

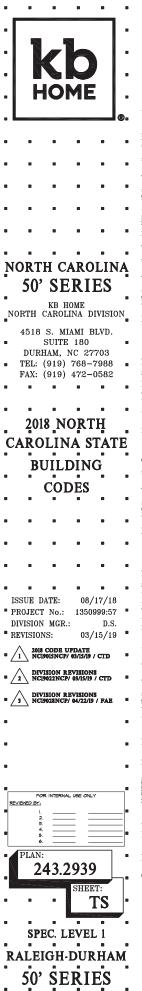
ATIONS 'A/B/C/D' W/ OPT. 12'x26' DECK AT CRAWL SPACE
ELEVATIONS 'A/B/C/D' W/ OPT. 12'x12'-8" SCREENED-IN COVERED DECK
ELEVATIONS 'A/B/C/D' W/ OPT. 12'x26' SCREENED-IN COVERED DECK
: ELEVATIONS 'A/B/C/D' W/ OPT. 12'x12'-8" SCREENED-IN COVERED DECK RAMI, SPACE
ELEVATIONS 'A/B/C/D' W/ OPT. 12'X19' SCREENED-IN COVERED DECK
ELEVATIONS 'A/B/C/D' W/ OPT. 12'X12-8' SCREENED-IN COVERED DECK
: ELEVATIONS 'A/B/C/D' W/ OPT. 12'X26' SCREENED-IN COVERED PATIO : ELEVATIONS 'A/B/C/D' W/ OPT. 12'X12'- ϑ '' SCREENED-IN
ATIONS 'X/Y/Z' W/ OPT. SUNROOM AT CRAWL SPACE
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CODE INFORMATION

	ABBREVIATIONS
N.CR.	NORTH CAROLINA RESIDENTIAL CODE
N.CB.	NORTH CAROLINA BUILDING CODE
N.CM.	NORTH CAROLINA MECHANICAL CODE
N.CP.	NORTH CAROLINA PLUMBING CODE
N.CF.	NORTH CAROLINA FUEL GAS CODE
N.CE.	NORTH CAROLINA ELECTRICAL
N.C-E.C.	NORTH CAROLINA ENERGY CODE
N.E.C.	NATIONAL ELECTRICAL CODE
I.C.B.O.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
A.S.T.M.	AMERICAN SOCIETY FOR TESTING MATERIALS
N.F.P.A.	NATIONAL FIRE PROTECTION ASSOCIATION
A.N.S.I.	AMERICAN NATIONAL STANDARDS
I.E.C.C.	INTERNATIONAL ENERGY CONSERVATION CODE
I.C.C.	INTERNATIONAL CODE COUNCIL
U.L.	UNDERWRITERS LABORATORIES, INC.

REVISION LIST

/ISED	LOG NUMBER
12, GN3, 3.AI, 3.B2, 3.CI,3.C2, 3.D2, 5.I - 5.3, 8.I - 8.3, 9.I	NCI90I5NCP
4.1, 5.3, 5.4	NCI9022NCP
	NCI9028NCP



GENERAL REQUIREMENTS

- THE WORD 'CONTRACTOR' AS USED HEREIN SHALL MEAN THE GENERAL CONTRACTOR, SUBCONTRACTORS AND ALL PERSONS DIRECTLY OF NDIRECTLY EMPLOYED BY ANY OF THEM
- 2 CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE FOLLOWING APPLICABLE CODE REQUIREMENTS:
 - ALL LAWS, STATUTES, THE MOST RECENT BUILDING CODES, CREINING, STRUES, REGULATIONS, AND LANFUL ORDERS OF ALL ORDINANCE, RULES, REGULATIONS, AND LANFUL ORDERS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION OVER OWNER, CON-TRACTOR, ANY SUBCONTRACTOR, THE PROJECT SITE, THE WORK, OR THE PROSECUTION OF THE WORK.
- THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT AND ALL OTHER APPLICABLE CODE REQUIREMENTS RELATING TO SAFETY.
- c. THE FAIR HOUSING AMENDMENTS ACT THE AMERICANS WITH DISA-BILITIES ACT, AND ALL OTHER APPLICABLE CODE REQUIREMENTS RELATING THERETO.
- CONTRACTOR SHALL CAREFULLY STUDY AND REVIEW THE CONSTRUCTION DOCUMENTS AND INFORMATION FURNISHED BY OWNER, AND SHALL PROMPTLY REPORT IN WRITING TO OWNER'S REPRESENTATIVE ANY FROMFILE ACTIONATION AND TO MALES ALTRODUCTION DATA AND ERRORS, INCONSISTENCIES, OR OMISSIONS IN THE CONSTRUCTION DOCU-MENTS OR INCONSISTENCIES WITH APPLICABLE CODE REQUIREMENTS OBSERVED BY THE CONTRACTOR.
- IF CONTRACTOR PERFORMS WORK WHICH HE KNOWS OR SHOULD KNOW IS CONTRARY TO APPLICABLE CODE REQUIREMENTS, WITHOUT THE AGREEMENT OF ONNER, CONTRACTOR SHALL BE RESPONSIBLE FOR SUCH WORK AND SHALL BEAR THE RESULTANT LOSSES, INCLUDING, WITHOUT LIMITATION, THE COSTS OF CORRECTING DEFECTIVE WORK.
- CONTRACTOR SHALL PROVIDE CERTIFICATES OF INSURANCE ACCEPTABLE TO OWNER PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL TAKE FIELD MEASUREMENTS VERIEV FIELD AND CAREFULLY COMPARE WITH THE CONSTRUCTION DOCUMENTS SICH FIELD MEASUREMENTS CONDITIONS AND OTHER INFORMATION KNOWN TO CONTRACTOR BEFORE COMMENCING THE WORK ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED AT ANY TIME SHALL BE PROMPTLY REPORTED IN WRITING TO THE OWNER.
- CONTRACTOR SHALL PROMPTLY NOTIFY OWNER'S REPRESENTATIVE IF CONTRACTOR BECOMES AVARE DURING THE PERFORMANCE OF THE WORK THAT THE CONSTRUCTION DOCUMENTS ARE NOT IN COM-PLIANCE WITH APPLICABLE CODE REQUIREMENTS.
- BY SUBMITTAL OF BID, CONTRACTOR WARRANTS TO OWNER THAT ALL MATERIALS AND EQUIPMENT TO BE FURNISHED ARE NEW UNLESS NOTED OTHERNISE AND ALL WORK WILL BE OF GOOD QUALITY AND FREE FROM FAULTS AND DEFECTS.
- SUB-CONTRACTORS SHALL INSURE THAT ALL WORK IS DONE IN A PROFESSIONAL WORKMANLIKE MANNER BY SKILLED MECHANICS AND SHALL REPLACE ANY MATERIALS OR ITEMS DAMAGED BY SUB-CONTRACTOR'S PERFORMANCE. SUB-CONTRACTORS AND SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE TO CONFER AND COOPERATE FULLY WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO FULLY MITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO DETERMINE THE EXACT EXTENT AND OVERLAP OF EACH OTHER'S WORK AND TO SUCCESSFULLY COMPLETE THE EXECUTION OF THE MORK. ALL SUB-CONTRACTOR WORKMANENIF SHALL BE OF QUALITY TO PASS INSPECTIONS BY LOCAL AUTHORITIES, LENDING INSTITUTIONS, ARCHITECT OR BUILDER. ANY ONE OR ALL OF THE ABOVE MENTIONED INSPECTORS MAY INSPECT WORKMANSHIP AT ANY TIME, AND CORRECTIONS NEEDED TO ENHANCE THE QUALITY OF BUILDING WILL BE CONSTIMUTED BY THE TERMS OF HIS/HERS SUB-CONTRACT AGREEMENT, SHALL BE RESPONSIBLE FOR OF HIS/HERS SUB-CONTRACT AGREEMENT. SHALL BE RESPONSIBLE OF HIS/HER SUB-CONTRACT AGREEMENT, SHALL BE RESPONSIBLE FOR CLEANING UP AND REMOVING FROM THE JOB SITE ALL TRASH AND DEBRIS NOT LEFT BY OTHER SUB-CONTRACTORS. BUILDER NILL DETENSING HOM SOON AFTER SUBCONTRACTOR COMPLETES EACH PHASE OF HIS WORK THAT TRASH AND DEBRIS NILL BE REMOVED FROM THE SITE.
- APPROVAL BY THE BUILDING INSPECTOR DOES NOT MEAN APPROVAL OR ALLOWABLE FAILURE TO COMPLY WITH THE PLANS AND SPECIFICATIONS. ANY DESIGN WHICH FAILS TO BE CLEAR OR IS AMBIGUOUS MUST BE REFERRED TO THE ARCHITECT OR ENGINEER FOR INTERPRETATION 10. CLARIFICATION
- ALL EQUIPMENT AND MATERIALS FURNISHED AND INSTALLED UNDER THESE ANS SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK BY OWNER UNLESS STIPULATED OTHERWISE.
- ALL TRADE NAMES AND BRAND NAMES CONTAINED HEREIN ESTABLISH 12 ALL IN STANDARDS. SUBSTITUTIONS ARE PERMITTED, NITH PRIOR APPROVAL BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL SUBMIT FOR THE ARCHITECTS AND BUILDER'S APPROVAL ALL MATERIALS OR EQUIPMENT WHICH IS CONSIDERED "OR EQUAL" TO THAT SPECIFIED.
- CONSTRUCTION DOCUMENTS IDENTIFIED AS "BID SET" ON ANY OR ALL SHEETS MAY BE SUBJECT TO REVIEW. THIS REVIEW MAY RESULT IN CHANGES WHICH MAY BE MADE TO THE PLANS PRIOR TO THE ISSUANCE OF THE FINAL CONSTRUCTION SET WHICH WILL CONTAIN NO "BID SET" DESIGNATIONS, CONSTRUCTION DOCUMENTS IDENTIFIED AS "BID SET"
- ALL STANDARD NOTES CONTAINED HEREIN ARE TYPICAL UNLESS 14
- 15. TYPICAL DETAILS AND SPECIFICATIONS ARE MINIMUM REQUIREMENTS TO BE USED WHEN CONDITIONS ARE NOT SHOWN OTHERWISE.
- SPECIFIC NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.
- SEE ARCHITECTURAL, STRUCTURAL, ELECTRICAL, AND MECHANIC, DRANINGS FOR PITS, TRENCHES, ROOF OPENINGS, DEPRESSIONS ETC. NOT SHOWN ON THE OTHER DRAWINGS.
- THE CONSTRUCTION DOCUMENTS AND ALL COPIES THEREOF FURNISHED TO CONTRACTOR ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED ON OTHER WORK.

SITE WORK

- CONTRACTOR SHALL INVESTIGATE SITE DURING CLEARING AND EARTHWORK OPERATIONS FOR FILLED EXCAVATIONS OR BURIED STRUCTURES SUCH AS CESSPOOLS, CISTERNS, FONDATIONS, ETC., AND BIRIED ARTIFACTS SUCH AS INDIAN OR DINOSAUR BONES. IF ANY SUCH TURES ARE FOND THE ARCHITECT, CIVIL ENGINEER, AND SOILS ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO FULLY PROTECT ADJACENT PROPERTIES.
- REFER TO THE SOILS REPORT AS PREPARED BY THE GEOTECHNICAL
- 4. REFER TO CIVIL ENGINEER'S CURRENT GRADING AND PLOT PLANS

SITE WORK (continued)

- REFER TO THE LANDSCAPE ARCHITECT'S CURRENT GRADING PLAN AND CONSTRUCTION DOCUMENTS ALL FOOTINGS SHALL REST ON FIRM NATURAL SOIL OR APPROVED
- COMPACTED FILL REFER TO GEOTECHNICAL REF EXCAVATIONS FOR FOOTINGS SHALL BE MADE TO THE WIDTH, LENGTH, AND DEPTH REQUIRED AND FINISHED WITH LEVEL BOTTOMS.
- EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER
- WHERE EXCAVATIONS ARE MADE TO A DEPTH GREATER THAN INDICATED, SUCH ADDITIONAL DEPTH SHALL BE FILLED WITH CONCRETE AS SPECIFIED FOR FOOTINGS.
- IO. FILL MATERIALS SHALL BE FREE FROM DEBRIS, VEGETABLE MATTER AND OTHER FOREIGN SUBSTANCES.
- ALL FINISH GRADES TO DRAIN AWAY FROM THE BUILDING FOOTINGS
- 12. THERE SHALL BE NO ON-SITE WATER RETENTION.
- 13 THERE SHALL BE NO DRAINAGE TO ADJACENT PROPERTY
- 14 FOR ONSITE CONTSPUCTION, PLANS TO COMPLY WITH NECESSARY INSPECTIONS APPROVED BY THE BUILDING OFFICIAL
- THE REQUIREMENTS IN THESE NOTES ARE THE MINIMUM THAT SHALL BE MET, REQUIREMENTS OF THE STRUCTURAL DRAMINGS THAT EXCEED THE REQUIREMENTS SHOWN HERE SHALL BE MET. 15.

