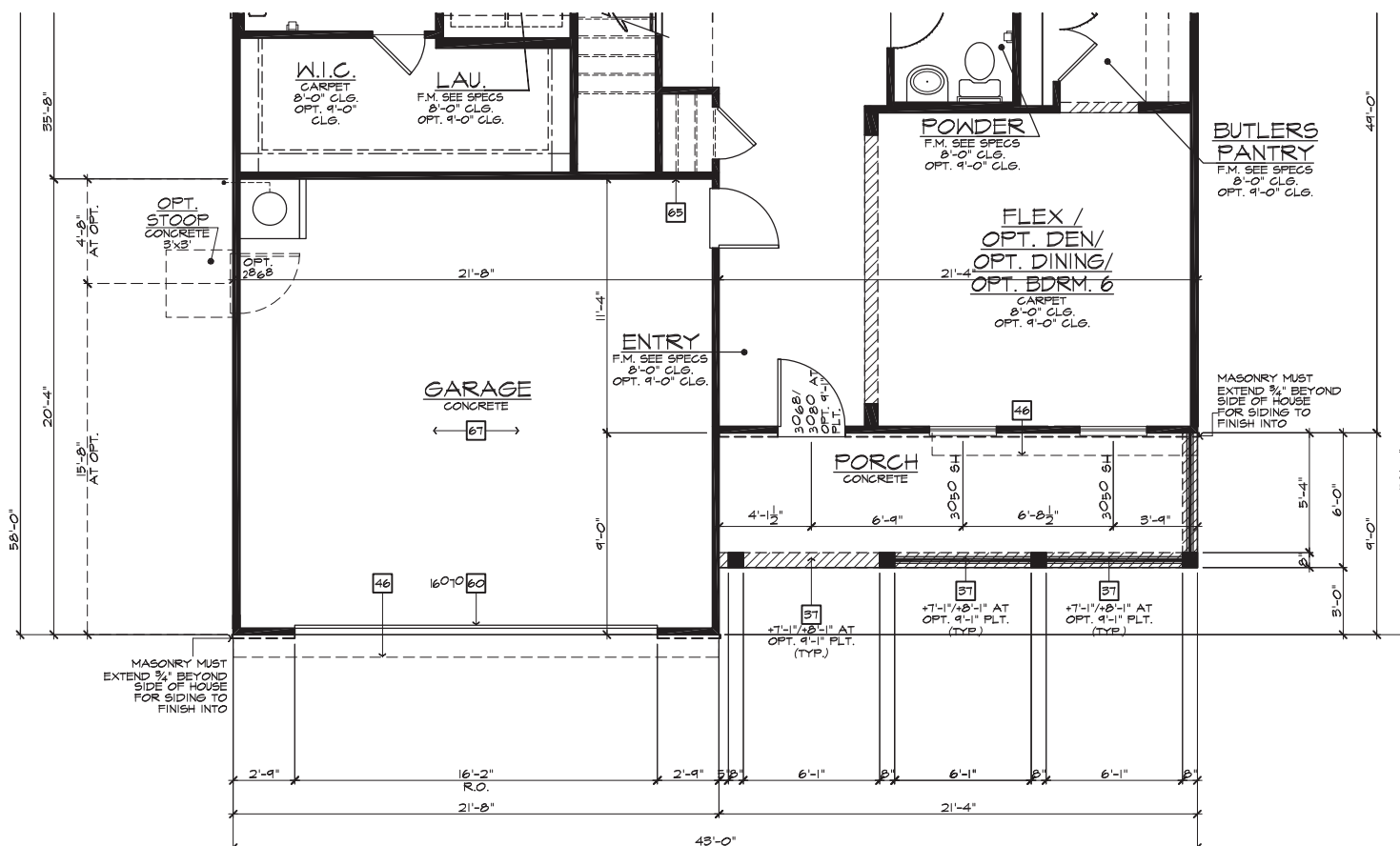
PARTIAL SLAB INTERFACE PLAN 'D'
SCALE 1/4"=1'-0" (22"x34") - 1/8"=1'-0" (11"x17")

BASIC PLAN AT SLAB-ON-GRADE

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PARTIAL SECOND FLOOR PLAN 'D'
 SCALE 1/4"=1'-0" (22"X34") - 1/8"=1'-0" (11"X17")
 BASIC PLAN



PARTIAL FIRST FLOOR PLAN 'D'
 SCALE 1/4"=1'-0" (22"X34") - 1/8"=1'-0" (11"X17")
 BASIC PLAN

#	PARTIAL PLAN NOTES
NOTE: NOT ALL KEY NOTES APPLY.	
31.	+36" GUARD WALL DETAIL 84/ADS OR 86/ADS
37.	FLAT SOFFIT - REFER TO PLAN OR ELEVATIONS FOR HEIGHT
38.	NOT USED
39.	LINE OF CEILING BREAK
40.	INTERIOR SHELF - REFER TO PLAN OR INT. ELEV. FOR HGT.
41.	LOW MALL - REFER TO PLAN FOR HEIGHT - DETAIL 72/AD4
43.	2x6 WALL
44.	2x6 BALLOON FRAMED WALL - REFER TO STRUCTURAL
45.	DOUBLE 2x4 WALL
46.	LINE OF FLOOR ABOVE
47.	LINE OF FLOOR BELOW
48.	EXTERIOR RAIL
55.	THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 7" GYPSUM BOARD APPLIED TO THE GARAGE SIDE
56.	SEPARATION BETWEEN SECOND FLOOR AND GARAGE CEILING: PROVIDE (1) LAYER OF 7" TYPE 'X' GYPSUM BOARD, WALLS SUPPORTING SECOND FLOOR AND GARAGE CEILING; PROVIDE (1) LAYER OF 7" GYPSUM BOARD
57.	EXTERIOR SHELF - REFER TO ELEV. FOR HEIGHT
60.	SECTIONAL GARAGE DOOR - VERIFY WINDOW OPTION



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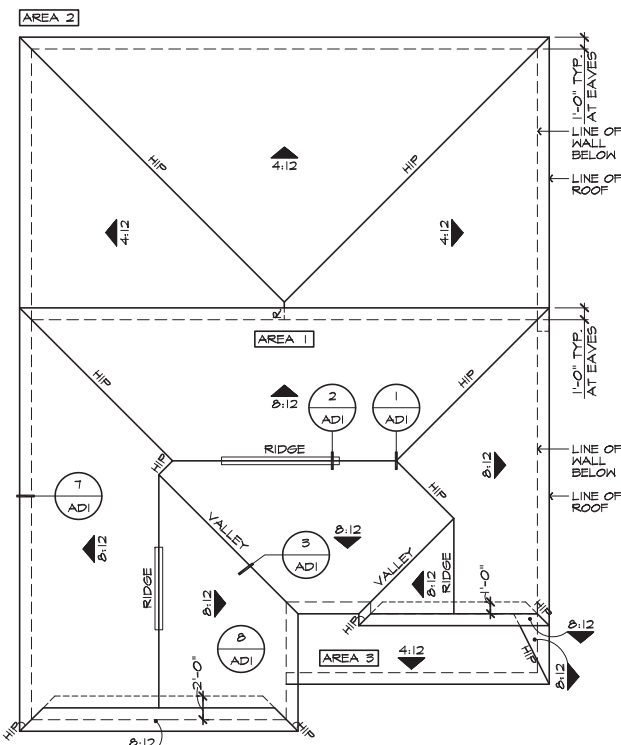
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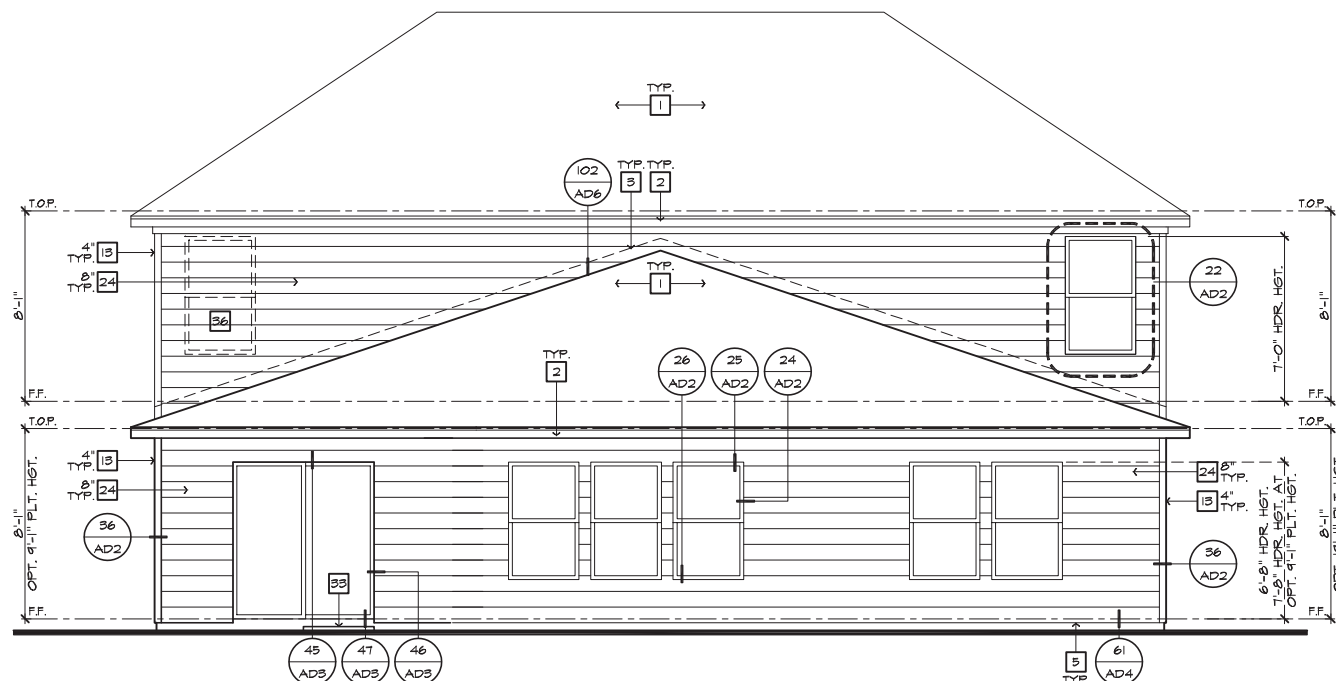
NOTE: REFER TO BASIC FLOOR PLAN FOR INFORMATION NOT SHOWN HERE

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ROOF PLAN 'D'

SCALE 1/8"=1'-0" (22"X34") - 1/16"=1'-0" (11"X17")



REAR ELEVATION 'D'

SCALE 1/4"=1'-0" (22"X34") - 1/8"=1'-0" (11"X17")

ELEVATION NOTES

- NOTE: NOT ALL KEY NOTES APPLY.**
1. ROOF MATERIAL - REFER TO ROOF NOTES
 2. 2X FASCIA/BARGE BOARD WITH FASCIA GAP
 3. G.I. FLASHING
 4. G.I. FLASHING & SADDLE/CRICKET
 5. G.I. DRIP SCREED
 6. 24"x24" CHIMNEY
 7. DECORATIVE VENT
 8. DECORATIVE CORBEL
 9. DECORATIVE SHUTTERS
 10. PEDIMENT, SEE ELEVATION FOR TYPE
 11. RECESSED ELEMENT
 12. DECORATIVE TRIM FYPON OR EQ. SEE ELEVATION FOR TYPE
 13. TRIM - SEE ELEVATION FOR SIZE
 14. SYNTHETIC MATERIAL
 15. PRE-MANUFACTURED DECORATIVE COLUMN (SIZE, SEE ELEV.) FYPON OR EQ. SURROUNDING STRUCTURAL POST.
 16. SITE-BUILT COLUMN - SEE ELEVATION FOR TYPE
 17. SHAKE SIDING
 18. STONE VENEER PER SPECS
 19. BRICK/MASONRY VENEER PER SPECS
 20. BUILT UP BRICK COLUMN
 21. SOLDIER COURSE
 22. ROWLOCK COURSE
 23. FRIEZE BOARD
 24. SIDING W/ 4" CORNER TRIM PER SPECS
 25. P.T. POST W/ WRAP - SEE STRUCTURAL FOR SIZE
 26. PRE-FAB DECORATIVE TRIM
 27. LIGHT WEIGHT PRECAST STONE TRIM
 28. RAILINGS (36" U.N.O.)
 29. VINYL WRAP
 30. DECORATIVE WINDOW/DOOR TRIM - FYPON OR EQ. SEE ELEVATION FOR SIZE.
 31. BRACKET OR KICKER - FYPON OR EQ.
 32. ENTRY DOOR
 33. CONCRETE STOOP/ PORCH - SEE SLAB INTERFACE PLAN.
 34. SECTIONAL GARAGE DOOR PER SPECS
 35. ALUMINUM WRAP
 36. OPTIONAL DOOR/WINDOW - REFER TO PLAN OPTIONS
 37. OPTIONAL STANDING SEAM METAL ROOF
 38. KEYSTONE
 39. SOLDIER CROWN
 40. JACK SOLDIER COURSE
 41. WATER TABLE
 42. ATRIUM DOOR
 43. PILASTER - SEE ELEVATION FOR TYPE

ROOF PLAN NOTES 'D'

8:12 INDICATES ROOF SLOPE AND DIRECTION, U.N.O.

ROOF MATERIAL: COMPOSITION SHINGLE
 12" (INCHES) TYPICAL ROOF OVERHANG AT RAKE, U.N.O.
 12" (INCHES) TYPICAL ROOF OVERHANG AT EAVE, U.N.O.
 LOCATE EAVE/ RAFTER VENTS EQUALLY BALANCED AROUND HOUSE EXCEPT ABOVE SHEARWALL PANELS.

ATTIC VENT CALCULATIONS

PROVIDE 1 SQ. IN. OF VENTILATION PER 500 SQ. IN. OF ATTIC SPACE. PROVIDE THAT AT LEAST 50% & NO MORE THAN 80% OF THE REQ. VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC. (HIGH VENTING) AT 3'-0" ABOVE EAVE VENT WITH THE BALANCE BEING PROVIDED BY EAVE VENTS. (LOW VENTING) (2018 NC-R 2006.2)
 * APPROXIMATE RIDGE VENT LOCATIONS SHOWN. ACTUAL LOCATIONS TO BE DETERMINED IN THE FIELD.

AREA 1 / MAIN	
VENTILATION REQUIRED:	1262 SQ. FT. / 500 = 4.2 SQ. FT.
ATTIC AREA	X 144 = 604.8 SQ. IN.
	X 50% = 302.4 SQ. IN.
VENTILATION PROVIDED:	
HIGH	(1) LIN. FEET OF RIDGE VENT AT (10 SQ. IN./FOOT) = 506 SQ. IN.
LOW	(61) LIN. FEET OF VENTILATED SOFFIT (5 SQ. IN./FOOT) = 305 SQ. IN.
TOTAL VENTILATION PROVIDED:	611 SQ. IN.

AREA 2 / FIRST FLOOR ROOF (REAR)	
VENTILATION REQUIRED:	989 SQ. FT. / 500 = 3.2 SQ. FT.
ATTIC AREA	X 144 = 460.8 SQ. IN.
	X 50% = 230.4 SQ. IN.
VENTILATION PROVIDED:	
HIGH	(--) LIN. FEET OF RIDGE VENT AT (10 SQ. IN./FOOT) = --- SQ. IN.
LOW	(2) 5-144 ROOF VENT(S) AT (144 SQ. IN. EA.) = 288 SQ. IN.
TOTAL VENTILATION PROVIDED:	288 SQ. IN.

AREA 3 / PORCH	
VENTILATION REQUIRED:	X 113 SQ. FT. / 500 = .75 SQ. FT.
ATTIC AREA	X 144 = 108 SQ. IN.
VENTILATION PROVIDED:	
HIGH	(0) LIN. FEET OF RIDGE VENT AT (10 SQ. IN./FOOT) = 0 SQ. IN.
LOW	(1) LIN. FEET OF VENTILATED SOFFIT (5 SQ. IN./FOOT) = 5 SQ. IN.
	(1) 5-144 ROOF VENT(S) AT (144 SQ. IN. EA.) = 144 SQ. IN.
TOTAL VENTILATION PROVIDED:	149 SQ. IN.

NOTES:
 ALL VENT OPENINGS SHALL BE COVERED WITH 1/4" CORROSION RESISTANT METAL MESH.
 FRAMER SHALL BE RESPONSIBLE FOR COORDINATING WITH TRUSS MANUFACTURER TO ACCOMMODATE ALL ATTIC VENTS.
 ALL VENTS SHALL BE INSTALLED SO AS TO MAKE THEM WATER-PROOF & WALL MOUNTED LOUVERS SHALL BE SEALED & FLASHED IN ACCORDANCE WITH THE SAME MANNER PRESCRIBED FOR WINDOW INSTALLATION.
 PROVIDE APPROVED INSULATION DAMS (BAFFLES) WHERE VENT BLOCKS ARE USED BETWEEN ROOF FRAMING MEMBERS TO PREVENT VENT HOLES FROM BEING BLOCKED BY INSULATION.
 LOCATE HIGH VENTING MINIMUM 3'-0" VERTICAL DISTANCE ABOVE EAVES.
 WHEN GABLE END TRUSS MEMBERS BLOCK GABLE END VENTS, PROVIDE ADEQUATE ADDITIONAL VENTILATION BY MEANS OF ROOF TILE VENTS.



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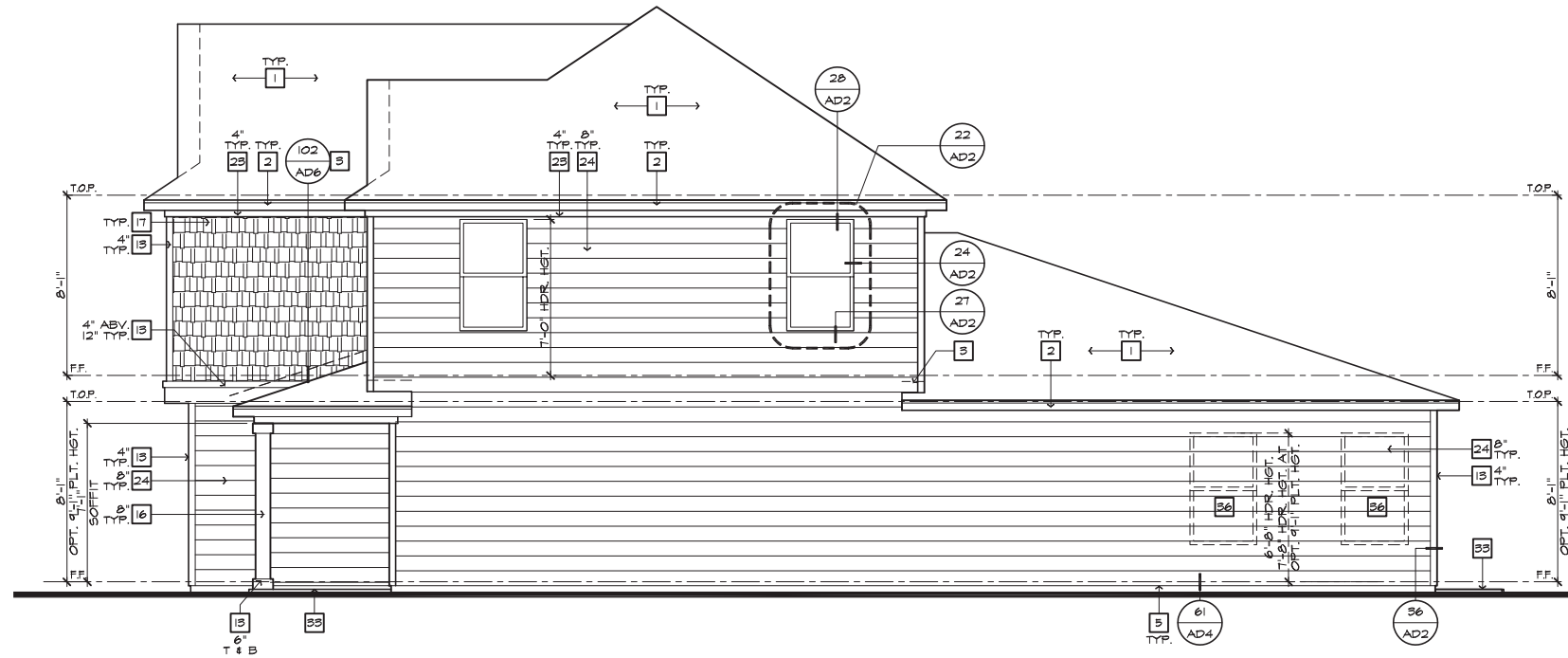
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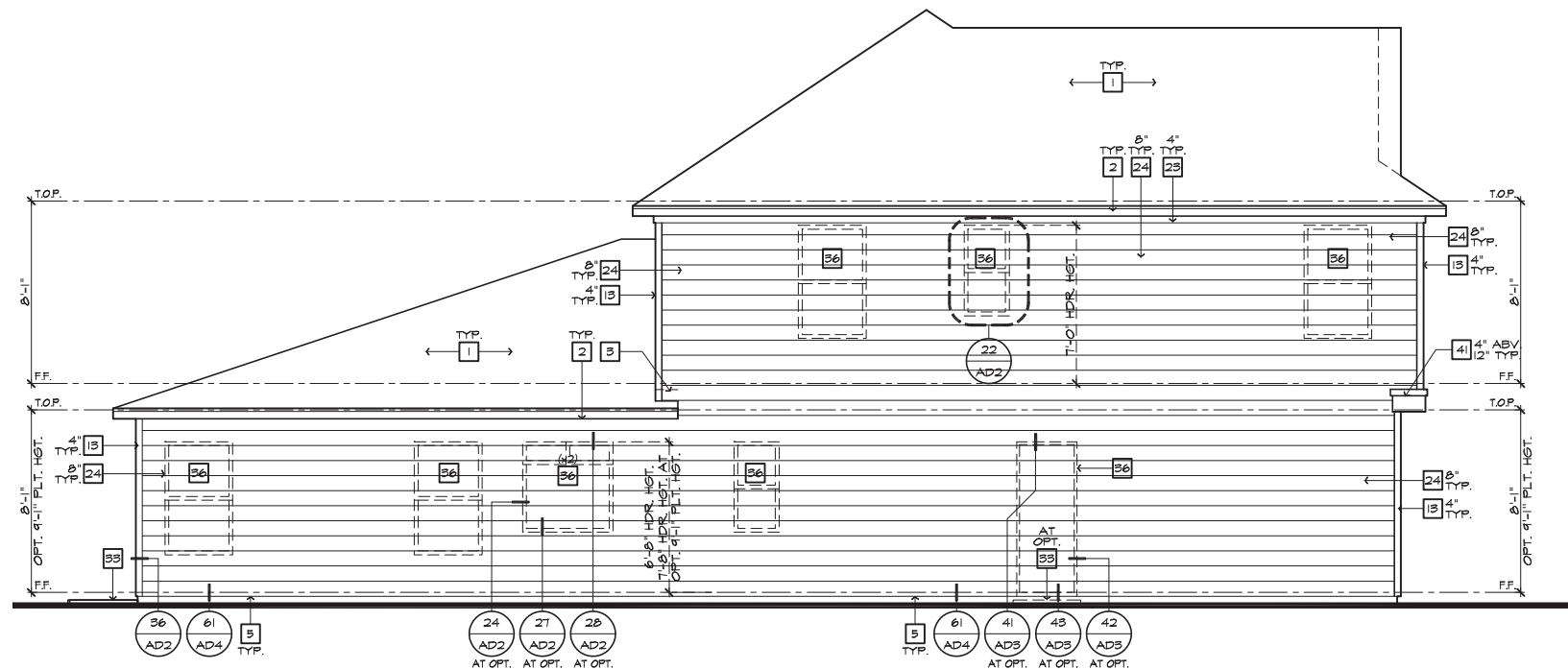
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RIGHT ELEVATION 'D'
SCALE 1/4"=1'-0" (22"X34") - 1/8"=1'-0" (11"X17")



LEFT ELEVATION 'D'
SCALE 1/4"=1'-0" (22"X34") - 1/8"=1'-0" (11"X17")

- | # | ELEVATION NOTES |
|---------------------------------------|---|
| NOTE: NOT ALL KEY NOTES APPLY. | |
| 1. | ROOF MATERIAL - REFER TO ROOF NOTES |
| 2. | 2X FASCIA/BARGE BOARD WITH FASCIA GAP |
| 3. | G.I. FLASHING |
| 4. | G.I. FLASHING & SADDLE/CRICKET |
| 5. | G.I. DRIP SCREED |
| 6. | 24"X24" CHIMNEY |
| 7. | DECORATIVE VENT |
| 8. | DECORATIVE CORBEL |
| 9. | DECORATIVE SHUTTERS |
| 10. | PEDIMENT, SEE ELEVATION FOR TYPE |
| 11. | RECESSED ELEMENT |
| 12. | DECORATIVE TRIM FYFON OR EQ. SEE ELEVATION FOR TYPE |
| 13. | TRIM - SEE ELEVATION FOR SIZE |
| 14. | SYNTHETIC MATERIAL |
| 15. | PRE-MANUFACTURED DECORATIVE COLUMN (SIZE, SEE ELEV.)
FYFON OR EQ. SURROUNDING STRUCTURAL POST. |
| 16. | SITE-BUILT COLUMN - SEE ELEVATION FOR TYPE |
| 17. | SHAKE SIDING |
| 18. | STONE VENEER PER SPECS |
| 19. | BRICK/MASONRY VENEER PER SPECS |
| 20. | BUILT UP BRICK COLUMN |
| 21. | SOLDIER COURSE |
| 22. | ROWLOCK COURSE |
| 23. | FRIEZE BOARD |
| 24. | SIDING W/ 4" CORNER TRIM PER SPECS |
| 25. | P.T. POST W/ WRAP - SEE STRUCTURAL FOR SIZE |
| 26. | PRE-FAB DECORATIVE TRIM |
| 27. | LIGHT WEIGHT PRECAST STONE TRIM |
| 28. | RAILINGS (436" U.N.O.) |
| 29. | VINYL WRAP |
| 30. | DECORATIVE WINDOW/DOOR TRIM - FYFON OR EQ. SEE
ELEVATION FOR SIZE. |
| 31. | BRACKET OR KICKER - FYFON OR EQ. |
| 32. | ENTRY DOOR |
| 33. | CONCRETE STOOP/ PORCH - SEE SLAB INTERFACE PLAN. |
| 34. | SECTIONAL GARAGE DOOR PER SPECS |
| 35. | ALUMINUM WRAP |
| 36. | OPTIONAL DOOR/WINDOW - REFER TO PLAN OPTIONS |
| 37. | OPTIONAL STANDING SEAM METAL ROOF |
| 38. | KEYSTONE |
| 39. | SOLDIER CROWN |
| 40. | JACK SOLDIER COURSE |
| 41. | WATER TABLE |
| 42. | ATRIUM DOOR |
| 43. | PILASTER - SEE ELEVATION FOR TYPE |

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3.	G.I. FLASHING
4.	G.I. FLASHING & SADDLE/CRICKET
5.	G.I. DRIP SCREED
6.	24"x24" CHIMNEY
7.	DECORATIVE VENT
8.	DECORATIVE CORBEL
9.	DECORATIVE SHUTTERS
10.	PEDIMENT, SEE ELEVATION FOR TYPE
11.	RECESSED ELEMENT
12.	DECORATIVE TRIM FYPON OR EQ. SEE ELEVATION FOR TYPE
13.	TRIM - SEE ELEVATION FOR SIZE
14.	SYNTHETIC MATERIAL
15.	PRE-MANUFACTURED DECORATIVE COLUMN (SIZE, SEE ELEV.) FYPON OR EQ. SURROUNDING STRUCTURAL POST.
16.	SITE-BUILT COLUMN - SEE ELEVATION FOR TYPE
17.	SHAKE SIDING
18.	STONE VENEER PER SPECS
19.	BRICK/MASONRY VENEER PER SPECS
20.	BUILT UP BRICK COLUMN
21.	SOLDIER COURSE
22.	ROWLOCK COURSE
23.	FRIEZE BOARD
24.	SIDING W/ 4" CORNER TRIM PER SPECS
25.	P.T. POST W/ WRAP - SEE STRUCTURAL FOR SIZE
26.	PRE-FAB DECORATIVE TRIM
27.	LIGHT WEIGHT PRECAST STONE TRIM
28.	RAILINGS (436" U.N.O.)
29.	VINYL WRAP
30.	DECORATIVE WINDOW/DOOR TRIM - FYPON OR EQ. SEE ELEVATION FOR SIZE.
31.	BRACKET OR KICKER - FYPON OR EQ.
32.	ENTRY DOOR
33.	CONCRETE STOOP/ PORCH - SEE SLAB INTERFACE PLAN.
34.	SECTIONAL GARAGE DOOR PER SPECS
35.	ALUMINUM WRAP
36.	OPTIONAL DOOR/WINDOW - REFER TO PLAN OPTIONS
37.	OPTIONAL STANDING SEAM METAL ROOF
38.	KEYSTONE
39.	SOLDIER CROWN
40.	JACK SOLDIER COURSE
41.	WATER TABLE
42.	ATRIUM DOOR
43.	PILASTER - SEE ELEVATION FOR TYPE

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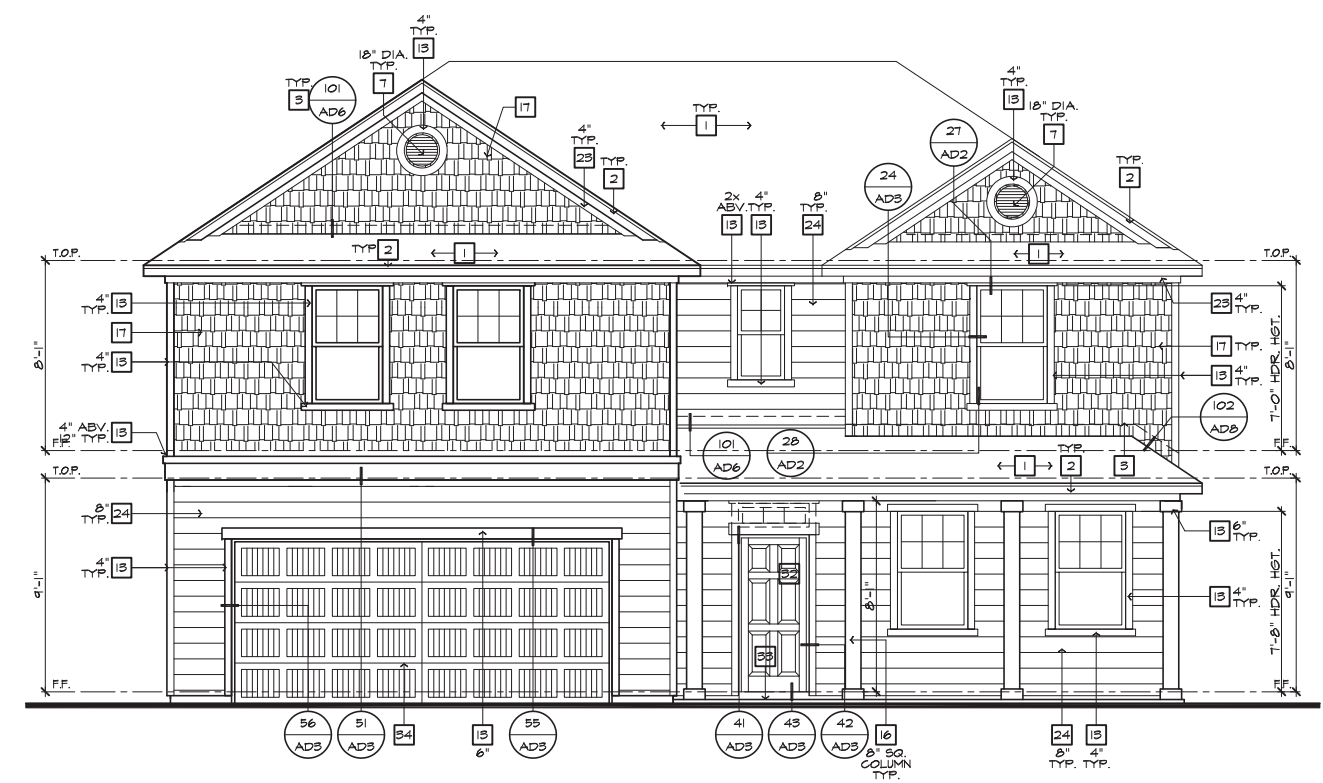
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**SPEC. LEVEL 1
RALEIGH-DURHAM
50' SERIES**



**FRONT ELEVATION 'D'
AT OPTIONAL 9'-1" PLT. HGT.**
SCALE 1/4"=1'-0" (22"X34") - 1/8"=1'-0" (11"X17")

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NORTH CAROLINA 50' SERIES

KB HOME
NORTH CAROLINA DIVISION
4518 S. MIAMI BLVD.
SUITE 180
DURHAM, NC 27703
TEL: (919) 768-7988
FAX: (919) 472-0582

2018 NORTH CAROLINA STATE BUILDING CODES

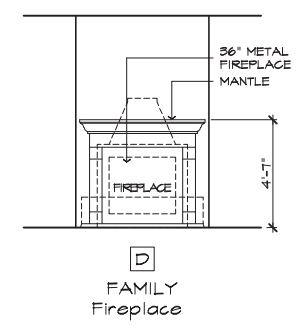
ISSUE DATE: 08/17/18
PROJECT No.: 1350999:57
DIVISION MGR.: D.S.
REVISIONS: 03/15/19

- 1 2018 CODE UPDATE NCI9215NCP/ 03/15/19 / CTD
- 2 DIVISION REVISIONS NCI9222NCP/ 03/15/19 / CTD
- 3 DIVISION REVISIONS NCI9223NCP/ 04/22/19 / FAB

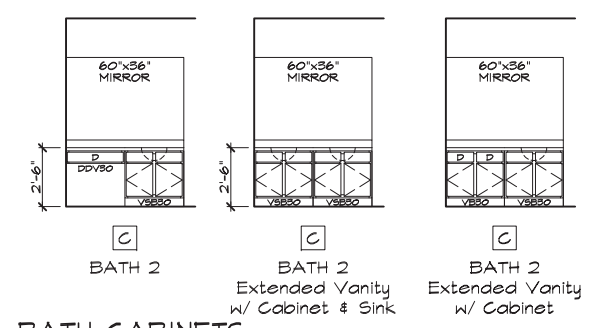
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SPEC. LEVEL 1 RALEIGH-DURHAM 50' SERIES