CONCRETE

- REFER TO STRUCTURAL ENGINEERING CALCULATIONS AND SOLIS REPORT FOR THE PERFORMANCE REQUIREMENTS FOR CONCRET FOUNDATIONS
- CONCRETE SHALL BE PROPORTIONED TO PROVIDE AN AVERAGE COMPRESSIVE STRENGTH AS PRESCRIBED IN THE N.C.-R. AS WELL AS SATISFY THE DURABILITY CRITERIA OF THE N.C.-R 2.
- MIXING OF CONCRETE SHALL BE PERFORMED IN ACCORDANCE WITH ACI 318, SECTION 5.8.
- THE DEPOSITING OF CONCRETE SHALL COMPLY WITH THE PROVISIONS ACI SID, SECTION 5.10.
- THE CURING OF CONCRETE SHALL BE IN ACCORDANCE WITH ACI 316, SECTION 5.11.
- ALL FORM WORK SHALL BE DESIGNED, CONSTRUCTED, UTILIZED, AND REMOVED.
- CONDUIT, PIPES AND SLEEVES OF ANY MATERIAL NOT HARMFUL TO CONCRETE AND MITHILEVES OF AND FATERAL ROT MANIFUL TO CONCRETE AND MITHILE LIMITATIONS OF ACI 318, SECTION 6.5, ARE PERMITTED TO BE EMBEDDED IN CONCRETE MITH APPROVAL OF THE REGISTERED DESIGN PROFESSIONAL.
- CONSTRUCTION JOINTS INCLUDING THEIR LOCATION SHALL COMPLY WITH THE PROVISIONS OF ACI 318, SECTION 6.4.
- ALL STEEL REINFORCING OF CONCRETE SHALL BE DONE IN ACCORDANCE WITH THE N.C.-R
- TOP OF CONCRETE SLABS TO BE A MINIMUM 4" W/ MASONRY VENEER 6" ELSEWHERE (&" H.U.D.) ABOVE FINISH GRADE. 10
- FOUNDATION MIDTHS, DEPTHS, AND REINFORCING, AS SHOWN ON PLANS, ARE SUPERCEDED BY ANY LOCAL CODES OR ORDINANCES WHICH REQUIRE INCREASES OF THE SAME.
- ALL REINFORCEMENT, CONDUIT, OUTLET BOXES, ANCHORS, HANGERS, SLEEVES, BOLTS OR OTHER EMBEDDED MATERIALS AND ITEMS MUST BE SECURED AND AMPROPRIATELY FASTENED IN THEIR PROPER 12. LOCATIONS PRIOR TO THE PLACEMENT OF CONCRETE. SUB-CONTRACTOR SHALL VERIFY INSTALLATION OF HOLD-DOWNS, ANCHOR BOLTS, PA STRAPS, AND OTHER ANCHORAGE MATERIAL AND ITEMS PRIOR TO PLACEMENT OF CONCRETE
- 13. POST-TENSION SLABS, IF APPLICABLE:
- POINT AND LINE LOADS FROM STRUCTURE ABOVE TO BE PROVIDED TO POST-TENSION ENGINEER PRIOR TO POST-TENSION DESIGN
- ANCHOR BOLTS AND OTHER HARDWARE TO BE SHOWN ON POST-TENSION PLANS TO AVOID MIS-LOCATION OF HARDWARE AND POSSIBLE FIELD FIXES WHICH MAY CUT TENDONS.

MASONRY

- ALL MASONRY DESIGN SHALL FOLLOW THE REQUIREMENTS OF THE CURRENT ADOPTED CODES.
- ANCHORED MASONRY VENEER SHALL COMPLY WITH THE PROVISIONS 2 OF N.C.-R. AND SECTIONS 6. AND 6.2 OF ACI 530/ASCE 5/TMS 402.
- STONE VENEER UNITS NOT EXCEEDING 5 INCHES IN THICKNESS SHALL BE ANCHORED DIRECTLY TO MASONRY, CONCRETE OR TO STUD CONSTRUCTION BY ONE OF THE APPROVED METHODS LISTED IN THE N.C.-R
- MORTAR FOR USE IN MASONRY CONSTRUCTION SHALL COMPLY WITH ASTM C 270. THE TYPE OF MORTAR SHALL BE IN ACCORDANCE WITH THE NC. R AND SHALL WHET THE PROPORTION SPECIFICATIONS OR THE PROPERTY SPECIFICATIONS OF ASTM C 270
- GROUT SHALL CONSIST OF CEMENTITIOUS MATERIAL AND AGGREGATE IN ACCORDANCE WITH ASTM C 476 AND THE PROPORTION SPECIFICATIONS PER THE NC-R
- AGGREGATES FOR MORTAR AND GROUT SHALL BE NATURAL SAND AND ROCK CONFORMING TO A.S.T.M. C-144-04 (MASONRY MORTAR) AND C-404-OT (GROUT).
- 7. CEMENT SHALL BE PORTLAND CEMENT CONFORMING TO A.S.T.M. C 150.
- 8. ALL BRICK SHALL CONFORM TO A.S.T.M. C 216, GRADE MW
- UNLESS SPECIFICALLY SHOWN OTHERWISE ALL BRICK SHALL BE LAID IN A RUNNING BOND PATTERN.
- IO. ANCHORS, TIES AND WIRE FABRIC SHALL CONFORM TO N.C.-R
- ANCHOR TIES AND WIRE FABRIC FOR USE IN MASONRY WALL CONSTRUCTION SHALL CONFORM TO THE N.C.-R

METALS

LUMBER

- REFER TO STRUCTURAL NOTES AND SPECIFICATIONS FOR STRUCTURAL STEEL, METAL AND REINFORCING STEEL SPECIFICATION
- 2. ALL STRUCTURAL STEEL SHALL CONFORM TO AISC/CRED 3.
- ANCHOR RODS SHALL BE SET ACCURATELY TO THE PATTERN AND DIMENSIONS CALLED FOR ON THE PLANS. THE PROTRUSION OF THE THREADED BURDS THREADENT THE THREADS OF THE NUTS, BUT SHALL BE SUFFICIENT TO FULLY ENGAGE THE THREADS OF THE NUTS, BUT SHALL BE NOT BE GREATER THAN THE LENGTH OF THE THREADS ON THE BOLTS
- FASTENERS FOR PRESERVATIVE-TREATED AND FIRE-RETARDANT-TREATED WOOD SHALL BE OF HOT-DIPPED ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILLON BRONZE OR COPPER VERIFY ACCEPTABLE FASTENERS PER CHEMICALS USED IN PRESSRUE PRESERVITIVELY TREATED WOOD W/ N.C.-R. FASTENINGS FOR WOOD FOUNDATIONS SHALL BE AS REQUIRED IN AF& PA TECHNICAL REPORT NO. 7.

WOOD & FRAMING

- THE DESIGN AND CONSTRUCTION OF CONVENTIONAL LIGHT-FRAME WOOD CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE N.C.-R
- CONSTRUCTION, PROJECTIONS, OPENINGS AND PENETRATIONS OF EXTERIOR WALLS OF DWELLINGS AND ACCESSORY BUILDINGS SHALL COMPLY WITH TABLE R302.1.
- ALL LUMBER SHALL MEET THE STANDARDS OF QUALITY AS STATED IN THE N.C.-R
- LUMBER AND PLYMOOD REQUIRED TO BE PRESSURE PRESERVATIVELY TREATED IN ACCORDANCE WITH THE N.C.-R AND SHALL BEAR THE QUALITY MARK OF AN APPROVED INSPECTION AGENCY THAT MAINTAINS CONTINUING SUPERVISION, TESTING AND INSPECTION OVER THE QUALITY OF THE PRODUCT AND THAT HAS BEEN APPROVED BY AN ACCREDITATION BODY THAT COMPLIES WITH THE REQUIREMENTS OF THE AMERICAN LUMBER STANDARD COMMITTEE TREATED WOOD PROGRAM
- ALL LUMBER SIZES NOTED AND SPECIFIED ON PLANS ARE NOMINAL SIZES UNLESS SPECIFICALLY INDICATED AS NET SIZE.

GLUE LAMINATED LUMBER

- REFER TO THE STRUCTURAL ENGINEER'S CURRENT NOTES, CALCULATIONS, AND SPECIFICATIONS.
- GLUED LAMINATED TIMBERS SHALL BE MANUFACTURED AND IDENTIFIED AS REQUIRED IN AITC AIGO.I AND ASTM D 3737.

PROTECTION AGAINST DECAY & TERMITE

- IN AREAS SUBJECT TO DECAY DAMAGE AS ESTABLISHED BY THE N.C.-R THE FOLLOWING LOCATIONS SHALL REQUIRE THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED ACCORDANCE WITH AMPA UI FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AMPA UI WOOD JOISTS OR THE BOTTOM OF WOOD FLOOR WHEN CLOSER THAN
- 1. IB INCHES, OR WOOD GIRDERS WHEN CLOSER THAN IZ INCHES TO THE EXPOSED GROUND IN CRAAL SPACES OR UNEXCAVATED AREAS LOCATED MITHIN THE PERIPHERY OF THE BUILDING FOUNDATION.
- ALL EXTERIOR SILLS & PLATES THAT REST ON CONCRETE OR MASONRY 2. EXTERIOR FOUNDATION WALLS.
- SILLS AND SLEEPERS ON A CONCRETE OR MASONRY, UNLESS THE SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND IS SEPARATED FROM THE GROUND BY AN APPROVED IMPERVIOUS MOISTURE EARDIED
- THE ENDS OF WOOD GIRDERS ENTERING EXTERIOR MASONRY OR CONCRETE WALLS HAVING CLEARANCES OF LESS THAN 0.5 INCH ON TOPS, SIDES AND ENDS.
- 5. WOOD SIDING AND SHEATHING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES FROM THE GROUND.
- WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE-PERMEABLE FLOORS OR ROOPS THAT ARE EXPOSED TO THE MEATHER , SUCH AS CONCRETE OR MASONRY SLABS, INLESS SEPARATED FROM SUCH FLOORS OR ROOPS BY ANIMPERVIOUS MOISTURE BARRIER.
- WOOD FURRING STRIPS OR OTHER WOOD FRAMING MEMBERS ATTACHE DIRECTLY TO THE INITERIOR OF EXTERIOR MASONRY MALLS OR CONCRETE WALLS BELOW GRADE EXCEPT WHERE AN APPROVED VAPOR RETARDER IS APPLIED BETKEEN THE WALL AND THE FURRING STRIPS OR FRAMING VEMBERS. ATTACHED 2
- ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POSTS, GUARDRAILS, PICKETS, STEPS AND FLOOR STRUCTURE. COVERINGS THAT WOULD PREVENT MOISTURE OR WATER ACCUMULATION ON THE SURFACE OR AT JOINTS BETWEEN MEMBERS ARE ALLOWED.
- IN AREAS SUBJECT TO DAMAGE FROM TERMITES METHODS OF PROTECTION 3. SHALL BE ONE OF THE METHODS LISTED IN THE N.C.-R
- UNDER-FLOOR AREAS SHALL BE VENTILATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE N.C.-R

WOOD & FRAMING

(continued)

8.

FLOOR FRAMING

ROOF FRAMING

- WOOD STRUCTURAL PANELS SHALL CONFORM TO THE REQUIREMENTS AS SET FORTH IN THE N.C.-R
- ROOF SHEATHING PANELS SHALL BE LAID WITH FACE GRAIN OR STRENGTH AXIS PERPENDICULAR TO SUPPORTS AND WITH PANEL CONTINUOUS OVER TWO OR MORE SPANS. 2.
- ROOF SHEATHING SHALL BE IN ACCORDANCE WITH THE N.C.-R
- FLOOR SHEATHING PANELS SHALL BE LAID WITH FACE GRAIN OR STRENGTH AXIS PERPENDICULAR TO SUPPORTS AND WITH PANEL CONTINUOUS OVER TWO OR MORE SPANS.
- STRUCTURAL FLOOR SHEATHING SHALL COMPLY WITH THE PROVISIONS OF THE N.C.-R

ALL VERTICAL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER, AND BE

NT TREATED WOOD

10.

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CTIONS

PASTELED TO, COMMON STUDS. HORIZONTAL JOINTS IN BRACED HALL PANELS SHALL OCCUR OVER, AND BE FASTENED TO, COMMON BLOCKING OF A MINIMO OF I // UNCH THICKNESS.

WHERE APPLICABLE, REFER TO THE SHEAR WALL SCHEDULE FOR REQUIRED STRENGTH, GRADE, AND THICKNESS OF PLYWOOD SHEAR PANELS AND FOR REQUIRED SHEAR WALL NAILING SCHEDULE.

IN ONE- AND TWO-FAMILY DWELLING CONSTRUCTION USING VINYI ALUMINUM AS A SOFFIT MATERIAL, THE SOFFIT MATERIAL SHALL SECURELY ATTACHED TO FRAMING MEMBERS AND USE AN UMDERLATMENT MATERIAL OF EITHER FIRE RETARDANT TREATE

25/32 INCH WOOD SHEATHING OR 5/8 INCH GYPSUM BOARD, VEN REQUIREMENTS APPLY TO BOTH SOFT AND INDERLATYCENT AND SHALL BE PER SECTION RECO OF THE NORTH CAROLINA RESIDENTIAL CODE. WHERE THE PROPERTY LINE IS IO FEET OR MORE FROM THE BUILDING FACE, THE PROVISIONS OF THIS CODE SECTION DO NOT APPLY.

ALL FLOOR JOISTS SHALL BE DESIGNED I-JOIST WOOD FLOOR TRUSSES. REFER TO MANUFACTURER FOR ALL LAYOUTS AND CALCULATIONS.

REFER TO THE STRUCTURAL ENGINEER'S CURRENT PLANS & CALCULATIONS FOR SIZE, SPACING, AND ANCHORAGE OF ALL FLOOR JOISTS; SIZE, LOCATION, AND ANCHORAGE OF ALL FLOOR BEAMS AND HEADERS; AND ALL RELATED FRAMING ISSUES.

ROOF FRAMING SHALL BE BY PRE-MANUFACTURED ROOF TRUSSES SPACED AT 24 INCHES ON CENTER UNLESS NOTED OTHERWISE.

WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE N.C.-R

THE MANUFACTURER SHALL SUPPLY TO THE ARCHITECT AND BUILDER

CALCULATIONS AND SHOP DRAWINGS FOR APPROVAL OF DESIGN LOADS, CONFIGURATION (2 OR 3 POINT BEARING), VOLUME CEILING OPTIONS, AND SHEAR TRANSFER, PRIOR TO FABRICATION.

TRUSS MEMBERS SHALL NOT BE CUT, NOTCHED, DRILLED, SPLICED OR OTHERWISE ALTERED IN ANY WAY WITHOUT THE APPROVAL OF A REGISTERED DESIGN RACINE SEMIAL ALTERATIONS RESULTING IN THE ADDITION OF LOAD (E.S. HVAC EQUIPMENT, WATER HEATER) THAT EXCEEDS THE DESIGN LOAD FOR THE TRUSSES SHALL NOT BI PERMITED WITHOUT WRITTEN VERIFICATION THAT THE TRUSS IS CAPABLE OF SUPPORTING SUCH ADDITIONAL LOADING.

ALL CALCULATIONS AND SHOP DRAWINGS SHALL BE SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE WHEREIN THE

MANUFACTURER IS TO SECURE BUILDING DEPARTMENT APPROVA

OF CALCULATIONS AND SHOP DRAWINGS PRIOR TO FABRICATION

THE SIZE, HEIGHT, AND SPACING OF STUDS SHALL BE IN ACCORDANCE WITH THE N.C.-R

STUDS SHALL BE PLACED WITH THEIR WIDE DIMENSION PERPENDICULAR

NOT LESS THAN THREE STUDS SHALL BE INSTALLED AT EACH CORNER OF AN EXTERIOR WALL.

WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND INTERSECTIO WITH BEARING PARTITIONS. END JOINTS IN TOP PLATES SHALL BE OFFSET AT LEAST 24 INCHES, JOINTS NEED NOT OCCUR OVER STUDS. PLATES SHALL BE NOT LESS THAN 2-INCHES NOMINAL THICKNESS AND HAVE A WIDTH AT LEAST EQUAL TO THE WIDTH OF THE STUDS. SEE EXCEPTIONS.

WHERE JOISTS, TRUSSES OR RAFTERS ARE SPACED MORE THAN 16 INCHES

INTERIOR NONBEARING WALLS SHALL BE PERMITTED TO BE CONSTRUCTED WITH 2-INCH-BY-3-INCH STUDS SPACED 24 INCHES (N. CENTER OR, MHEN NOT A PART OF A BRACED WALL LINE, 2-INCH-BY-4-INCH FLAT STUDS SPACED IG INCHES ON CENTER, INTERIOR NONBEARING WALLS SHALL BE CAPPED MITH AT LEAST A SINGLE TOP PLATE. INTERIOR NONBEARING WALLS

AND CENTER AND THE BEARING STUDS BELOW ARE SPACED 24 INCHES ON CENTER SUCH MEMBERS SHALL BEAR MITHIN 5 INCHES OF THE STUDS BENEATH. SEE EXCEPTIONS.

STUDS SHALL HAVE FULL BEARING ON NOMINAL 2 BY OR LARGER PLATE OR SILL HAVING A WIDTH AT LEAST EQUAL TO THE WIDTH OF THE STUDS.

SHALL BE FIREBLOCKED IN ACCORDANCE WITH THE N.C.-R

PROJECT IS TO BE BUILT.

WALL FRAMING

6.

THE BRACING OF WOOD TRUSSES SHALL COMPLY TO THEIR APPROPRIATE ENGINEERED DESIGN, PER THE N.C.-R

REFER TO THE STRUCTURAL ENGINEER'S CURRENT SPECIFICATIONS, CALCULATIONS, AND PLANS FOR REQUIRED STRENGTH, GRADE, AND THICKNESS FOR PLYWOOD FLOOR SHEATHING PANELS AND FOR DIAPHRAGM NAILING AND ADHESIVE REQUIREMENTS.

WOOD & FRAMING

(continued)

 $\boldsymbol{\delta}.$ Drilling and notherns of study shall be in accordance with the following:

- NOTHCING. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTL STUDS IN NONBEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40 PERCENT OF A SINGLE STUD WIDTH. NOTCHING OF BEARING STUDS SHALL BE ON ONE EDDE ONLY AND NOT TO EXCEED ONE-FOURTH THE HEIGHT OF THE STUD. NOTCHING SHALL NOT OCCUR IN THE BOTTOM OR TOP 6 INCHES OF BEARING STUDS.
- DRILLING, ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO MORE THAN 60 PERCENT OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO MORE THAN 5/6° INCH TO THE EDGE OF THE STUD, AND THE HOLE SHALL NOT BE CLOBER THAN 6 INCHES FROM AN ADJACENT HOLE OR NOTCH. HOLES NOT EXCEEDING 3/4 INCH DIAMETER CAN BE AS CLOSE AS I 1/2 INCHES ON CENTER SPACING, STUDS LOCATED IN EXTREIOR MALLS OR BEARING PARTITIONS DRILLED OVER 40 PERCENT AND UP TO 60 PERCENT SHALL ALSO BE DOUBLED WITH NO MORE THAN TWO SUCCESSIVE DOUBLED STUDS BORED.
- CUTTING AND NOTCHING OF STUDS SHALL BE PERMITTED TO BE INCREASED TO 65 PERCENT OF THE NIDTH OF THE STUD IN EXTERIOR AND INTERIOR WALLS AND BEARING PARTITIONS, PROVIDED THAT ONE OF THE FOLLOWING CONDITIONS ARE MET. (a) THE WALL SECTION IS REINFORCED WITH 1/2-INCH EXTERIOR GRADE PLYWOOD OR EQUIVALENT REINFORCEDENT ON THE NOTCHED SIDE OF THE WALL. PLYMOOD, IF USED, SHALL REACH FROM THE FLOOR TO CELLING AND AT LEAST ONE STUD PURTHER ON BEACH SIDE OF THE SECTION THAT HAS BEEN NOTCHED OR CUT. (b) THE EXTERIOR PULLIS OF A KLICHEN MAY BE REINFORCED BY PLACING 1/2-INCH PLYMOOD OR EQUIVALENT REINFORCEMENT ON THE NOTCHED SIDE OF THE MALL. PLYMOOD IN EVEN SHALL REACH FROM THE FLOOR TO COUNTER-TOP HEIGHT AND AT LEAST ONE STUD FURTHER ON EACH SIDE OF THE SECTION THAT HAS BEEN NOTCHED OR CUT.
- WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTIALY IN AN EXTERIOR MEIN TIFINO ROUGHOWS IS FLACED IN OR PARIMILT IN AN EXIENCE OR INTERIOR LOAD-BEARING WALL, NECESSITATION CUTTING, DRILLING OR NOTCHING OF THE TOP PLATE B MORE THAN SO PERCENT OF ITS WIDTH A GALVANIZED METAL ITE OF NOT LESS THAN 0.054 INCH THICK AND 11/2" NCHES WIDE SHALL BE FASTENED ACROSS AND TO THE PLATE AT EACH SIDE OF THE OPENING WITH NOT LESS THAN EIGHT IOD NAILS HAVING A MINIMUM LENGTH OF I 1/2 INCHES (36 MM) AT EACH SIDE OR EQUIVALENT. THE METAL ITE MOST EXTEND A MINIMUM OF 6 INCHES PAST THE OPENING.
- HEADERS SHALL MEET THE REQUIREMENTS OF THE N.C.-R
- PROVIDE LATERAL BRACING PER THE N.C.-R
- FOUNDATION CRIPPLE WALLS SHALL MEET THE REQUIREMENTS OF THE
- 14. WOOD STUD WALLS SHALL BE BRACED AS REQUIRED BY THE N.C.-R
- 15. UNLESS COVERED BY INTERIOR OR EXTERIOR WALL COVERINGS OR SHEATHING MEETING THE MINIMUM REQUIREMENTS OF THIS CODE, ALL STUD PARTITIONS OR WALLS WITH STUDS HAVING A HEIGHT-TO-LEAST THICKNESS RATIO EXCEEDING 50 SHALL HAVE BRIDGING NOT LESS THINNESS INTERCESS IN EACLEDING AD STATE THAT A DISCOURS AND THE STUDS FITTED SNULLY AND NAILED THERETO TO PROVIDE ADEQUATE LATERAL SUPPORT.

FIRE BLOCKS AND DRAFT STOPS

FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND A ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN MOOD-FRAME CONSTRUCTION IN THE LOCATIONS SPECIFIED IN THE N.C.-R

FIRE BLOCKING SHALL CONSIST OF 2 INCHES NOMINAL LIMBER, OR TWO THICKNESSES OF I-INCH NOMINAL LIMBER WITH BROKEN LAP JOINTS, OR ONE THICKNESS OF 23/23-INCH WOOD STRUCTURAL PANELS OR ONE THICKNESS OF 3/4-INCH PARTICLEBOARD WITH JOINTS BACKED BY 3/4-INCH PARTICLEBOARD, 1/2-INCH 6/TPSOM BOARD, OR 1/4-INCH CENT-BASED MILLEOARD

BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE SHALL BE PERMITTED AS AN ACCEPTABLE FIRE BLOCK.

BATTS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED NON-RIGID MATERIALS SHALL BE PERMITTED FOR COMPLIANCE WITH THE ID FOOT HORIZONITAL FIREBLOCKING IN MALLS CONSTRUCTED USING PARALLEL RONG OF STUDS OR STAGGERED STUDS, LOOSE FILL INSULATION MATERIAL SHALL NOT BE USED AS A FIREBLOCK UNLESS SPECIFICALLY TESTED IN THE FORM AND MANNER INTENDED FOR USE TO DEMONSTRATE ITS ABILITY TO REMAIN IN PLACE AND TO RETARD THE SPREAD OF FIRE AND HOT GASSES.

WHEN THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET, DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS, WHERE THE ASSEMBLY IS ENCLOSED BY A LOOR MEMBRANE ABOVE AND A CEILING MEMBRANE BELOW DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR/CEILING ASSEMBLIES UNDER THE FOLLOWING CIRCUMSTANCES:

- CEILING IS SUSPENDED UNDER THE FLOOR FRAMING.
- FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN-WEB OR PERFORATED MEMBERS.

HANDRAIL AND GUARDRAIL

2.

SUARDRAIL OF 36" HIGH MIN. SHALL BE PROVIDED WHERE FINISHED GRADE OR FLOOR BELOW RAISED AREA EXCEEDS 30".

HANDRAIL AT STAIRS SHALL BE PROVIDED WHEN 4 OR MORE STAIR RISERS



THERMAL & MOISTURE

PROTECTION

- PROVIDE ALL FLASHING . COUNTER-FLASHING, BITUTHENE, MEMBRANE ING. SHEET METAL, CAULKING, SEALANTS, ELASTOMERIC WALKING SURFACES, AND RAIN GUTTERS AND/OR DIVERTERS WHERE REQUIRED TO MAKE WORK COMPLETELY WATERPROO
- "CORROSION RESISTANCE" SHALL MEAN THE ABILITY OF A MATERIAL TO WITHSTAND DETERIORATION OF IT'S SURFACE OR IT'S PROPERTIES 2. WHEN EXPOSED TO IT'S ENVIRONMENT
- BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, OCCUPIED ROOFS AND SIMILAR SURFACES EXPOSED TO THE NEATHER AND SEALED UNDER-NEATH SHALL BE WATERPROOFED AND SLOPED A MINIMUM OF 1/4 WIT VERTICAL IN 12 WITS HORIZONTAL (2% SLOPE) FOR DRAINAGE.
- PROVIDE A MINIMUM 2 INCH DROP FROM FINISHED INTERIOR FLOOR ELEVATION TO THE HIGHEST FLOOR ELEVATION OF ANY ADJOINING DECK OR BALCONY.
- ELASTOMERIC OR MEMBRANE DECK COATINGS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AT DECKS AND BALCONIES. COLOR, FINISH, AND DETAILING SHALL BE APPROVED BY OWNER/ BUILDER AND ARCHITECT
- UNLESS DESIGNED TO DRAIN OVER DECK EDGES, DRAINS AND OVER-FLONS OF ADEQUATE SIZE SHALL BE INSTALLED AT THE LOW POINTS OF THE DECK OR BALCONY.
- FOUNDATION WALLS WHERE THE OUTSIDE GRADE IS HIGHER THAN THE INSIDE GRADE SHALL BE WATER-PROOFED AND DAMPPROOFED IN ACCORDANCE WITH THE N.C.-R
- PARAPET WALLS SHALL BE PROPERLY COPED WITH NONCOMBUSTIBLE, WEATHERRROOF MATERIALS OF A MIDTH NO LEGS THAN THE THICKNESS OF THE PARAPET WALL. PARAPET COPING SHALL EXTEND 2" MINIMUM DOWN THE FACES OF THE PARAPET.

FLASHING

- APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLEF-KSHION IN A MANNER TO PREVENT ENTRY OF MATER INTO THE MALL I2. CAVITY OR PENETRATION OF MATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. SELF-ADHERED MEMBRANES USED AS FLASHING SHALL COMPLY WITH AAMA TII, FLUID-APPLIED MEMBRANES USED AS FLASHING IN EXTERIOR WALLS SHALL COMPLY WITH AAMA TIA. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR MALL FINISH, ALUMINM FLASHING SHALL NOT BE USED IN CONTACT WITH CENENTITOUS MATERIAL, EXCEPT AT COUNTER FLASHING. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE LOCATIONS STATED IN N.C.-R.
- AT ALL WINDOW AND DOOR OPENINGS USE FORTIFIBER WATER-RESISTIVE BARRIERS, I.C.S. ESR-1027, INSTALLED PER MANUFACTURER'S SPECIFICATIONS, OR APPROVED EQUAL.
- ALL BEAMS, OUTLOOKERS, CORBELS, ETC. PROJECTED THROUGH EXTERIOR WALLS OR PENETRATING EXTERIOR FINISHES SHALL BE FLASHED WITH A MINIMUM 0.019-INCH (NO. 26 SHEET METAL GAGE) CORROSION-RESISTANT METAL AND CAULKED.
- ALL SHEET METAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS AND STANDARDS OF THE SHEET METAL AND AIR CONDITIONING CONTRACTOR'S NATIONAL ASSOCIATION (S.M.A.C.N.A.), THE ARCHITECTURAL SHEET METAL MANUAL, AND SEALANT, WATERPROOFING AND RESTORATION INSTITUTE'S (S.W.R.I.) GUIDE -"SEALANT'S: THE PROFESSIONAL'S GUIDE".
- SHEET METAL SHALL BE STEEL SHEET, HOT-DIPPED, TIGHT COATED AND GALVANIZED, CONFORMING TO A.S.T.M. A525 AND SHALL BE A NUMBER 24 SHEET METAL GASE UNLESS OTHERWISE NOTED IN THESE NOTES, PLANS, OR MANUFACTURER'S SPECIFICATIONS.
- SHEET ALUMINUM SHALL CONFORM WITH FEDERAL SPECIFICATIONS QQ-A-359 AND A.S.T.M. B209 ALLOY 3003.
- FABRICATE SHEET METAL WITH FLAT LOCK SEAMS AND SOLDER WITH TYPE AND FLUX RECOMMENDED BY MANUFACTURER. SEAL ALUMINUM SEAMS WITH EPOXY METAL SEAM CEMENT, WHERE REQUIRED FOR STRENGTH, RIVET SEAMS AND JOINTS.
- SHOP FABRICATE TO THE GREATEST EXTENT POSSIBLE IN ACCORDANCE WITH APPLICABLE STANDARDS TO PROVIDE A PERMANENTLY WATER-PROOF, WEATHER RESISTANT INSTALLATION.
- ASPHALT SHINGLES SHALL HAVE SELF-SEAL STRIPS OR BE INTERLOCKING, AND COMPLY WITH ASTM D 225 OR D 3462.
- BASE AND CAP FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS, BASE FLASHING SHALL BE OF EITHER CORROSION-RESISTANT METAL OF MINIMUM NOMINAL O OHL-NCH THICKNESS OR MINERAL SURFACE ROLL ROOFING HEIGHING A MINIMUM OF TI POUNDS FOR IOD SQUARE FEET, CAP FLASHING SHALL BE CORROSION-RESISTANT METAL OF MINIMUM NOMINAL O.019-INCH THICKNESS 10.
- VALLEY LININGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS BEFORE APPLYING SHINGLES. VALLEY LININGS OF THE FOLLOWING TYPES SHALL BE PERMITTED AS STATED PER THE N.C.-R.
- 12. A CRICKET OR SADDLE SHALL BE INSTALLED ON THE RIDGE SIDE OF ANY CHIMEY OR PENETRATION MORE THAN SO INCHES MIDE AS MEASURED PERFERICULAR TO THE SLOPE: CRICKET OR SADDLE COVERINGS SHALL BE SHEET METAL OR OF THE SAME MATERIAL AS THE ROOT FEIND. THE CAUGHTLASHING AT THE INTERSECTION OF CRICKET
- 13. FLASHING AGAINST A VERTICAL SIDEWALL SHALL BE BY THE STEP-FLASHING
- ASHING AGAINST A VERTICAL FRONT WALL, AS WELL AS SOIL STACI NT PIPE AND CHIMNEY FLASHING, SHALL BE APPLIED ACCORDING TO PHALT SHINGLE MANUFACTURER'S PRINTED INSTRUCTIONS.
- AT THE JUNCTURE OF ROOF VERTICAL SURFACES, FLASHING AND COUNTERFLASHING SHALL BE PROVIDED IN ACCORDANCE WITH THE N.C.-R AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND, WHERE OF METAL, SHALL NOT BE LESS THAN O.019 INCH (NO. 26 GALVANIZED METAI
- 16. VALLEY ELASHING FOR CONCRETE THE ROOPS SHALL BE AS REQUIRED

ROOFING MATERIALS

- ROOF COVERINGS SHALL BE APPLIED IN ACCORDANCE WITH THE NC-R AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. INSTALLATION OF ROOF COVERINGS SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF THE NC-R
- ROOFS AND ROOF COVERINGS SHALL BE OF MATERIALS THAT ARE COMPATIBLE WITH EACH OTHER AND WITH THE BUILDING OR STRUCTURE TO WHICH THE MATERIALS ARE APPLIED.
- ROOF COVERING MATERIALS SHALL CONFORM TO THE APPLICABLE STANDARDS LISTED IN THE N.C.-R. IN THE ABSENCE OF APPLICABLE STANDARDS OR WHERE MATERIALS ARE OF GLESTIONABLE SUITABILITY, TESTING BY AN APPROVED TESTING ABENCY SHALL BE REQUIRED BY THE BUILDING OF APPLICATION OF THE CHARACTER, GUALITY, AND LIMITATIONS OF APPLICATION OF THE MATERIALS.

THERMAL & MOISTURE

PROTECTION (continued)

- ROOF COVERING MATERIALS SHALL BE DELIVERED IN PACKAGES BEARING ING AGENCY THE MANUFACTURER'S IDENTIFYING MARKS AND APPROVED TESTING LABELS WHEN REQUIRED. BULK SHIPMENTS OF MATERIALS SHALL BE ACCOMPANIED BY THE SAME INFORMATION ISSUED IN THE FORM OF A CERTIFICATE OR ON A BILL OF LADING BY THE MANUFACTURER
- COMPOSITION ROOFING SHINGLES SHALL BE OF ASPHALT OR APPROVED RELATED MATERIALS AND MEET THE REQUIREMENTS OF THE N.C.-R
- UNDERLAYMENT FOR ASPHALT SHINGLES SHALL CONFORM TO ASTM D 226 TYPE I, ASTM D 4869, TYPE I, OR ASTM D 6151, SELF-ADHER POLYMER MODIFIED BITUMEN SHEET SHALL COMPLY WITH ASTM D 19
- ASPHALT SHINGLES SHALL COMPLY WITH ASTM D 225 OR ASTM D 3462.
- FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED STEEL, STAINLESS STEEL, ALUMINUM, OR COPPER ROOFING NAILS, MINIMUM 12 GAGE SHANK WITH A MINIMUM 9/6 INCH DIAMETER HEAD, ASTM F 1667, OF A LENSTH TO PENETRATE THROUGH THE ROOFING MATERIALS AND A MINIMUM OF 3/4 INCH INTO THE ROOF SHEATHING. WHERE THE ROOF SHEATHING IS LESS THAN 3/4 INCH THICK, THE FASTENERS SHALL PENETRATE THROUGH THE SHEATHING. FASTENERS SHALL COMPLY WITH ASTVE 16-ROUGH THE SHEATHING. FASTENERS SHALL COMPLY WITH ASTM F 1667
- ASPHALT SHINGLES SHALL HAVE THE MINIMUM NUMBER OF FASTENERS REQUIRED BY THE MANUFACTURER. FOR NORMAL APPLICATION, ASPHALT SHINGLES SHALL BE SECURED TO THE ROOF WITH NOT LESS THAN FOUR FASTENERS PER STRIP SHINGLE OR THO FASTENERS PER DAMINETING CONVECTOR PER STRIP SHINGLE OR THO FASTENERS PER NDIVIDUAL GUINGLE PER N.C.-P
 - UNDERLAYMENT FOR ASPHALT SHINGLES SHALL BE APPLIED IN ACCORDANCE WITH THE N.C.-R
 - THE INSTALLATION OF CLAY AND CONCRETE TILE SHALL COMPLY WITH THE PROVISIONS OF N.C.-R CLAY ROOF TILE SHALL COMLY WITH ASTM C 1167.
 - CONCRETE AND CLAY TILE SHALL BE INSTALLED ONLY OVER SOLID SHEATHING OR SPACED STRUCTURAL SHEATHING BOARDS
 - CLAY AND CONCRETE ROOF TILE SHALL BE INSTALLED ON ROOF SLOPES OF 2 1/2 UNITS VERTICAL IN 12 UNITS HORIZONTAL (2-1/2:12) OR GREATER, FOR ROOF SLOPES FROM 2 1/2 UNITS VERTICAL IN 12 UNITS HORIZONTAL (2-1/2:12) TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (2-1/2), DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH THE N.C.-R
 - UNDERLAYMENT FOR CLAY AND CONCRETE TILE SHALL CONFORM WITH ASTM D 226, TYPE II, ASTM D 2626 TYPE I; OR ASTM D 6380 CLASS I MINERAL SURFACED ROLL ROOFING.
 - CONCRETE ROOF TILE SHALL COMPLY WITH ASTM C 1492.
- NAILS SHALL BE CORROSION-RESISTANT AND NOT LESS THAN II GAGE, 5/6-INCH HEAD, AND OF SUFFICIENT LENGTH TO PENETRATE THE DECK A MINIMUM OF 3/4-INCH OR THROUGH THE THICKNESS OF THE DECK, INHICHEVER IS LESS, ATTACHING WIRE FOR CLAY OR CONCRETE TILE SHALL NOT BE SMALLER THAN 0.003-INCH, PERIMETER FASTENING AREAS INCLUDE THREE TILE CORRESS BUT NOT LESS THAN 30 INCHES FROM EITHER SIDE OF HIPS OR RIDGES AND EDGES OF EAVES AND GABLE RAKES
- 17. CLAY AND CONCRETE ROOF TILES SHALL BE FASTENED IN ACCORDANCE WITH THE N.C.-R
- TILE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, BASED ON CLIMATIC CONDITIONS, ROOF SLOPE, UNDERLATMENT SYSTEM, AND TYPE OF TILE BEING INSTALLED PER THE N.C.-R 18.
- THE INSTALLTION OF BUILT-UP ROOFS SHALL COMPLY WITH THE N.C.-R
- 20. BUILT-UP ROOPS SHALL HAVE A DESIGN SLOPE OF A MINIMUM OF ONE-FOUTH UNIT VERTICAL. IN IZ UNITS HORIZONTAL. (2-PERCENT SLOPE) FOR DRAINAGE, EXCEPT FOR COAL-TAR BUILT-UP ROOPS THAT SHALL HAVE A DESIGN SLOPE OF A MINIMUM ONE-EIGHTH UNIT VERTICAL. IN 12 UNITS HORIZONTAL (I-PERCENT SLOPE
- 21. BUILT-UP ROOF COVERING MATERIALS SHALL COMPLY WITH THE STANDARDS PER THE NC -R

EXTERIOR WALL COVERINGS

- SEE FINISHES IN THESE GENERAL NOTES FOR EXTERIOR PLASTER.
- MATERIALS USED FOR THE CONSTRUCTION OF EXTERIOR WALLS SHALL COMPLY WITH THE PROVISIONS OF THE N.C.-R
- EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE. THE EXTERIOR WALL ENVELOPE 6HALL INCLUE FLASHING. THE EXTERIOR WALL ENVELOPE 6HALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT PREVENTS THE ACCUMULATION OF MATER WITHIN THE HALL ASSEMBLY BY PROVIDING A WATER-RESISTANT BARRIER BEHIND THE EXTERIOR VENEER AS REQUIRED AND A MEMAS OF DRAINING WATER THAT ENTERS THE ASSEMBLY TO THE EXTERIOR. PROTECTION ASAINST CONDENSATION IN THE EXTERIOR WALL ASSEMBLY SHALL BE PROVIDED ASSEMBLY SHALL BE PROVIDED
- ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOLES AND BREAKS. ONE LATER OF NO. IS ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING NITH ASTM D 226 FOR TYPE I FELT OR OTHER APPROVED MATER-RESISTIVE BARRIER SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR WALLS, SUCH FELT OR MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN & INCHES, WHERE JOINTS OCCUR, FELT SHALL BE LAPPED NOT LESS THAN & INCHES, THE FELT OR OTHER APPROVED MATERIAL SHALL BE CONTINUOUS TO THE TOP OF WALLS AND TERMINATED AT PENETRATIONS AND BULDING APPENDAGES IN A MANNER TO MEET THE REQUIREMENTS OF THE EXTERIOR WALL ENVELOPE.
- VINTL SIDING CONFORMING TO THE REQUIREMENTS OF THE N.C.-R AND COMPLYING WITH ASTM D 3619 SHALL BE PERMITTED ON EXTERIOR WALLS OF BUILDINGG OF TYPE V CONSTRUCTION LOCATED IN AREAS WHERE THE ULTIMATE WIND SPEED SPECIFIED DOES NOT EXCEED IN AREAS WHERE THE ULTIMATE WIND SPEED SPECIFIED DOES NOT EXCEED IO MILES PER HOUR AND THE BUILDING HEIGHT IS LESS THAN 40 FEET IN EXPOSURE C. WHERE CONSTRUCTION IS LOCATED IN AREAS WHERE THE ULTIMATE WIND SPEED EXCEEDS ISO MILES PER HOUR OR BUILDING HEIGHTS ARE IN EXCESS OF 40 FT, DATA INDICATING COMPLIANCE MUST BE SUBMITTED, VINTL SIDING SHALL BE SECRED TO BUILDING TO PROVIDE WEATHER PROTECTION FOR THE EXTERIOR WALLS OF THE BUILDING.
- VINYL SIDING SHALL BE APPLIED OVER SHEATHING OR MATERIALS LISTED IN THE NG.-R VINYL SIDING SHALL BE APPLIED TO CONFORM NITH THE WEATHER-RESISTIVE BARRIER REQUEREMENTS VINYL SIDING AND ACCESSORIES SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS.
- VINYL SIDING FASTENERS AND ACCESSORIES SHALL MEET THE REQUIREMENTS OF THE N.C.-B
- EXTERIOR WALLS OF WOOD CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE N.C.-R