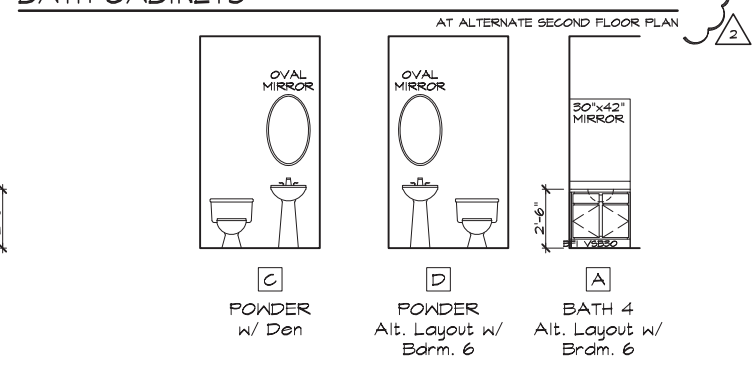
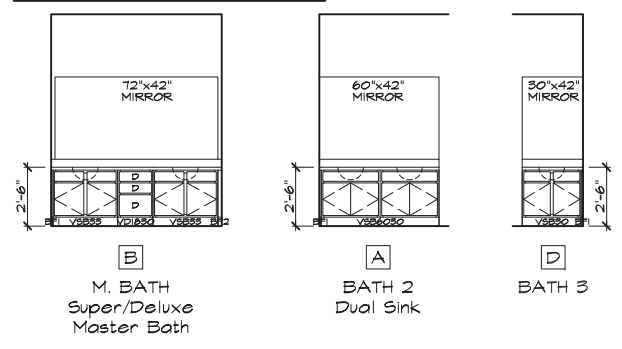


D FAMILY Fireplace

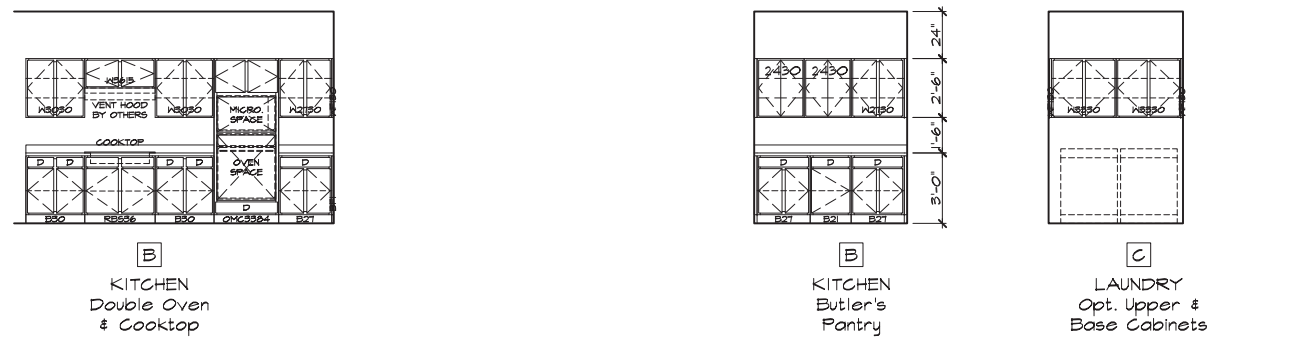


BATH CABINETS

MISC. CABINETS



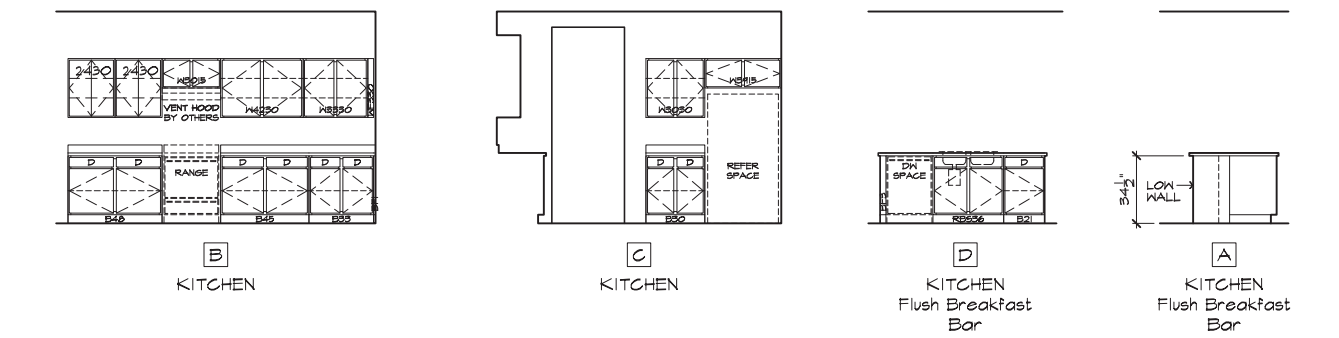
BATH CABINETS



KITCHEN CABINETS

OPTIONAL INTERIOR ELEVATIONS
SCALE: 1/4"=1'-0" (22'X34") - 1/8"=1'-0" (11'X17")

BATH CABINETS



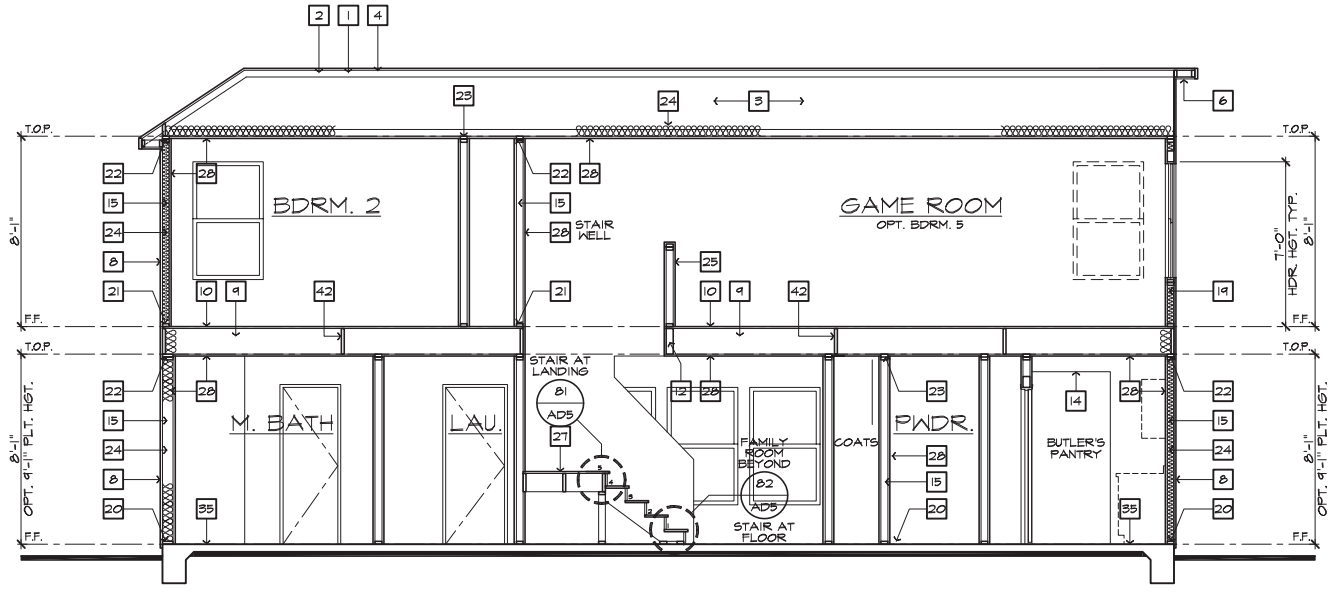
KITCHEN CABINETS

STANDARD INTERIOR ELEVATIONS
SCALE: 1/4"=1'-0" (22'X34") - 1/8"=1'-0" (11'X17")

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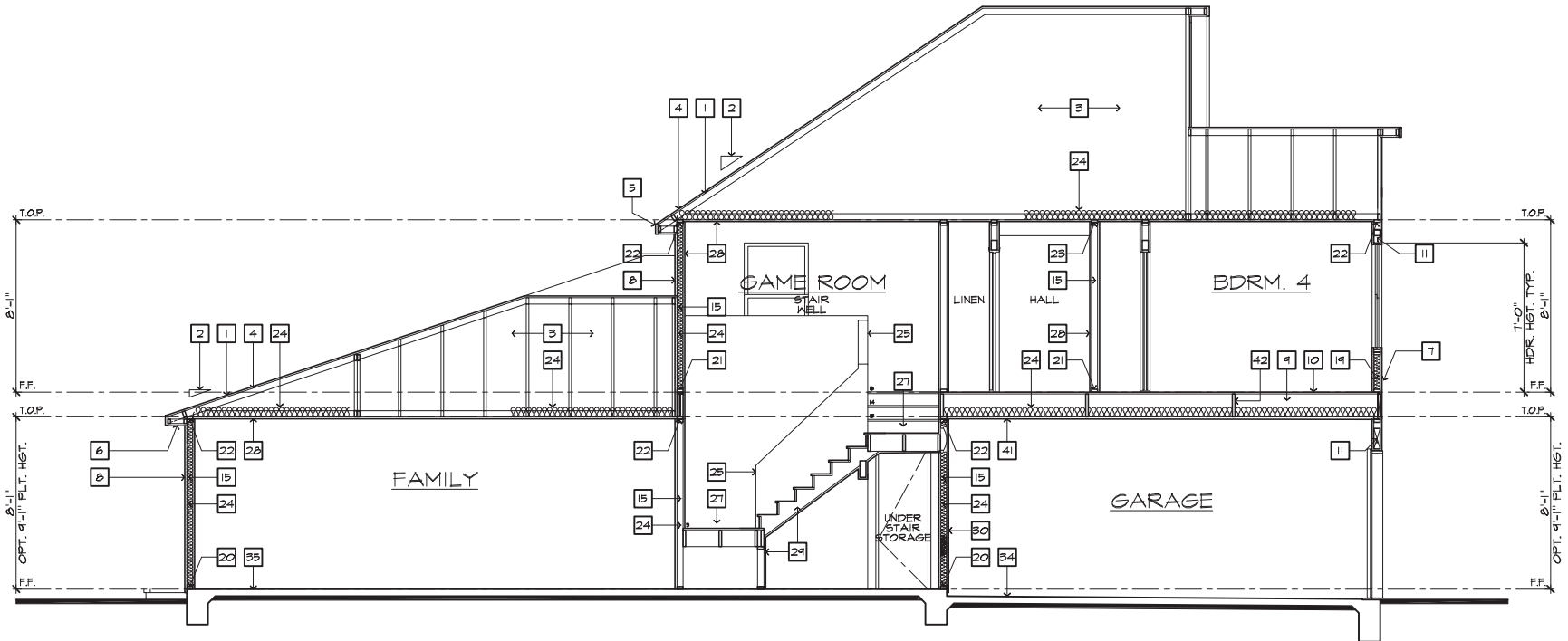
- # SECTION NOTES**
- NOTE: NOT ALL KEY NOTES APPLY.
1. ROOF MATERIAL - REFER TO ROOF NOTES
 2. ROOF PITCH - REFER TO ROOF NOTES
 3. PRE-MANUFACTURED WOOD ROOF TRUSS SYSTEM - SEE STRUCTURAL & TRUSS CALCS
 4. ROOF SHEATHING PER STRUCTURAL
 5. 2x FASCIA/BARGE BOARD
 6. CONT. SOFFITED EAVE W/ VENTING
 7. G.I. FLASHING - ROOF TO WALL
 8. EXTERIOR FINISH PER ELEVATIONS
 9. FLOOR FRAMING PER STRUCTURAL
 10. FLOOR SHEATHING PER STRUCTURAL
 11. HEADER PER STRUCTURAL
 12. FLUSH BEAM PER STRUCTURAL
 13. DROPPED BEAM PER STRUCTURAL
 14. FLAT/ ARCHED SOFFIT PER PLAN
 15. 2x4 STUD WALL
 16. 2x6 STUD WALL
 17. 2x6 BALLOON FRAMED WALL PER STRUCTURAL
 18. DEL. 2x4 WALL PER PLAN
 19. 2x CRIPPLES @ 16" O.C.
 20. 2x PRESSURE TREATED SILL PLATE
 21. 2x SOLE PLATE
 22. DEL. 2x TOP PLATE @ EXTERIOR & BEARING WALLS
 23. 1x OVER 2x TOP PLATE @ INTERIOR & NON-BEARING WALLS
 24. INSULATION MATERIAL PER ENERGY CALCULATIONS
 25. MIN. 36" HIGH GUARD - SEE PLAN FOR HEIGHT
 26. LOW WALL - SEE PLAN FOR HEIGHT
 27. STAIR TREADS AND RISERS PER PLAN: - MIN. 10" TREAD & MAX. 7 5/4" RISER
 28. INTERIOR FINISH - MIN. 1/2" GYP. BD. @ WALLS & SAG RESISTANT OR 5/8" DRYWALL @ CEILING
 29. MIN. 1/2" GYP. BD. ON CEILING & USEABLE SPACE UNDER STAIRS.
 30. GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BD. @ GARAGE SIDE WALLS & 5/8" UNDER LIVING AREA UNO.
 31. MATERIAL TO UNDERSIDE OF ROOF SHEATHING
 32. INTERIOR SHELF - MIN. 1/2" GYP. BD. OVER 3/8" PLY HD.
 33. CONCRETE PATIO/ PORCH SLAB PER STRUCTURAL - SLOPE 1/4" PER FT. MIN.
 34. CONCRETE GARAGE SLAB PER STRUCTURAL - SLOPE 2" MIN.
 35. CONCRETE FOUNDATION PER STRUCTURAL
 36. LINE OF OPTIONAL TRAY CEILING/ STEP CEILING
 37. LINE OF OPTIONAL VOLUME CEILING
 38. PROFILE OF OPTIONAL COVERED PATIO
 39. EXTERIOR SOFFIT MATERIAL - REFER TO ELEVATIONS.
 40. 8" BLOCK WALL
 41. 5/8" TYPE-X DRYWALL @ GARAGE CEILING
 42. WHEN THERE IS USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR-CEILING ASSEMBLY IN A SINGLE-FAMILY DWELLING, DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET. DRAFTSTOPPINGS SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS.



SECTION "A"

SCALE 1/4"=1'-0" (22'x34") - 1/8"=1'-0" (11'x17")

AT SLAB ON GRADE



SECTION "B"

SCALE 1/4"=1'-0" (22'x34") - 1/8"=1'-0" (11'x17")

AT SLAB ON GRADE

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3			

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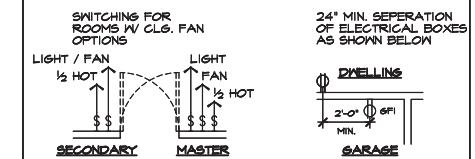
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RALEIGH-DURHAM
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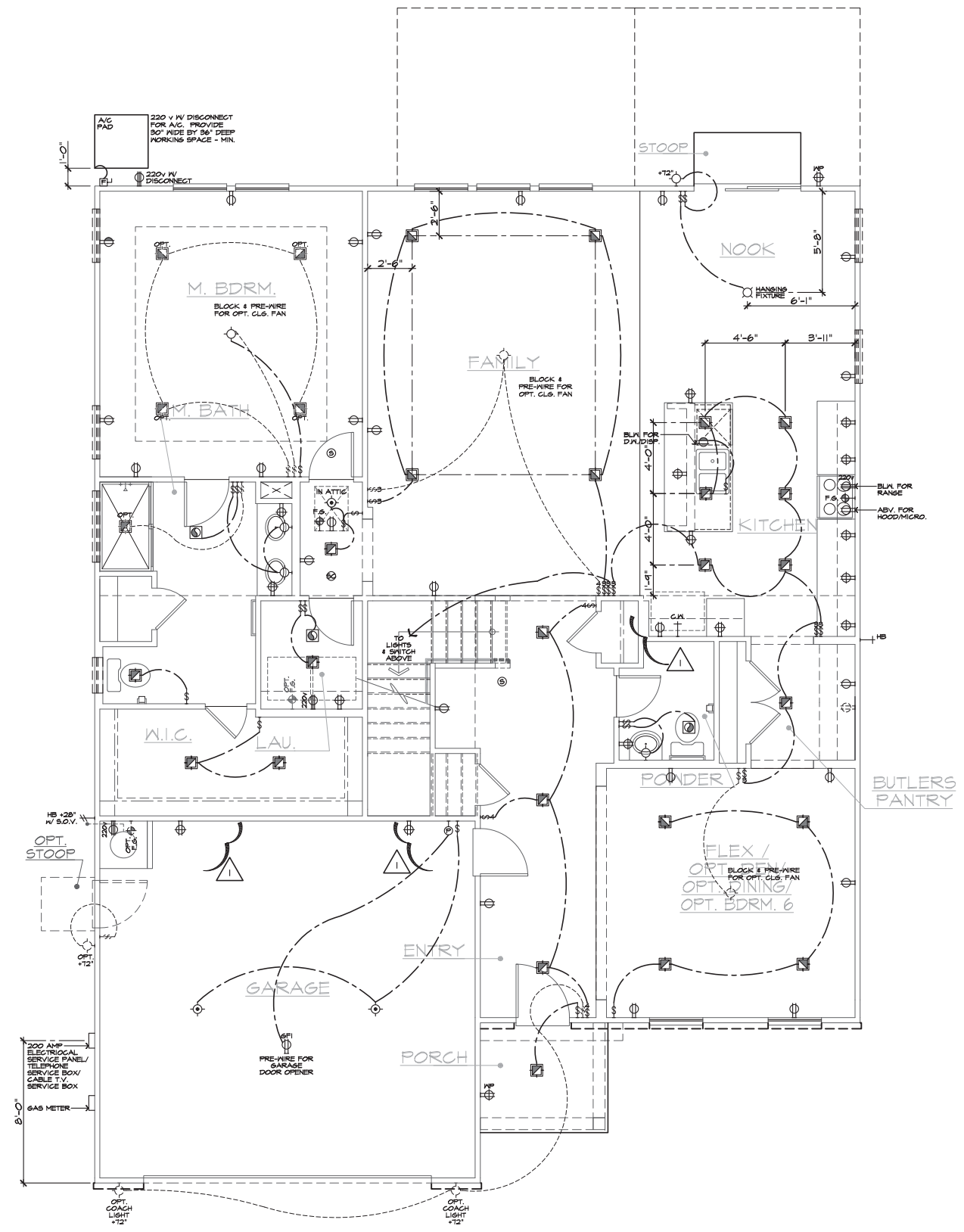
NOTE:
REFER TO BASIC UTILITY PLAN FOR INFORMATION NOT
SHOWN HERE

UTILITY LEGEND

- ⊕ 120V DUPLEX CONVENIENCE RECEPTACLE
ARC FAULT(AFCI) AND TAMPER RESISTANT(TR)
12" ABV. FIN. FLR. TYPICAL UNO.
- ⊕ 120V (TR) RECEPTACLE W/ GFI CIRCUIT
W/ WATER RESISTANT HOUSING
- ⊕ 60V 120V (TR) RECEPTACLE W/ GFI CIRCUIT
- ⊕ FUSED DISCONNECT
- 120V (AFCI & TR) RECESSED FLOOR
RECEPTACLE W/ COVER
- ⊕ 120V (AFCI & TR) DUPLEX CONVENIENCE RECEPTACLE
SWITCH CONTROLLED, 1/2 HOT
- ⊕ 220 v 220V SINGLE CONVENIENCE RECEPTACLE
HEIGHT NOTED AS PER PLAN
- ⊕ 2 TWO-POLE LIGHT SWITCH AT 42" ABV. FIN. FLR.
8" ABOVE COUNTER UNO.
- ⊕ 3 THREE-POLE LIGHT SWITCH
- ⊕ 4 FOUR-POLE LIGHT SWITCH
- ⊕ W.P. WALL MOUNTED LIGHT FIXTURE
W/ WATER RESISTANT HOUSING
- ⊕ WALL MOUNTED INCANDESCENT
LIGHT FIXTURE
- ⊕ WALL MOUNTED FLUORESCENT
LIGHT FIXTURE
- ⊕ CEILING MOUNTED INCANDESCENT
LIGHT FIXTURE
- ⊕ CEILING MOUNTED FLUORESCENT
LIGHT FIXTURE
- ⊕ HANGINGS INCANDESCENT
LIGHT FIXTURE
- ⊕ RECESSED INCANDESCENT DIRECTIONAL
LIGHT FIXTURE (EYE BALL)
- ⊕ RECESSED INCANDESCENT LIGHT FIXTURE
LIGHTING - TRAVERSE II LED FIXTURE - PER
SPECS
- ⊕ W.P. RECESSED INCANDESCENT LIGHT FIXTURE
W/ WATER RESISTANT HOUSING
- ⊕ RECESSED FLUORESCENT LIGHT FIXTURE
- ⊕ RECESSED EXHAUST FAN
- ⊕ RECESSED EXHAUST FAN/ INCANDESCENT
LIGHT COMBINATION
- ⊕ RECESSED EXHAUST FAN/ FLUORESCENT
LIGHT COMBINATION
- ⊕ INCANDESCENT WALL SCONCE
- ⊕ ILLUMINATED ADDRESS SIGN - VISIBLE
FROM STREET
- ⊕ 24"x48" FLUORESCENT LIGHT
BOX (CEILING MOUNTED)
- ⊕ 12"x48" FLUORESCENT LIGHT
BOX (CEILING MOUNTED)
- ⊕ OPTIONAL PRE-WIRED CEILING FAN
AND SWITCH - LOCATED IN CENTER OF ROOM UNO.
- ⊕ CEILING MOUNTED JUNCTION BOX
- ⊕ WALL MOUNTED JUNCTION BOX
- ⊕ DOOR CHIME
- ⊕ CATV RECEPTACLE
- ⊕ PUSH BUTTON
- ⊕ PHONE OUTLET
- ⊕ SERVICE BOX
- ⊕ HOSE BIB
- ⊕ HOSE BIB W/ S.O.V.
- ⊕ WATER STUB FOR ICE MAKER
- ⊕ APPROVED CEILING MOUNTED
SMOKE DETECTOR TO BE HARD WIRED
WITH BATTERY BACK-UP AND INTERCONNECTED
- ⊕ APPROVED CARBON MONOXIDE ALARM/ SMOKE DET.
- ⊕ THERMOSTAT (VERIFY LOCATION W/ HVAC PLAN)
- ⊕ GAS TAP
- ⊕ GAS KEY - FIREPLACE GAS VALVES SHALL BE
LOCATED OUTSIDE OF REQUIRED HEARTH AREA,
BUT NO MORE THAN 48" FROM GAS OUTLET



- NOTES**
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 2. PROVIDE SWITCH, LIGHT, 120V (AFCI & TR) DUPLEX RECEPTACLE & FUEL GAS STUB OR 220V RECEPTACLE IN ATTIC FOR F.A.U. - PER COMMUNITY SPECIFICATIONS.
 3. SMOKE DETECTORS IN ROOMS WITH VOLUME CEILING TO BE LOCATED AT HIGHEST POINT OF CEILING
 4. 20 FOOT #4 REBAR FOR UFER GROUND AND ADDITIONAL COLD WATER GROUND. REFER TO SLAB INTERFACE PLAN FOR LOCATION.
 5. 200 AMP ELECTRICAL PANEL (DEFAULT). ELECTRICAL PLAN CHECK PERMIT REQUIRED IF LOAD EXCEED 400 AMPS.



FIRST FLOOR UTILITY PLAN
SCALE 1/4"=1'-0" (22'X34") - 1/8"=1'-0" (11'X17")

BASIC PLAN



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NC19028NCP/ 04/22/19 / FAB
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NC19041NCP/ 06/12/19 / MCP

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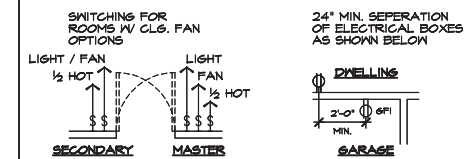
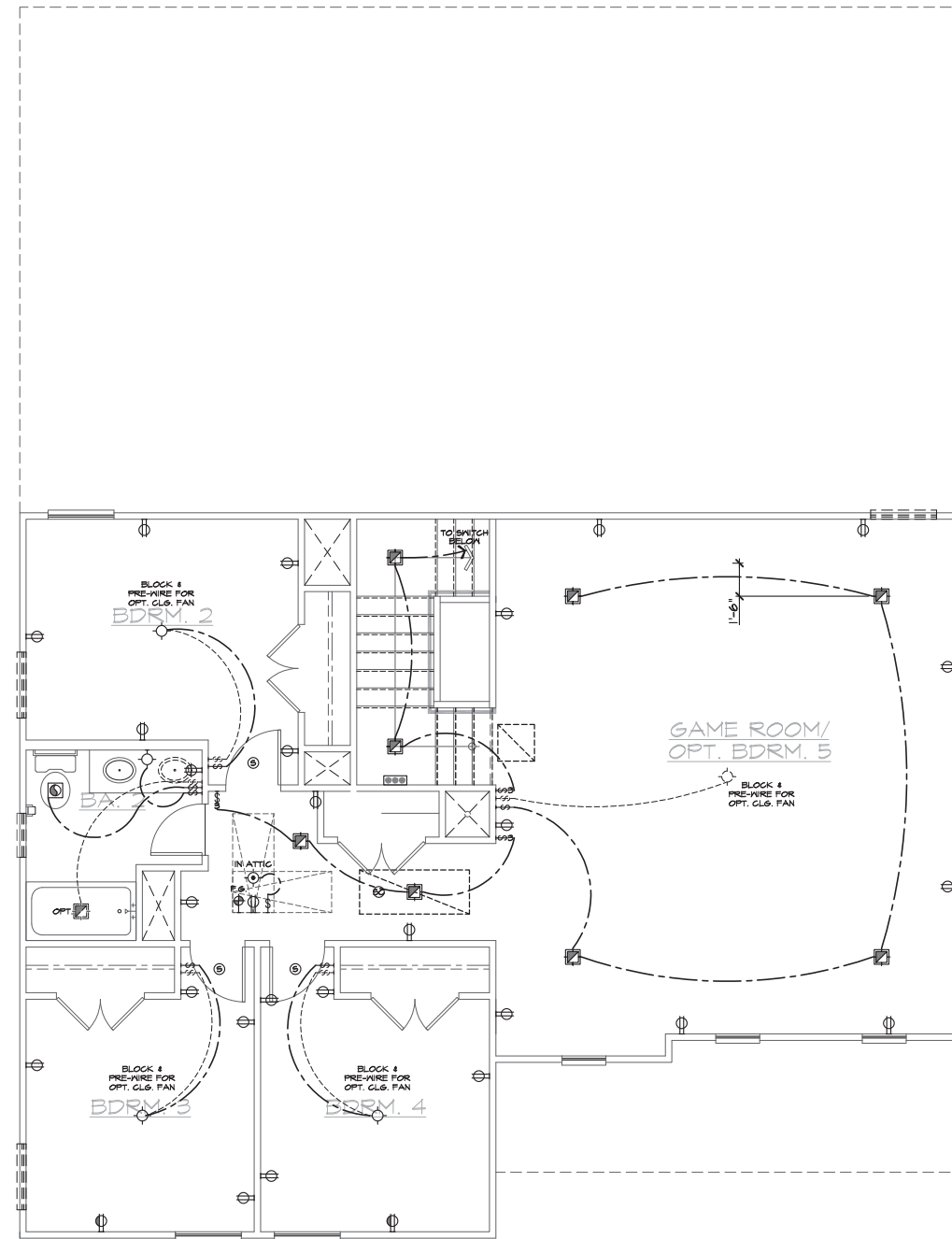
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W/ WATER RESISTANT HOUSING
- ⊕ 6PF 120V (TR) RECEPTACLE W/ 6PF CIRCUIT
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- 120V (AFCI & TR) RECESSED FLOOR
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LIGHT FIXTURE
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LIGHT FIXTURE
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- ⊕ HOSE BIB
- ⊕ HOSE BIB W/ S.O.V.
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- ⊕ APPROVED CARBON MONOXIDE ALARM/ SMOKE DET.
- ⊕ THERMOSTAT (VERIFY LOCATION W/ HVAC PLAN)
- ⊕ GAS TAP
- ⊕ GAS KEY - FIREPLACE GAS VALVES SHALL BE
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 5. 200 AMP ELECTRICAL PANEL (DEFAULT). ELECTRICAL PLAN CHECK PERMIT REQUIRED IF LOAD EXCEED 400 AMPS.

SECOND FLOOR UTILITY PLAN
SCALE 1/4"=1'-0" (22'x34') - 1/8"=1'-0" (11'x17')

BASIC PLAN



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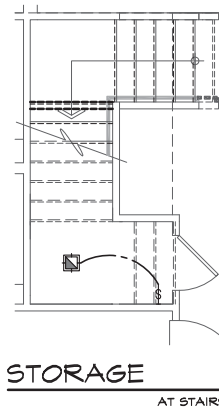
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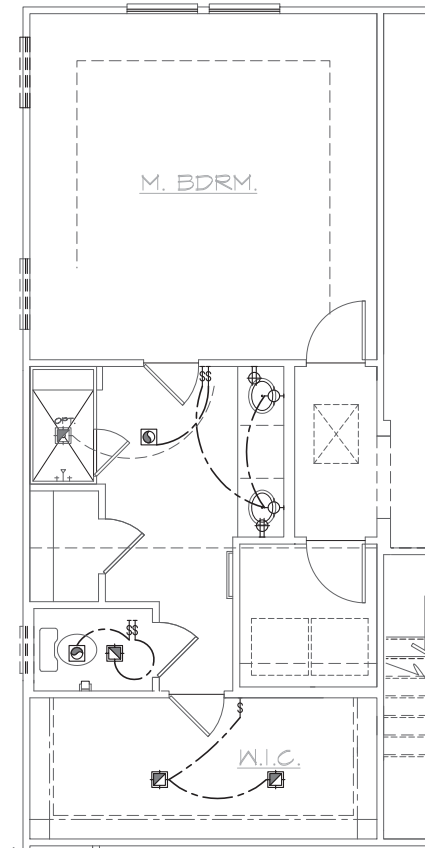
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SHEET:
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UTILITY LEGEND	
	120V DUPLEX CONVENIENCE RECEPTACLE ARC FAULT (AFCI) AND TAMPER RESISTANT (TR) 12\"/>
	120V (TR) RECEPTACLE W/ GFI CIRCUIT W/ WATER RESISTANT HOUSING
	120V (TR) RECEPTACLE W/ GFI CIRCUIT
	FUSED DISCONNECT
	120V (AFCI & TR) RECESSED FLOOR RECEPTACLE W/ COVER
	120V (AFCI & TR) DUPLEX CONVENIENCE RECEPTACLE SWITCH CONTROLLED, 1/2 HOT
	220V SINGLE CONVENIENCE RECEPTACLE HEIGHT NOTED AS PER PLAN
	TWO-POLE LIGHT SWITCH AT 42\"/>
	THREE-POLE LIGHT SWITCH
	FOUR-POLE LIGHT SWITCH
	WALL MOUNTED LIGHT FIXTURE W/ WATER RESISTANT HOUSING
	WALL MOUNTED INCANDESCENT LIGHT FIXTURE
	WALL MOUNTED FLUORESCENT LIGHT FIXTURE
	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
	CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
	HANGING INCANDESCENT LIGHT FIXTURE
	RECESSED INCANDESCENT DIRECTIONAL LIGHT FIXTURE (EYE BALL)
	RECESSED INCANDESCENT LIGHT FIXTURE
	LIGHTING - TRAVERSE II LED FIXTURE - PER SPECS
	RECESSED INCANDESCENT LIGHT FIXTURE W/ WATER RESISTANT HOUSING
	RECESSED FLUORESCENT LIGHT FIXTURE
	RECESSED EXHAUST FAN
	RECESSED EXHAUST FAN/ INCANDESCENT LIGHT COMBINATION
	RECESSED EXHAUST FAN/ FLUORESCENT LIGHT COMBINATION
	INCANDESCENT WALL SCONCE
	ILLUMINATED ADDRESS SIGN - VISIBLE FROM STREET
	24\"/>
	12\"/>
	OPTIONAL PRE-WIRED CEILING FAN AND SWITCH - LOCATED IN CENTER OF ROOM UNNO.
	CEILING MOUNTED JUNCTION BOX
	WALL MOUNTED JUNCTION BOX
	DOOR CHIME
	CATY RECEPTACLE
	PUSH BUTTON
	PHONE OUTLET
	SERVICE BOX
	HOSE BIB
	HOSE BIB W/ S.O.V.
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	APPROVED CEILING MOUNTED SMOKE DETECTOR TO BE HARD WIRED WITH BATTERY BACK-UP AND INTERCONNECTED
	APPROVED CARBON MONOXIDE ALARM/ SMOKE DET.
	THERMOSTAT (VERIFY LOCATION W/ HVAC PLAN)
	GAS TAP
	GAS KEY - FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA, BUT NO MORE THAN 48\"/>
	SWITCHING FOR ROOMS W/ CLS. FAN OPTIONS
	24\"/>
	DWELLING

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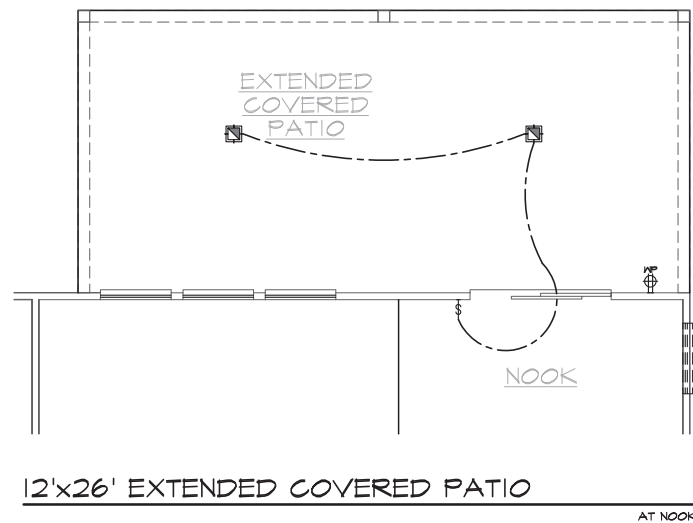
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5.3