THERMAL & MOISTURE

PROTECTION (continued)

- HARDBOARD SIDING SHALL CONFORM TO THE REQUIREMENTS OF AHA A135,6 AND, WHERE USED STRUCTURALLY, SHALL BE SO IDENTIFIED THE LABEL OF AN APPROVED AGENCY.
- WOOD VENEERS ON EXTERIOR WALLS OF BUILDINGS OF TYPES I, II, III, 0 AND IN CONSTRUCTION SHALL BE NOT LESS THAN I-INCH NOMINAL THICKNESS, 0.438-INCH EXTERIOR HARDBOARD SIDING OR 0.515-INCH EXTERIOR-THTE WOOD STRUCTIRAL PANELS OR PARTICLE-BOARD AND SHALL CONFORM TO THE REQUIREMENTS OF THE N.C.-R
- FIBER-CEMENT LAP SIDING HAVING A MAXIMUM WIDTH OF 12 INCHES SHALL COMPLY WITH THE REQUIREMENTS OF ASTM CII86, TYPE A, MINIMUM GRADE
- II. LAP SIDING SHALL BE LAPPED A MINIMUM OF II/4 INCHES (52 MM) AND LAP SIDING NOT HAVING TONGUE-AND-GROOVE END JOINTS SHALL HAVE THE ENDS SEALED WITH CALLKING, INSTALLED WITH AN H-SECTION JOINT COVER, LOCATED OVER A STRIP OF FLASHING OR SHALL BE DESIGNED TO COMPLY WITH NC-R. LAP SIDING COURSES MAY BE INSTALLED WITH THE FASTENER HEADS EXPOSED OR CONCEALED, ACCORDING TO NC-R OR APPROVED INSULATOR.
- INSULATING MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS OR VAPER-PERMEABLE MEMBRANES, INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL-ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL HAVE A FLAME-SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTME 84 OR UL 123.
- DUCT INSULATION MATERIALS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS OF THE N.C.-R
- INSULATION AND COVERING ON PIPE AND TUBING SHALL HAVE A FLAME-SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450. SEE EXCEPTIONS.
- ALL EXPOSED INSULATION MATERIALS INSTALLED ON ATTIC FLOORS SHALL HAVE A CRITICAL RADIANT FLUX OF NOT LESS THAN 0.12 WATT PER SQUARE 17 ALL EXCOUNTION FOR LENGTH TO LESS THAN 0.12 WATT PER S HAVE A CRITICAL RADIANT FILLY OF NOT LESS THAN 0.12 WATT PER S CENTIMETER PER N.C.-R TESTS FOR CRITIAL RADIANT FLUX SHALL BE MADE IN ACCORDANCE WITH ASTM E 970
- THE USE OF ABOVE DECK THERMAL INSULATION SHALL BE PERMITTED PROVIDED SUCH INSULATION IS COVERED WITH AN APPROVED ROOF COVERING AND PASSES FM 4450 OR UL 1256 PER N.C.-R.
- CELLULOSE LOOSE-FILL INSULATION SHALL COMPLY WITH CPSC 16 CFR. PARTS 1209 AND 1404. EACH PACKAGE OF SUCH INSULATING MATERIAL SHALL BE CLEARLY LABELED IN ACCORDANCE WITH CPSC 16 CFR. PARTS 1209 AND 1404.
- INSULATION IN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, MALLS, CRANL SPACES OR ATTICS SHALL BE EITHER OF THE BLOWN-IN CELLULOSE TYPE OR FIBERGLASS BATTS OR BLANKET TYPE FER BUILDER'S SPECIFICATIONS.
- THE ENERGY EFFICIENCY REQUIREMENTS INCLUDING LEGG, BUT NOT THE ENERGY EFFICIENCY RECONDENTIFIES INCLUDING LECC. BUT LIMITED TO INSULATION IR: VALUES, PERCENTAGE OF GLAZING "U" VALUES, ETC. SHALL BE DETERMINED BY THE ADOPTED STATE AND LOCAL ENERGY CODE EQUIRENTS, REFER TO MECHANICAL PLANS FOR SPECIFICATIONS.
- THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED WITH AN AIR BARRIER SYSTEM TO LIMIT INFILTRATION, THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION, FOR ALL HOMES, WEBER PRESENT, THE FOLLOWING SHALL BE CALLED, GASKLE HOMES, WEBER PRESENT, THE FOLLOWING SEALED WITH AN AIR BARRIER MATERIAL OR SOLID MATERIAL CONSISTENT WITH APPENDIX E-23 AND E-24 OF THE NC-R. I. BLOCKING AND SEALING FLOOR/CEILING SYSTEMS AND UNDER KNEE WALLS OPEN TO UNCONDITIONED OR EXTERIOR SPACE. 2. CAPPING AND SEALING SHAFTS OR CHASES, INCLUDING FLUE
- 3. CAPPING AND SEALING SOFFIT OR DROPPED CEILING AREAS.
- FRAMED CAVITY WALLS, THE EXTERIOR THERMAL ENVELOPE WALL INSULATION SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT MITH THE BUILDING ENVELOPE AIR BARRIER INSULATION SHALL BE SUBSTANTIALLY FREE FROM INSTALLATION SHALL SE ENCLOSED ON ALL SIDES WITH A RIGID MATERIAL OR AN AIR BARRIER MATERIAL. WALL INSULATION SHALLS THE CAVITY INSULATION SHALL BE ENCLOSED ON ALL INSTALLED ON EXTERIOR WALLS PRIOR TO BEING COVERED BY SUBSEQUENT CONSTRUCTION, CONSISTENT WITH APPENDIX E-2.3 AND E-2.4 OF NC-R: ю. TUBS

SHOWERS

2. SFOREND 3. STAIRS 4. FIREPLACE UNITS ENCLOSURE OF WALL CAVITY INSULATION ALSO APPLIES TO WALLS THAT ADJOIN ATTIC SPACES BY PLACING A RIGID MATERIAL OR AIR BARRIER MATERIAL ON THE ATTIC SIDE.

DOORS & WINDOWS

- SEE ELOOR PLANS AND ELEVATIONS FOR SIZES AND TYPES OF DOORS AND WINDOWS AND FOR ANY DIVIDED LITE PATTERNS. COLORS SHALL BE APPROVED BY THE BUILDER AND ARCHITECT
- 2 OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN I 3/6 INCHES IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN I 3/6 INCHES THICK, OR 20-MINUTE FIRE-RATED DOORS.
- NO DOUBLE FRENCH DOORS SHALL BE USED UNLESS THERE IS A SUFFICIENT OVERHANG OR COVERED PATIO COVERING THESE DOORS. NO DOUBLE <u>WOOD</u> FRENCH DOORS SHALL BE USED IN ANY CASE.
- PROVIDE SECURITY HARDWARE FOR ALL DOORS AND WINDOWS IN CONFORMANCE WITH ALL STATE AND LOCAL CODE REQUIRED REMENTS
- ALL AUTOMATIC GARAGE DOOR OPENERS REQUIRE THE INCLUSION OF A PHOTOELECTRIC SENSOR, EDGE SENSOR OR SOME OTHER SIMILAR DEVICE FOR REMOTE OPERATION AND AS SAFETY FRE-CAUTION TO REVENT THE DOOR FROM CLOSING WHEN SOMETING IS BLOCKING THE FATH OF THE DOOR SEE MANHEATURERS NSTALL TION INSTRUCTIONS
- ALL MANUFACTURED WINDOWS AND SLIDING GLASS DOORS SHALL MEET THE AIR INFILTRATION STANDARDS OF THE CURRENT AMERICAN NATIONAL STANDARDS INSTITUTE AS. TM. E283-75 MITH A PRESSURE DIFFERENTIAL OF 151 POUNDS FER SOURCE FOOT AND SHALL BE CERTIFIED AND LABELED
- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE EMERGENCY ESCAPE AND RESCUE OPENING
- WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELON THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW MELL.

DOORS & WINDOWS (continued)

- IO. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OFENING OF NOT LESS THAN 5 SOUARE FEET IN THE CASE OF A GROUND FLOOR LEVEL WINDOW AND NOT LESS THAN 5.T SOUARE FEET IN THE CASE OF AN UPPER STORY WINDOW.
- ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES.
- ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES.
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE.
- THE MINIMUM HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQUARE FEET, MITH A MINIMUM HORIZONTAL PROJECTION AND MIDTH OF 36 INCHES. THE AREA OF THE WINDOW WELL SHALL ALLOW HERREPEVCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED PERT THE N.C.-R THE LADDER OR STEPS REQUIRED SHALL BE PERMITTED TO ENCROACH A MAXIMUM OF 6" INTO THE REQUIRED DIMENSIONS OF THE MINDOW WELL.
- WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES 15 SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OF STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION.
- BARS, GRILLES, COVERS, SCREENS OR SIMILAR DEVICES ARE PER DITIO, UTILED, UVERS, EXPENSION ON DIMILAR LEVICES AND FEMILIED TO BE PLACED OVER EVERENCY ESCARE AND RESCUE OPENINGS, PROVIDED ENCLOSURES, ON UNIDON WELLS THAT SERVE SUCH OPENINGS, PROVIDED THE MINIMAN NET CLEAR OPENING SIZE COMPLIES WITH THE NCA. AND SUCH DEVICES SHALL BE RELEXABLE OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR FORCE GREATER THAN THAT WHICH IS REQUIRED FOR NORMAL OPERATION OF THE ESCAPE AND RESCUE OPENING.
- ALL INTERIOR EGRESS DOORS AND A MINIMUM OF ONE EXTERIOR EGRESS DOOR SHALL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRES IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR

GLAZING & SAFETY GLAZING

BEING DESTROYED.

2

3.

6.

8.

CONSERVATION CODE.

HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN & PERCENT OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE TRACUSH MINDONS, SKYLIGHTS, DOORS, LOWERS OR OTHER APPROVED OPENINGS TO THE OUTDOR AIR, SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERNISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE OPENALE AREA TO THE OUTDORS SHALL BE NOT LESS THAN 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.

EXCEPT AS INDICATED, EACH PANE OF GLAZING INSTALLED IN HAZARDOUS

GLASS AND THE SAFETY GLAZING STANDARD WITH MHICH IT COMPLES, WHICH IS VISIBLE IN THE FINAL INSTALLATION. THE DESIGNATION SHALL BE ACID ETCHEN, SANDBLASTERD, CERAMIC-FIRED, LASER ETCHED, EMBOSED, OR BE OF A TYPE WHICH ONCE APPLIED CANNOT BE REMOVED WITHOUT

LOCATIONS SHALL BE PROVIDED WITH MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, DESIGNATING THE TYPE OF

INDIVIDUAL GLAZED AREAS, INCLUDING GLASS MIRRORS IN HAZARDOUS

THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING:

GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING SLIDING AND BIFOLD DOORS

GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

3.2 BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR

3.5 TOP EDGE MORE THAN 36 INCHES ABOVE THE FLOOR

3.1 EXPOSED AREA OF AN INDIVIDUAL PANE LARGER THAN 9 SQUARE

3.4 ONE OR MORE WALKING SURFACES WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING.

GLAZING IN GUARDS AND RAILINGS, INCLUDING STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS, REGARDLESS OF AREA OR HEIGHT ABOYE A WALKING SURFACE.

GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS WHIRLPOOLS SLACING IN DUOD AND ENCLOSANCE FOR HOT TUDS, MINELPOLDS SAINAS, STEAM ROOMS, BATHTUBS AND SHOVERS, GLAZING ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

SUMMING POOLS, HOT THES AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS, HOT THES AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SWIFFACE AND WITHIN 60 INCHES HORIZONTALLY OF THE WATER'S EDGE. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING.

GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A MALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE

GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF STAIRWAYS WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING

AND WITHIN A 60-INCH HORIZONTAL ARC LESS THAN 160 DEGREES FROM THE BOTTOM TREAD NOSING.

THE ADJACENT WALKING SURFACE.

GLAZING SHALL BE IN ACCORDANCE WITH ENERGY COMPLIANCE

CALCULATIONS BASED ON A LOCALLY ADOPTED ENERGY CODE, THE MODEL ENERGY CODE OR THE INTERNATIONAL ENERGY

IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE MINDOW IS LOCATED MORE THAN T2 INCHES (824 MM) ABOVE THE FINISHED GRAPE OR SURFACE BELION THE LOWEST PART OF THE CLEAR OPENING OF THE MINDOW SHALL BE A MINIMUM OF 24 INCHES (610 MM) ABOVE THE FINISHE FLOOR OF THE ROOM IN WHICH THE MINDOW IS LOCATED, OPERABLE SECTORS OF MINDOWS SHALL NOT PENNINGS THAT ALLOW

PASSAGE OF A 4 INCH (IO2 MM) DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24 INCHES (60 MM) OF THE FINISHED FLOOR.

HINGED SHOWER DOORS SHALL OPEN OUTWARD.