SPEC. LEVEL 1

**RALEIGH-DURHAM
50' SERIES**

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12'x26' EXTENDED COVERED PATIO

AT NOOK

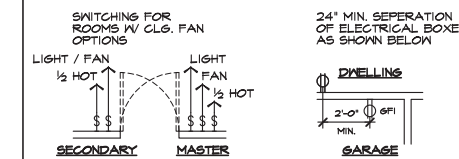
FIRST FLOOR UTILITY PLAN OPTIONS

SCALE 1/4"=1'-0" (22'x34") - 1/8"=1'-0" (11'x17")

NOTE:
REFER TO BASIC UTILITY PLAN FOR INFORMATION NOT
SHOWN HERE

UTILITY LEGEND

- ⊕ 120V DUPLEX CONVENIENCE RECEPTACLE
ARC FAULT(AFCI) AND TAMPER RESISTANT(TR)
12" ABV. FIN. FLR. TYPICAL UNO.
- ⊕ 6FI 120V (TR) RECEPTACLE W/ 6FI CIRCUIT
W/ WATER RESISTANT HOUSING
- ⊕ 6FI 120V (TR) RECEPTACLE W/ 6FI CIRCUIT
- ⊕ FUSED DISCONNECT
- 120V (AFCI & TR) RECESSED FLOOR
RECEPTACLE W/ COVER
- ⊕ 120V (AFCI & TR) DUPLEX CONVENIENCE RECEPTACLE
SWITCH CONTROLLED, 1/2 HOT
- ⊕ 220 v 220V SINGLE CONVENIENCE RECEPTACLE
HEIGHT NOTED AS PER PLAN
- ⊕ 42" 120V TWO-POLE LIGHT SWITCH AT 42" ABV. FIN. FLR.
8" ABOVE COUNTER UNO.
- ⊕ 3 120V THREE-POLE LIGHT SWITCH
- ⊕ 4 120V FOUR-POLE LIGHT SWITCH
- ⊕ W.P. WALL MOUNTED LIGHT FIXTURE
W/ WATER RESISTANT HOUSING
- ⊕ WALL MOUNTED INCANDESCENT
LIGHT FIXTURE
- ⊕ WALL MOUNTED FLUORESCENT
LIGHT FIXTURE
- ⊕ CEILING MOUNTED INCANDESCENT
LIGHT FIXTURE
- ⊕ CEILING MOUNTED FLUORESCENT
LIGHT FIXTURE
- ⊕ HANGINGS INCANDESCENT
LIGHT FIXTURE
- ⊕ RECESSED INCANDESCENT DIRECTIONAL
LIGHT FIXTURE (EYE BALL)
- ⊕ RECESSED INCANDESCENT LIGHT FIXTURE
LIGHTING - TRAVERSE II LED FIXTURE - PER
SPECS
- ⊕ W.P. RECESSED INCANDESCENT LIGHT FIXTURE
W/ WATER RESISTANT HOUSING
- ⊕ RECESSED FLUORESCENT LIGHT FIXTURE
- ⊕ RECESSED EXHAUST FAN
- ⊕ RECESSED EXHAUST FAN/ INCANDESCENT
LIGHT COMBINATION
- ⊕ RECESSED EXHAUST FAN/ FLUORESCENT
LIGHT COMBINATION
- ⊕ INCANDESCENT WALL SCONCE
- ⊕ ILLUMINATED ADDRESS SIGN - VISIBLE
FROM STREET
- ⊕ 24"x48" FLUORESCENT LIGHT
BOX (CEILING MOUNTED)
- ⊕ 12"x48" FLUORESCENT LIGHT
BOX (CEILING MOUNTED)
- ⊕ OPTIONAL PRE-WIRED CEILING FAN
AND SWITCH - LOCATED IN CENTER OF ROOM UNO.
- ⊕ CEILING MOUNTED JUNCTION BOX
- ⊕ WALL MOUNTED JUNCTION BOX
- ⊕ DOOR CHIME
- ⊕ CATY RECEPTACLE
- ⊕ PUSH BUTTON
- ⊕ PHONE OUTLET
- ⊕ SERVICE BOX
- ⊕ HOSE BIB
- ⊕ HOSE BIB W/ S.O.V.
- ⊕ WATER STUB FOR ICE MAKER
- ⊕ APPROVED CEILING MOUNTED
SMOKE DETECTOR TO BE HARD WIRED
WITH BATTERY BACK-UP AND INTERCONNECTED
- ⊕ APPROVED CARBON MONOXIDE ALARM/ SMOKE DET.
- ⊕ THERMOSTAT (VERIFY LOCATION W/ HVAC PLAN)
- ⊕ GAS TAP
- ⊕ GAS KEY - FIREPLACE GAS VALVES SHALL BE
LOCATED OUTSIDE OF REQUIRED HEARTH AREA,
BUT NO MORE THAN 48" FROM GAS OUTLET



NOTES

1. MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT. ALL HEIGHTS SHOWN ARE TO CENTERLINE OF FIXTURE.
2. PROVIDE SWITCH, LIGHT, 120V (AFCI & TR) DUPLEX RECEPTACLE & FUEL GAS STUB OR 220V RECEPTACLE IN ATTIC FOR F.A.U. - PER COMMUNITY SPECIFICATIONS.
3. SMOKE DETECTORS IN ROOMS WITH VOLUME CEILING TO BE LOCATED AT HIGHEST POINT OF CEILING
4. 20 FOOT #4 REBAR FOR UFER GROUND AND ADDITIONAL COLD WATER GROUND. REFER TO SLAB INTERFACE PLAN FOR LOCATION.
5. 200 AMP ELECTRICAL PANEL (DEFAULT). ELECTRICAL PLAN CHECK PERMIT REQUIRED IF LOAD EXCEED 400 AMPS.



NORTH CAROLINA
50' SERIES

KB HOME
NORTH CAROLINA DIVISION
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2018 NORTH
CAROLINA STATE
BUILDING
CODES

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- 2 DIVISION REVISIONS
NC19022NC/ 03/15/19 / CTD
- 3 DIVISION REVISIONS
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- 4 DIVISION REVISIONS
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PLAN:
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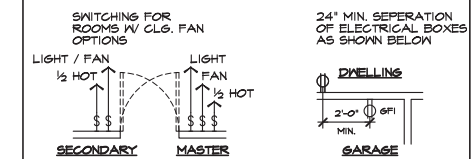
SPEC. LEVEL 1
RALEIGH-DURHAM
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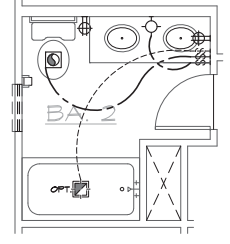
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- ⊕ FUSED DISCONNECT
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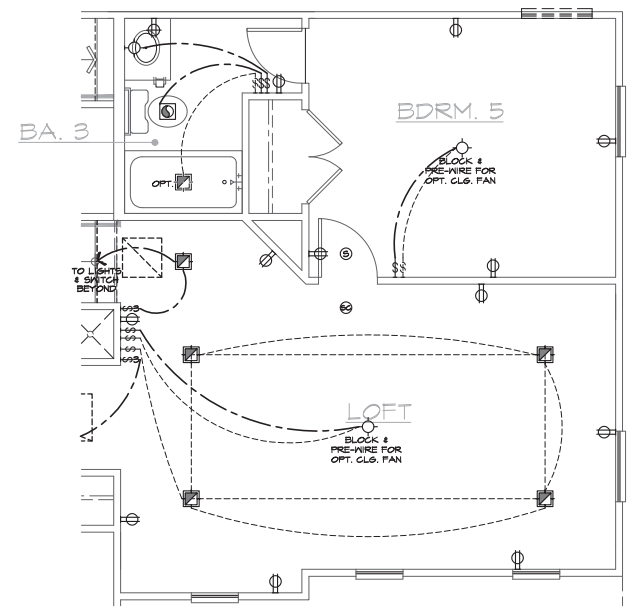


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DUAL SINK
AT BATH 2



BEDROOM 5 W/ BATH 3 AND LOFT
AT GAME ROOM

SECOND FLOOR UTILITY PLAN OPTIONS

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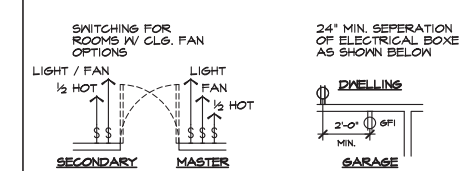
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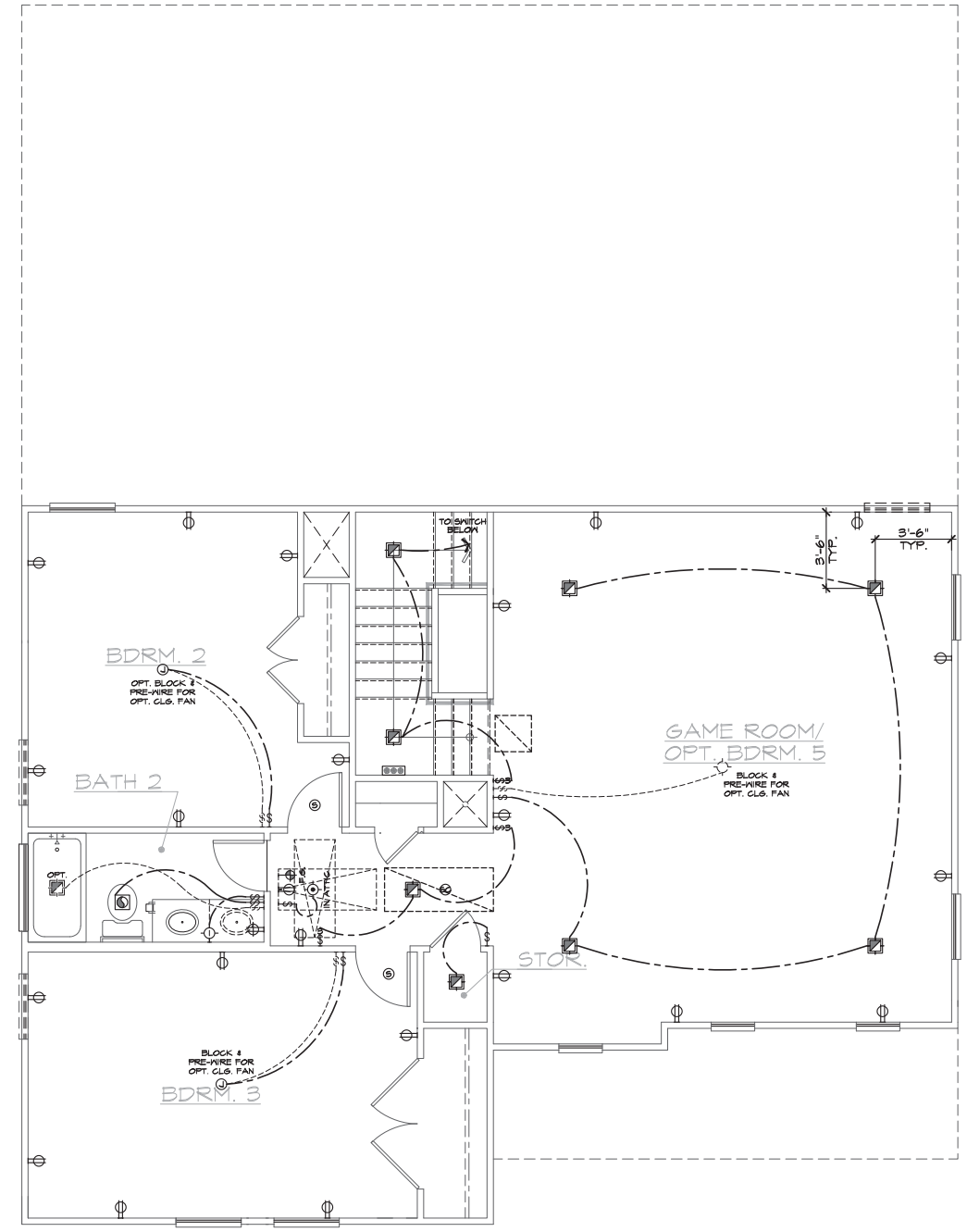


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ENLARGED BEDROOM 2 & 3 UTILITY PLAN - ('A', 'B', 'C', 'D' SIM.)
SCALE 1/4"=1'-0" (22"x34") - 1/8"=1'-0" (11"x17")



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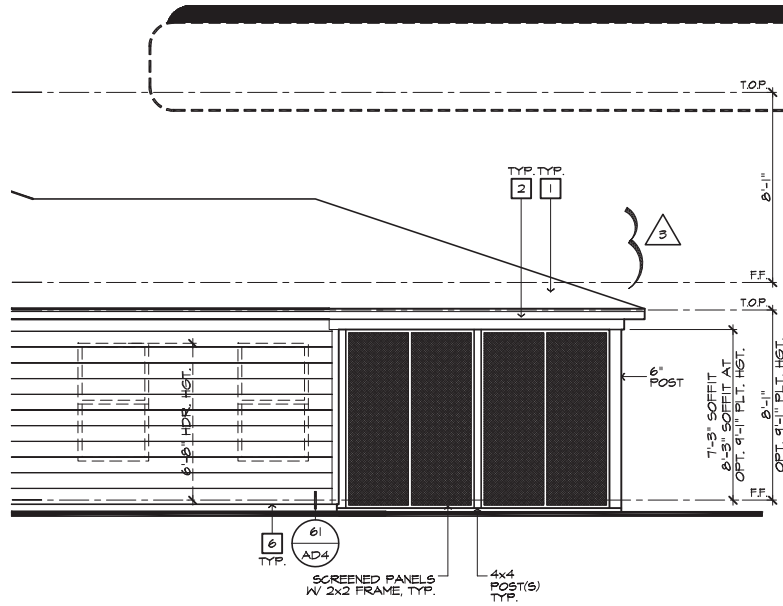
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PLAN:
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SHEET:
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**SPEC. LEVEL 1
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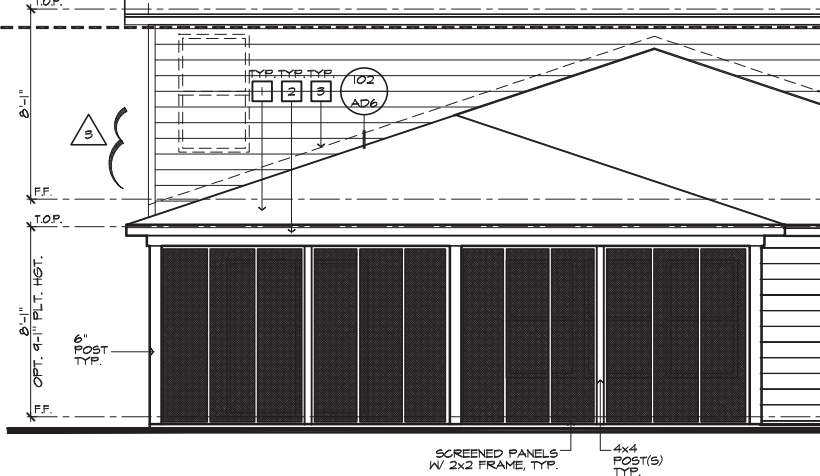
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PARTIAL RIGHT ELEVATION

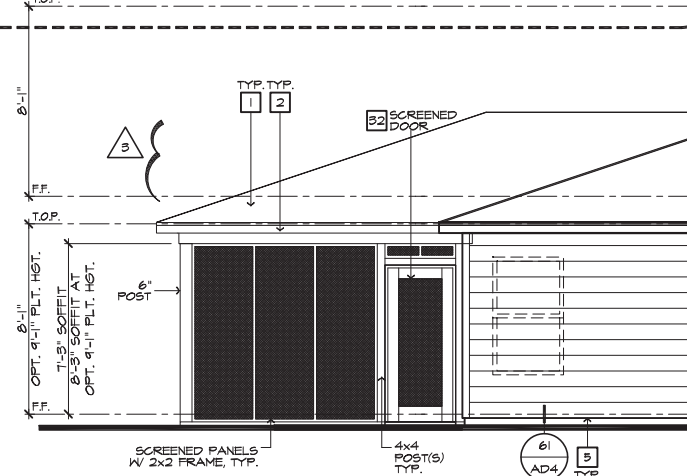
SCALE 1/4"=1'-0" (22"X34") - 1/8"=1'-0" (11"X17")

REFER TO BASIC ELEVATION FOR INFORMATION NOT SHOWN HERE



PARTIAL REAR ELEVATION

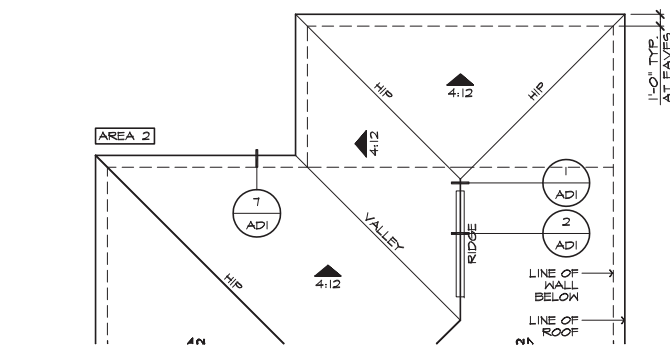
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PARTIAL LEFT ELEVATION

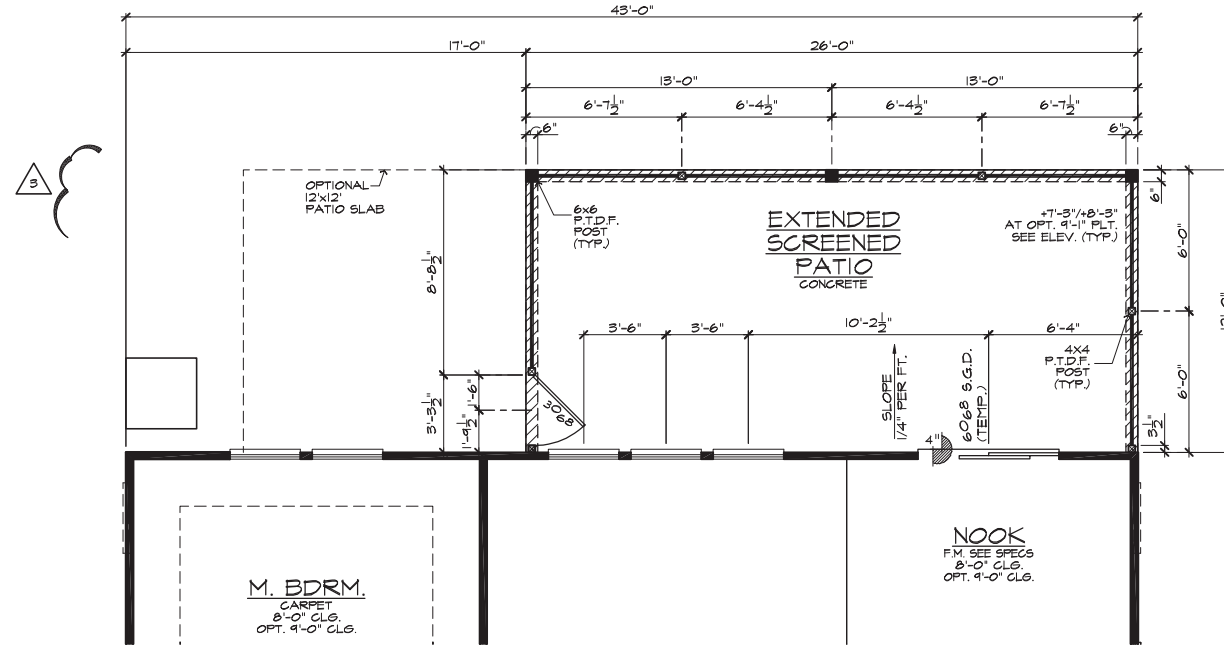
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ROOF PLAN NOTES 'A/B/C/D'	
	INDICATES ROOF SLOPE AND DIRECTION, UNO.
ROOF MATERIAL: COMPOSITION SHINGLE	
12" (INCHES) TYPICAL ROOF OVERHANGS AT RAKE, UNO.	
12" (INCHES) TYPICAL ROOF OVERHANGS AT EAVE, UNO.	
LOCATE EAVES/ RAFTER VENTS EQUALLY BALANCED AROUND HOUSE EXCEPT ABOVE SHEARWALL PANELS.	
ATTIC VENT CALCULATIONS	
PROVIDE 1 SQ. IN. OF VENTILATION PER 500 SQ. IN. OF ATTIC SPACE. PROVIDE THAT AT LEAST 50% & NO MORE THAN 80% OF THE REQ. VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC. (HIGH VENTING) AT 3'-0" ABOVE EAVE VENT WITH THE BALANCE BEING PROVIDED BY EAVE VENTS. (LOW VENTING) (2010 N.C.-R 806.2) * CALCULATION BY 1/150, HIGH/LOW VENTING NOT REQUIRED.	
APPROXIMATE RIDGE VENT LOCATIONS SHOWN. ACTUAL LOCATIONS TO BE DETERMINED IN THE FIELD.	
AREA 2 / FIRST FLOOR (REAR) W/ OPT. 10x10 COVERED PATIO	
VENTILATION REQUIRED:	144 SQ. FT. / 500 = 3.80 SQ. FT.
ATTIC AREA	X 144 = 547.2 SQ. IN.
	X 50% = 273.6 SQ. IN.
VENTILATION PROVIDED:	
HIGH	
(2) 5-144 ROOF VENT(S) AT	(144 SQ. IN. EA.) = 288 SQ. IN.
LOW	
(4) LIN. FEET OF RIDGE VENT AT	(18 SQ. IN./FOOT) = 162 SQ. IN.
(115) LIN. FEET OF VENTILATED SOFFIT	(5 SQ. IN./FOOT) = 565 SQ. IN.
TOTAL VENTILATION PROVIDED:	1015 SQ. IN.



PARTIAL ROOF PLAN

SCALE 1/8"=1'-0" (22"X34") - 1/16"=1'-0" (11"X17")



PARTIAL FIRST FLOOR PLAN

SCALE 1/4"=1'-0" (22"X34") - 1/8"=1'-0" (11"X17")

#	ELEVATION NOTES
NOTE: NOT ALL KEY NOTES APPLY.	
1.	ROOF MATERIAL - REFER TO ROOF NOTES
2.	2X FASCIA/BARGE BOARD WITH FASCIA CAP
3.	G.I. FLASHING
4.	G.I. FLASHING & SADDLE/CRICKET
5.	G.I. DRIP SCREED
6.	24"x24" CHIMNEY
7.	DECORATIVE VENT
8.	DECORATIVE CORBEL
9.	DECORATIVE SHUTTERS
10.	PEDIMENT. SEE ELEVATION FOR TYPE
11.	REGESSED ELEMENT
12.	DECORATIVE TRIM FYFON OR EQ. SEE ELEVATION FOR TYPE
13.	TRIM - SEE ELEVATION FOR SIZE
14.	SYNTHETIC MATERIAL
15.	PRE-MANUFACTURED DECORATIVE COLUMN (SIZE, SEE ELEV.) FYFON OR EQ. SURROUNDING STRUCTURAL POST.
16.	SITE-BUILT COLUMN - SEE ELEVATION FOR TYPE
17.	SHAKE SIDING
18.	STONE VENEER PER SPECS
19.	BRICK/MASONRY VENEER PER SPECS
20.	BUILT UP BRICK COLUMN
21.	SOLDIER COURSE
22.	ROWLOCK COURSE
23.	FRIEZE BOARD
24.	SIDING W/ 4" CORNER TRIM PER SPECS
25.	P.T. POST W/ WRAP - SEE STRUCTURAL FOR SIZE
26.	PRE-FAB DECORATIVE TRIM
27.	LIGHT WEIGHT PRECAST STONE TRIM
28.	RAILINGS (36" UNO.)
29.	VINYL WRAP
30.	DECORATIVE WINDOW/DOOR TRIM - FYFON OR EQ. SEE ELEVATION FOR SIZE.
31.	BRACKET OR KICKER - FYFON OR EQ.
32.	ENTRY DOOR
33.	CONCRETE STOOP/ PORCH - SEE SLAB INTERFACE PLAN.
34.	SECTIONAL GARAGE DOOR PER SPECS
35.	ALUMINUM WRAP
36.	OPTIONAL DOOR/WINDOW - REFER TO PLAN OPTIONS
37.	OPTIONAL STANDING SEAM METAL ROOF
38.	KEYSTONE
39.	SOLDIER CROWN
40.	JACK SOLDIER COURSE
41.	WATER TABLE
42.	ATRIUM DOOR
43.	FILASTER - SEE ELEVATION FOR TYPE

#	PARTIAL PLAN NOTES
NOTE: NOT ALL KEY NOTES APPLY.	
27.	WATER HEATER LOCATION - FOR GAS - LOCATE ON 18" HIGH PLATFORM - FOR INTERIOR LOCATION - PROVIDE PAN & DRAIN (REFER TO DETAILS)
28.	WATER HEATER 'B' VENT TO OUTSIDE AIR
29.	MAIN LINE SHUT-OFF VALVE AND TEMP. & PRESSURE RELIEF VALVE
39.	LINE OF WALL BELOW
41.	LINE OF FLOOR ABOVE
42.	LINE OF FLOOR BELOW
50.	MIN. 36" HIGH GUARDRAIL (REFER TO DETAIL SHEETS)
50.	MIN. 36" HIGH GUARDRAIL (REFER TO DETAIL SHEETS)
51.	LOW WALL - REFER TO PLAN FOR HEIGHT
52.	2x6 STUD WALL
54.	DEL. 2x4 WALL PER PLAN
55.	INTERIOR SHELF - REFER TO PLAN FOR HEIGHT
57.	FLAT SOFFIT
58.	ARCHED SOFFIT
60.	OPT. DOOR/WINDOW
61.	PRE-MANUFACTURED DECORATIVE COLUMN (SIZE, SEE ELEV.) FYFON OR EQ. SURROUNDING STRUCTURAL POST.
62.	BRICK / STONE VENEER - REFER TO ELEVATIONS
63.	SECTIONAL GARAGE DOOR PER SPECS
66.	3" DIAM. CONCRETE FILLED PIPE BOLLARD 36" HIGH WITH MIN. 12" EMBEDMENT INTO CONCRETE (NOT REQUIRED AT ELECTRIC WATER HEATERS OR FOR APPLIANCES LOCATED OUT OF THE VEHICLE'S NORMAL TRAVEL PATH).
68.	P.T. POST W/ VINYL WRAP.
70.	EGRESS WINDOW
75.	WINDOW LEDGE. HEIGHT & WIDTH OF OPENING TO EXTEND 6" BEYOND WINDOW(S) ON ALL SIDES UNO.
76.	SITE-BUILT COLUMN - SEE ELEVATION FOR TYPE
77.	CONCRETE SLAB. SLOPE 1/4" PER FT. MIN. SEE PLAN FOR SIZE.

NOTE:	THE CRAWL SPACE IS TO BE CONDITIONED PER NC-R SECTION R409.
NOTE:	THE CRAWL SPACE VAPOR RETARDER (BARRIER) IS TO BE PER NC-R SECTION R409.2.
NOTE:	REFER TO BASIC ROOF PLAN FOR INFORMATION NOT SHOWN HERE
NOTE:	REFER TO BASIC ELEVATIONS FOR INFORMATION NOT SHOWN HERE
NOTE:	REFER TO BASIC FLOOR PLAN FOR INFORMATION NOT SHOWN HERE



NORTH CAROLINA 50' SERIES
 KB HOME
 NORTH CAROLINA DIVISION
 4518 S. MIAMI BLVD.
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2018 NORTH CAROLINA STATE BUILDING CODES

ISSUE DATE: 08/17/18
 PROJECT No.: 1350999-57
 DIVISION MGR.: D.S.
 REVISIONS: 03/15/19

- 1 2018 CODE UPDATE NC19015NCP/ 03/15/19 / CTD
- 2 DIVISION REVISIONS NC19022NCP/ 03/15/19 / CTD
- 3 DIVISION REVISIONS NC19028NCP/ 04/22/19 / FAB

FOR INTERNAL USE ONLY	
REVISION NO.	DATE

PLAN: 243.2939
 SHEET: 8.A6
 SPEC. LEVEL 1
RALEIGH-DURHAM 50' SERIES

12'x26' SCREENED-IN EXTENDED COVERED PATIO
 SCALE 1/4"=1'-0" (22"X34") - 1/8"=1'-0" (11"X17")

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STRUCTURAL PLANS FOR:



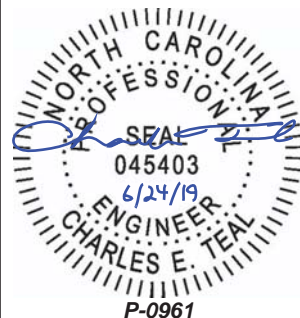
243.2939 - LH GARAGE



PLAN RELEASE / REVISIONS

REV DATE	ARCH PLAN VERSION	REVISION DESCRIPTION	DRFT
05/23/2019	2939-243-01350-ABCD	INITIAL SETUP OF LAYOUT	CAR
05/23/2019	2939-243-01350-ABCD	CREATED LOT-SPECIFIC STRUCTURAL LAYOUT FROM MASTER PLAN AND EWP LAYOUT	CAR

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PROJECT NO.: 19901074
DATE: 5/23/2019

PLAN:
243.2939

TITLE SHEET
T

NOTES

- ENGINEER'S SEAL APPLIES TO STRUCTURAL COMPONENTS ONLY. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT, INCLUDING ROOF GEOMETRY. JDS CONSULTING & DESIGN, PLLC ASSUMES NO LIABILITY FOR CHANGES MADE TO THESE PLANS BY OTHERS, OR FOR CONSTRUCTION METHODS, OR FOR ANY DEVIATION FROM THE PLANS. ENGINEER TO BE NOTIFIED PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE NOTED ON THE PLANS.
- DIMENSIONS SHALL GOVERN OVER SCALE, AND CODE SHALL GOVERN OVER DIMENSIONS.
- PLANS MUST HAVE SIGNED SEAL TO BE VALID AND ARE LIMITED TO THE FOLLOWING USES:
 - IF THESE PLANS ARE ISSUED AS A MASTER-PLAN SET, THE SET IS VALID FOR 18 MONTHS FROM THE DATE ON THE SEAL, UNLESS ANY CODE-REQUIRED UPDATES ARE PLACED IN EFFECT BY THE MUNICIPALITY.
 - IF THESE PLANS ARE NOT ISSUED AS A MASTER-PLAN SET, THE SET IS VALID FOR A CONDITIONAL, ONE-TIME USE FOR THE LOT OR ADDRESS SPECIFIED ON THE TITLE BLOCK.

CODE

ALL CONSTRUCTION, WORKMANSHIP, AND MATERIAL QUALITY AND SELECTION SHALL BE PER:

**2018
NORTH CAROLINA
STATE BUILDING CODE:
RESIDENTIAL CODE**

ENGINEER OF RECORD

JDS CONSULTING & DESIGN, PLLC
ENGINEERING, BUILDING DESIGN, & CONSTRUCTION
CONSULTING SERVICES
8600 'D' JERSEY COURT
RALEIGH, NC 27617
FIRM LIC. NO: P-0961
PROJECT REFERENCE: 19901074

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NOTE: ALL CHAPTERS, SECTIONS, TABLES, AND FIGURES CITED WITHOUT A PUBLICATION TITLE ARE FROM THE APPLICABLE RESIDENTIAL CODE (SEE TITLE SHEET).

GENERAL

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. FURTHERMORE, CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND SAFETY ON SITE. NOTIFY JDS CONSULTING & DESIGN, PLLC IMMEDIATELY IF DISCREPANCIES ON PLAN EXIST.

2. BRACED-WALL DESIGN IS BASED ON SECTION R602.10 - WALL BRACING. PRIMARY PRESCRIPTIVE METHOD TO BE CS-WSP. SEE WALL BRACING PLANS AND DETAILS FOR ADDITIONAL INFORMATION.

ALL NON-PRESCRIPTIVE SOLUTIONS ARE BASED ON GUIDELINES ESTABLISHED IN THE AMERICAN SOCIETY OF CIVIL ENGINEERS PUBLICATION ASCE 7 AND THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION - SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC.

3. SEISMIC DESIGN SHALL BE PER SECTION R301.2.2 - SEISMIC PROVISIONS, INCLUDING ASSOCIATED TABLES AND FIGURES, BASED ON LOCAL SEISMIC DESIGN CATEGORY.

DESIGN LOADS

ASSUMED SOIL BEARING-CAPACITY	2,000 PSF
	LIVE LOAD
ULTIMATE DESIGN WIND SPEED	115 MPH, EXPOSURE B
GROUND SNOW	15 PSF
ROOF	20 PSF
<u>RESIDENTIAL CODE TABLE R301.5</u>	<u>LIVE LOAD (PSF)</u>
DWELLING UNITS	40
SLEEPING ROOMS	30
ATTICS WITH STORAGE	20
ATTICS WITHOUT STORAGE	10
STAIRS	40
DECKS	40
EXTERIOR BALCONIES	60
PASSENGER VEHICLE GARAGES	50
FIRE ESCAPES	40
GUARDS AND HANDRAILS	200 (pounds, concentrated)

COMPONENT AND CLADDING LOADS, INCLUDING THOSE FOR DOORS AND WINDOWS, SHALL BE DERIVED FROM TABLES R301.2(2) AND R301.2(3) FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 35 FEET, LOCATED IN EXPOSURE B.