GLAZING IN WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR

LOCATIONS SHALL PASS THE TEST REQUIREMENTS OF CPSC 16 CFR, PART 1201. GLAZING SHALL COMPLY WITH CPSC 16.

CALIFICATION OF A LESS COMPACTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREAS I WINDOWS OF NOT LESS THAN 3 SQUARE FEET, ONE-HALF OF WHICH MUST BE OPENABLE.

FINISHES

GYPSIM BOARD

2.

GYPSUM WALLBOARD SHALL BE INSTALLED IN CONFORMANCE WITH THE CURRENT EDITION OF THE NORTH CAROLINA RESIDENTIAL CODE AND ALL STATE AND LOCAL BUILDING CODES. THE MOST STRINGENT REQUIREMENTS SHALL GOVERN

MATERIALS. ALL SYPSIM BOARD MATERIALS AND ACCESSORIES SHALL CONFORM TO ASTIN 2.22, C 475, C 514, C 1002, C 1047, C 1177, C 1176, C 1276, C 1986, OK C 1658 AND SHALL BE INSTALLED IN ACCORDANCE UNIT THE PROVISIONS OF THE N.C.-R. ADHESIVES FOR THE INSTALLATION OF SYPSIM BOARD SHALL ACCHROME TO ASTIN C 557.

GYPSUM BOARD MATERIALS SHALL CONFORM TO THE APPROPRIATE STANDARDS LISTED IN THE N.C.-R WHERE REQUIRED FOR FIRE PROTECTION, CONFORM TO THE N.C.-R

INTERIOR GYPSUM BOARD SHALL NOT BE INSTALLED WHERE IT IS DIRECTLY EXPOSED TO THE WEATHER OR TO WATER.

ALL EDGES AND ENDS OF GYPSUM BOARD SHALL OCCUR ON THE ALL EDGES AND ENDS OF OFFICIENT BOARD SHALE OCCURNED AND ENDS THAT ARE FRAMING MEMBERS, EXCEPT THOSE EDGES AND ENDS THAT ARE PERPENDICULAR TO THE FRAMING MEMBERS, EDGES AND ENDS OF GYPSIM BOARD SHALL BE IN MODERATE CONTACT EXCEPT IN CON-CEALED SPACES WHERE FIRE-REGISTACE-RATED CONSTRUCTION, UNDERSCREAMED ENDINIERS AND REDUCTION. SHEAR RESISTANCE, OR DIAPHRAGM ACTION IS NOT REQUIRED. CEALED SPACES WHERE FIRE-RESISTACE-RATED CONSTRUCTION

FASTENERS AT THE TOP AND BOTTOM PLATES OF VERTICAL ASSEMBLIES, CASILIERS AND END FOR AND END OF HORIZONTAL ASSEMBLIES PERFENDICULAR TO SUPPORTS, AND ENDS OF HORIZONTAL ASSEMBLIES PERFENDICULAR SHEAR-RESISTING ELEMENTS OR FIRE: RESISTIVE ASSEMBLIES, FASTENE SHARL BE APPLIED IN SUCH A MANNER AS NOT TO FRACTURE THE FACE PARTER WITH THE FASTENER HEAD. T ON =ASTENERS

GYPSUM BOARD USED AS THE BASE OR BACKER FOR ADHESIVE APPLICATION OF CERANIC TILE OR OTHER REQUIRED NON-ABSORBENT FINISH MATERIAL SHALL CONFORM TO ASTM C 1946, C 1170 OR (2170, USE OF MATER-RESISTANT GYPSUM BACKING BOARD SHALL BE PERMITTED ON CEILINGS WHERE FRAMING SPACING DOES NOT EXCEED 12 INCHES ON CENTER FOR 1/2-INCH-THICK OR 16 INCHES FOR 5/8-INCH-THICK GYPSUM BOARD WATER-RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER A VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT. CUT OR EXPO EDGES, INCLUDING THOSE AT WALL INTERSECTIONS, SHALL BE SEALED AS MENDED BY THE MANUFACTURER

WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY

WHEN APPLYING A WATER-BASED TEXTURE MATERIAL, THE MINIMUM GYTSUM BOARD THICKNESS SHALL BE INCREASED FROM 3/8 INCH TO 1/2 INCH FOR 16-INCH ON CENTER FRAMING, AND FROM 1/2 INCH TO 5/8 INCH FOR 24-INCH ON CENTER FRAMING OR 1/2 INCH SAG-RESISTANT GYTSUM CEILING BOARD SHALL BE USED.

EXTERIOR LATH

в.

ALL LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION RESISTANT MATERIAL

BACKING OR A LATH SHALL PROVIDE SUFFICIENT RIGIDITY TO PERMIT PLASTER APPLICATION.

WHERE LATH ON VERTICAL SURFACES EXTENDS BETWEEN RAFTERS OR OTHER SIMILAR PROJECTING MEMBERS, SOLID BACKING SHALL BE INSTALLED TO PROVIDE SUPPORT FOR LATH AND ATTACHMENTS.

GYPSUM LATH OR GYPSUM BOARD SHALL NOT BE USED, EXCEPT THAT ON HORIZONTAL SUPPORTS OF CEILINGG OR ROOF SOFFITS IT MAY BE USED AS BACKING FOR METAL LATH OR WIRE FABRIC LATH AND CEMENT PLASTER.

UNLESS SPECIFIED OTHERWISE, ALL WALL COVERINGS SHALL BE SECURELY FASTENED PER THE N.C.-R. OR WITH OTHER APPROVED ALUMINUM, STAINLESS STELL, I.K.-COATED OR OTHER APPROVED CORROSION-RESISTIVE FASTENERS, WHERE THE BASIC WIND SPEED IS 10 MILES PER HOR OR HOHER. THE ATTACHMENT OF WALL COVERINGS SHALL BE DESIGNED TO RESIST THE COMPONENT AND CLADDING LOADS SPECIFIED AND ADJUSTED FOR HEIGHT AND EXPOSURE

A MINIMUM 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMM VERTICAL ATTACHMENT FLANGE OF 51/2 INCHES SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 426. THE WEEP SCREED SHALL BE PLACED A MINIMM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER RESISTANT BARRIES SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE.

EXTERIOR PLASTER

3.

PLASTERING WITH PORTLAND CEMENT PLASTER SHALL BE NOT LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED MOOD OR DECAT-RESISTANT MOOD OR GYPSUM BACKING, IF THE PLASTER SURFACE IS COMPLETELY CONCERED BY VENEER OR OTHER FACING MATERIAL, OR IS COMPLETELY CONCEALED, PLASTER APPLICATION NEED BE ONLY TWO COATS, PROVIDED THE TOTAL THICKNESS IS AS SET FORTH PER THE N.C.-R

ON WOOD-FRAME CONSTRUCTION WITH AN ON-GRADE FLOOR SLAB SYSTEM, EXTERIOR PLASTER SHALL BE APPLIED TO COVER, BUT NOT EXTEND BELOW, LATH, PAPPER AND SCREED.

THE PROPORTION OF AGGREGATE TO CEMENTITIOUS MATERIALS SHALL BE AS SET FORTH PER THE N.C.-R

ONLY APPROVED PLASTICITY AGENTS AND APPROVE AMOUNTS THEREOF MAY BE ADDED TO PORTLAND CEMENT. WHEN PLASTIC CEMENT IS USED, NO ADDITIONAL LINE OR PLASTICIZERS SHALL BE ADDED. HYDRATED LIME OR THE EQUIVALENT AMOUNT OF LIME FUTTY USED AS A PLASTICIZER MAY BE ADDED TO CEMENT PLASTER OR CEMENT AND LIME PLASTER IN AN AMOUNT NOT TO EXCEED SET EORTH IN ASTM C 926

GYPSUM PLASTER SHALL NOT BE USED ON EXTERIOR SURFACES.

PLASTER COATS SHALL BE PROTECTED FROM FREEZING FOR A PERIOD OF NOT LEGS THAN 24 HOURS AFTER SET HAS OCCURRED. PLASTER SHALL BE APPLIED WHEN THE AMBIENT TEMPERATURE IS HIGHER THAN 40 DEGREES F (4 DEGREES C), UNLESS PROVISIONS ARE MADE TO KEEP CEMENT PLASTER WORK ABOUT 40 DEGREES F (4 DEGREES C), PROK TO & DURING APPLICATION AND 48 HOURS THEREAFTER. COLOR AND FINISH TO BE SELECTED AND APPROVED BY OWNER/ BUILDER AND ARCHITECT.

A I-COAT EXTERIOR PLASTER SYSTEM SUCH AS "MAGNA WALL" I.C.C. NO. ER-4TT6, "EXPO FIBRENALL" I.C.C. NO. ER-4566, OR APPROVED EQUAL MAY BE USED IN LIEU OF A 3-COAT EXTERIOR PLASTER SYSTEM.



SERIES

50'

MECHANICAL & PLUMBING

HV.AC.

- ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH THE NORTH CAROLINA RESIDENTIAL AND MECHANICAL CODE. INSTALLATIONS OF MECHANICAL APPLIANCES, EQUIPMENT AND SYSTEMS NOT ADDRESSED BY THIS CODE SHALL COMPLY INITI THE APPLICABLE PROVISIONS OF THE NORTH CAROLINA RESIDENTIAL AND FUEL GAS CODE.
- CONTRACTOR SHALL DESIGN ENTIRE H.V.A.C. SYSTEM AND SUBMIT DRAWINGS FOR OWNER/BUILDER'S APPROVAL PRIOR TO ORDERING MATERIALS OR EQUIPMENT.
- WHERE AIR CONDITIONING IS AN OPTIONAL FEATURE, HEATING SYSTEMS MUST BE DESIGNED AND DUCT WORK SIZED TO ACCOMMODATE FUTURE AIR CONDITIONING NEEDS.
- WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE, AT LEAST ONE THERMOSTAT FER DWELLING WIIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THIS THERMOSTAT SHALL INCLUDE THE CAPABILITY TO SET BACK OR TEMPORARULY OFERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEG, F (15 C) OR UP TO 85 DEG. F (29 C).
- ALL DUCTWORK SHALL CONFORM TO THE REQUIREMENTS OF THE 5
- COMBUSTION AIR SHALL BE PROVIDED FOR FORCED AIR UNITS IN 6.
- CONTRACTOR TO PROVIDE BOOT IN DUCTWORK WHEN OPTIONAL "HONEYWELL" OR "CARRIER" ELECTRONIC AIR CLEANER IS PROVIDED.
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BI CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE PER NG-
- EXTERIOR-GRADE INSTALLATIONS, EQUIPMENT AND APPLIANCES INSTALLED ABOVE GRADE LEVEL SHALL BE SUPPORTED ON A SOLID BASE OR APPROVED MATERIAL A MINIMM OF 2 INCHES THICK.
- 10. UNDER-FLOOR INSTALLATION. SUSPENDED EQUIPMENT SHALL BE A MINIMUM OF 6 INCHES ABOVE THE ADJOINING GRADE.
- CRAWL SPACE SUPPORTS. IN A CRAWL SPACE, A MINIMUM OF 2-INCH THICK SOLID BASE, 2-INCH (51 MM) THICK FORMED CONCRETE, OR STACKED MASONRY WITS HELD IN FLACE BY MORTAR OR OF OTHER APPROVED METHOD. THE WATER HEATER SHALL BE SUPPORTED NOT LESS THAN 2 INCHES ABOVE GRADE.
- DRAINAGE. BELOW-GRADE INSTALLATIONS SHALL BE PROVIDED WITH A NATURAL DRAIN OR AN AUTOMATIC LIFT OR SUMP FUMP. FOR PIT REGUIREMENTS REFER TO N.C.-M 12.