ABBREVIATIONS

ABV	ABOVE	KS	KING STUD COLUMN
AFF	ABOVE FINISHED FLOOR	LVL	LAMINATED VENEER LUMBER
ALT	ALTERNATE	MAX	MAXIMUM
BRG	BEARING	MECH	MECHANICAL
BSMT	BASEMENT	MFR	MANUFACTURER
CANT	CANTILEVER	MIN	MINIMUM
CJ	CEILING JOIST	NTS	NOT TO SCALE
CLG	CEILING	OA	OVERALL
CMU	CONCRETE MASONRY UNIT	OC	ON CENTER
CO	CASED OPENING	PT	PRESSURE TREATED
COL	COLUMN	R	RISER
CONC	CONCRETE	REF	REFRIGERATOR
CONT	CONTINUOUS	RFG	ROOFING
D	CLOTHES DRYER	RO	ROUGH OPENING
DBL	DOUBLE	RS	ROOF SUPPORT
DIAM	DIAMETER	SC	STUD COLUMN
DJ	DOUBLE JOIST	SF	SQUARE FOOT (FEET)
DN	DOWN	SH	SHELF / SHELVES
DP	DEEP	SHTG	SHEATHING
DR	DOUBLE RAFTER	SHW	SHOWER
DSP	DOUBLE STUD POCKET	SIM	SIMILAR
EA	EACH	SJ	SINGLE JOIST
EE	EACH END	SP	STUD POCKET
EQ	EQUAL	SPEC'D	SPECIFIED
EX	EXTERIOR	SQ	SQUARE
FAU	FORCED-AIR UNIT	T	TREAD
FDN	FOUNDATION	TEMP	TEMPERED GLASS
FF	FINISHED FLOOR	THK	THICK(NESS)
FLR	FLOOR(ING)	TJ	TRIPLE JOIST
FP	FIREPLACE	TOC	TOP OF CURB / CONCRETE
FTG	FOOTING	TR	TRIPLE RAFTER
HB	HOSE BIBB	TYP	TYPICAL
HDR	HEADER	UNO	UNLESS NOTED OTHERWISE
HGR	HANGER	W	CLOTHES WASHER
JS	JACK STUD COLUMN	WH	WATER HEATER
		WWF	WELDED WIRE FABRIC
		XJ	EXTRA JOIST

MATERIALS

1. INTERIOR / TRIMMED FRAMING LUMBER SHALL BE #2 SPRUCE PINE FIR (SPF) WITH THE FOLLOWING DESIGN PROPERTIES (#2 SOUTHERN YELLOW PINE MAY BE SUBSTITUTED):

Fb = 875 PSI Fv = 70 PSI E = 1.4E6 PSI

2. FRAMING LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND, CONCRETE, OR MASONRY SHALL BE PRESSURE TREATED #2 SOUTHERN YELLOW PINE (SYP) WITH THE FOLLOWING DESIGN PROPERTIES:

Fb = 975 PSI Fv = 95 PSI E = 1.6E6 PSI

3. LVL STRUCTURAL MEMBERS TO BE LAMINATED VENEER LUMBER WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:

Fb = 2600 PSI Fv = 285 PSI E = 1.9E6 PSI

4. PSL STRUCTURAL MEMBERS TO BE PARALLEL STRAND LUMBER WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:

Fb = 2900 PSI Fv = 290 PSI E = 2.0E6 PSI

5. LSL STRUCTURAL MEMBERS TO BE LAMINATED STRAND LUMBER WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:

Fb = 2250 PSI Fv = 400 PSI E = 1.55E6 PSI

6. STRUCTURAL STEEL WIDE-FLANGE BEAMS SHALL CONFORM TO ASTM A992. Fy = 50 KSI

7. REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615, GRADE 60.

8. POURED CONCRETE COMPRESSIVE STRENGTH TO BE A MINIMUM 3,000 PSI AT 28 DAYS. MATERIALS USED TO PRODUCE CONCRETE SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN AMERICAN CONCRETE INSTITUTE STANDARD ACI 318 OR ASTM C1157.

9. CONCRETE SUBJECT TO MODERATE OR SEVERE WEATHERING PROBABILITY PER TABLE R301.2(1) SHALL BE AIR-ENTRAINED WHEN REQUIRED BY TABLE R402.2.

10. CONCRETE MASONRY UNITS (CMU) SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE PUBLICATION 530: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES AND COMPANION COMMENTARIES AND THE MASONRY SOCIETY PUBLICATION TMS 402/602: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES.

11. MORTAR SHALL COMPLY WITH ASTM INTERNATIONAL STANDARD C270.

12. INDICATED MODEL NUMBERS FOR ALL METAL HANGERS, STRAPS, FRAMING CONNECTORS, AND HOLD-DOWNS ARE SIMPSON STRONG-TIE BRAND. EQUIVALENT USP BRAND PRODUCTS ARE ACCEPTABLE.

13. REFER TO I-JOIST EQUIVALENCE CHART ON I-JOIST DETAIL SHEET FOR SUBSTITUTION OF MANUFACTURER SERIES.

FOUNDATION

1. MINIMUM ALLOWABLE SOIL BEARING CAPACITY IS ASSUMED TO BE 2,000 PSF. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY SOIL BEARING CAPACITY IF UNSATISFACTORY CONDITIONS EXIST.

2. CONCRETE FOUNDATION WALLS TO BE SELECTED AND CONSTRUCTED PER SECTION R404 OR AMERICAN CONCRETE INSTITUTE STANDARD ACI 318.

3. MASONRY FOUNDATION WALLS TO BE SELECTED AND CONSTRUCTED PER SECTION R404 AND/OR AMERICAN CONCRETE INSTITUTE PUBLICATION 530: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES AND COMPANION COMMENTARIES AND/OR THE MASONRY SOCIETY PUBLICATION TMS 402/602: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES.

4. CONCRETE WALL HORIZONTAL REINFORCEMENT TO BE PER TABLE R404.1.2(1) OR AS NOTED OR DETAILED. CONCRETE WALL VERTICAL REINFORCEMENT TO BE PER TABLES R404.1.2(3 AND 4) OR AS NOTED OR DETAILED. ALL CONCRETE WALLS SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 6.

- A. TABLES ASSUME THAT WALLS HAVE PERMANENT LATERAL SUPPORT AT THE TOP AND BOTTOM.
- B. FOUNDATION DRAINS ARE ASSUMED AT ALL WALLS PER SECTION R405.

5. PLAIN-MASONRY WALL DESIGN TO BE PER TABLE R404.1.1(1) OR AS NOTED OR DETAILED. MASONRY WALLS WITH VERTICAL REINFORCEMENT TO BE PER TABLES R404.1.1 (2 THROUGH 4) OR AS NOTED OR DETAILED. ALL MASONRY WALLS SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 6.

- A. TABLES ASSUME THAT WALLS HAVE PERMANENT LATERAL SUPPORT AT THE TOP AND BOTTOM.
- B. WALL REINFORCING SHALL BE PLACED ACCORDING TO FOOTNOTE (c) OF THE TABLES (REINFORCING IS NOT CENTERED IN WALL).
- C. FOUNDATION DRAINS ARE ASSUMED AT ALL WALLS PER SECTION R405.

6. WOOD SILL PLATES TO BE ANCHORED TO THE FOUNDATION WITH 1/2" DIAMETER ANCHOR BOLTS WITH MINIMUM 7" EMBEDMENT, SPACED A MAXIMUM OF 6'-0" OC AND WITHIN 12" FROM THE ENDS OF EACH PLATE SECTION. INSTALL MINIMUM (2) ANCHOR BOLTS PER SECTION. SEE SECTION R403.1.6 FOR SPECIFIC CONDITIONS.

7. THE UNSUPPORTED HEIGHT OF SOLID MASONRY PIERS SHALL NOT EXCEED TEN TIMES THEIR LEAST DIMENSION. UNFILLED, HOLLOW PIERS MAY BE USED IF THE UNSUPPORTED HEIGHT IS NOT MORE THAN FOUR TIMES THEIR LEAST DIMENSION.

8. CENTERS OF PIERS TO BEAR IN THE MIDDLE THIRD OF THE FOOTINGS, AND GIRDEES SHALL CENTER IN THE MIDDLE THIRD OF THE PIERS.

9. ALL FOOTINGS TO HAVE MINIMUM 2" PROJECTION ON EACH SIDE OF FOUNDATION WALLS (SEE DETAILS).

10. ALL REBAR NOTED IN CONCRETE TO HAVE AT LEAST 2" COVER FROM EDGE OF CONCRETE TO EDGE OF REBAR.

11. FRAMING TO BE FLUSH WITH FOUNDATION WALLS.

12. WITH CLASS 1 SOILS, VAPOR BARRIER AND CRUSHED STONE MAY BE OMITTED.

FRAMING

1. ALL BEARING HEADERS TO BE (2) 2x6 SUPPORTED W/ MIN (1) JACK STUD AND (1) KING STUD EACH END, UNO.

2. ALL NON-BEARING HEADERS TO BE (2) 2x4, UNO.

3. NON-BEARING INTERIOR WALLS NOT MORE THAN 10' NOMINAL HEIGHT AND NOT SHOWN AS BRACED WALLS MAY BE FRAMED WITH 2x4 STUDS @ 24" OC.

4. SOLID BLOCKING TO BE PROVIDED AT ALL POINT LOADS THROUGH FLOOR LEVELS TO THE FOUNDATION OR TO OTHER STRUCTURAL COMPONENTS.

5. ALL BEAMS SPECIFIED ARE MINIMUM SIZES ONLY. LARGER MEMBERS MAY SUBSTITUTED AS NEEDED FOR EASE OF CONSTRUCTION.

6. ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH 7/16" OSB.

7. PORCH / PATIO COLUMNS TO BE 4x4 MINIMUM PRESSURE-TREATED LUMBER.

- A. ATTACH PORCH COLUMNS TO SLAB / FDN WALL USING ABA, ABU, ABW, OR CPT SIMPSON POST BASES TO FIT COLUMN SIZES NOTED ON PLAN -OR- ANY OTHER COLUMN CONNECTION WITH 500# UPLIFT CAPACITY.
- B. ATTACH PORCH COLUMNS TO PORCH BEAMS USING AC OR BC SIMPSON POST CAPS TO FIT COLUMN SIZES NOTED ON PLAN -OR- ANY OTHER COLUMN CONNECTION WITH 500# UPLIFT CAPACITY.
- C. TRIM OUT COLUMN(S) AND BEAM(S) PER BUILDER AND DETAILS.

8. ALL ENGINEERED WOOD PRODUCTS (LVL, PSL, LSL, ETC.) SHALL BE INSTALLED WITH CONNECTIONS PER MANUFACTURER SPECIFICATIONS.

9. ENGINEERED WOOD FLOOR SYSTEMS AND ROOF TRUSS SYSTEMS:

- A. SHOP DRAWINGS FOR THE SYSTEMS SHALL BE PROVIDED TO THE ENGINEER OF RECORD FOR REVIEW AND COORDINATION BEFORE CONSTRUCTION.
- B. TRUSS PROFILES SHALL BE SEALED BY THE TRUSS MANUFACTURER.
- C. INSTALLATION OF THE SYSTEMS SHALL BE PER MANUFACTURER'S INSTRUCTIONS.
- D. TRUSS LAYOUT AND PLACEMENT BY MANUFACTURER TO COINCIDE WITH THE SUPPORT LOCATIONS SHOWN IN THESE DRAWINGS.

10. ALL BEAMS TO BE CONTINUOUSLY SUPPORTED Laterally AND SHALL BEAR FULL WIDTH ON THE SUPPORTING WALLS OR COLUMNS INDICATED, WITH A MINIMUM OF THREE STUDS, UNO.

11. ALL STEEL BEAMS TO BE SUPPORTED AT EACH END WITH A MIN BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH. BEAMS MUST BE ATTACHED AT EACH END WITH A MINIMUM OF FOUR 16d NAILS OR TWO 1/2" x 4" LAG SCREWS, UNO.

12. STEEL FLITCH BEAMS TO BE BOLTED TOGETHER USING (2) ROWS OF 1/2" DIAMETER BOLTS (ASTM 307) WITH WASHERS PLACED UNDER THE THREADED END OF THE BOLT. BOLTS TO BE SPACED AT 24" OC (MAX) AND STAGGERED TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH TWO BOLTS TO BE LOCATED AT 6" FROM EACH END OF FLITCH BEAM.

13. WHEN A 4-PLY LVL BEAM IS USED, ATTACH WITH (1) 1/2" DIAMETER BOLT, 12" OC, STAGGERED TOP AND BOTTOM, 1 1/2" MIN FROM ENDS. ALTERNATE EQUIVALENT ATTACHMENT METHOD MAY BE USED, SUCH AS SDS, SDW, OR TRUSSLOK SCREWS (SEE MANUFACTURER SPECIFICATIONS).

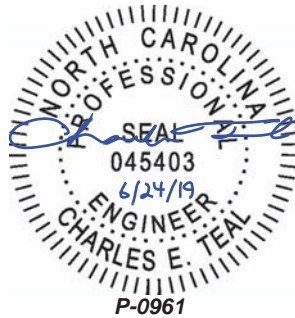
14. FOR STUD COLUMNS OF 4-OR-MORE STUDS, INSTALL SIMPSON STRONG-TIE CS16 STRAPS ACROSS STUDS @ 30" OC, 6" MAX FROM PLATES, ON INSIDE FACE OF COLUMN (EXTERIOR WALL), ON BOTH FACES OF COLUMN (INTERIOR WALL).

15. FLOOR JOISTS ADJACENT AND PARALLEL TO THE EXTERIOR FOUNDATION WALL SHALL BE PROVIDED WITH FULL-DEPTH SOLID BLOCKING, NOT LESS THAN TWO (2) INCHES NOMINAL IN THICKNESS, PLACED PERPENDICULAR TO THE JOIST AT SPACING NOT MORE THAN FOUR (4) FEET. THE BLOCKING SHALL BE NAILED TO THE FLOOR SHEATHING, THE SILL PLATE, THE JOIST, AND THE EXTERIOR RIM JOIST / BOARD.

16. BRACED WALL PANELS SHALL BE FASTENED TO MEET THE UPLIFT-RESISTANCE REQUIREMENTS IN CHAPTERS 6 AND 8 OF THE APPLICABLE CODE (SEE TITLE SHEET). REQUIREMENTS OF THE STRUCTURAL DRAWINGS THAT EXCEED THE CODE MINIMUM SHALL BE MET.



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PROJECT NO.: 19901074
DATE: 5/23/2019

PLAN:
243.2939

GENERAL NOTES

GN1.0

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FASTENER SCHEDULE		
CONNECTION	3" x 0.131" NAIL	3" x 0.120" NAIL
JOIST TO SILL PLATE	(4) TOE NAILS	(4) TOE NAILS
SOLE PLATE TO JOIST / BLOCKING	NAILS @ 8" OC (typical) (4) PER 16" SPACE (at braced panels)	NAILS @ 8" OC (typical) (4) PER 16" SPACE (at braced panels)
STUD TO SOLE PLATE	(4) TOE NAILS	(4) TOE NAILS
TOP OR SOLE PLATE TO STUD	(3) FACE NAILS	(4) FACE NAILS
RIM JOIST OR BAND JOIST TO TOP PLATE OR SILL PLATE	TOE NAILS @ 6" OC	TOE NAILS @ 4" OC
BLOCKING BETWEEN JOISTS TO TOP PLATE OR SILL PLATE	(4) TOE NAILS	(4) TOE NAILS
DOUBLE STUD	NAILS @ 8" OC	NAILS @ 8" OC
DOUBLE TOP PLATES	NAILS @ 12" OC	NAILS @ 12" OC
DOUBLE TOP PLATES LAP (24" MIN LAP LENGTH)	(12) NAILS IN LAPPED AREA, EA SIDE OF JOINT	(12) NAILS IN LAPPED AREA, EA SIDE OF JOINT
TOP PLATE LAP AT CORNERS AND INTERSECTING WALLS	(3) FACE NAILS	(3) FACE NAILS
OPEN-WEB TRUSS BOTTOM CHORD TO TOP PLATES OR SILL PLATE (PARALLEL TO WALL)	NAILS @ 6" OC	NAILS @ 4" OC
BOTTOM CHORD OF TRUSS TO TOP PLATES OR SILL PLATE (PERPENDICULAR TO WALL)	(3) TOE NAILS	(3) TOE NAILS

SEE TABLE R602.3(1) FOR ADDITIONAL STRUCTURAL-MEMBER FASTENING REQUIREMENTS.

DETAILS AND NOTES ON DRAWINGS GOVERN.


BALLOON WALL FRAMING SCHEDULE
(USE THESE STANDARDS UNLESS NOTED OTHERWISE ON THE FRAMING PLAN SHEETS)

FRAMING MEMBER SIZE	MAX HEIGHT (PLATE TO PLATE) 115 MPH ULTIMATE DESIGN WIND SPEED
2x4 @ 16" OC	10'-0"
2x4 @ 12" OC	12'-0"
2x6 @ 16" OC	15'-0"
2x6 @ 12" OC	17'-9"
2x8 @ 16" OC	19'-0"
2x8 @ 12" OC	22'-0"
(2) 2x4 @ 16" OC	14'-6"
(2) 2x4 @ 12" OC	17'-0"
(2) 2x6 @ 16" OC	21'-6"
(2) 2x6 @ 12" OC	25'-0"
(2) 2x8 @ 16" OC	27'-0"
(2) 2x8 @ 12" OC	31'-0"


- ALL HEIGHTS ARE MEASURED SUBFLOOR TO TOP OF WALL PLATE.
- WHEN SPLIT-FRAMED WALLS ARE USED FOR HEIGHTS OVER 12', THE CONTRACTOR SHALL ADD 6' MINIMUM OF CS16 COIL STRAPPING (FULLY NAILED), CENTERED OVER THE WALL BREAK.
- FINGER-JOINTED MEMBERS MAY BE USED FOR CONTINUOUS HEIGHTS WHERE TRADITIONALLY MILLED LUMBER LENGTHS ARE LIMITED.
- FOR GREATER WIND SPEED, SEE ENGINEERED SOLUTION FOR CONDITION IN DRAWINGS.

ROOF SYSTEMS

TRUSSED ROOF - STRUCTURAL NOTES

- PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
-  DENOTES OVER-FRAMED AREA
- MINIMUM 7/16" OSB ROOF SHEATHING
- TRUSS LAYOUT AND PLACEMENT BY MANUFACTURER TO COINCIDE WITH THE SUPPORT LOCATIONS SHOWN. TRUSS PROFILES SHALL BE SEALED BY THE TRUSS MANUFACTURER. TRUSS PLANS TO BE COORDINATED WITH THE SEALED STRUCTURAL DRAWINGS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- MANUFACTURER TO PROVIDE REQUIRED UPLIFT CONNECTION.
- PROVIDE H2.5A (MINIMUM) OR EQUIVALENT AT EACH TRUSS-TO-TOP PLATE CONNECTION AT OVER-FRAMED AREAS, UNLESS NOTED OTHERWISE.
- UPLIFT CONNECTION TO BE CARRIED THROUGH TO FLOOR SYSTEM.

STICK-FRAMED ROOF - STRUCTURAL NOTES

- PROVIDE 2x4 COLLAR TIES AT 48" OC AT UPPER THIRD OF RAFTERS, UNLESS NOTED OTHERWISE.
- FUR RIDGES FOR FULL RAFTER CONTACT.
- PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
-  DENOTES OVER-FRAMED AREA
- MINIMUM 7/16" OSB ROOF SHEATHING
- PROVIDE 2x4 RAFTER TIES AT 16" OC AT 45° BETWEEN RAFTERS AND CEILING JOISTS. USE (4) 16d NAILS AT EACH CONNECTION. RAFTER TIES MAY BE SPACED AT 48" OC AT LOCATIONS WHERE NO KNEE WALLS ARE INSTALLED.
- PROVIDE H2.5A (MINIMUM) OR EQUIVALENT AT EACH RAFTER-TO-TOP PLATE CONNECTION AT OVER-FRAMED AREAS, UNLESS NOTED OTHERWISE.
- UPLIFT CONNECTION TO BE CARRIED THROUGH TO FLOOR SYSTEM.

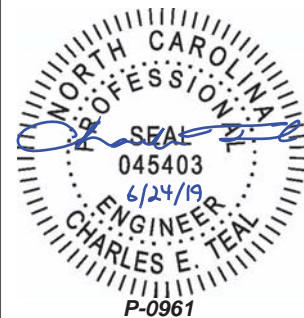
BRICK VENEER LINTEL SCHEDULE		
SPAN	STEEL ANGLE SIZE	END BEARING LENGTH
UP TO 42"	L3-1/2"x3-1/2"x1/4"	8" (MIN. @ EACH END)
UP TO 72"	L6"x4"x5/16" (LLV)	8" (MIN. @ EACH END)
OVER 72"	L6"x4"x5/16" (LLV) ATTACH LINTEL w/ 1/2" THRU BOLT @ 12" OC, 3" FROM EACH END	

* FOR QUEEN BRICK: LINTELS AT THIS CONDITION MAY BE 5"x3-1/2"x5/16"

NOTE: BRICK LINTELS AT SLOPED AREAS TO BE 4"x3-1/2"x1/4" STEEL ANGLE WITH 16D NAILS IN 3/16" HOLES IN 4" ANGLE LEG AT 12" OC TO TRIPLE RAFTER. WHEN THE SLOPE EXCEEDS 4:12 A MINIMUM OF 3"x3"x1/4" PLATES SHALL BE WELDED AT 24" OC ALONG THE STEEL ANGLE.



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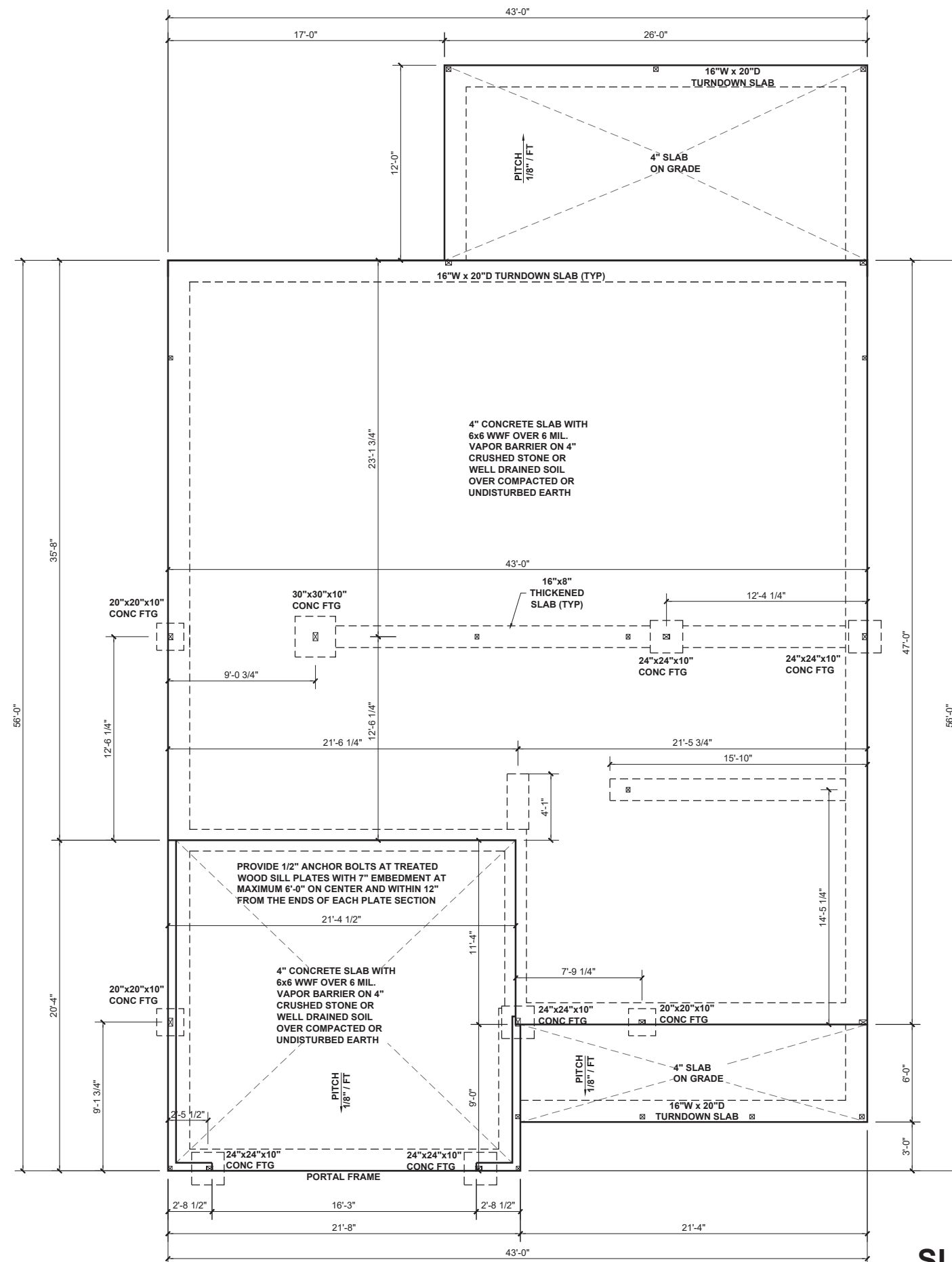
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GENERAL NOTES

GN1.1

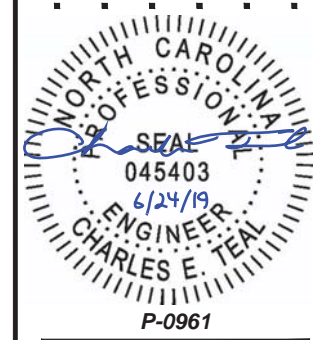


BEAM & POINT LOAD LEGEND	
	INTERIOR LOAD BEARING WALL
	ROOF RAFTER / TRUSS SUPPORT
	DOUBLE RAFTER / DOUBLE JOIST
	STRUCTURAL BEAM / GIRDER
	WINDOW / DOOR HEADER
	POINT LOAD TRANSFER
	POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER

(1) #5 REBAR @ CENTER OFF ALL PERIMETER AND INTERNAL LOAD BEARING FOOTINGS. (2" C.C. MIN)



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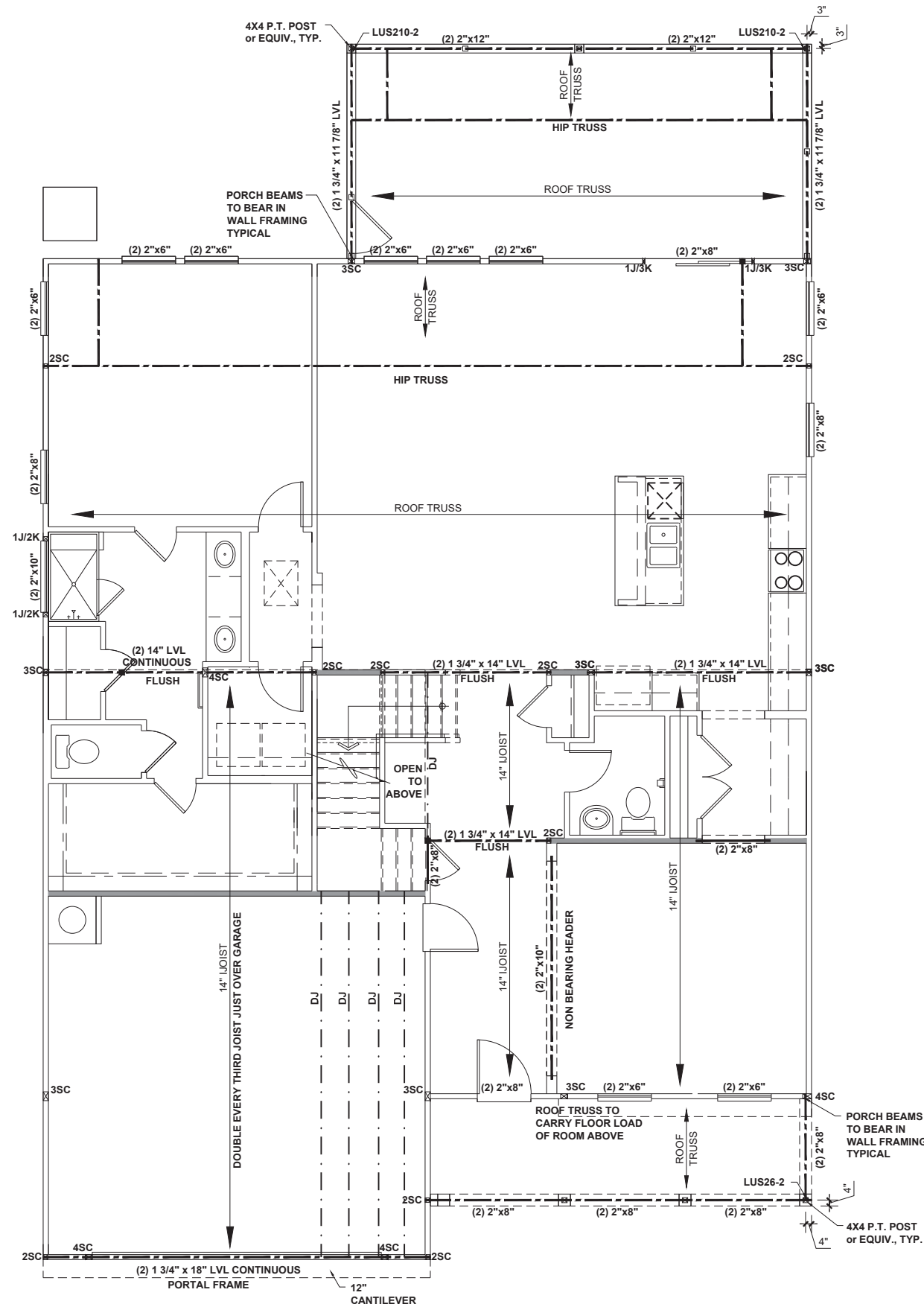
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SLAB
FOUNDATION PLAN
S.10D

SLAB FOUNDATION PLAN - 'D'
SCALE: 1/8" = 1'-0"

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FIRST FLOOR CEILING FRAMING PLAN - 'D'

SCALE: 1/8"=1'-0"

BEAM & POINT LOAD LEGEND

- INTERIOR LOAD BEARING WALL
- - - ROOF RAFTER / TRUSS SUPPORT
- · - · - DOUBLE RAFTER / DOUBLE JOIST
- STRUCTURAL BEAM / GIRDER
- WINDOW / DOOR HEADER
- ⊗ POINT LOAD TRANSFER
- POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER

STRUCTURAL FRAMING NOTES - (SEE GENERAL NOTES SHEET FOR ADDITIONAL REQUIREMENTS.)

1. ALL FRAMING TO BE #2 SPF MINIMUM.
2. ALL BEARING HEADERS TO BE (2) 2x6 SUPPORTED w/ MIN (1) JACK AND (1) KING EACH END, UNO.
3. EXTERIOR WALL OPENINGS OVER 3' TO HAVE MULTIPLE KING STUDS AS NOTED ON PLAN.
4. ALL NON-BEARING HEADERS TO BE (2) 2x4 (1) J / (1) K, UNO.
5. PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
6. ALL HANGERS AND CONNECTORS SPECIFIED ARE TO BE SIMPSON STRONG-TIE OR EQUIVALENT.
7. ALL BEAMS SPECIFIED ARE MINIMUM SIZES ONLY. LARGER MEMBERS MAY BE SUBSTITUTED AS NEEDED FOR EASE OF CONSTRUCTION. MINIMUM BEAM SUPPORT IS (1) 2x4 STUD.
8. ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH 7/16" OSB.
9. FRONT PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT TOP AND BOTTOM USING SIMPSON (OR EQUIV) COLUMN BASE OR SST A24 BRACKETS. TRIM OUT PER BUILDER.
10. PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT BOTTOM USING SIMPSON (OR EQUIV) ABA44 AND AT TOP USING CS 16 STRAPPING (12" MIN) TO PORCH HEADER / BAND.
11. WHEN A 4-PLY LVL IS USED, ATTACH WITH (1) 1/2" Ø BOLT 12" OC STAGGERED, TOP AND BOTTOM. 1-1/2" MIN FROM ENDS. ALTERNATE ATTACHMENT EQUIVALENT METHOD MAY BE USED, SUCH AS SDW OR TRUSSLOK SCREWS (SEE MANUFACTURER'S SPECIFICATIONS).
12. FOR STUD COLUMNS OF 4 OR MORE, INSTALL SST CS16 STRAPS @ 30" OC, 6" MAX FROM PLATES, ON INSIDE FACE OF COLUMN (EXTERIOR WALL), ON BOTH FACES OF COLUMN (INTERIOR WALL).

I-JOIST SPACING NOT TO EXCEED 19.2" OC IN LOCATIONS WITH TILE FINISH FLOOR

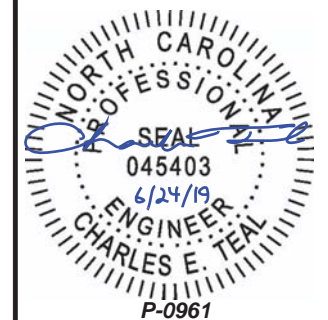
ALL FLUSH BEAMS TO BE DIRECTLY SUPPORTED BY (2) 2X STUDS UNLESS OTHERWISE NOTED. STUD COLUMNS TO BE SUPPORTED BY SOLID BLOCKING TO FOUNDATION OR TO BEARING COMPONENT BELOW.

**REFER TO I-JOIST EQUIVALENCE CHART ON I-JOIST DETAIL SHEET FOR SUBSTITUTION OF MANUFACTURER SERIES

FLOOR FRAMING TO BE 14" DEEP TJI 210 SERIES OR EQUAL, 19.2" OC MAXIMUM SPACING, U.N.O.



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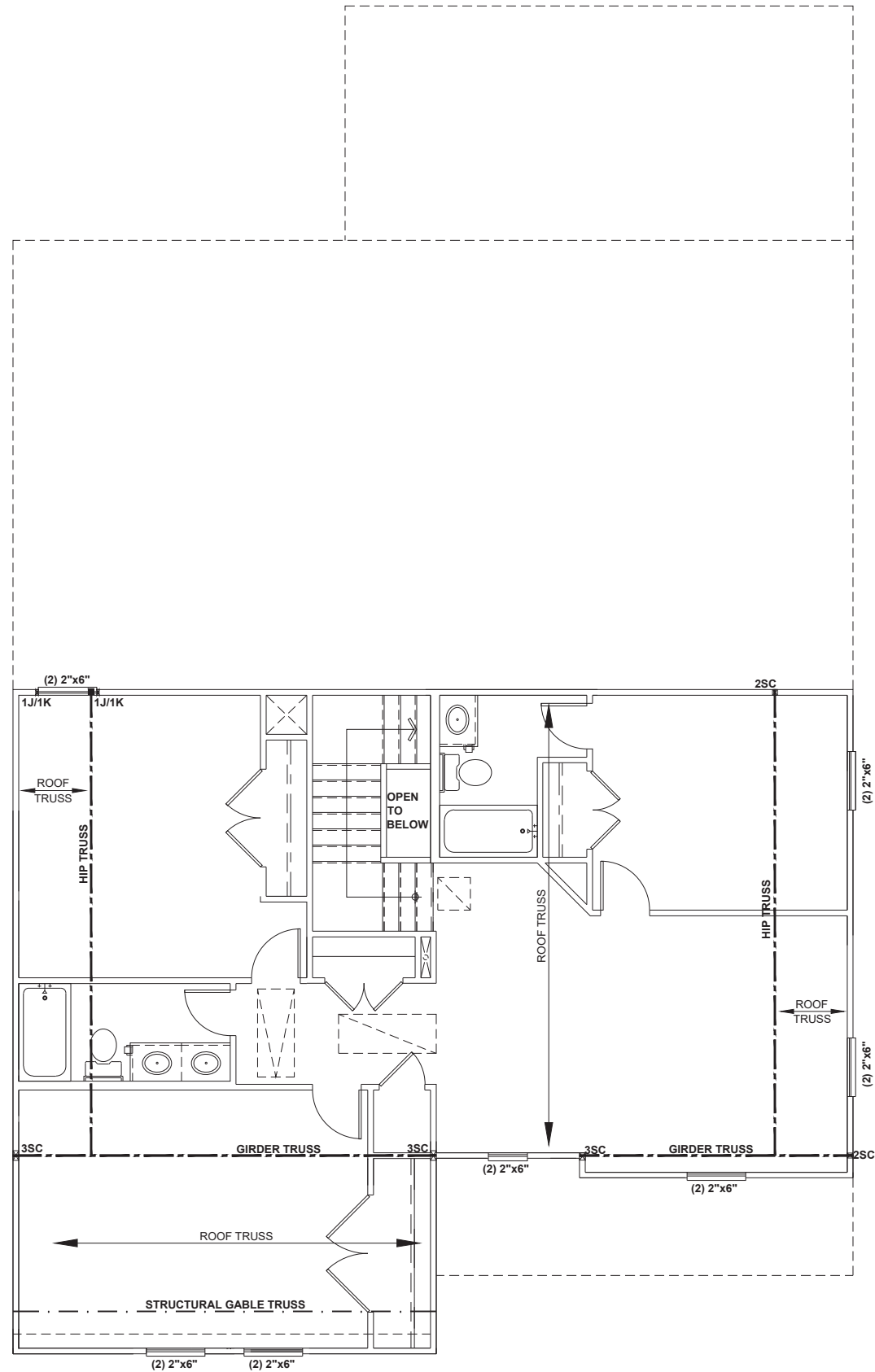
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FIRST FLOOR
CEILING FRAMING PLAN

S1.0D

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SECOND FLOOR CEILING FRAMING PLAN - 'D'

SCALE: 1/8" = 1'-0"

BEAM & POINT LOAD LEGEND

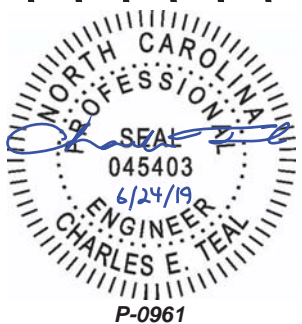
	INTERIOR LOAD BEARING WALL
	ROOF RAFTER / TRUSS SUPPORT
	DOUBLE RAFTER / DOUBLE JOIST
	STRUCTURAL BEAM / GIRDER
	WINDOW / DOOR HEADER
	POINT LOAD TRANSFER
	POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER

- STRUCTURAL FRAMING NOTES - (SEE GENERAL NOTES SHEET FOR ADDITIONAL REQUIREMENTS.)**
- ALL FRAMING TO BE #2 SPF MINIMUM.
 - ALL BEARING HEADERS TO BE (2) 2x6 SUPPORTED w/ MIN (1) JACK AND (1) KING EACH END, UNO.
 - EXTERIOR WALL OPENINGS OVER 3' TO HAVE MULTIPLE KING STUDS AS NOTED ON PLAN.
 - ALL NON-BEARING HEADERS TO BE (2) 2x4 (1) J / (1) K, UNO.
 - PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
 - ALL HANGERS AND CONNECTORS SPECIFIED ARE TO BE SIMPSON STRONG-TIE OR EQUIVALENT.
 - ALL BEAMS SPECIFIED ARE MINIMUM SIZES ONLY. LARGER MEMBERS MAY SUBSTITUTED AS NEEDED FOR EASE OF CONSTRUCTION. MINIMUM BEAM SUPPORT IS (1) 2x4 STUD.
 - ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH 7/16" OSB.
 - FRONT PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT TOP AND BOTTOM USING SIMPSON (OR EQUIV) COLUMN BASE OR SST A24 BRACKETS. TRIM OUT PER BUILDER.
 - PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT BOTTOM USING SIMPSON (OR EQUIV) ABA44 AND AT TOP USING CS 16 STRAPPING (12" MIN) TO PORCH HEADER / BAND.
 - WHEN A 4-PLY LVL IS USED, ATTACH WITH (1) 1/2" Ø BOLT 12" OC STAGGERED, TOP AND BOTTOM, 1-1/2" MIN FROM ENDS. ALTERNATE ATTACHMENT EQUIVALENT METHOD MAY BE USED, SUCH AS SDW OR TRUSSLOK SCREWS (SEE MANUFACTURER'S SPECIFICATIONS).
 - FOR STUD COLUMNS OF 4 OR MORE, INSTALL SST CS16 STRAPS @ 30" OC, 6" MAX FROM PLATES, ON INSIDE FACE OF COLUMN (EXTERIOR WALL), ON BOTH FACES OF COLUMN (INTERIOR WALL).

ALL FLUSH BEAMS TO BE DIRECTLY SUPPORTED BY (2) 2X STUDS UNLESS OTHERWISE NOTED. STUD COLUMNS TO BE SUPPORTED BY SOLID BLOCKING TO FOUNDATION OR TO BEARING COMPONENT BELOW.



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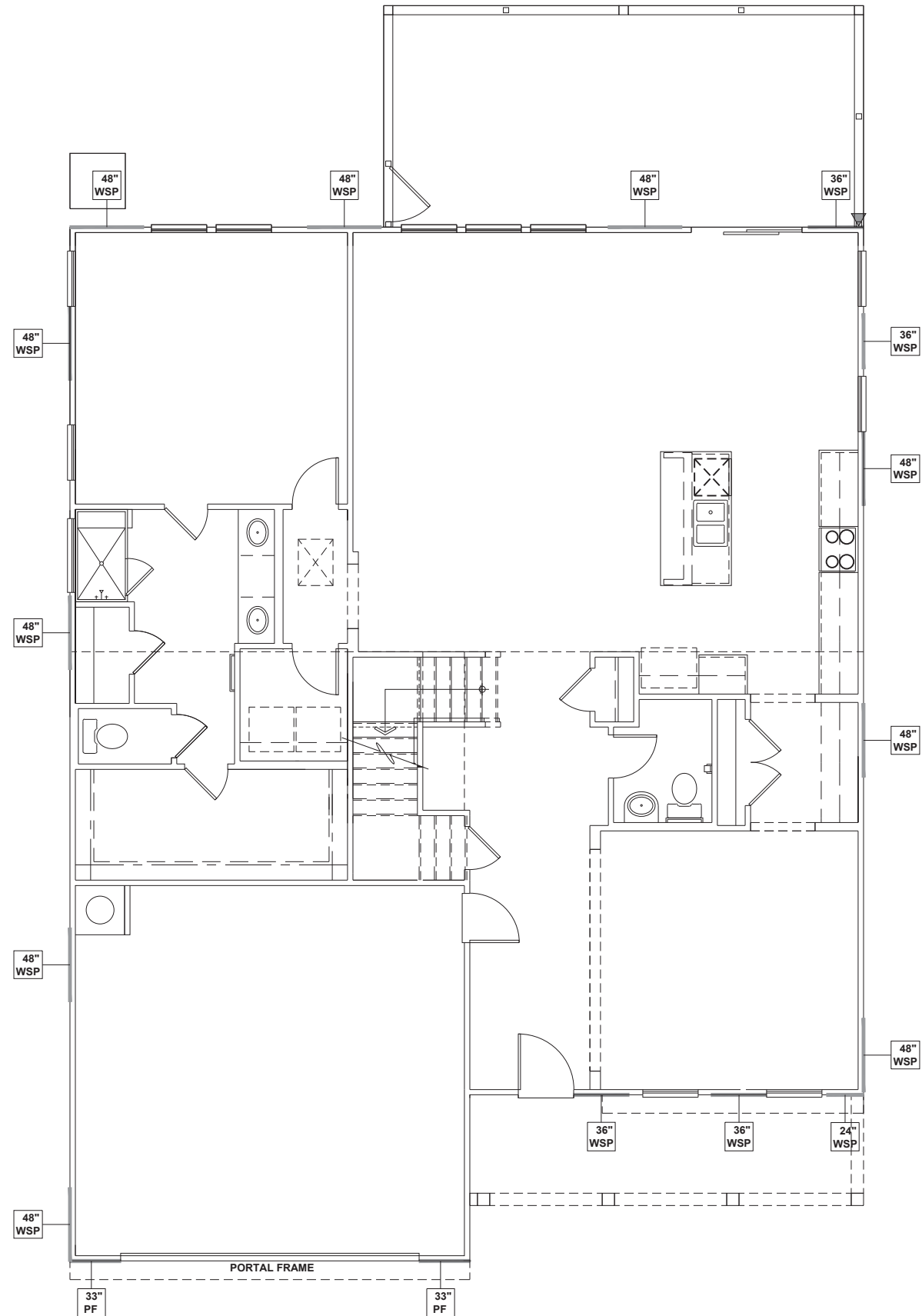
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SECOND FLOOR
CEILING FRAMING PLAN

S2.0D

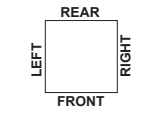
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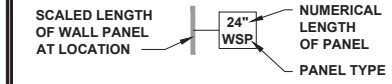
FIRST FLOOR WALL BRACING PLAN - 'D'
 SCALE: 1/8"=1'-0"

WALL BRACING REQUIREMENTS

- MINIMUM PANEL WIDTH IS 24"
- FIGURES BASED ON THE CONTINUOUS SHEATHING METHOD USING THE RECTANGLE CIRCUMSCRIBED AROUND THE FLOOR PLAN OR PORTION OF THE FLOOR PLAN. IF NO RECTANGLE IS NOTED, THE STRUCTURE HAS BEEN FIGURED ALL WITHIN ONE RECTANGLE.
- PANELS MAY SHIFT UP TO 36" EITHER DIRECTION FOR EASE OF CONSTRUCTION (NAILING & BLOCK REQUIREMENTS STILL APPLY).
- FOR ADDITIONAL WALL BRACING INFORMATION, REFER TO WALL BRACING DETAIL SHEET(S).
- SCHEMATIC BELOW INDICATES HOW SIDES OF RECTANGLE ARE TO BE INTERPRETED IN BRACING CHART WHEN APPLIED TO STRUCTURE:



- ◆ CS16 STRAP FROM STUD, CROSS HEADER, TO WALL TOP PLATE, 36" LONG MINIMUM
- ▶ SIMPSON MSTA15 HOLD DOWN CAPACITY OF 970 POUNDS PER ANCHOR WITH (12) 10d NAILS. STRAP TO BE LOCATED AT EDGE OF BRACED WALL PANEL. (CS16 STRAPPING MAY BE SUBSTITUTED w/ SIMILAR LENGTH AND NAILING PATTERN.) USE HTT4 FOR ATTACHMENT TO CONCRETE.



WALL BRACING NOTE:

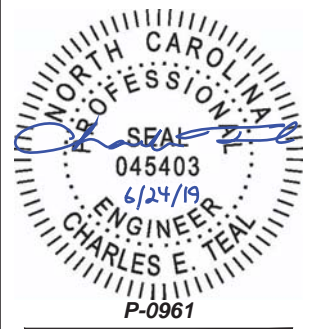
WALLS WITH REQUIRED LENGTH LISTED AS "N/A" DO NOT MEET THE REQUIREMENTS OF PRESCRIPTIVE WALL BRACING FOUND IN THE NCRC. THESE WALLS HAVE BEEN ENGINEERED BASED ON DESIGN GUIDELINES ESTABLISHED IN ASCE-07 AND THE NDS: WIND & SEISMIC PROVISIONS SUPPLEMENT.

WALL BRACING: RECTANGLE 1

SIDE	REQUIRED LENGTH	PROVIDED LENGTH
FRONT	15.0 FT.	16.25 FT.
RIGHT	11.0 FT.	15.0 FT.
REAR	15.0 FT.	15.0 FT.
LEFT	11.0 FT.	16.0 FT.



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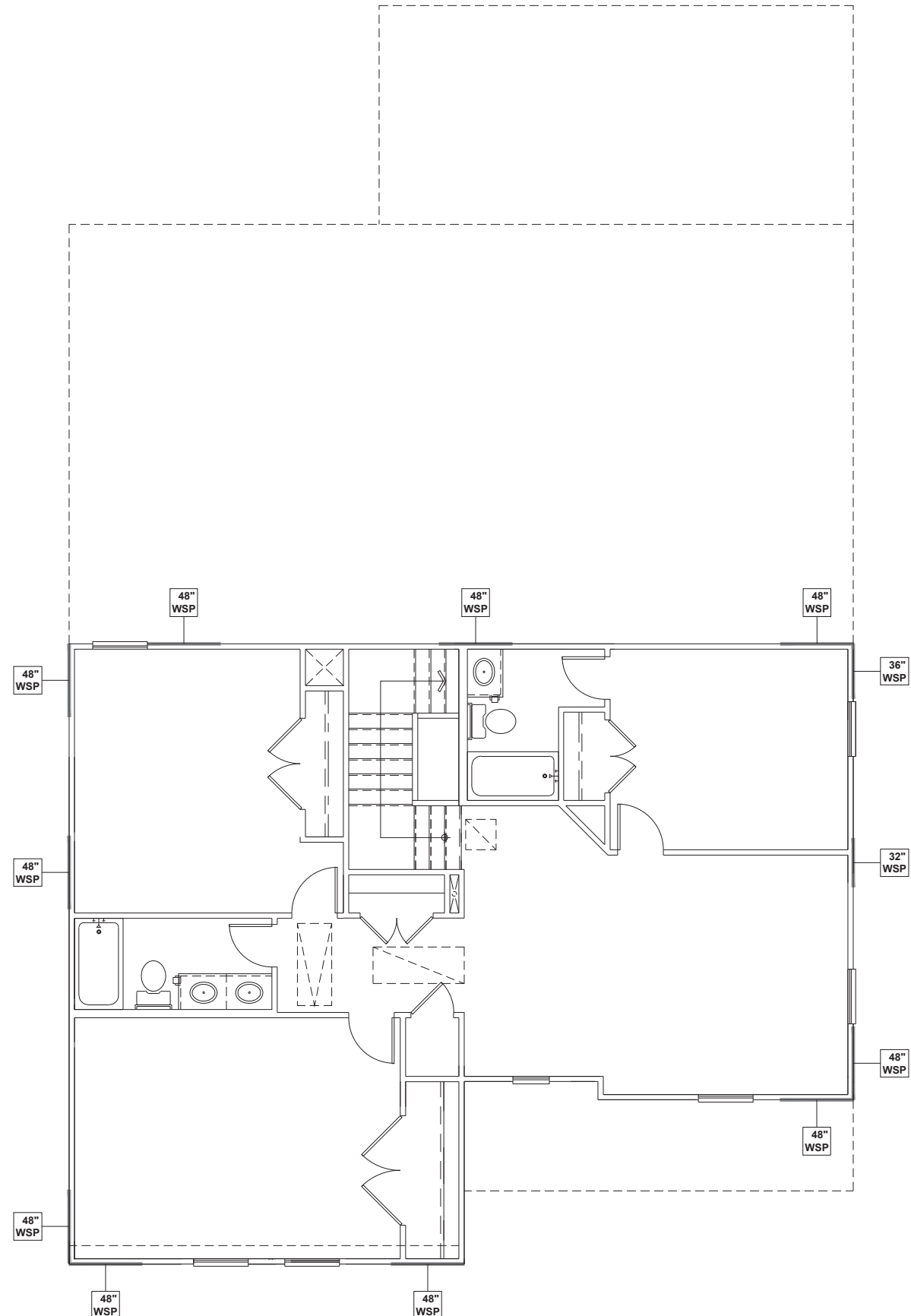
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FIRST FLOOR
 WALL BRACING PLAN
S4.0D

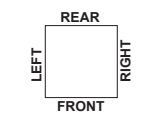
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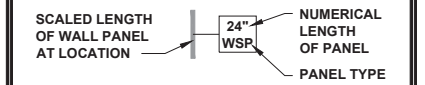
SECOND FLOOR WALL BRACING PLAN - 'D'
 SCALE: 1/8" = 1'-0"

WALL BRACING REQUIREMENTS

- MINIMUM PANEL WIDTH IS 24"
- FIGURES BASED ON THE CONTINUOUS SHEATHING METHOD USING THE RECTANGLE CIRCUMSCRIBED AROUND THE FLOOR PLAN OR PORTION OF THE FLOOR PLAN. IF NO RECTANGLE IS NOTED, THE STRUCTURE HAS BEEN FIGURED ALL WITHIN ONE RECTANGLE.
- PANELS MAY SHIFT UP TO 36" EITHER DIRECTION FOR EASE OF CONSTRUCTION (NAILING & BLOCK REQUIREMENTS STILL APPLY).
- FOR ADDITIONAL WALL BRACING INFORMATION, REFER TO WALL BRACING DETAIL SHEET(S).
- SCHEMATIC BELOW INDICATES HOW SIDES OF RECTANGLE ARE TO BE INTERPRETED IN BRACING CHART WHEN APPLIED TO STRUCTURE:



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WALL BRACING: RECTANGLE 1

SIDE	REQUIRED LENGTH	PROVIDED LENGTH
FRONT	4.5 FT.	12.0 FT.
RIGHT	5.5 FT.	9.66 FT.
REAR	4.5 FT.	12.0 FT.
LEFT	5.5 FT.	12.0 FT.



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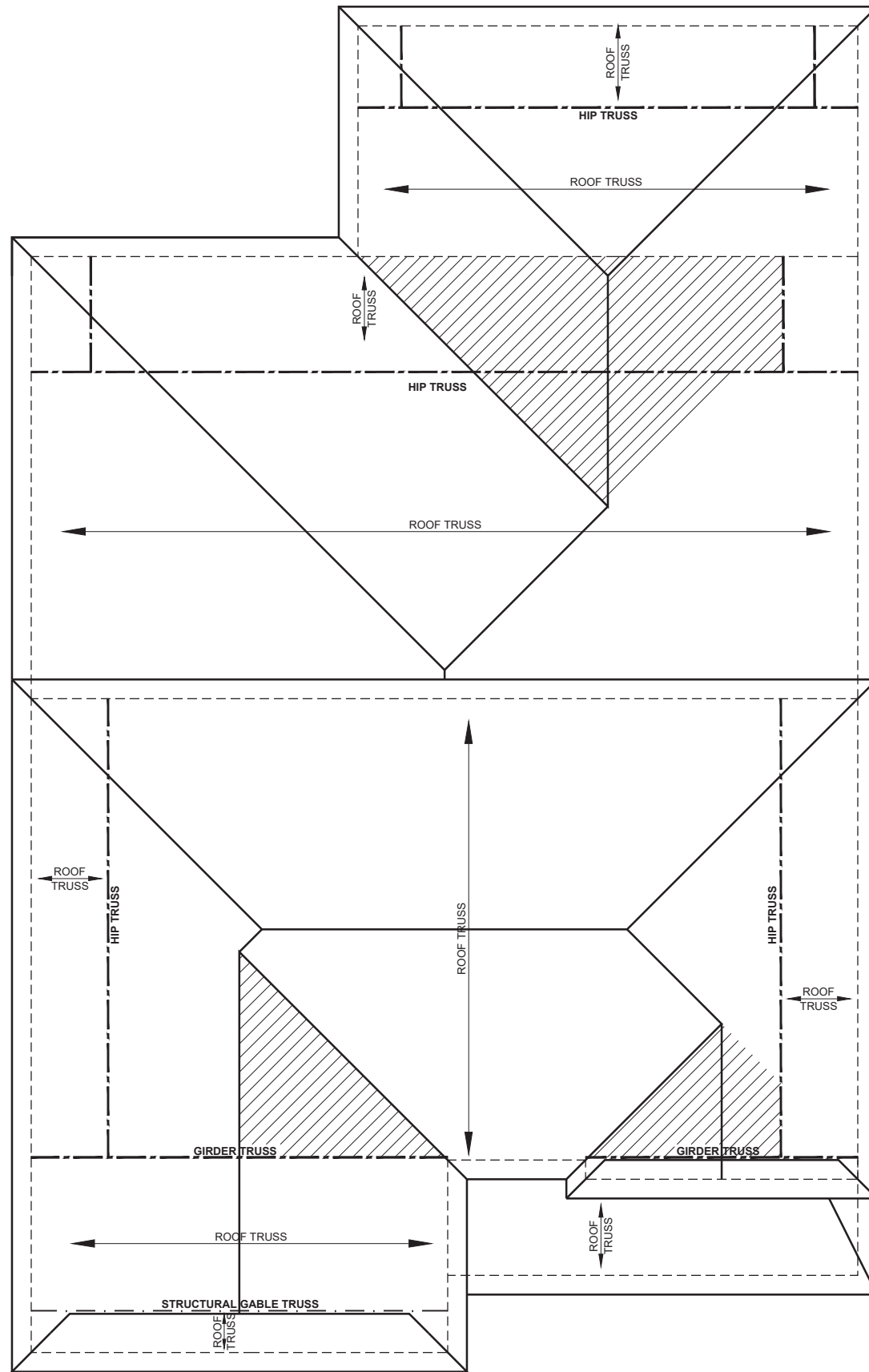
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SECOND FLOOR
 WALL BRACING PLAN
S5.0D

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ROOF FRAMING PLAN - 'D'

SCALE: 1/8"=1'-0"

BEAM & POINT LOAD LEGEND

	INTERIOR LOAD BEARING WALL
	ROOF RAFTER / TRUSS SUPPORT
	DOUBLE RAFTER / DOUBLE JOIST
	STRUCTURAL BEAM / GIRDER
	WINDOW / DOOR HEADER
	POINT LOAD TRANSFER
	POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER

- TRUSSED ROOF - STRUCTURAL NOTES**
- PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
 - DENOTES OVER-FRAMED AREA
 - MINIMUM 7/16" OSB ROOF SHEATHING
 - TRUSS LAYOUT AND PLACEMENT BY MANUFACTURER TO COINCIDE WITH THE SUPPORT LOCATIONS SHOWN. TRUSS PROFILES SHALL BE SEALED BY THE TRUSS MANUFACTURER. TRUSS PLANS TO BE COORDINATED WITH THE SEALED STRUCTURAL DRAWINGS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 - MANUFACTURER TO PROVIDE REQUIRED UPLIFT CONNECTION.
 - PROVIDE H2.5A (MINIMUM) OR EQUIVALENT AT EACH TRUSS-TO-TOP PLATE CONNECTION AT OVER-FRAMED AREAS, UNLESS NOTED OTHERWISE.
 - UPLIFT CONNECTION TO BE CARRIED THROUGH TO FLOOR SYSTEM.

ATTIC VENTILATION

THE TOTAL NET-FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE ATTIC SPACE TO BE VENTILATED. THE TOTAL VENTILATION MAY BE REDUCED TO 1/300 PROVIDED AT LEAST 50% BUT NOT MORE THAN 80% OF THE REQUIRED VENTILATION BE LOCATED IN THE UPPER PORTION OF THE AREA TO BE VENTILATED, OR AT LEAST 3' ABOVE THE SOFFIT VENTILATION INTAKE.

2905 SQUARE FEET OF TOTAL ATTIC / 150 =
19.36 SQUARE FEET OF NET-FREE VENTILATION REQUIRED

TRUSS UPLIFT CONNECTORS: EXPOSURE B, 115 MPH, ANY PITCH, 24" O.C. MAX ROOF TRUSS SPACING

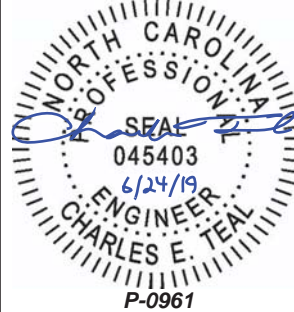
TRUSSES SHALL BE ATTACHED TO SUPPORT WALL FOR UPLIFT RESISTANCE. CONTINUOUS OSB WALL SHEATHING BELOW PROVIDES CONTINUOUS UPLIFT RESISTANCE TO FOUNDATION. ALL TRUSSES SUPPORTED BY INTERMEDIATE SUPPORT WALLS, KNEEWALLS, OR BEAMS SHALL BE ATTACHED TO SUPPORTING MEMBER PER SCHEDULE:

ROOF SPAN IS MEASURED HORIZONTALLY BETWEEN FURTHEST SUPPORT POINTS.

ROOF PLAN UP TO 28'	CONNECTOR NAILING PER TABLE 602.3(1) NCRBC 2018 EDITION
OVER 28'	(1) SIMPSON H2.5A HURRICANE CLIP TO DBL TOP PLATE OR BEAM
	OR (1) SIMPSON H3 CLIP TO SINGLE 2x4 PLATE



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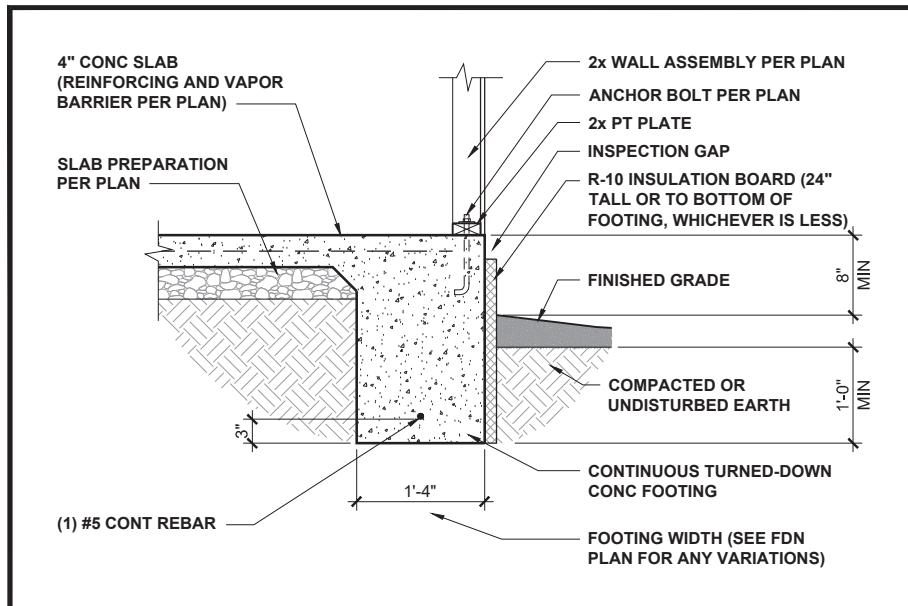
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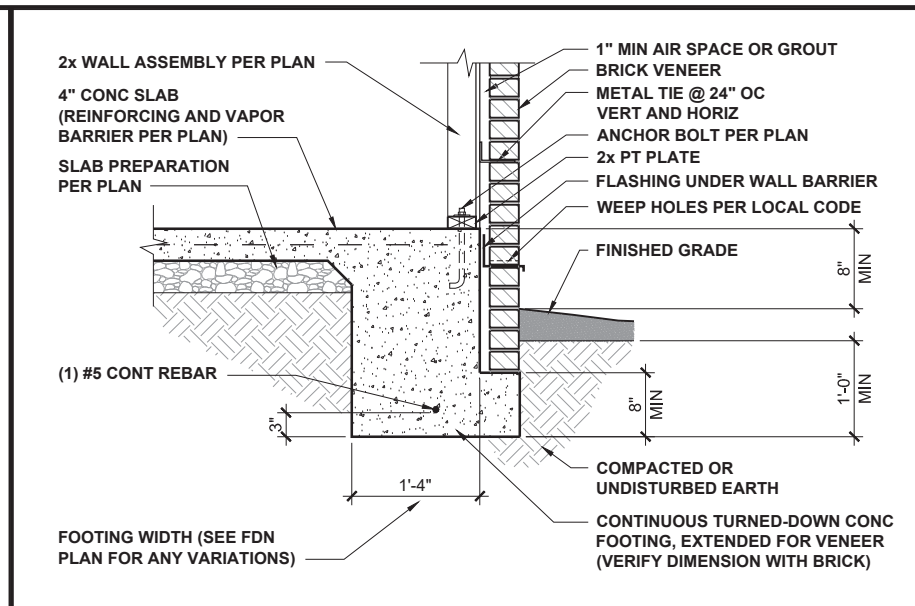
ROOF FRAMING PLAN

S7.0D

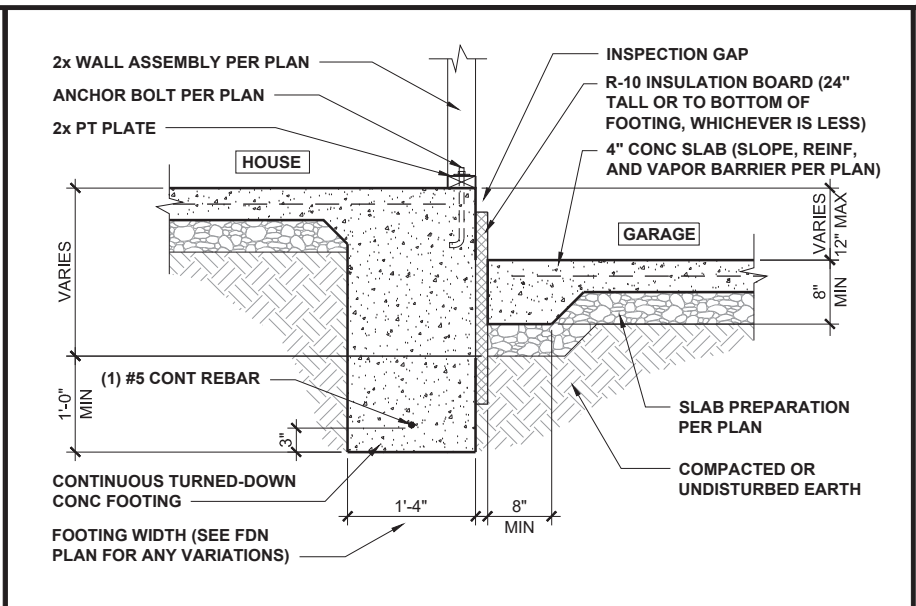
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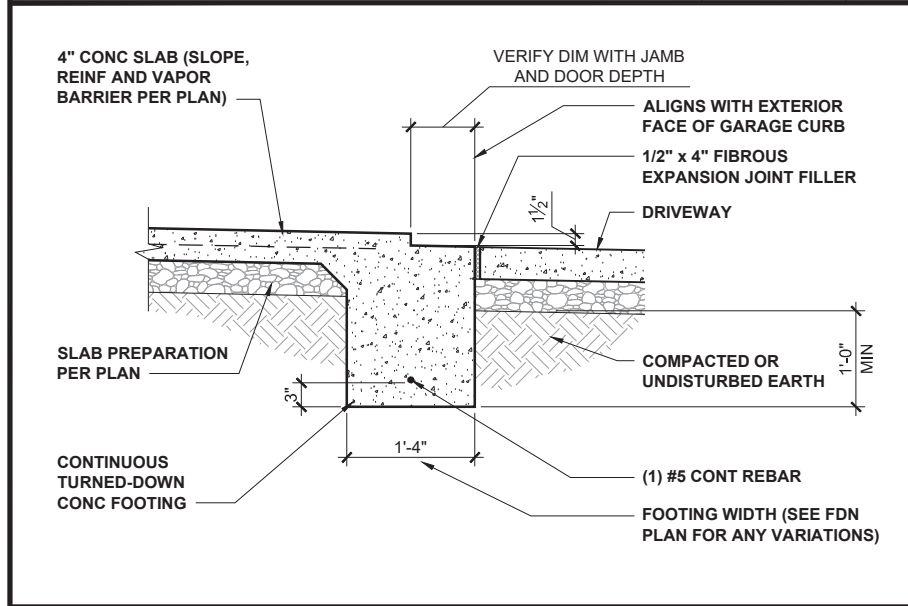
TURNED-DOWN CONC SLAB FOOTING 1/2" = 1'-0" **1**



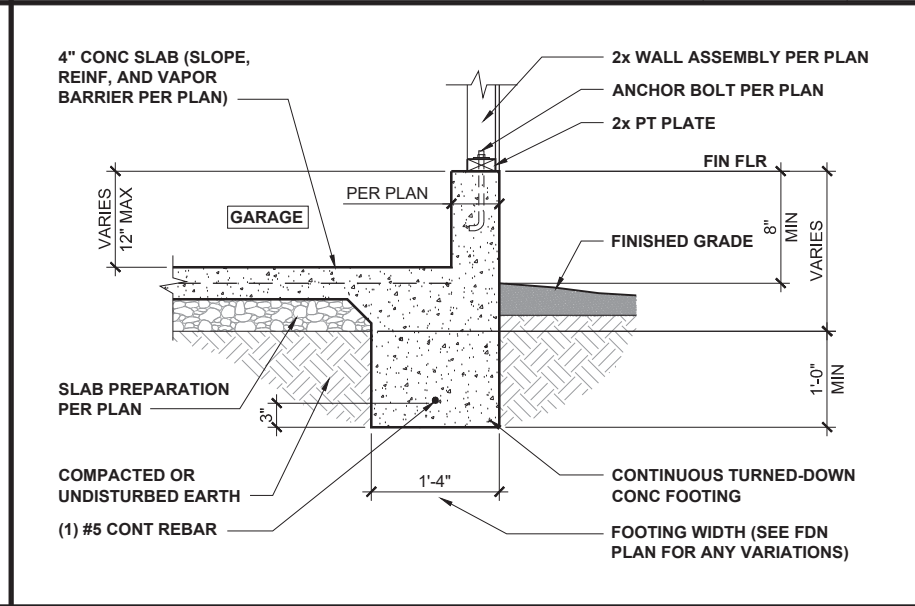
TURNED-DOWN FOOTING w/ BRICK 1/2" = 1'-0" **2**