VENTING

- IN LIEU OF REQUIRED EXTERIOR OPENINGS FOR NATURAL VENTILATION N BATHROOMS CONTAINING A BATHTUB, SHOWER OR COMBINATION IN BATHROOMS CONTINUING A DATHUD, SHORER OR COMBINATION THEREOF, A MECHANICAL VENTLATION SYSTEM ANY BE REVOLDED. THE MINIMUM VENTLATION RATES SHALL BE 50 CPM FOR INTERMITTENT VENTLATION OR 20 CPM FOR CONTINUOUS VENTLATION. VENTLATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE PER NC.-R
- EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND SHALL BE EQUIPPED WITH BACKDRAFT DAMPERS. 2.
- RANGE HOODS SHALL DISCHARGE TO THE OUTDOORS THROUGH A DUCT. THE DUCT SERVING THE HOOD SHALL HAVE A SMOOTH INTERIOR SURFACE SHALL BE AIR TIGHT, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER AND SHALL BE INDEPENDENT OF ALL OTHER EXHAUST SYSTEMS. DUCTS SERVING RANGE HOODS SHALL NOT TERMINATE IN AN ATTIC OR CRAAL SPACE OR AREAS INSIDE THE BUILDING. DUCTS SERVING RANGE HOODS SHALL BE CONSTRUCTED OF GALVANIZED STEEL, STAINLESS STEEL OR COPPER
- WHERE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND WHERE MECHANICAL OR NATURAL VENTILATION IS OTHERWISE PROVIDED, LISTED AND LABELED DUCTLESS RANGE HOODS SHALL NOT BE REQUIRED TO DISCHARGE TO THE OUTDOORS PER N.C.-M
- DUCTS FOR DOMESTIC KITCHEN COOKING APPLIANCES EQUIPPED WITH DOWN DRAFT EXHAUST SYSTEMS SHALL BE PERMITTED TO BE CONSTRUCTED OF SCHEDULE 40 PVC PIPE PROVIDED THAT THE INSTALLATION COMPLIES WITH ALL OF THE FOLLOWING PER N.C.-M:
- THE DUCT SHALL BE INSTALLED UNDER A CONCRETE SLAB POURED ON GRADE.
- THE UNDERFLOOR TRENCH IN WHICH THE DUCT IS INSTALLED SHALL BE COMPLETELY BACKFILLED WITH SAND OR GRAVEL.
- THE PVC DUCT SHALL EXTEND NOT GREATER THAN I INCH ABOVE THE INDOOR CONCRETE FLOOR SURFACE. с.
- D. THE PVC DUCT SHALL EXTEND NOT GREATER THAN I INCH ABOVE GRADE OUTSIDE THE BUILDING.
- E. THE PVC DUCTS SHALL BE SOLVENT CEMENTED.
- EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CPM SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE THAT IS IN EXCESS OF 400 CHBIC FEET PER MINUTE. SICH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM. DAMPERS SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION
- DOMESTIC WATER HEATERS, UNLESS SPECIFIED OTHERWISE BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, SHALL BE VENTED 1 THE OUTSIDE AIR BY A TYPE 'B' VENT AND COMPLY WITH THE REGUREMENTS OF THE N.C.-M

PLUMBING

- A POTABLE WATER SUPPLY SYSTEM SHALL BE DESIGNED, INSTALLED AND MAINTAINED IN SUCH A MANNER SO AS TO PREVENT AND FINITUATION FROM NONPOTABLE IGUIDS, SOLUTIS OR GASES BEING INTRODUCED INTO THE POTABLE MATER SUPPLY THROUGH CROSS-CONNECTIONS OR ANY OTHER PIPINS CONNECTIONS TO THE SYSTEM. BACKFLOW PRE- VENTER APPLICATIONS SHALL CONFORM TO
- THE SUPPLY LINES OR FITTINGS FOR EVERY PLUMBING FIXTURE SHALL BE INSTALLED SO AS TO PREVENT BACKFLOW, PLUMBING FIXTURE FITTINGS SHALL PROVIDE BACKFLOW PROTECTION IN ACCORDANCE WITH ASME AII21(B).

MECHANICAL &

PLUMBING (continued)

PLUMBING (continued)

- ALL DEVICES, APPURTENANCES, APPLIANCES AND APPARATUS INTENDED TO SERVE SOME SPECIAL FUNCTION, SUCH AS STERILIZATION, DISTIL-LATION, PROCESSING, COOLING, OR STORAGE OF ICE OR FOODS, AND THAT CONNECT TO THE MATER SUPPLY SYSTEM, SHALL BE PROVIDED WITH PROTECTION AGAINST BACKFLOW AND CONTAMINATION OF THE WATER SUPPLY SYSTEM. WATER PUMPS, FILTERS, SOFTENERS, TANKS AND ALL OTHER APPLIANCES AND DEVICES THAT HANDLE OR TREAT POTABLE WATER SHALL BE PROTECTED AGAINST CONTAMINATION.
- WATER SERVICE PIPING SHALL BE PROTECTED IN ACCORDANCE WITH N.C.-P SECTIONS AND EXCEPTIONS)
- FIXTURE FITTINGS, FAUCETS AND DIVERTERS SHALL BE CONNECTED TO THE WATER DISTRIBUTION SYSTEM SO THAT HOT WATER CORRESPONDS TO THE LEFT SIDE OF THE FITTINGS.
- DIVERTERS FOR SINK FALCETS WITH A SECONDARY OUTLET CONSISTING OF A FLEXIBLE HOSE AND SPRAY ASSEMBLY SHALL CONFORM TO ASTM AII2.18.1 IN ADDITION TO THE REQUIREMENTS IN N.C.-P THE INSTALLATION OF A WATER SERVICE OR WATER DISTRIBUTION PIPE
- THE INSTALLATION OF A WATER SERVICE OR WATER DISTRIBUTION PIPE SHALL BE PROHIBITED IN SOL AND GROUND WATER THAT IS CONTAMINATED. GROUND WATER CONDITIONS SHALL BE REQUIRED TO ACERTAIN THE ACCEPTABLITY OF THE WATER SERVICE OR NATER DISTRIBUTION PIPING MATERIAL FOR THE SPECIFIC INSTALLATION, WHERE DETRIMENTAL CONDITIONS EXIST, APPROVED ALTERNATIVE MATERIALS OR ROUTING SHALL BE REQUIRED.
- WATER DISTRIBUTION PIPE SHALL CONFORM TO NSF &I AND SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN N.C.-FULMBING, WATER DISTRIBUTION PIPE AND TUBING SHALL HAVE A MINIMUM PRESSURE RATING OF IOO PSI AT IGO DEGREES F.
- PIPE PASSING THROUGH CONCRETE OR CINDER WALLS AND ELOORS OR OTHER CORROSIVE MATERIAL SHALL BE PROTECTED AGAINS EXTERNAL CORROSION BY A PROTECTIVE SHEATHING OR WRAPPING OR OTHER MEANS THAT WILL WITHSTAND ANY REACTION FROM THE LIME AND ACID OF CONCRETE, CINDER OR OTHER CORROSIVE MATERIAL SHEATHING OR WRAPPING SHALL ALLOW FOR EXPANSION AND CONTRACTION OF PIPING TO PREVENT ANY RUBBING ACTION. MINIMUM WALL THICKNESS OF MATERIAL SHALL BE OLDZI-INCH.
- PIPES PASSING UNDER OR THROUGH WALLS SHALL BE PROTECTED FROM PHYSICAL DAMAGE PER NC-R.
- PIPING SHALL BE INSTALLED SO AS TO PREVENT DETRIMENTAL STRAINS AND STRESSES IN THE PIPE. PROVISIONS SHALL BE MADE TO PROTECT PIPING FROM DAMAGE RESULTING FROM EXPANSION, CONTRACTION AND STRUCTURAL SETTLEMENT. PIPING SHALL BE INSTALLED TO AVOID STRUCTURAL STRESSES OR STRAINS WITHIN BUILDING COMPORENTS.
- 12. WATER PIPES INSTALLED IN A WALL EXPOSED TO THE EXTERIOR SHALL MAIRS FIRED IN THE HEATED SIDE OF THE WALL INSULATION. IN OTHER SELECATED ON THE HEATED SIDE OF THE WALL INSULATION. IN OTHER CASES, MATER, SOL AND WASTE PIPES SHALL NOT BE INSTALLED OUTSIDE OF A BUILDING, IN UNCONDITIONED ATTICS, UNCONDITIONED JTILITY ROOMS OR IN ANY OTHER PLACE SUBJECTED TO FREEZING UTILITY ROOMS OR IN ANY OTHER PLACE SUBJECTED TO FREEZING TEMPERATURES UNLESS ADEQUATE REVISION IS MADE TO PROTECT SUCH PIPES FROM FREEZING BY A MINIMUM OF R-65 INSULATION DETERMINED AT 15 DEG, F IN ACCORDANCE WITH ASTM CITI OR HEAT OR BOTH. EXTERIOR WATER SUPPLY SYSTEM PIPING SHALL BE INSTALLED NOT LESS THAN 6 INCHES BELOW THE FROST LINE AND NOT LESS THAN 12 INCHES BELOW GRADE.

- BUILDING SEMER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN N.C-R. 13.
- BUILDING SEMER PIPE FITTINGS SHALL BE APPROVED FOR INSTALLATION WITH THE PIPING MATERIAL INSTALLED AND SHALL CONFORM TO THE RESPECTIVE PIPE STANDARDS OR ONE OF THE STANDARDS LISTED IN N.C.-P.
- WHERE WASTE LINE DROPS OCCUR IN A LOCATION WHERE THE SOUND OF 15 FLUSHED TOILET MAY BE UNDESIRABLE. SUCH AS IN WALLS OF PARTITIONS ADJACENT TO EATING ROOMS, USE CAST IRON PIPING OR SIMILAR APPROVED HARD OR DENSE PIPING TO MITIGATE SOUND.
- CLEANOUTS ON BUILDING SEWERS SHALL BE LOCATED AS SET FORTH IN
- THE MAXIMUM WATER CONSUMPTION FLOW RATES AND QUANTITIES FOR ALL PLUMBING FIXTURES SHALL BE IN ACCORDANCE WITH N.C.-R.
- INDIVIDUAL SHOKER AND TUB/SHOKER COMBINATION VALVES SHALL BE EQUIPPED WITH CONTROL VALVES OF THE PRESSURE-BALANCE. THERMOSTATIC-MIXING OR COMBINATION PRESSURE-BALANCE/ THERMOSTATIC-MIXING VALVE TYPES WITH A HIGH LIMIT STOP IN ACCORDANCE WITH ASSE IOI6/ ASME AII2.1016/CSA BI25.16. AND SHALL BE INSTALLED AND ADJISTED PER MANFACTURES INSTRUCTIONS.
- GAS AND ELECTRIC WATER HEATERS HAVING AN IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS NOT LESS THAN IN INCHES ABOVE THE GARAGE FLOOR. REFER TO INC.-R FOR EXCEPTION.
- 20 WATER HEATERS (USING SOLID, LIQUID OR GAS FUEL) WITH THE EXCEPTION WATER HEATERS, USING SOLU, LIQUID OR GAS FILE). WITH THE EXCEPTION OF THOSE HAVING DIRECT UENT SYSTEMS, SHALL NOT BE INSTALLED IN BATHROOMS AND BEDROOMS OR IN A CLOSET WITH ACCESS ONLY THROUGH A BEDROOM OR BATHROOM, HOMEVER, MATER HEATERS OF THE AUTOMATIC STORAGE TYPE MAY BE INSTALLED AS REPLACEMENT IN A BATHROOM, WHEN APPROVED BY THE PLUMBING OFFICIAL, PROVIDED THEY ARE VENTED AND SUPPLIED WITH ADEQUATE COMBUSTION AIR.
- IN SEISMIC DESIGN CATEGORIES DO, DI AND D2 AND TOMNHOUSES IN SEISMI DESIGN CATEGORY C, WATER HEATERS SHALL BE ANCHORED OR STRAPPED IN THE UPPER ONE-THIRD AND IN THE LOKER ONE-THIRD OF THE APPLIANCE TO RESIST A HORIZONTAL FORCE EQUAL TO ONE-THIRD OF THE OPERATING MEIGHT OF THE MATER HEATER, ACTING IN ANY HORIZONTAL DIRECTION, OR IN ACCORDANCE WITH THE APPLIANCE MANUFACTURER'S RECOMMENDATIONS
- 22. APPLIANCES LOCATED IN A GARAGE OR CARPORT SHALL BE PRO-TECTED FROM IMPACT BY A MOVING VEHICLE.
- 23 WHERE WATER HEATERS OR HOT WATER STORAGE TANKS ARE INSTALLED IN REMOTE LOCATIONS SUCH AS SUSPENDED CEILING, ATTICS, ABOVE OCCUPIED SPACES, OR UNVENTILATED CRAWL SPACES, A LOCATION WHERE WATER LEAKAGE FROM THE TANK WILL CAUSE DAMAGE TO PRIMARY STRUCTURAL MEMBERS, THE TANK OR WATER HEATER SHALL BE INSTALLED IN A GALVANIZED STEEL PAN HAVING A MINIMUM THICKNESS OF 24 GAGE, OR OTHER PANS APPROVED FOR SUCH USE.
- WHERE CLOTHES WASHING MACHINES ARE LOCATED ON WOOD FRAMED FLOORS WHERE LEAKAGE WOULD CAUSE DAMAGE, A GALVANIZED STEEL PAN HAVING A MINIMM THICKNESS OF 24 GASE, OR OTHER PANS APPROVED FOR SUCH USE SHALL BE PROVIDED. 24.

MECHANICAL &

PLUMBING (continued) PLUMBING (continued)

- 25. APPLIANCES AND EQUIPMENT USED FOR HEATING WATER OR STORING HOT WATER SHALL BE FRONTECTED BY A SEPARATE PRESSURE RELIEF VALVE AND A SEPARATE TEMPERATURE RELIEF VALVE A COMBINATION PRESSURE-AND-TEMPERATURE RELIEF VALVE RELIEF VALVES SHALL HAVE A MINIMUM RATED CAPACITY FOR THE EQUIPMENT SERVED AND SHALL CONFORM TO ANSI 221.22. THE RELIEF VALVE SHALL NOT BE USED AS A MEANS OF CONTROLLING THERMAL EXPANSION.
- THE WATER SUPPLY TO A DISHWASHER SHALL BE PROTECTED AGAINST BACKFLOW BY AN AIR GAP COMPLYING WITH ASME AII2.1.5 OR AII2.1.2 THAT IS INSTALLED INTEGRALLY WITHIN THE MACHINE OR A BACKFLOW PREVENTER IN ACCORDANCE WITH THE NC-R.
- SINK AND DISHWASHER. THE COMBINED DISCHARGE FROM A DISHWASHER AND A ONE- OR THO-COMPARTMENT SINK, NITH OR NITHOIT A FOOD-WASTE DISPOSER SHALL BE SERVED BY A TRAP OF NOT LESS THAN 11/2 INCHES (36 MM) IN OUTSIDE DIAMETER. THE DISHWASHER DISCHARGE FIFE OR TUBING SHALL RISE TO THE UNDERSIDE OF THE CONTER AND SHALL BE SECURELY FASTENED TO THE UNDERSIDE OF THE SINK RIM OR COUNTER AND THE UNDERSIDE OF THE SINK RIM OR COUNTER. 27. BEFORE CONNECTING TO THE HEAD OF THE FOOD-WASTE DISPOSER OR TO A WYE FITTING IN THE SINK TAILPIECE.