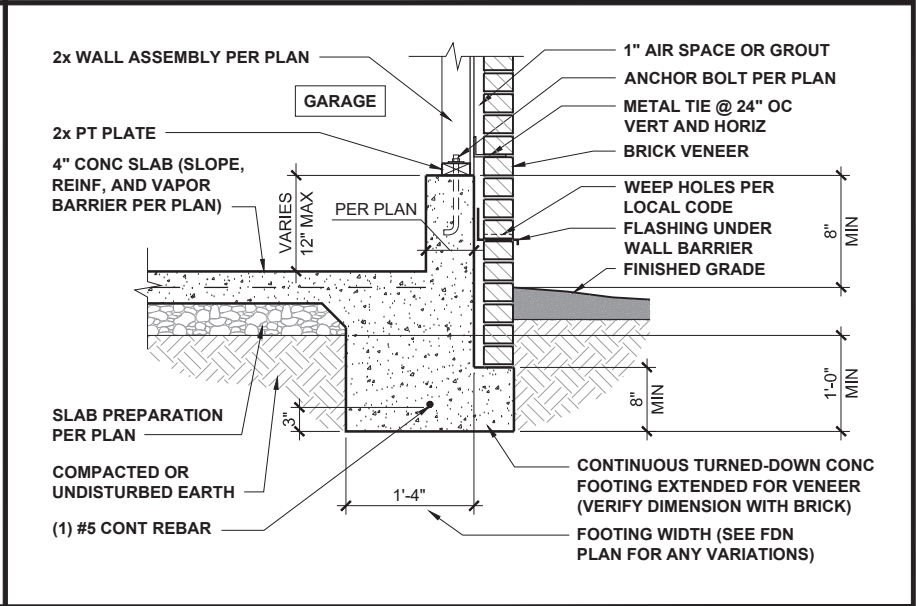
HOUSE / GARAGE FOOTING 1/2" = 1'-0" **3**



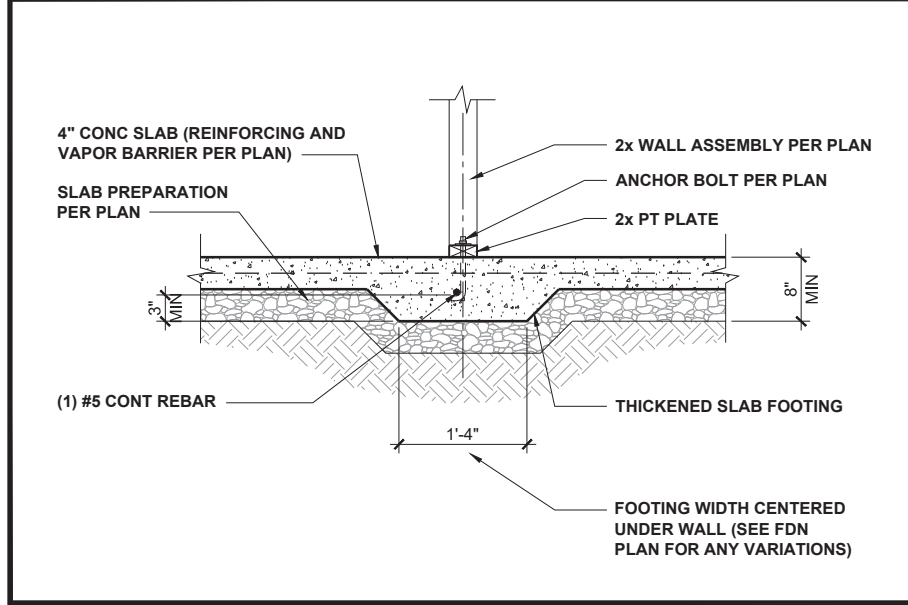
GARAGE DOORWAY FOOTING 1/2" = 1'-0" **4**



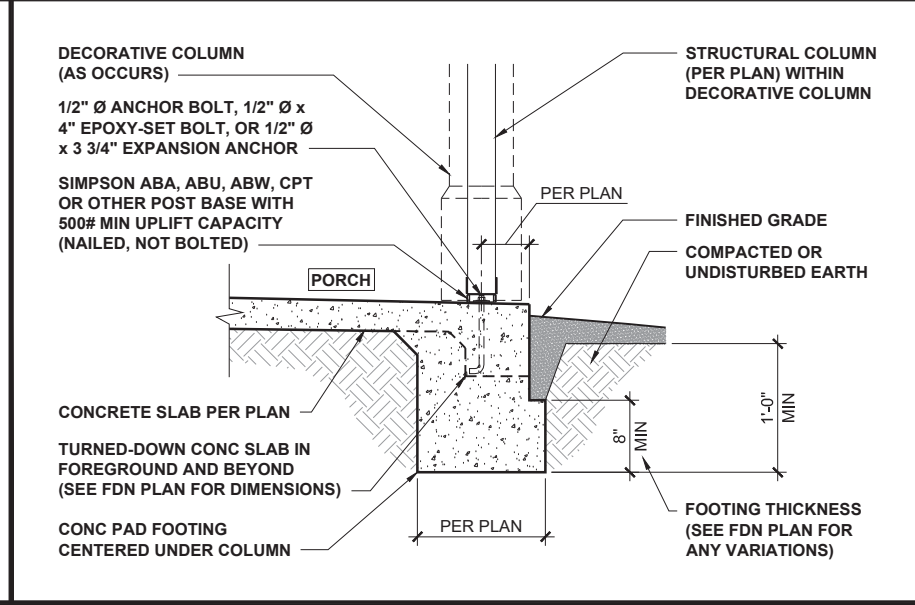
GARAGE FOUNDATION 1/2" = 1'-0" **5**



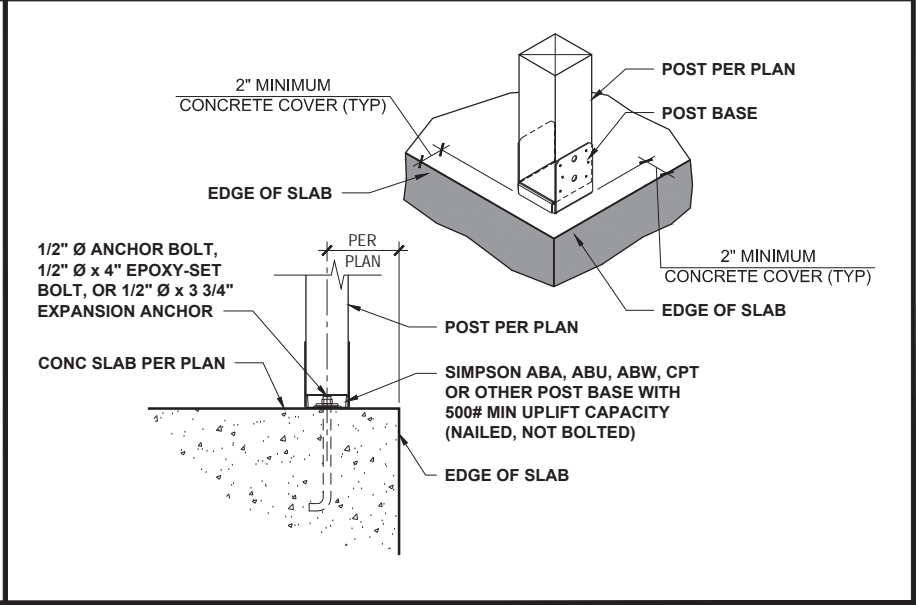
GARAGE FOUNDATION WITH BRICK 1/2" = 1'-0" **6**




INTERIOR FOOTING 1/2" = 1'-0" **7**



PORCH COLUMN FOUNDATION 1/2" = 1'-0" **8**

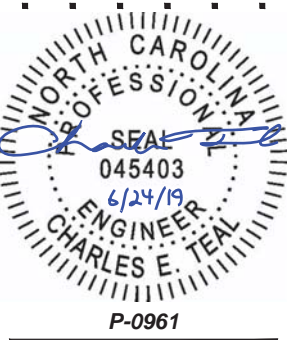


PORCH COLUMN 3/4" = 1'-0" **9**




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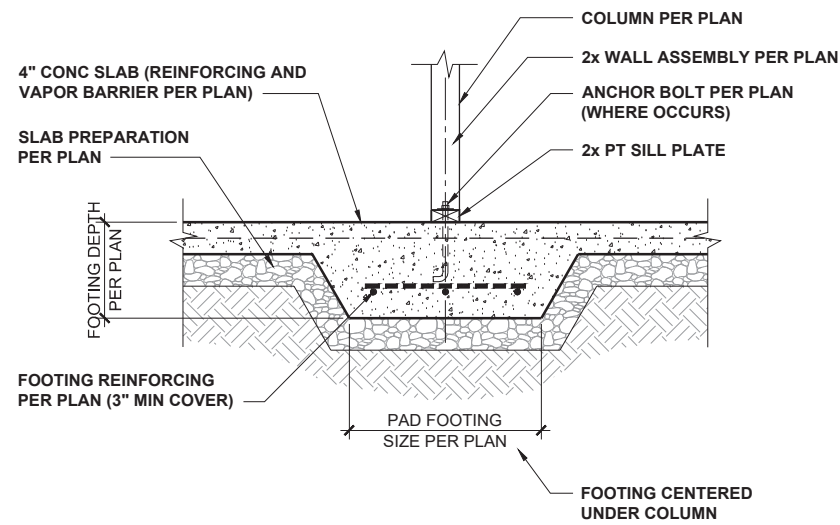
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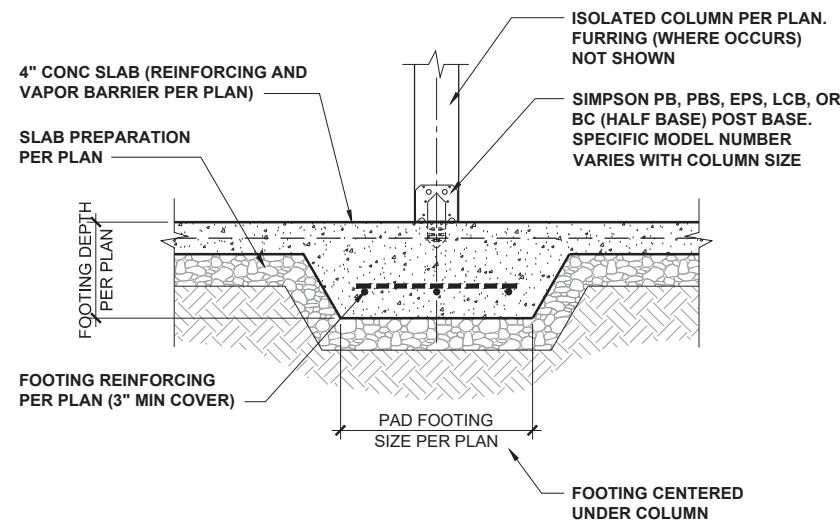
TURNED-DOWN SLAB
FOUNDATION DETAILS

D1.0

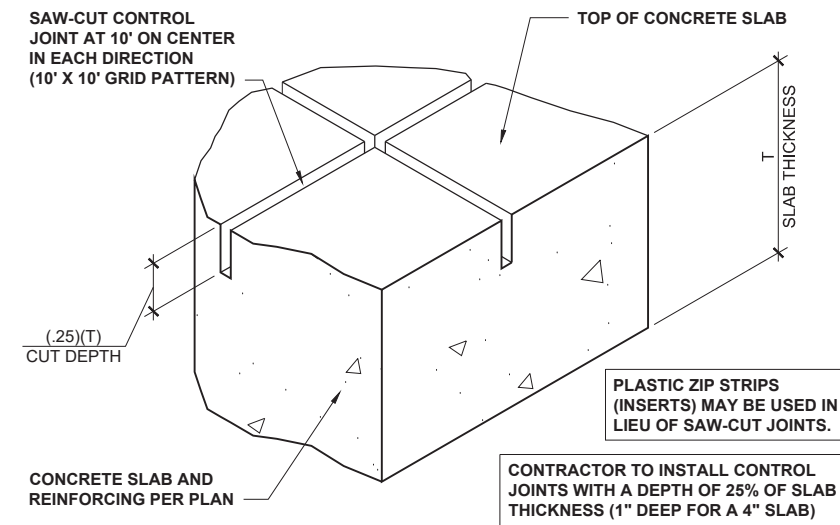
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INT POINT-LOAD FOOTING SECTION 1/2" = 1'-0" **1**



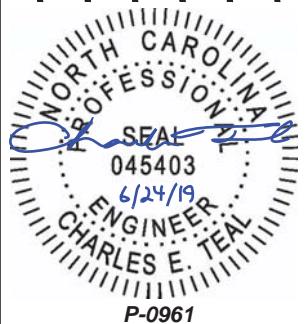
ISOLATED COLUMN FOOTING 1/2" = 1'-0" **2**



CONCRETE SLAB CONTROL JOINTS 3" = 1'-0" **3**



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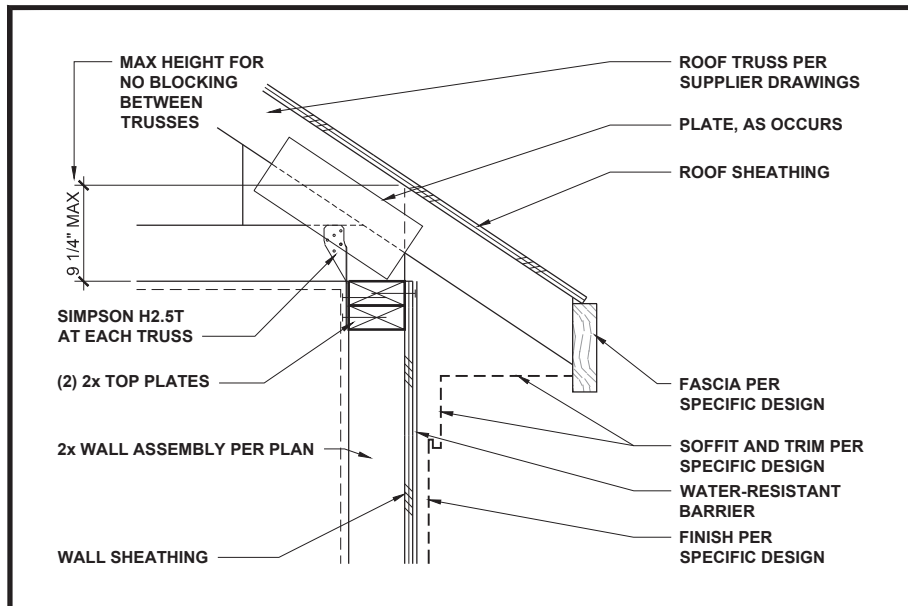
PROJECT NO.: 19901074
DATE: 5/23/2019

PLAN:
243.2939

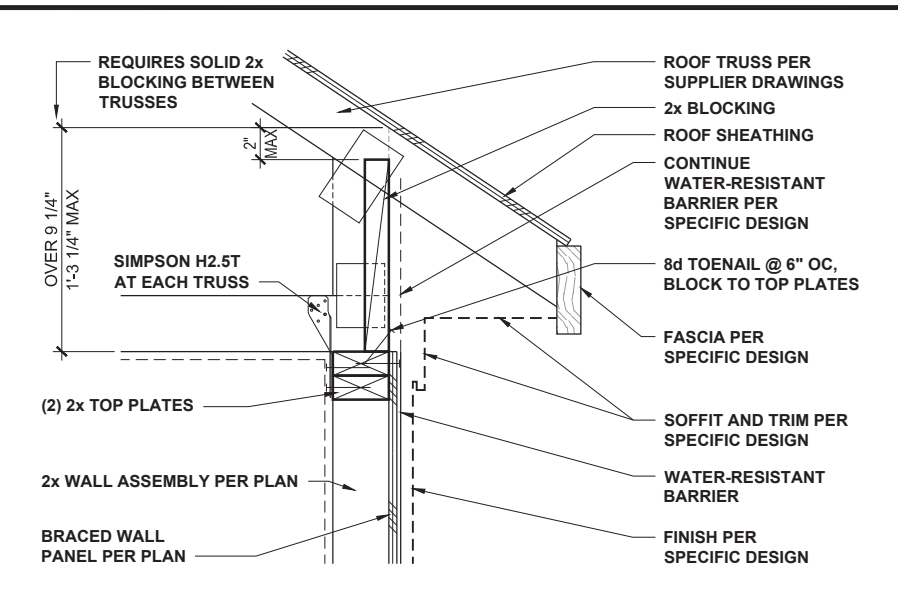
TURNED-DOWN SLAB
FOUNDATION DETAILS

D2.0

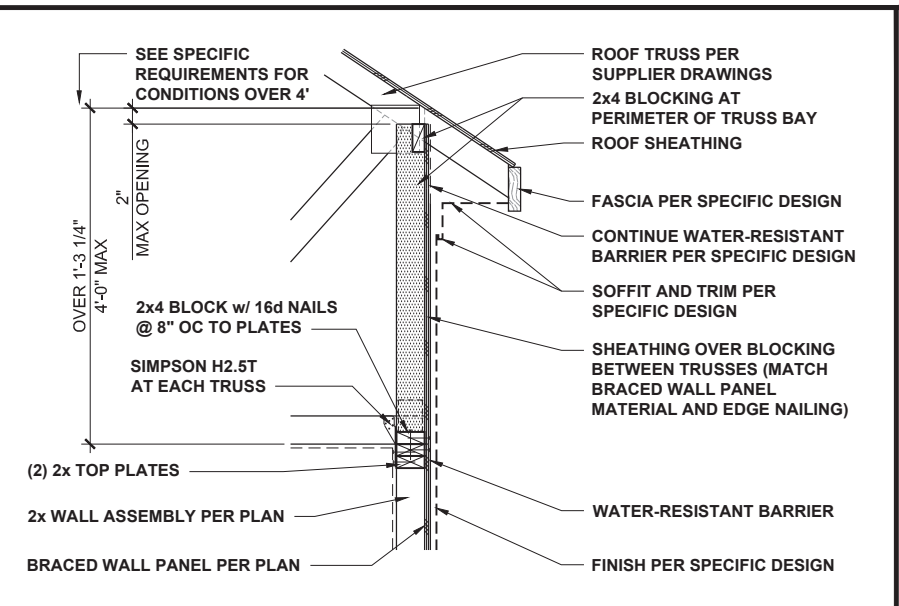
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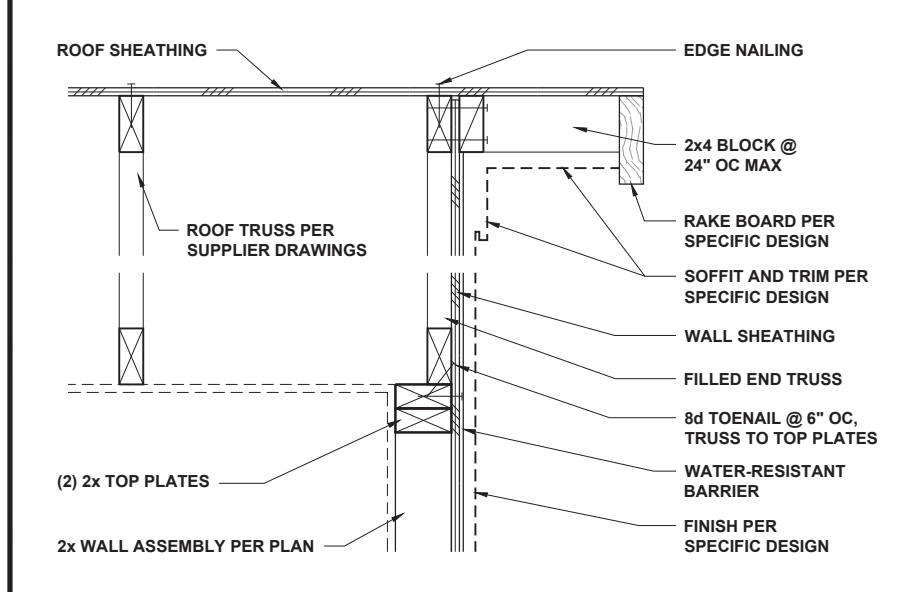
LOW-HEEL TRUSS AT WALL 1" = 1'-0" **1**



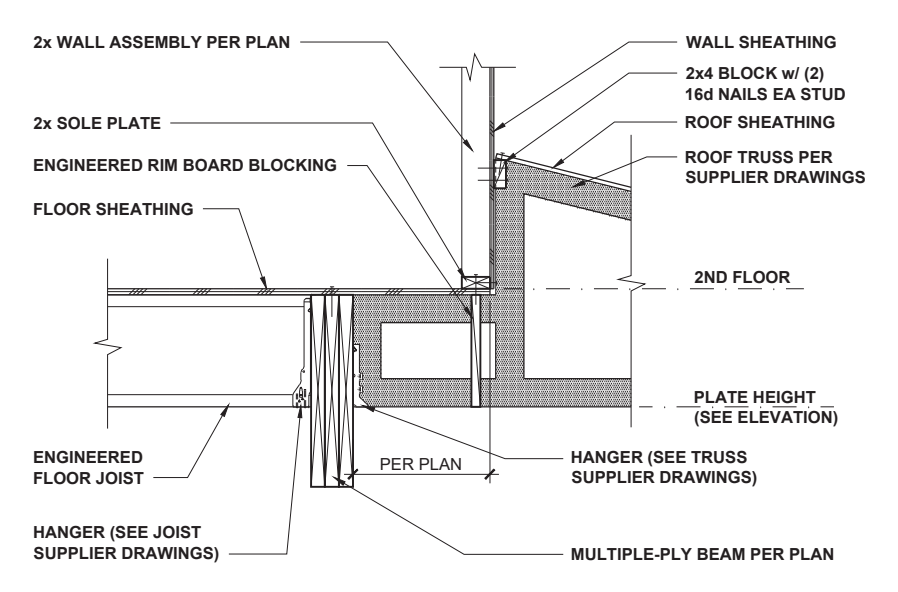
TYPICAL TRUSS AT BRACED WALL 1" = 1'-0" **2**



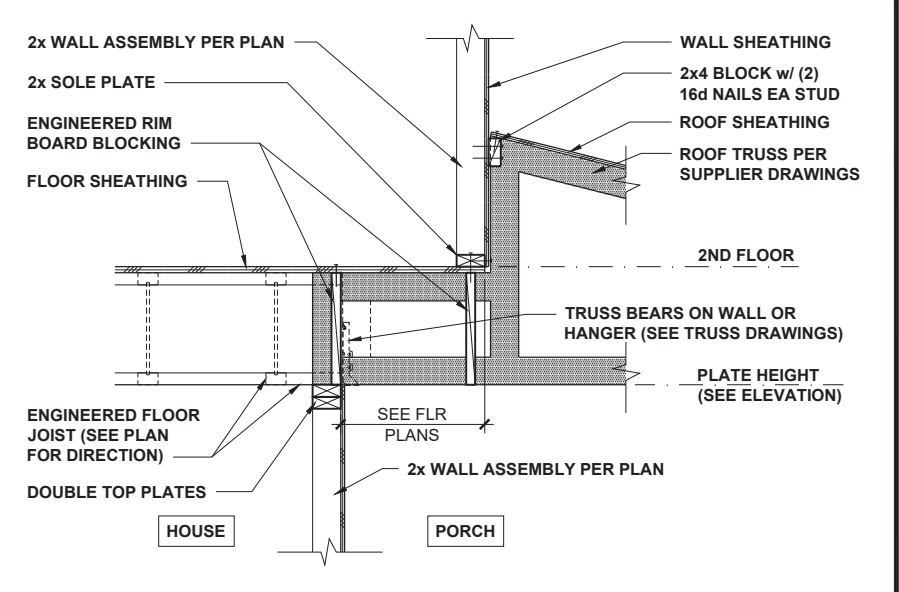
HIGH-HEEL TRUSS AT BRACED WALL 1/2" = 1'-0" **3**



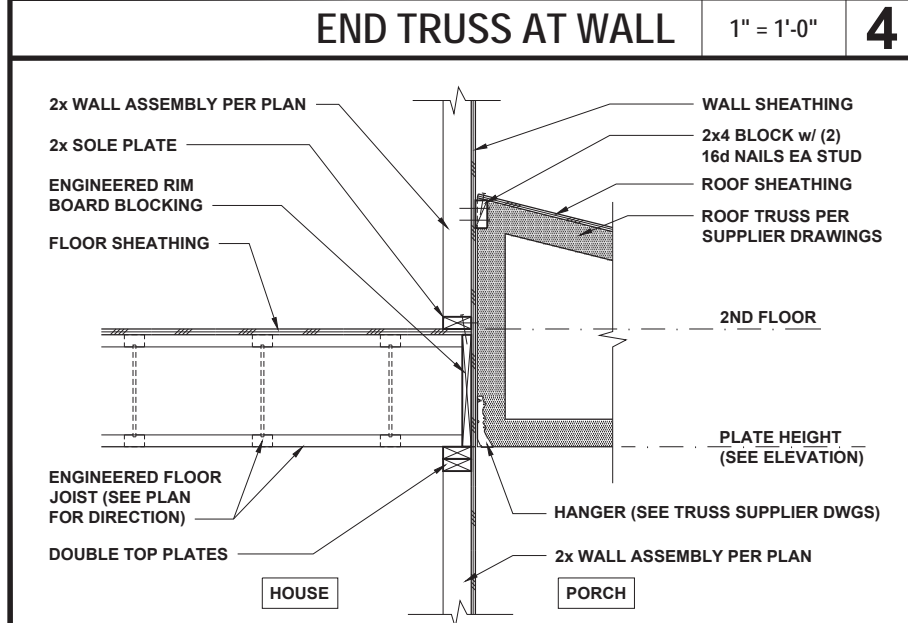
END TRUSS AT WALL 1" = 1'-0" **4**



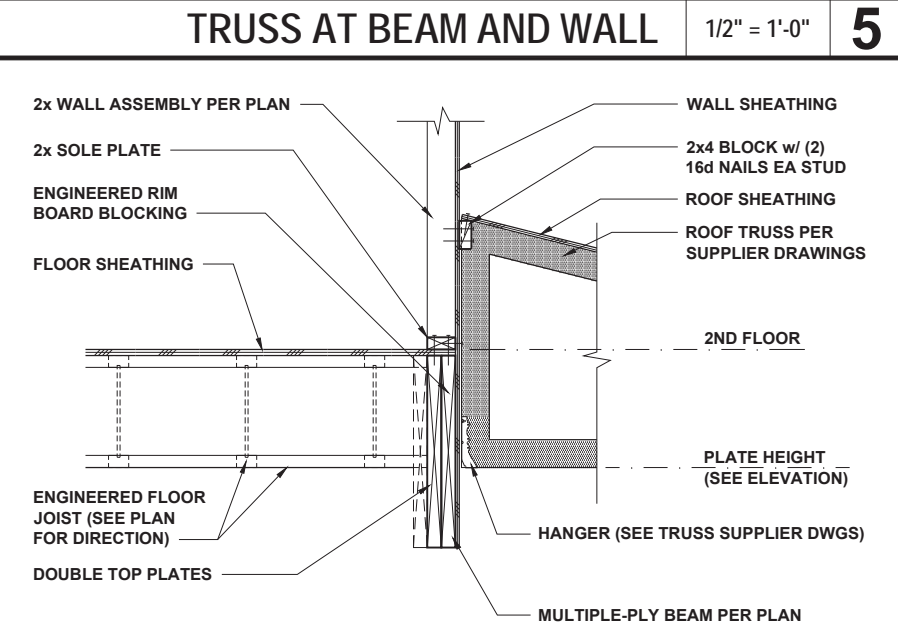
TRUSS AT BEAM AND WALL 1/2" = 1'-0" **5**



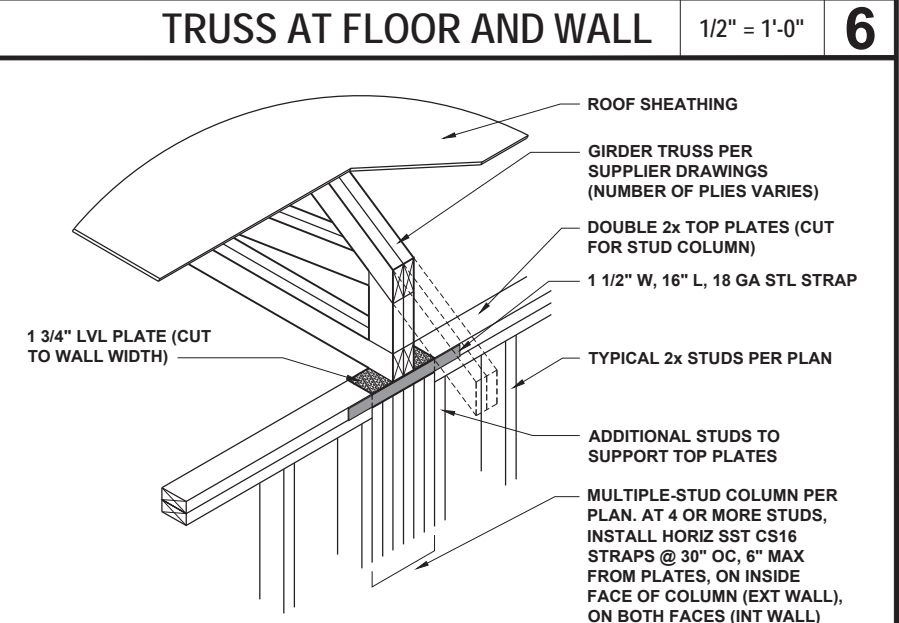
TRUSS AT FLOOR AND WALL 1/2" = 1'-0" **6**



TRUSS AT FLOOR AND WALL 1/2" = 1'-0" **7**



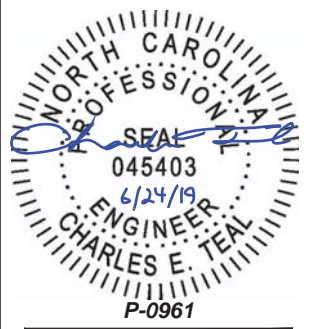
TRUSS AT BEAM AND WALL 1/2" = 1'-0" **8**



GIRDER TRUSS AT WALL 1/2" = 1'-0" **9**



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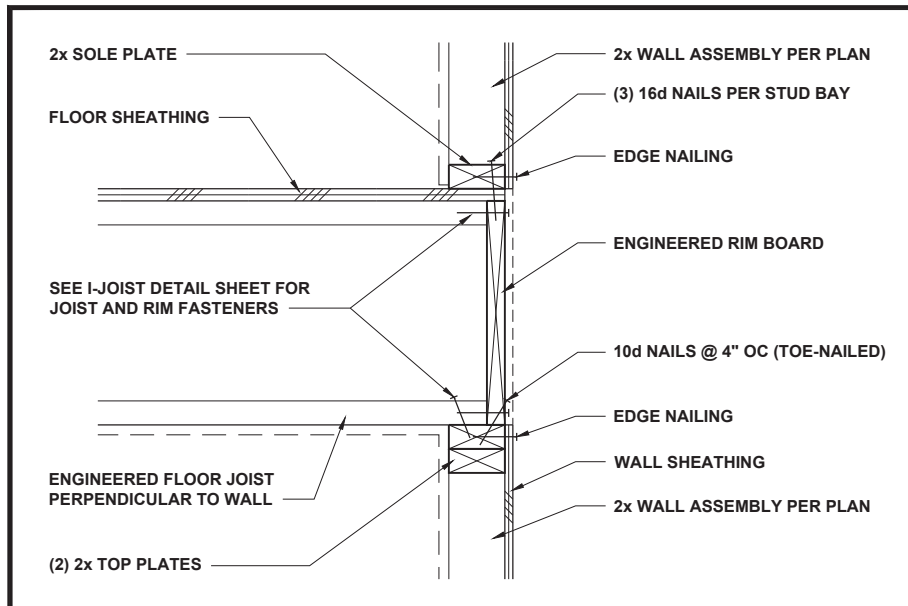


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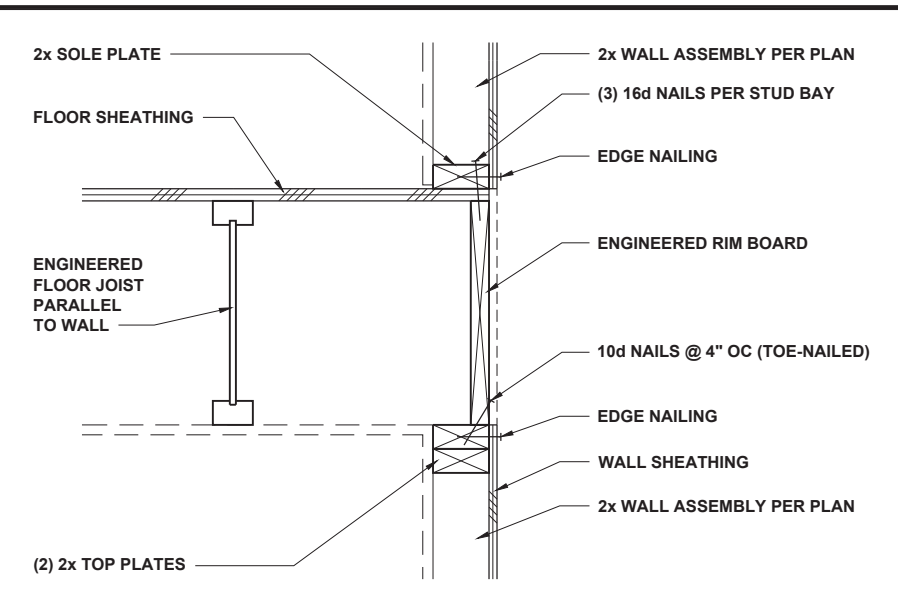
PLAN:
243.2939

ROOF TRUSS
FRAMING DETAILS
D4.0

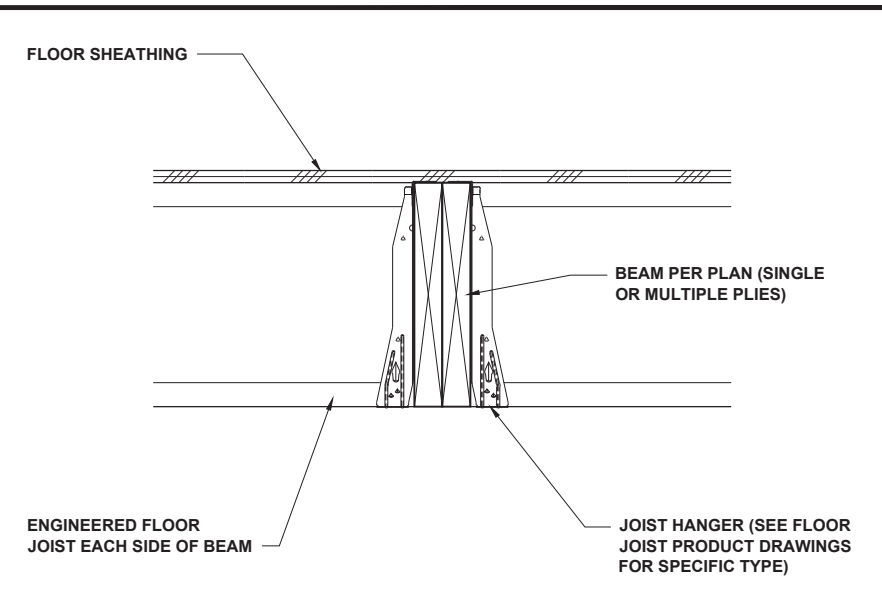
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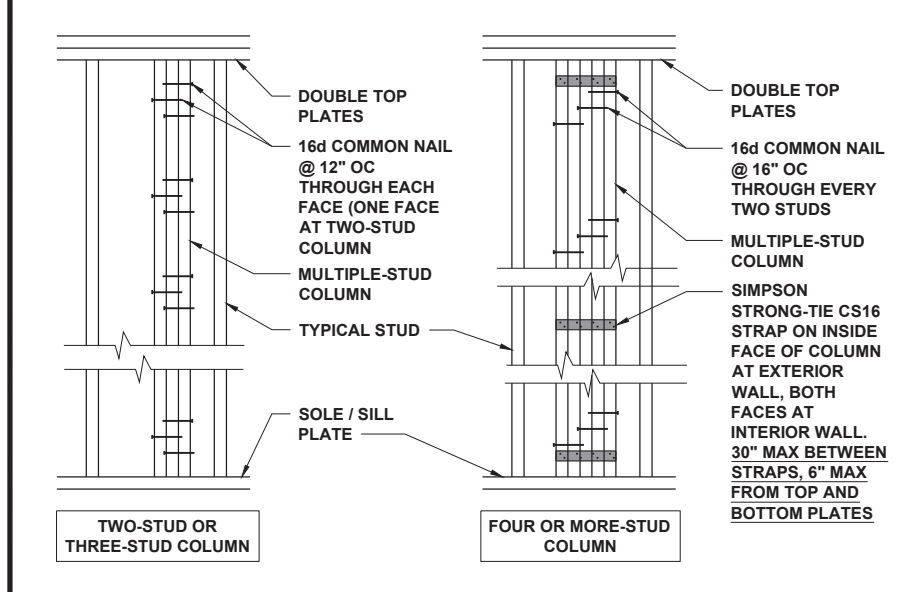
FLOOR JOISTS PERP TO WALL 1" = 1'-0" **1**



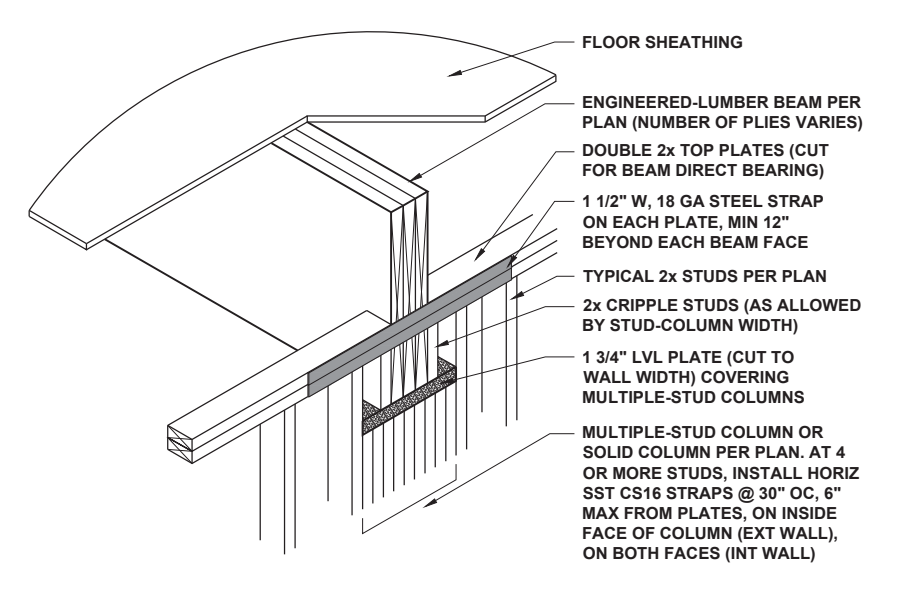
FLOOR JOISTS PARALLEL TO WALL 1" = 1'-0" **2**



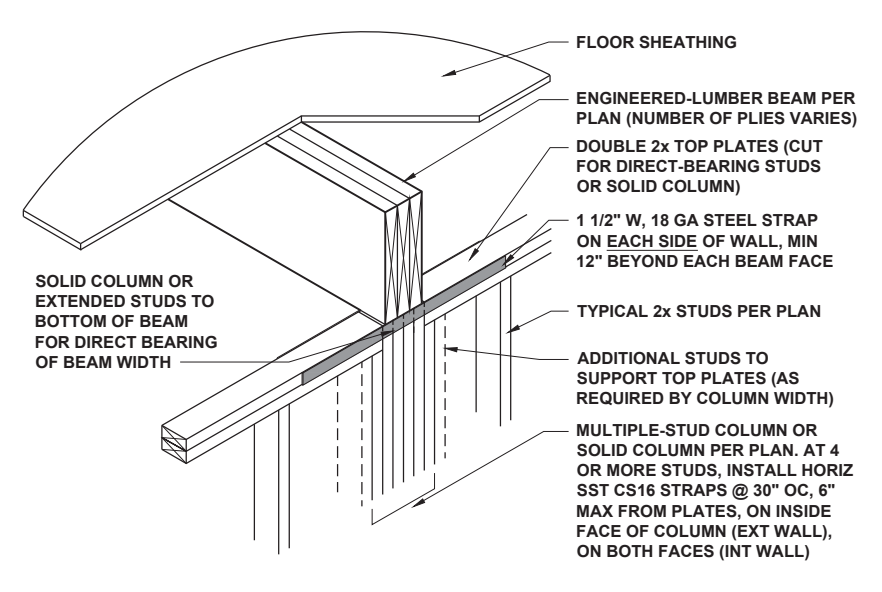
FLOOR JOISTS AT FLUSH BEAM 3/4" = 1'-0" **3**



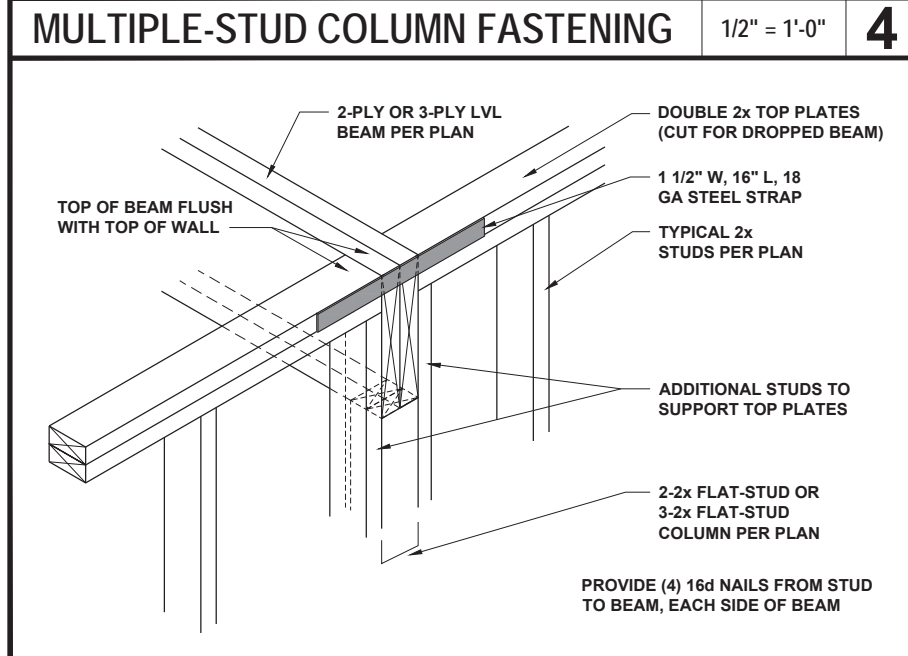
MULTIPLE-STUD COLUMN FASTENING 1/2" = 1'-0" **4**



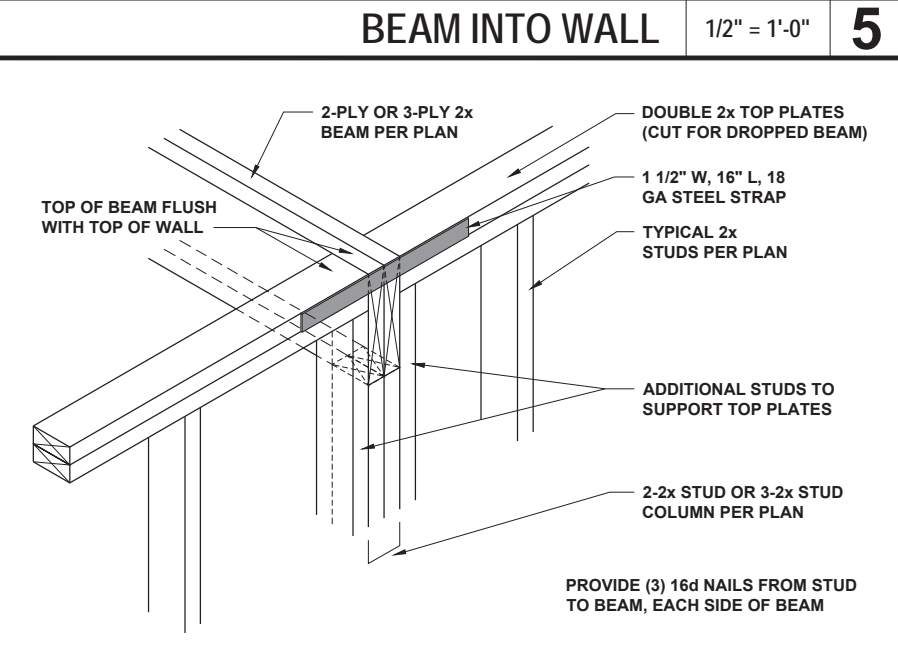
BEAM INTO WALL 1/2" = 1'-0" **5**



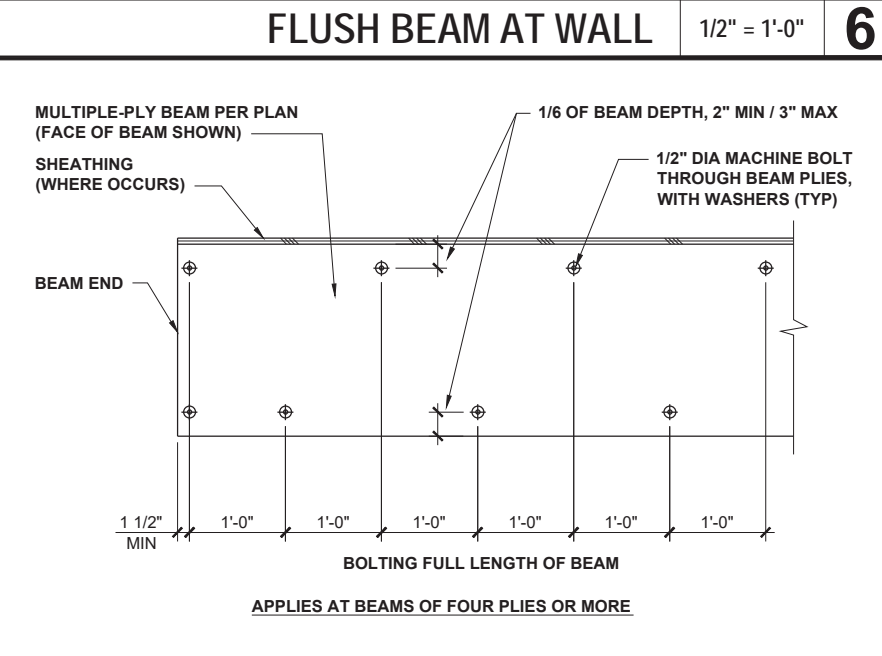
FLUSH BEAM AT WALL 1/2" = 1'-0" **6**



DROPPED LVL BEAM AT WALL 3/4" = 1'-0" **7**



DROPPED 2x BEAM AT WALL 3/4" = 1'-0" **8**



MULTIPLE-PLY BEAM BOLTING 1/2" = 1'-0" **9**



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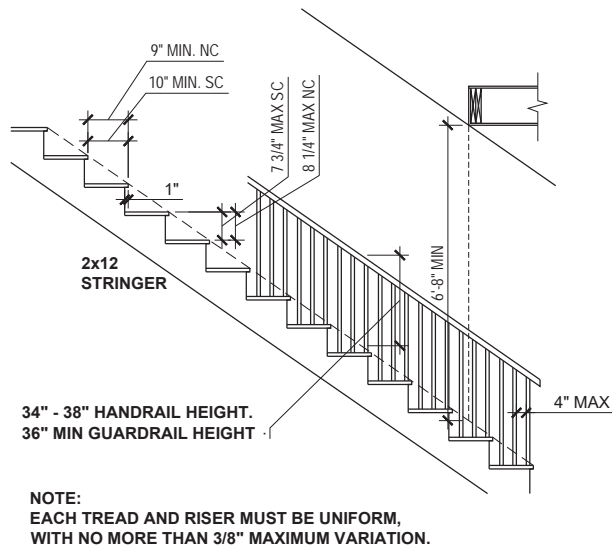
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MISCELLANEOUS
FRAMING DETAILS

D5.0

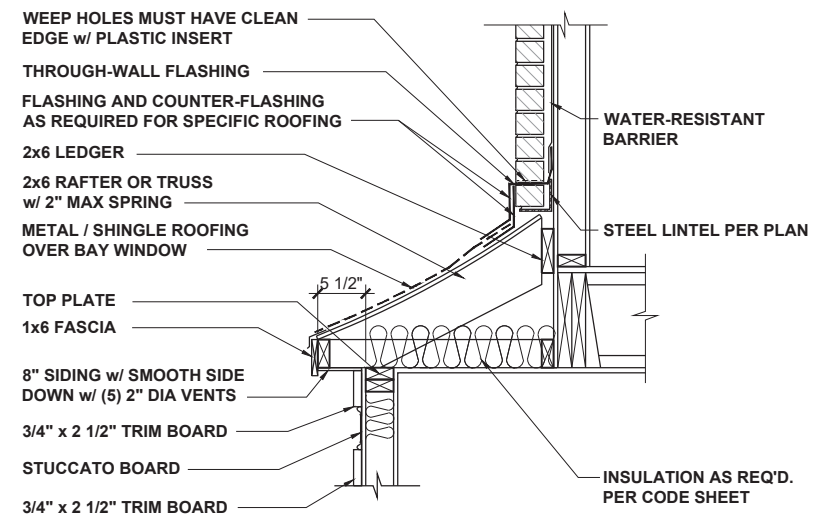
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NOTE:
EACH TREAD AND RISER MUST BE UNIFORM,
WITH NO MORE THAN 3/8\"/>

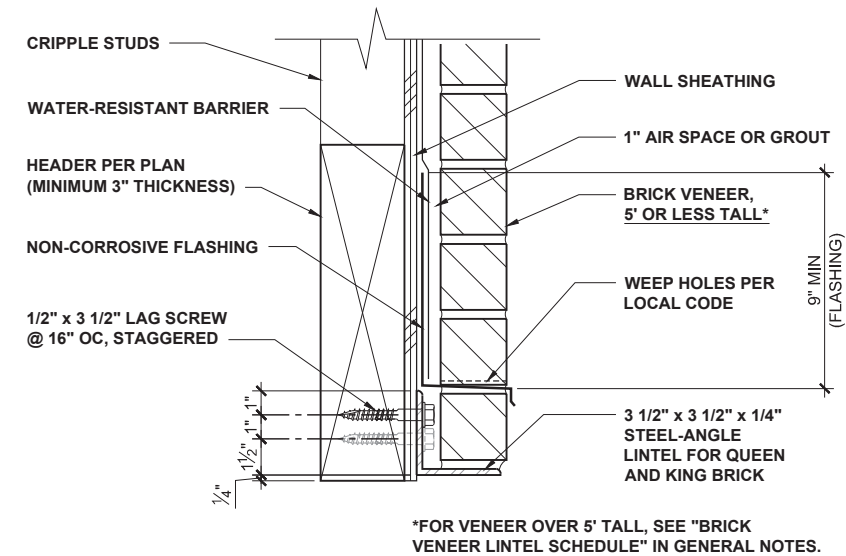
TYPICAL STAIR REQUIREMENTS

1/4" = 1'-0" **1**



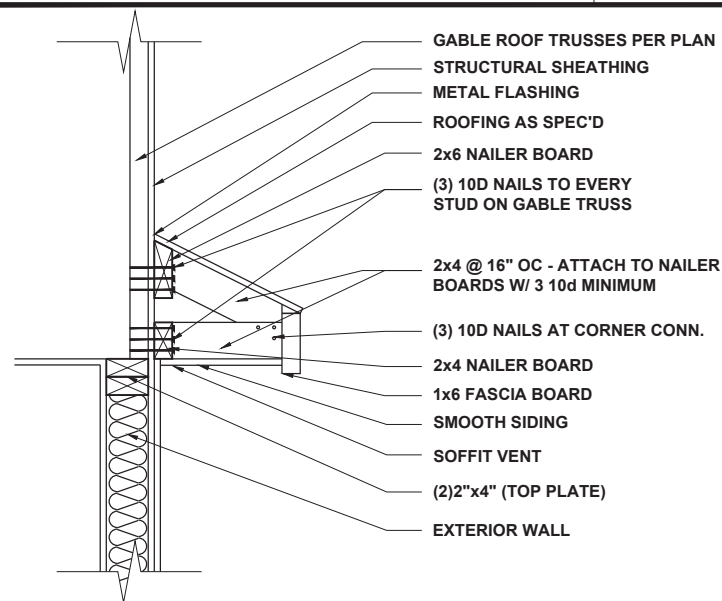
BAY ROOF

1/2" = 1'-0" **2**



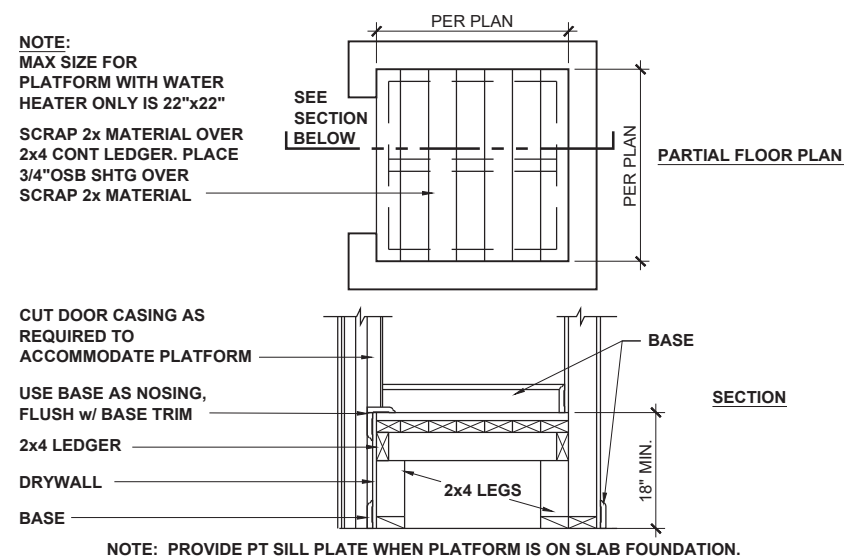
ALTERNATE LINTEL AT WIDE OPENING

1 1/2" = 1'-0" **3**



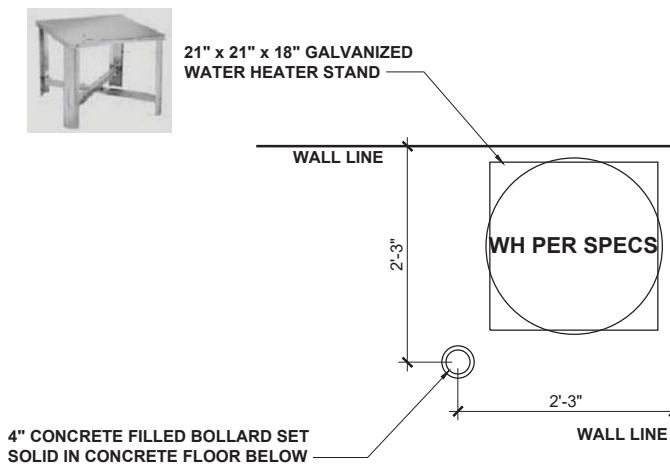
GABLE ROOF RETURN

3/4" = 1'-0" **4**



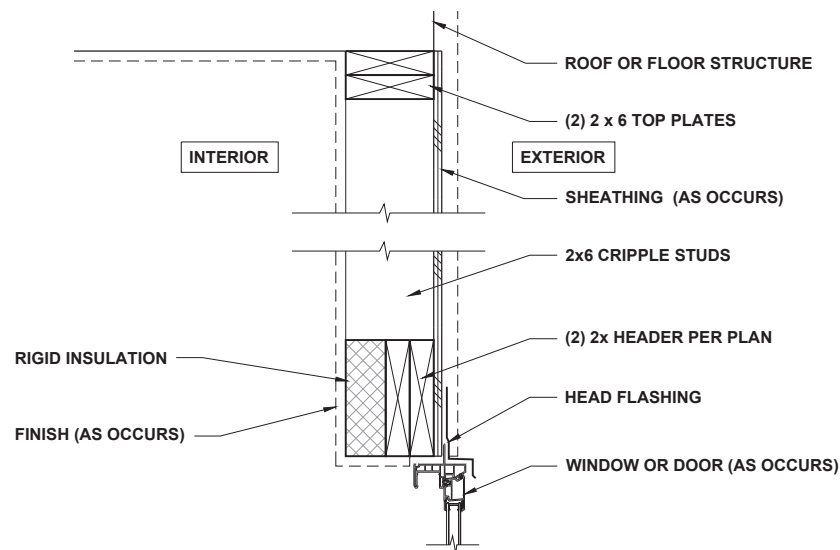
HVAC / WATER HEATER CLOSET

1/2" = 1'-0" **5**



WATER HTR PLATFORM IN GARAGE

1/2" = 1'-0" **6**

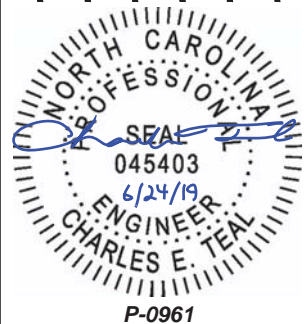


HEADER WITH INSULATION

1" = 1'-0" **7**



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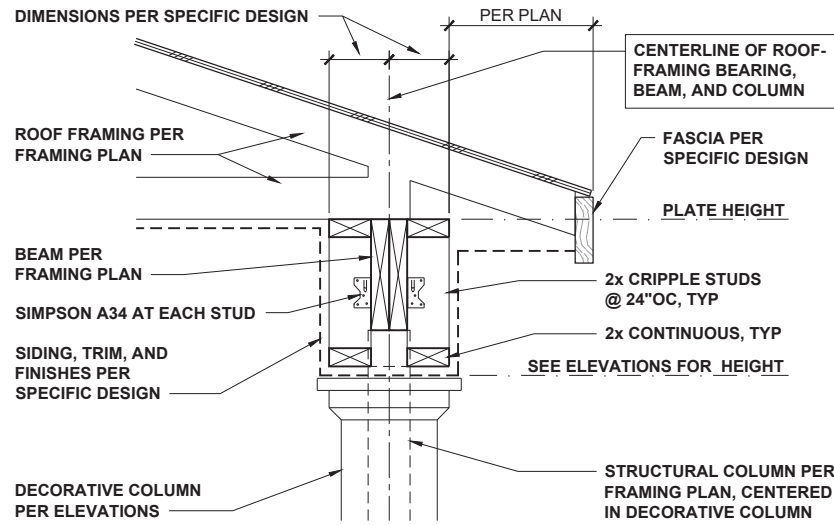
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DATE: 5/23/2019

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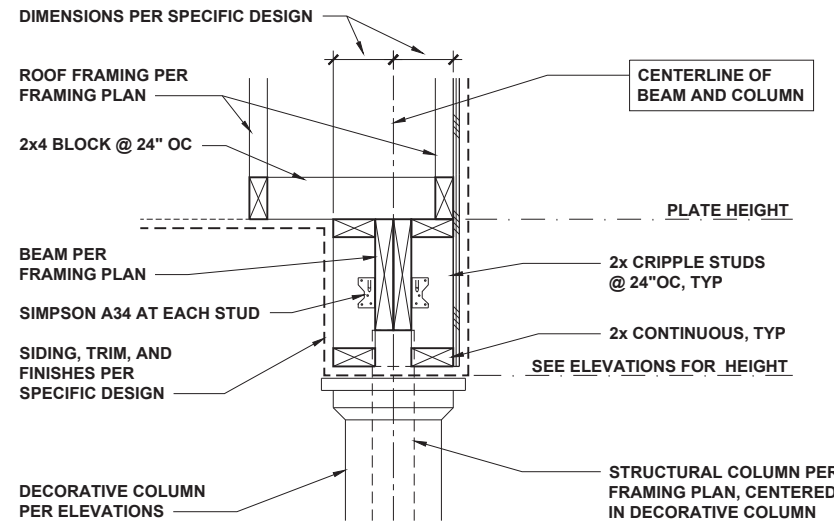
MISCELLANEOUS
FRAMING DETAILS

D6.0

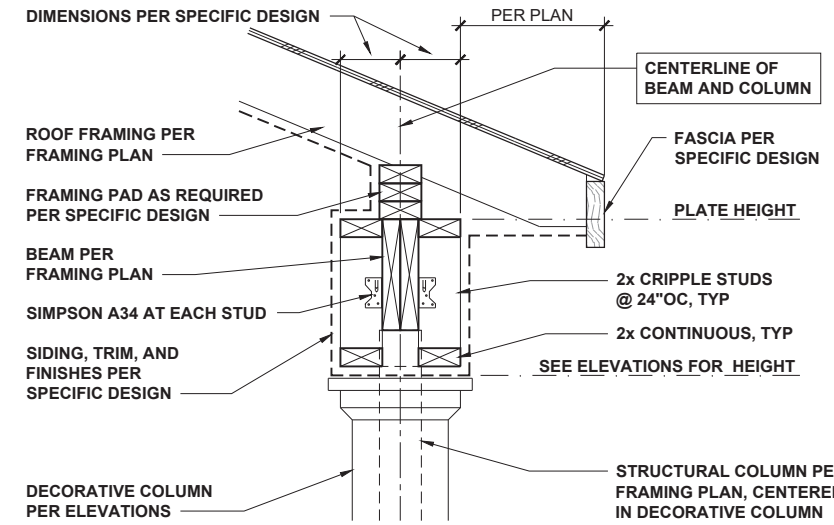
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COVERED PORCH EAVES 3/4" = 1'-0" **1**



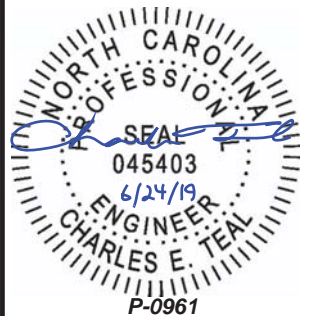
COVERED PORCH RAKE 3/4" = 1'-0" **2**



COVERED PORCH WITH SLOPING CLG 3/4" = 1'-0" **3**



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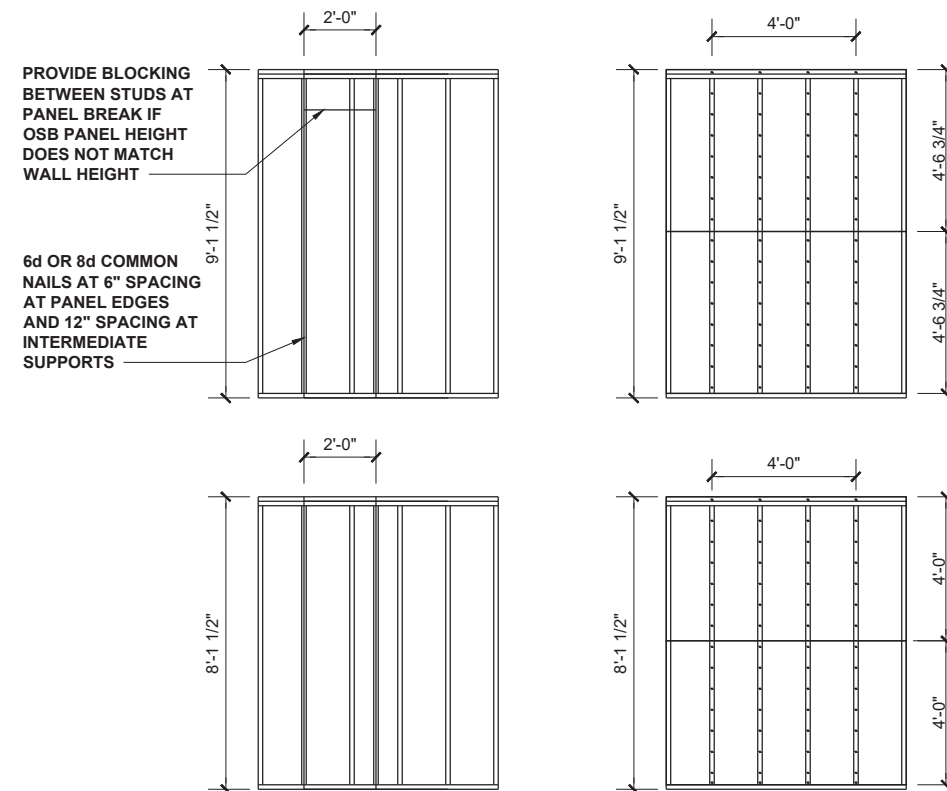
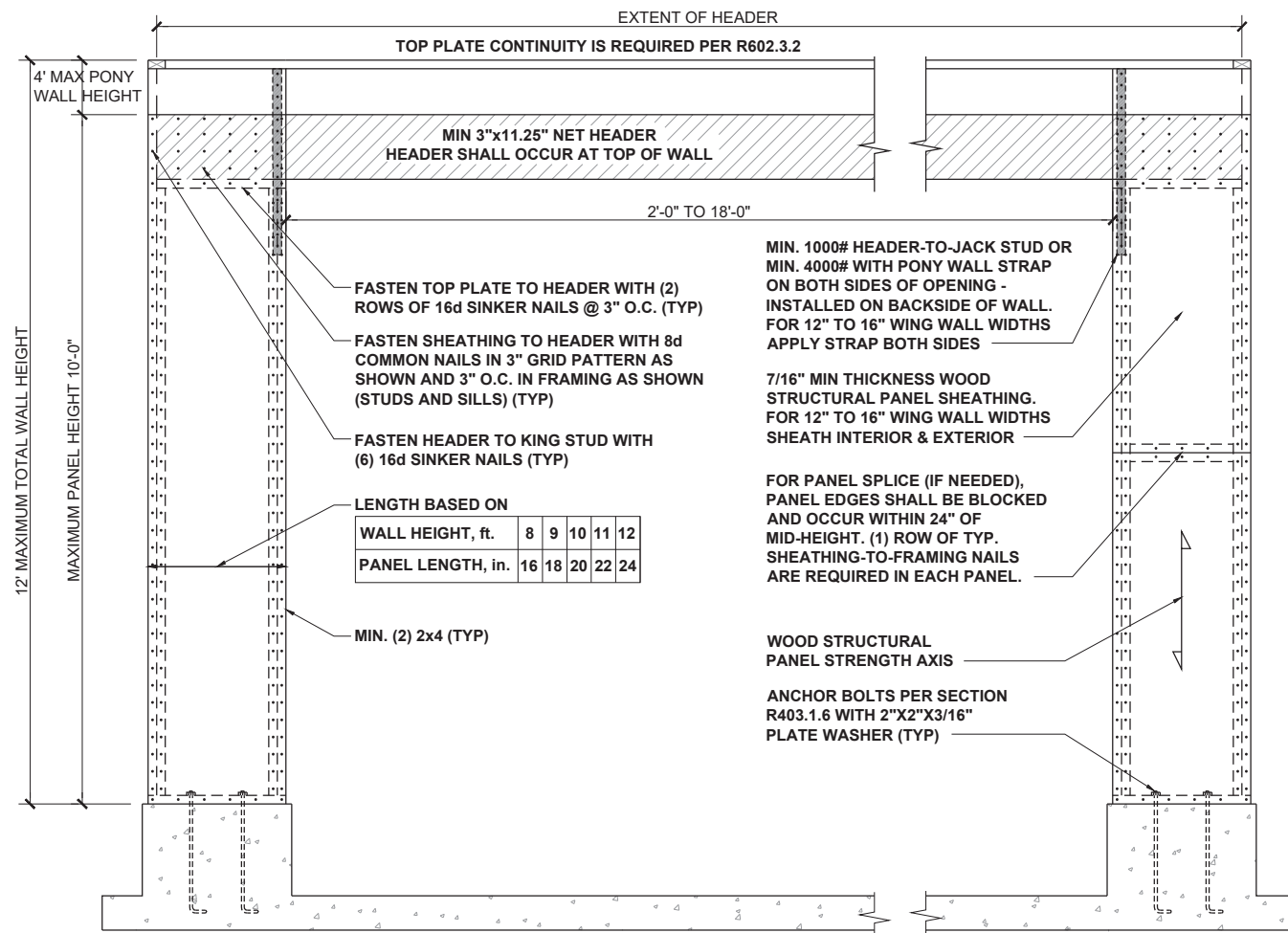
PROJECT NO.: 19901074
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MISCELLANEOUS
FRAMING DETAILS

D7.0

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CS-WSP - WOOD STRUCTURAL PANEL (CONTINUOUSLY SHEATHED)

BRACED WALL PANEL 7/16" MIN. OSB SHEATHING ON ONE SIDE OF WALL. MINIMUM PANEL LENGTH 24".

GB - GYPSUM BOARD

BRACED WALL PANEL 1/2" GYPSUM BOARD NAILED TO STUDS AT 7" O.C. USING 5d COOLER NAILS OR #6 SCREWS. MINIMUM PANEL LENGTH 48" WHEN APPLIED TO BOTH SIDES OF WALL AND 96" WHEN APPLIED TO ONE SIDE OF WALL.

HIGH-SPEED WIND ZONES

FOR LOCATIONS OF 130 MPH OR MORE ULTIMATE DESIGN WIND SPEED (110 MPH OR MORE BASIC WIND SPEED IN VIRGINIA AND GEORGIA), WALLS SHALL BE BRACED PER THE LATEST ADOPTED EDITION OF THE AMERICAN SOCIETY OF CIVIL ENGINEERS PUBLICATION ASCE 7 OR STANDARD FOR RESIDENTIAL CONSTRUCTION IN HIGH-WIND REGIONS (ICC 600).

METHOD PF: PORTAL FRAME PANEL CONSTRUCTION

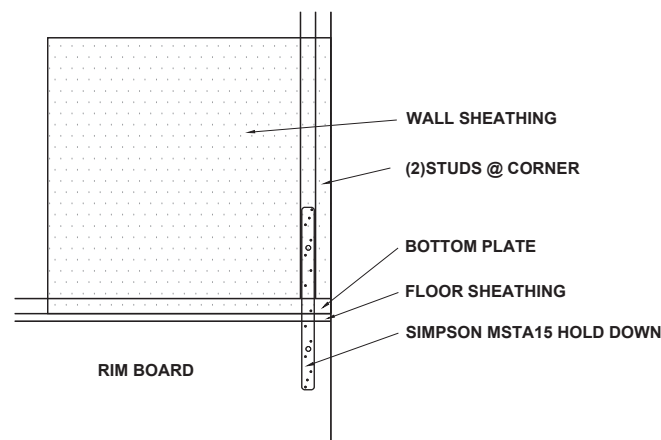
3/8" = 1'-0"

1

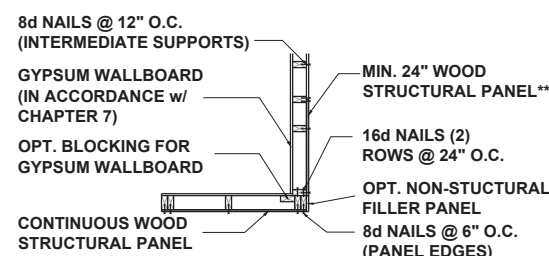
BRACING METHODS

3/16" = 1'-0"

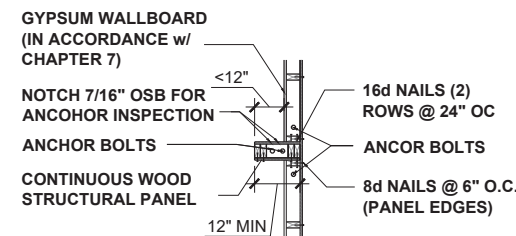
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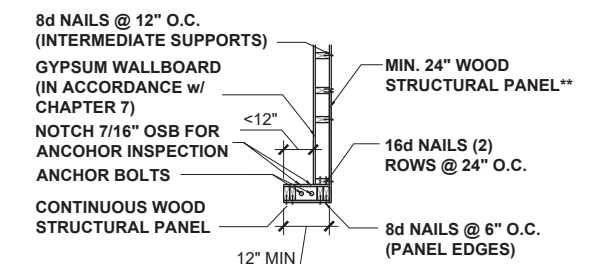
SIMPSON MSTA15 HOLD DOWN CAPACITY OF 970 POUNDS PER ANCHOR WITH (12) 10d NAILS. STRAP TO BE LOCATED AT EDGE OF BRACED WALL PANEL.



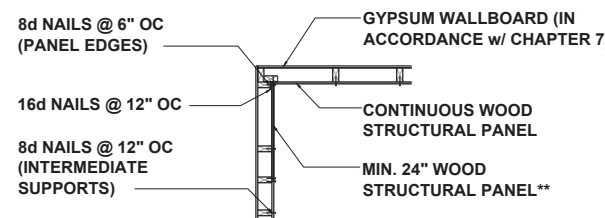
A) GARAGE DOOR CORNER



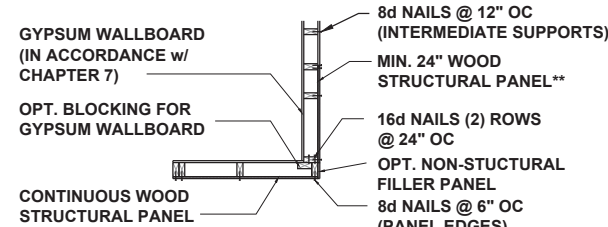
B) GARAGE T-WALL PORTAL FRAMING 16"-12"



C) GARAGE DOOR CORNER PORTAL FRAMING 16"-12"



D) ALT. INSIDE CORNER DETAIL



E) ALT. OUTSIDE CORNER DETAIL

** IN LIEU OF THE CORNER RETURN, A HOLD-DOWN DEVICE WITH A MINIMUM UPLIFT DESIGN VALUE OF 800# SHALL BE FASTENED TO THE CORNER STUD AND TO THE FOUNDATION OR FRAMING BELOW.

BRACED WALL HOLD-DOWN

NTS

3

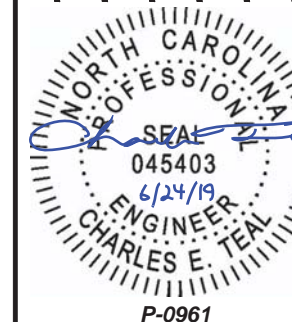
CORNER FRAMING FOR CONTINUOUS SHEATHING

1/4" = 1'-0"

4



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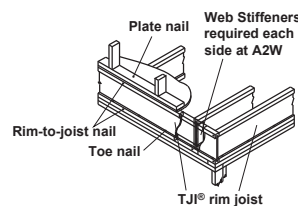
PROJECT NO.: 19901074
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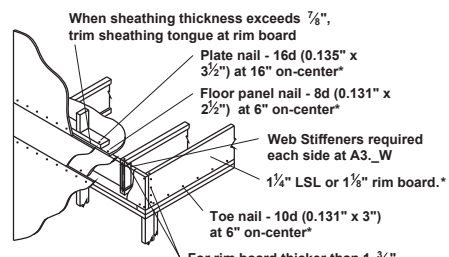
WALL BRACING DETAILS

D8.0

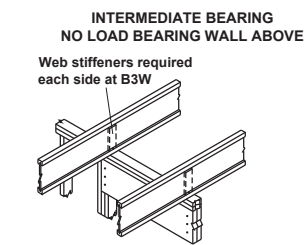
JOIST DETAILS



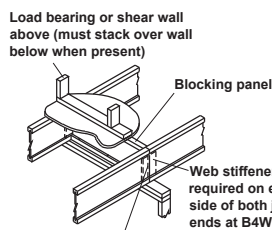
A2 A2W Must have 1 3/8" minimum joist bearing at ends. Attach rim joist per A3 detail.



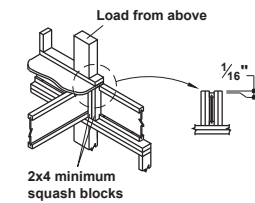
A3 A3W For rim board thicker than 1 3/4" - Attach Joist to rim board with one 10d (0.128"x3") nail. Top nail from joist into rim board. - Connect corner with four 10d (0.128"x3") nails. Toe nail from side of parallel closure into rim board



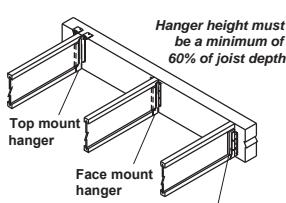
B3 B3W Blocking panels may be required with shear walls above or below (See detail B1)



B4 B4W End of joists at centerline of support



CS Use 2x4 minimum squash blocks to transfer load around joist



H1 Web stiffeners required if sides of hanger do not laterally support at least 3/8" of joist top flange

FASTENING OF FLOOR PANELS

Guidelines for Closest On-Center Spacing per Row

* SEE I-JOIST EQUIVALENCY CHART

Nail Size	I-JOIST *		Rim Board	1 1/2"	LVL	PSL
	110, 210, and 230 EQ.	360 and 560 EQ.	1 1/4" LSL	LSL or wider		
8d (0.131" x 2 1/2")	4"	3"	4"	3"	3"	3"
10d (0.148" x 3"), 12d (0.148" x 3 1/4")	4"	4"	4"	4"	4"	4"
16d (0.162" x 3 1/2")	6"	6"	6" (2)	6" (2)	8"	6"

(1) One row of fasteners permitted (two at abutting panel edges) for diaphragms. Stagger nails when using 4" on-center spacing and maintain 3/8" joist and panel edge distance. For other applications, multiple rows of fasteners are permitted if the rows are offset at least 1/2" and staggered.

(2) Can be reduced to 4" on-center if nail penetration into the narrow edge is no more than 1 3/8" (to avoid splitting).

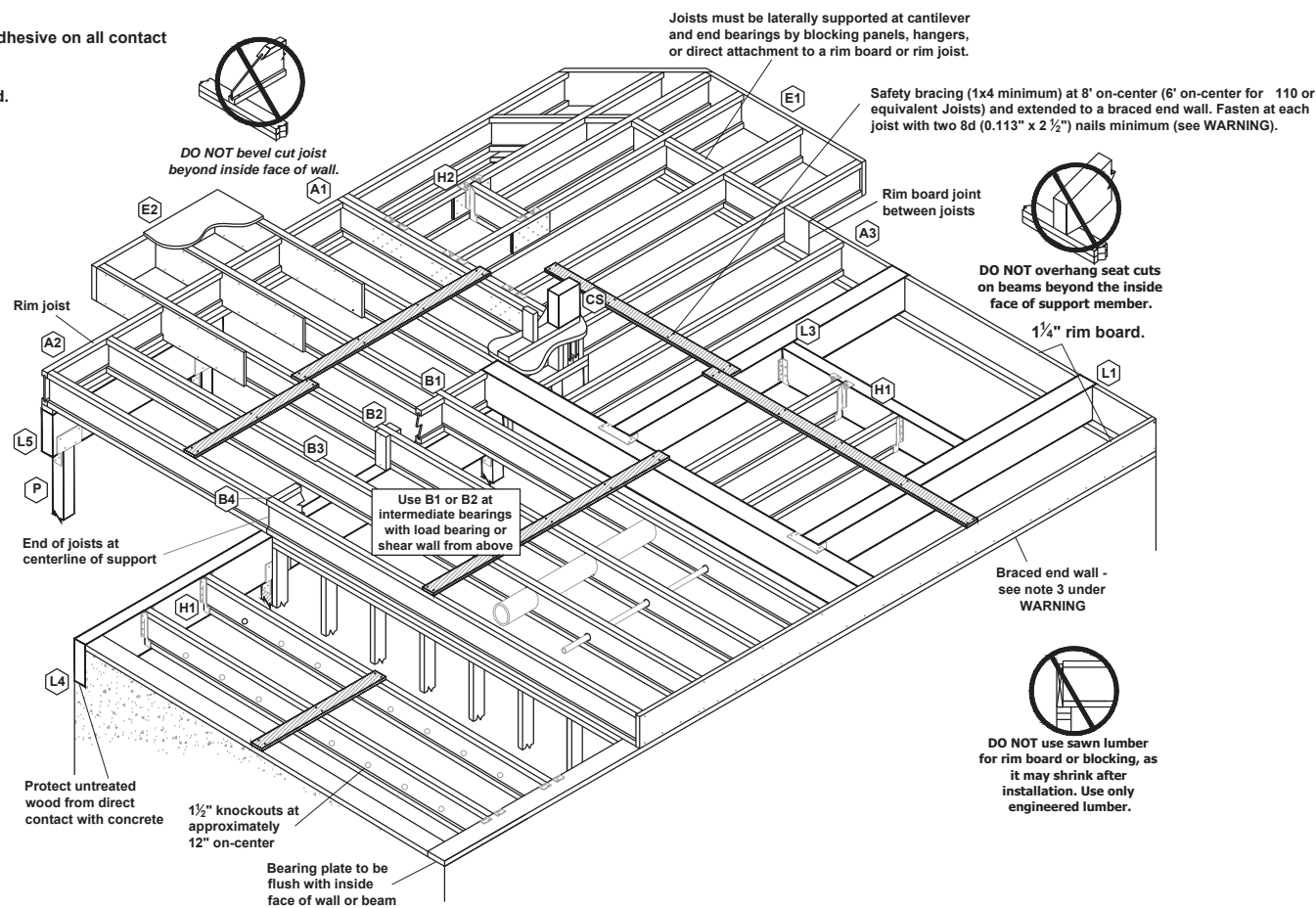
Recommended nailing is 12" on-center in field and 6" on-center along panel edge. Fastening requirements on engineered drawings supersede recommendations listed above.

Recommended use of a non-polyurethane subfloor adhesive on all contact points between panels and floor framing.

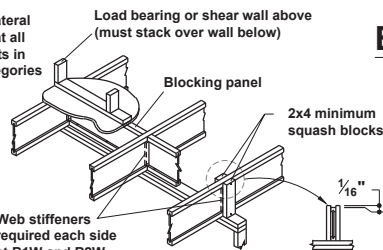
Nailing rows must be offset at least 1/2" and staggered.

14 ga. staples may be substituted for 8d (0.113" x 2 1/2") nails if minimum penetration of 1" into the joist or rim board is achieved.

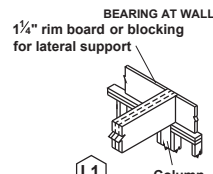
Maximum spacing of nails is 18" on-center for joists.



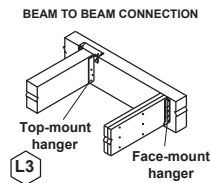
BEAM and COLUMN DETAILS



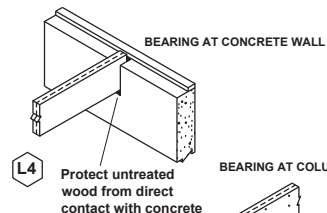
B1 B1W Blocking panels may be required with shear walls above or below - see detail B1



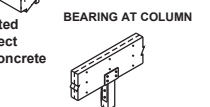
L1



L3



L4 Protect untreated wood from direct contact with concrete



L5 Verify column capacity and beam bearing length.

FILLER and BACKER BLOCK SIZES

* SEE I-JOIST EQUIVALENCY CHART

I-Joists	110 EQ. *		210 EQ. *		230 or 360 EQ. *			560 EQ. *		
	9 1/2" or 11 7/8"	14"	9 1/2" or 11 7/8"	14" or 16"	9 1/2" or 11 7/8"	14" or 16"	18" or 20"	11 7/8"	14" or 16"	18" or 20"
Depth										
Filler Block (Detail H2)	2x6	2x8	2x6 + 3/8" sheathing	2x8 + 3/8" sheathing	2x6 + 1/2" sheathing	2x8 + 1/2" sheathing	2x12 + 1/2" sheathing	Two 2x6	Two 2x8	Two 2x12
Cantilever Filler (Detail E4)	4'-0" long	6'-0" long	4'-0" long	6'-0" long	4'-0" long	6'-0" long	4'-0" long	Not applicable	Not applicable	Not applicable
Backer Block (Detail F1 or H2)	5/8" or 3/4"	3/4" or 7/8"			1" Net			2x6	2x8	2x12

(1) If necessary, increase filler and backer block height for face mount hangers and maintain 1/8" gap at top of joist; see detail W. Filler and backer block lengths should accommodate required nailing without splitting (12" minimum for backer blocks and 24" minimum for filler blocks).

Joists must be laterally supported at cantilever and end bearings by blocking panels, hangers, or direct attachment to a rim board or rim joist.

Safety bracing (1x4 minimum) at 8' on-center (6' on-center for 110 or equivalent Joists) and extended to a braced end wall. Fasten at each joist with two 8d (0.113" x 2 1/2") nails minimum (see WARNING).

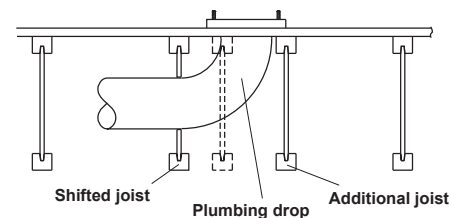
INSTALLATION TIPS

Subfloor adhesive will improve floor performance, but may not be required.

Squash blocks and blocking panels carry stacked vertical loads (details B1 and B2). Packing out the web of a joist (with web stiffeners) is not a substitute for squash blocks or blocking panels.

When joists are doubled at non-load bearing parallel partitions, space joists apart the width of the wall for plumbing or HVAC.

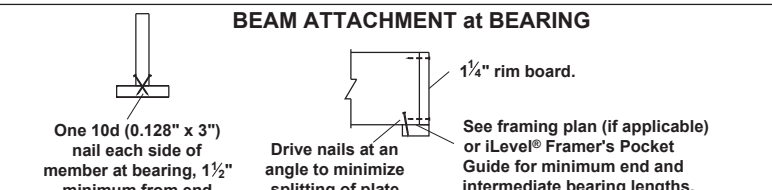
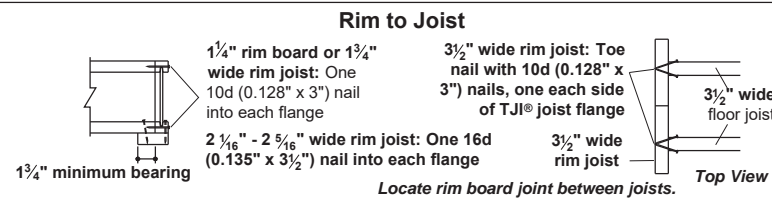
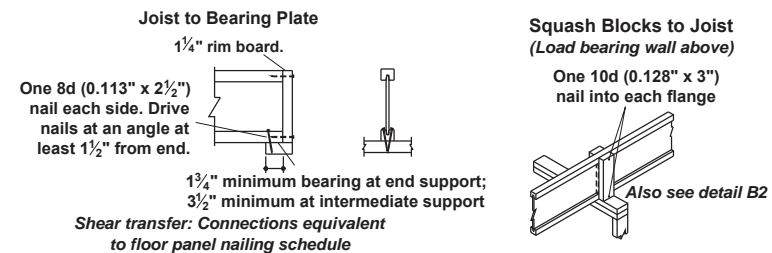
Additional joist at plumbing drop (see detail).



* I-JOIST EQUIVALENCY CHART

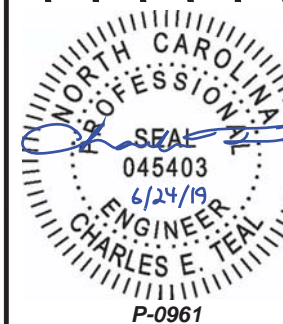
Depth	EQUIVALENT IN SPAN AND SPACING		
	Mfrt & Series	Mfrt & Series	Mfrt & Series
9 1/4"	TJI - 110	BCI 4500	
	TJI - 210	BCI 5000	
	TJI - 230	BCI 6000	EverEdge 20
11 7/8"	TJI - 110	BCI 4500	
	TJI - 210	BCI 5000	
	TJI - 230	BCI 6000	EverEdge 20
14"	TJI - 360	BCI 60'S	EverEdge 30
	TJI - 560	BCI 90'S	EverEdge 50/60
	TJI - 110	BCI 4500	
16"	TJI - 210	BCI 5000	
	TJI - 230	BCI 6000	EverEdge 20
	TJI - 360	BCI 60'S	EverEdge 30
	TJI - 560	BCI 90'S	EverEdge 50/60

JOIST NAILING REQUIREMENTS at BEARING



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PROJECT NO.: 19901074
DATE: 5/23/2019

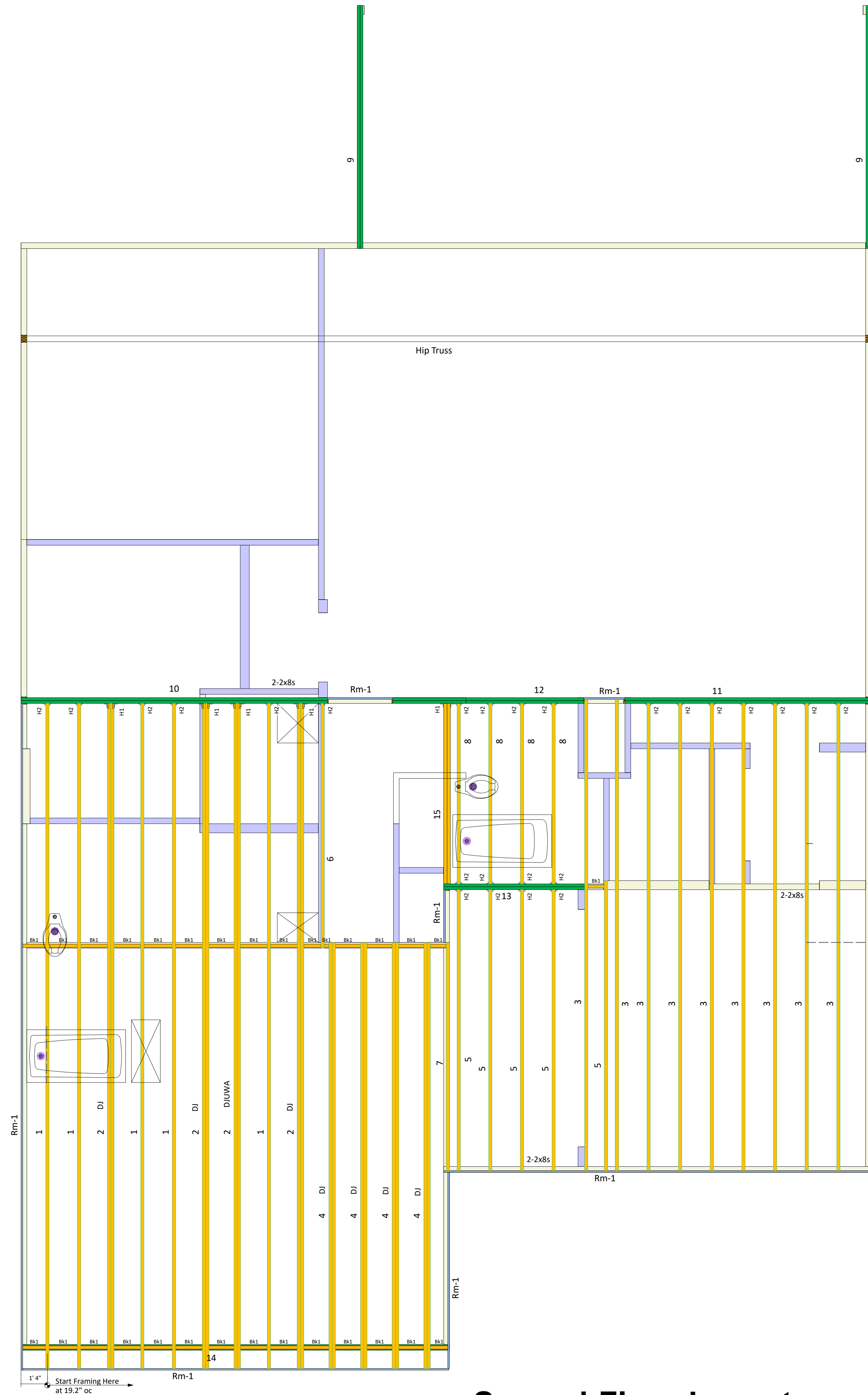
PLAN:
243.2939

ENGINEERED JOIST
DETAILS

D9.0

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All I-Joist and Versa-Lam Beams
Must be Installed per The
Boise Cascade Installation Guide!



Squash Blocks Required
Under The Ends Of All LVL
And Point Loads For Load
Transfer - See Details

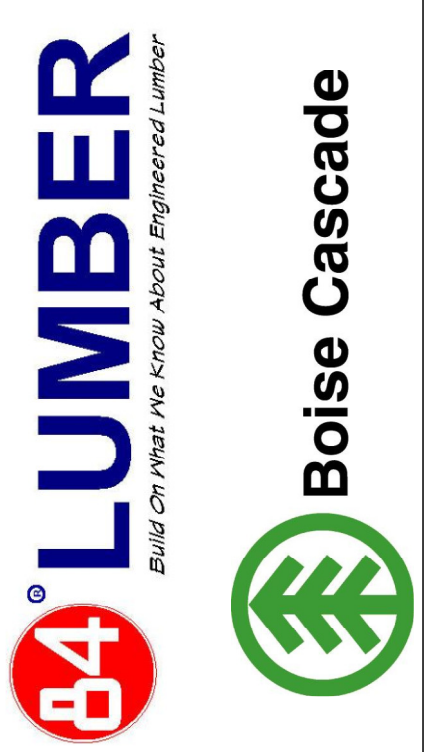
Second Floor Layout

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2939
64 Mason Pointe

Products				
PlotID	Net Qty	Product	Length	Plies
1	5	14" BCI® 5000s-1.8	34' 0"	1
2	8	14" BCI® 5000s-1.8	34' 0"	2
3	9	14" BCI® 5000s-1.8	24' 0"	1
4	8	14" BCI® 5000s-1.8	22' 0"	2
5	5	14" BCI® 5000s-1.8	15' 0"	1
6	1	14" BCI® 5000s-1.8	13' 0"	1
7	1	14" BCI® 5000s-1.8	12' 0"	1
8	4	14" BCI® 5000s-1.8	10' 0"	1
9	4	1-3/4" x 11-7/8" VERSA-LAM® 2.0 3100 SP	14' 0"	2
10	2	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	16' 0"	2
11	2	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	14' 0"	2
12	2	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	10' 0"	2
13	2	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	8' 0"	2
14	2	1-3/4" x 18" VERSA-LAM® 2.0 3100 SP	22' 0"	2
15	2	14" BCI® 5000s-1.8	10' 0"	2
Rm-1	10	1" x 14" BC RIM BOARD OSB	12' 0"	1
Bk1	19	14" BCI® 5000s-1.8	2' 0"	1

Connector Summary			
PlotID	Qty	Manuf	Product
H1	5	Simpson	HU4.12/11
H2	25	Simpson	IUS 2.06/14

Revisions:	BY:



SALES PRESENTATION DRAWING
No structural or dimensional check has been made of this design drawing of the building, therefore, purchaser is to check and approve all dimensions, quantities, loads, and details carefully. This drawing has not been checked by Boise Engineering.

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84 Lumber EWP

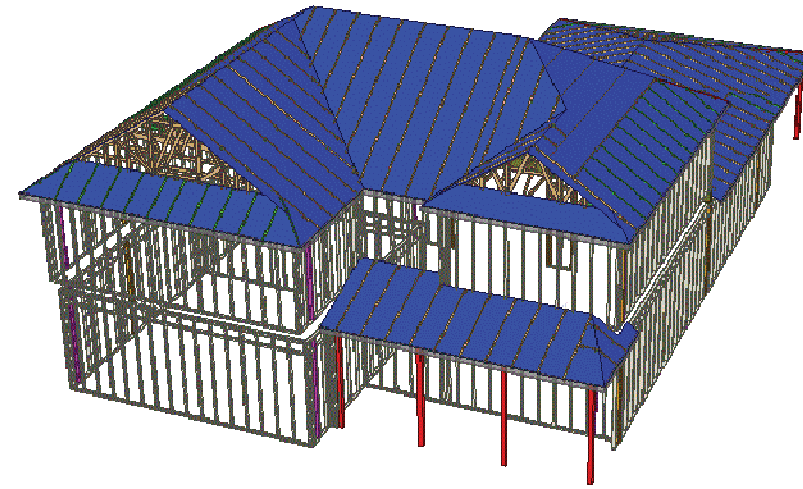
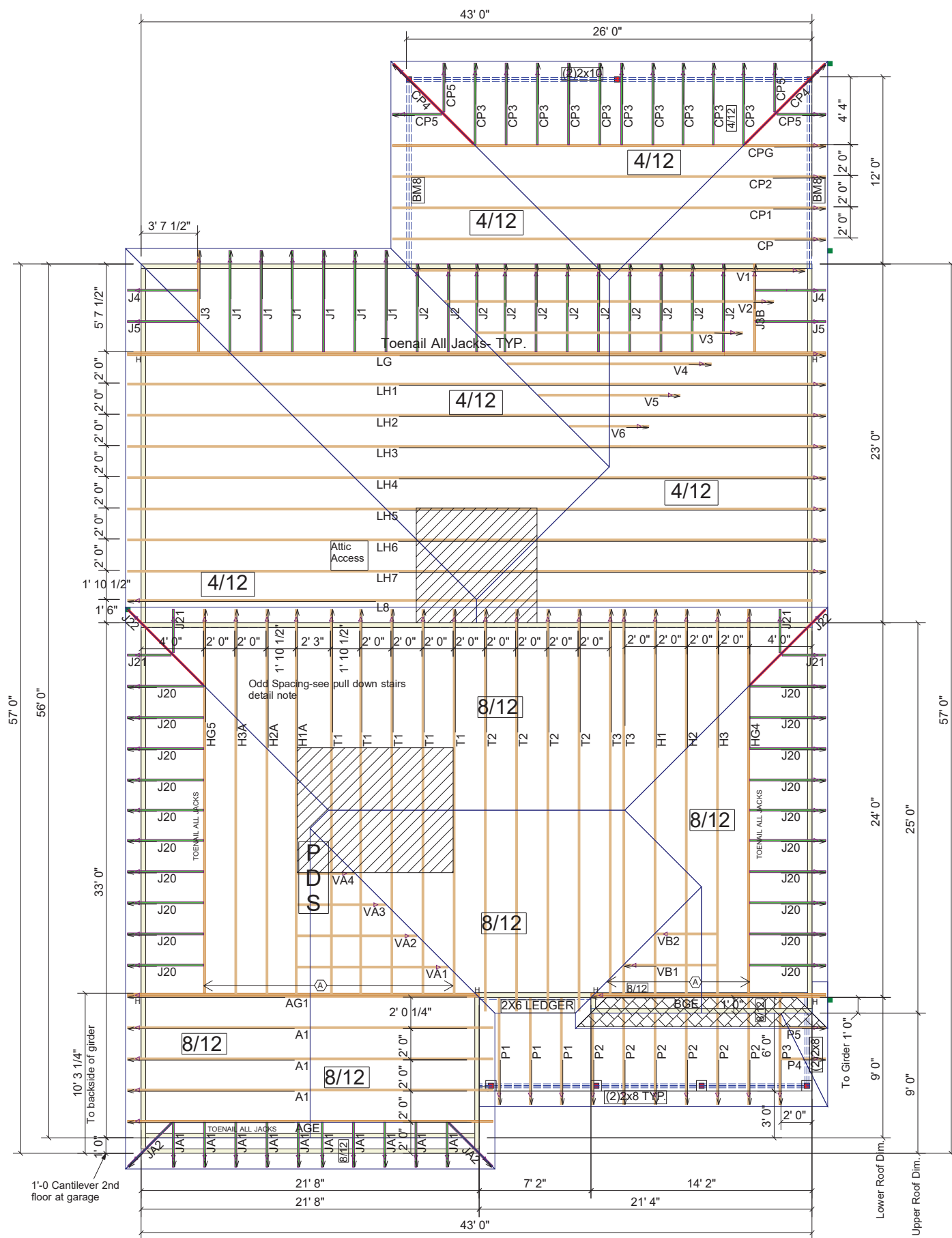
BC FRAMER II
Plan Date: 08172018
Structural Date: 09122018
By: CMM
Sheet: 2/3

ALL DIMENSIONS AND CONDITIONS
TO BE REVIEWED AND APPROVED
BY BOTH THE CONTRACTOR AND
THE ENGINEER OF RECORD
PRIOR TO INSTALLATION

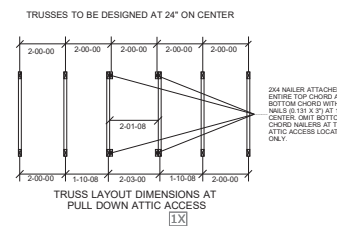
THIS LAYOUT IS INTENDED FOR THE PURPOSE OF TRUSS LOCATION AND PLACEMENT ONLY. REFER TO THE BUILDING PLANS FOR ACTUAL BUILDING CONSTRUCTION.



DEDICATED TO QUALITY AND EXCELLENCE
 200 EMMETT ROAD
 DUNN, NORTH CAROLINA 28334
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THE PURPOSE OF THIS DETAIL IS TO ILLUSTRATE HOW TO PROPERLY SPACE 24" O.C. ROOF TRUSSES TO ALLOW FOR A 25 1/2" OPENING FOR PULL-DOWN ATTIC ACCESS



HANGER LIST			
A	Simpson	HUS26	15
H2.5A-	Simpson	H2.5A	140
As Info			
H	Simpson	HTS20	6
.	.	.	.

PROJECT: **Lot 64 @ Mason Pointe**
 CUSTOMER: **KB HOME**
 MODEL: **Plan 243.2939 "D" with 12x26 CVP**
 SCALE: **NOT TO SCALE**
 DRAWN BY: **MWM**
 PRINT DATE: **Approved**
 ORDER: **20902**
 PO #: **PO #**
 REV: **05-21-19**
 SHIP DATE: **2019**

TOP LIVE: 20 PSF

TOP DEAD: 10 PSF

BOTM DEAD: 10 PSF

WIND SPD: 130 MPH

GENERAL NOTES:
 DO NOT CUT OR MODIFY TRUSSES.
 TRUSSES ARE SPACED 24" ON CENTER UNLESS NOTED OTHERWISE.
 REFER TO THE INDIVIDUAL TRUSS DESIGN DRAWINGS FOR THE LOCATION OF LATERAL BRACING AND MULTI-PLY CONNECTION REQUIREMENTS.
 PER ANSI TPI 1-2002 THE TRUSS ENGINEER IS RESPONSIBLE FOR TRUSS TO TRUSS CONNECTIONS AND TRUSS PLY TO PLY CONNECTIONS. THIS TRUSS PLACEMENT PLAN RECOMMENDS TRUSS TO BEARING CONNECTIONS AND TRUSS TO BEAM CONNECTIONS WHICH SHALL BE REVIEWED BY THE BUILDING DESIGNER. IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER TO RESOLVE ALL ROOF FORCES ADEQUATELY TO THE FOUNDATION.