FIREPLACES

- FACTORY-BUILT FIREPLACES SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CONDITIONS OF LISTING. FACTORY-BUILT FIREPLACES SHALL BE TESTED IN ACCORDANCE WITH UL 127.
- 2. FIREPLACES ARE TO BE PROVIDED WITH AN EXTERIOR AIR SUPPLY

ELECTRICAL

- ALL MATERIALS AND APPLIANCES, INSTALLATION AND CONSTRUCTION METHODS SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE OR CURRENT SAE REQUIREMENTS
- ALL ELECTRICAL SYSTEMS, CIRCUITS, FIXTURES AND EQUIPMENT SHALL BE GROUNDED IN A MANNER COMPLYING WITH ARTICLE 250 OF THE 2. NATIONAL ELECTRICAL CODE.
- ALL WIRING SHALL BE SO INSTALLED THAT, WHEN COMPLETED, THE SYSTEM WILL BE FREE FROM SHORT CIRCUITS AND FROM GROUNDS OTHER THAN AS REQUIRED OR PERMITTED IN N.E.C. ARTICLE 250. 3.
- ELECTRIC EQUIPMENT SHALL BE INSTALLED IN A NEAT AND WORK-
- ALL 125-VOLT, SINGLE-PHASE, IS- AND 20-AMPERE RECEPTACLES INSTALLED IN THE LOCATIONS SPECIFIED BELOW SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL. THE GROUND-FAULT CIRCUIT-INTERRUPTER SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION.
- A. BATHROOMS.
- GARAGES AND ALSO ACCESSORY BUILDINGS THAT HAVE A FLOOR LOCATED AT OR BELON GRADE LEVEL NOT INTENDED AS HABITABLE ROOMS AND LIMITED TO STORAGE AREAS, WORK AREAS, AND AREAS OF SIMILAR USE. В.
- OUTDOORS С.
- CRAWL SPACES. WHERE THE CRAWL SPACE IS AT OR BELOW GRADE LEVEL. D.
- UNFINISHED PORTIONS OR AREAS OF THE BASEMENT NOT INTENDED AS HABITABLE ROOMS. E.
- KITCHENS. WHERE THE RECEPTACLES ARE INSTALLED TO SERVE THE COUNTERTOP SURFACES
- SINKS. WHERE RECEPTACLES ARE INSTALLED WITHIN 6 FT FROM THE TOP INSIDE EDGE OF THE BOWL OF THE SINK.
- BOAT HOUSES.
- BATHTUBS OR SHOWER STALLS WHERE RECEPTACLES ARE INSTALLED MITHIN 6' OF THE OUTSIDE EDGE OF THE BATHTUB OR SHOWER STALL.
- J. LAUNDRY AREAS
- DISHWASHER GFCI PROTECTION IS NOT REQUIRED FOR OUTLETS THAT SUPPLY DISHWASHERS INSTALLED IN DWELLING WIT LOCATIONS.
- CRAWL SPACE LIGHTING OUTLETS. GFCI PROTECTION SHALL BE PROVIDED FOR LIGHTING OUTLETS NOT EXCEEDING 120 VOLTS INSTALLED IN CRAWL SPACES.
- APPLIANCE RECEPTACLE OUTLETS INSTALLED IN A DWELLING UNIT FOR SPECIFIC APPLIANCES, SUCH AS LAUNDRY EQUIPMENT, SHALL BE INSTALLED WITHIN 6 FEET OF THE INTENDED LOCATION OF THE APPLIANCE.
- IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, INTEVENT RIDERARY DEN. SANGOM, BEDROOM, ECON, LOVIN, ECON, PARLOR, LIDERARY, DEN. SANGOM, BEDROOM, RECREATION ROOM, OR SIMILAR ROOM OR AREA OF DHELLING WITS, RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY MALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY, FROM AN OUTLET IN THAT SPACE, INCLUDING ANY HORIZONTALLY, FROM AN CUTLET IN THAT SPACE, INCLUDING ANY MALL SPACE 2 FEET OR MORE IN MUTHI (INCLUDING SPACE MEASURED AROUND CORNERS) AND UNERCKEN ALONG THE FLOOR LINE BY DOORNAYS AND SIMILAR OPENINGS, FIREPLACES, AND FIXED CABINETS, AND THE WALL SPACE ACCUPIED BY FIXED PANELS IN EXTERIOR MALLS, BUT EXCLUDING SUBJINGS PANELS IN EXTERIOR MALLS, BUT EXCLUDING SHARENCE AND DIVIDERS, SUCH AS FREESTANDING BAR-TYPE COUNTERS OR RAILINGS, SHALL BE INCLUDED IN THE 6 FOOT MEASUREMENT.
- IN THE KITCHEN PANTRY BREAKEAST ROOM DINING ROOM OR SIMILAR IN THE KITCHEN, PANINT, EXEAR-RADI ROOM, DINING ROOM, OK SIMIL AREA OF A DVELLING UNIT, THE TWO OR MORE 20-AMPERE SMALL-APPLIANCE BRANCH CIRCUITS REQUIRED SHALL SERVE ALL WALL AND FLOOR RECEPTACLE OUTLETS, ALL COUNTERTOP OUTLETS, AND RECEPTACLE OUTLETS FOR REFRIGERATION EQUIPMENT. THE TWO OF MORE SMALL-APPLIANCE BRANCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
- IN KITCHENS, PANTRIES, BREAKFAST ROOMS, DINING ROOMS AND SIMILAR AREAS OF DWELLING UNITS, RECEPTACLE CUTLETS FOR COUNTER SPACES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING: 10.
 - A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTER SPACE I2 INCHES OR WIDER. RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO FOINT ALONG THE MALL LINE IS MORE THAN 24 INCHES MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE.

ELECTRICAL (continued)

- (2) AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND COUNTER SPACE WITH A LONG DIMENSION OF 24 INCHES OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER.
- AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH FENNSULAR COUNTER SPACE WITH A LONG DIMENSION OF 24 INCHES OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER, A PENNSULAR COUNTERTOP IS MEASURED FROM CONNECTING PERPENDICILAR WALL. (3)
- COUNTERTOP SPACES SEPARATED BY RANGE TOPS, REFRIGER-ATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTER-TOP SPACES IN APPLITING THE REQUIREMENTS OF (I), (2), AND (5) ABOYE. IF A RANGE COUNTER-KOOKING WIT, OR SINK IS INSTALLED IN AN ISLAND OR PENINGULAR COUNTERTOP AND THE DEPTH OF THE COUNTER BEHIND THE ITEM IS LESS THEN IS INCHES. IT WILL BE CONSIDERED TO DIVIDE THE COUNTERTOP SPACE INTO TWO SEPARATE COUNTERTOP SPACES. EACH COUNTERTOP SPACE SHALL COMPLY WITH APPLICABLE REQUIREMENTS. (4)
- RECEPTAGLE OUTLETS SHALL BE LOCATED NOT MORE THAN 20 INCHES ABOVE THE CONTERTOP. RECEPTAGLE OUTLETS RENDERED NOT READLY ACCESSIBLE BY APPLIANCES FASTENED IN PLACE, APPLIANCE GARAGES, SINKS, OR RANGETOPS AS COVERED IN A ABOVE, OR APPLIANCES OCCUPYING DEDICATED SPACE SHALL NOT (5)
- AT LEAST ONE WALL RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOMS WITHIN 3 FEET OF THE OUTSIDE EDGE OF BACH BASIN. THE RECEPTACLE OUTLET SHALL BE LOCATED IN WALL OR PARTITION THAT IS ADJACENT TO THE BASIN OR BASIN CONTENTOP, OR INSTALLED ON THE SIDE OR FACE OF THE BASIN CABINET WOT MORE HAN 12" BELOW THE COUNTERTOP
- IN DWELLING UNITS, AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN AREAS DESIGNATED FOR THE INSTALLATION OF LAUNDRY EQUIPMENT.
- 13. IN EACH ATTACHED GARAGE AND IN EACH DETACHED GARAGE WITH IN EACH ATTACHED GARAGE AND IN EACH DE LACHED GARAGE ATTH ELECTRIC PORER, THE BRANCH CIRCUIT SUPPLYING THIS RECEPTACLE(S) SHALL NOT SUPPLY OUTLETS OUTSIDE OF THE GARAGE. AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN EACH VEHICLE BAY.
- CABLE- OR RACEWAY-TYPE WIRING METHODS INSTALLED IN A GROOVE, TO BE COVERED BY WALLBOARD, SIDING, PANELING, CARPETING, OR SIMILAR FINISH, SHALL BE PROTECTED BY JUB INCH THICK STEEL PLATE, SLEEVE, OR EQUIVALENT OR BY NOT LESS THAN 1-1/4 INCH FREE SPACE FOR THE FULL LENSTH OF THE GROOVE IN WHICH THE CABLE OR RACEWA IS INSTALLED.
- RECEPTACLES IN DAMP OR WET LOCATIONS.

19.

20.

21.

UNIQUE COMBIN SMOKE DETECTORS

- A. A RECEPTACLE INSTALLED OUTDOORS IN A LOCATION PROTECTED FROM MEATHER OR IN OTHER DAMP LOCATIONS SHALL HAVE AN ENCLOSURE FOR THE RECEPTACLE THAT IS MEATHERPROOF WHEN THE RECEPTACLE IS COVERED. (ATTACHMENT FLUS CAP NOT INSERTED AND RECEPTACLE COVERS CLOSED.)
- ALL 15- AND 20- AMPERE, 125- AND 250-VOLT RECEPTACLES INSTALLED IN A WET LOCATION SHALL HAVE AN ENCLOSURE THAT I MEATHER PROOF WHETHER OR NOT THE ATTACHMENT FLUG CAP IS INSERTED. AN OUTLET BOX HOOD INSTALLED FOR THIS FURPOSE SHALL BE LISTED AND SHALL BE IDENTIFIED AS "EXTRA DUTY". AL 15- AND 20- AMPERE, 125- AND 250-VOLT NONLOCKING RECEPTACLES SHALL BE LISTED WEATHER RESISTANT TYPE.
- LIGHTING EQUIPMENT. NOT LESS THAN 75 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LIGHT FIXTURES WITHIN CLOTHES CLOSETS SHALL BE INSTALLED IN

ALL 120-VOLT, SINGLE PHASE, IS- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOETS, HALLNAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRIPTERS), COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. THE ARC-FAULT CIRCUIT INTERRIPTER SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION.

BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION, THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

TAMPER-RESISTANT RECEPTACLES IN DWELLING UNITS IN ALL AREAS. ALL NON-LOCKING TYPE 125-VOLT IS-AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. EXCEPTIONS LISTED BELOW:

I. RECEPTACLES LOCATED MORE THAN 51 ABOVE THE FLOOR

4. NON-GROUNDING RECEPTACLES USED FOR REPLACEMENTS.

DIMMER-CONTROLLED RECEPTACLES. A RECEPTACLE SUPPLYING LIGHTING LOADS SHALL NOT BE CONNECTED TO A DIMMER UNLESS THE PLUG/RECEPTACLE COMBINATION IS A NONSTANDARD CONFIGURATION TYPE THAT IS SPECIFICALLY LISTED AND IDENTIFIED FOR EACH SUCH

SMOKE DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED MANUFACTURER'S INSTRUCTIONS AND NC-R R314 ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE WARKING EQUIPMENT PROVISIONS OF INFA T2.

REQUIRED SMOKE DETECTORS SHALL BE LOCATED IN ACCORDANCE WITH THE NC-R RSI4.3

HOUSEHOLD FIRE ALARM SYSTEMS INSTALLED IN ACCORDANCE WITH NEPA

HOUSEHOLD FIRE ALARM SYSTEMS INSTALLED IN ACCORDANCE WITH IMPA T2 THAT INCLUDE SHORE ALARMS, OR A COMBINATION OF SHORE DETECTOR AND ANDIBLE NOTIFICATION DEVICE INSTALLED AS REQUIRED BY THE NC-R R3143 FOR SHOKE ALARMS, SHALL BE PERMITTED. THE HOUSEHOLD FIRE ALARM SYSTEM SHALL PROVIDE THE SAME LEVEL OF SHOKE DETECTION AND ALARM AS REQUIRED BY THE NC-R FOR SHOKE ALARMS IN THE EVENT THE FIRE ALARM PANEL IS REMOVED OR THE SYSTEM IS NOT CONNECTED TO A CENTRAL STATION.

2. RECEPTACLES THAT ARE PART OF A LUMINAIRE OR APPLIANCE

3, A SINGLE RECEPTACLE OR A DUPLEX RECEPTACLE FOR TWO APPLIANCES LOCATED WITHIN DEDICATED SPACE FOR EACH APPLIANCE THAT, IN NORMAL USE, IS NOT EASILY MOVED FROM ONE PLACE TO ANOTHER, AND THAT IS CORD-AND-PLUG CONNECTED.

ELECTRICAL (continued)

CARBON MONOXIDE ALARMS

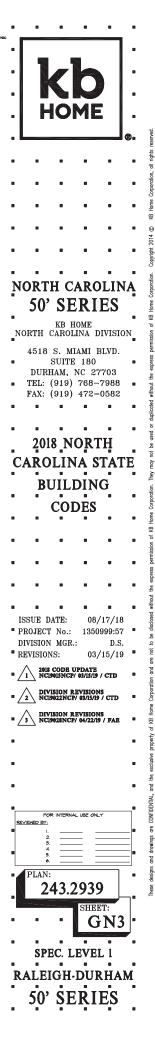
CARBON MONOXIDE ALARMS IN DWELLING UNITS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM.

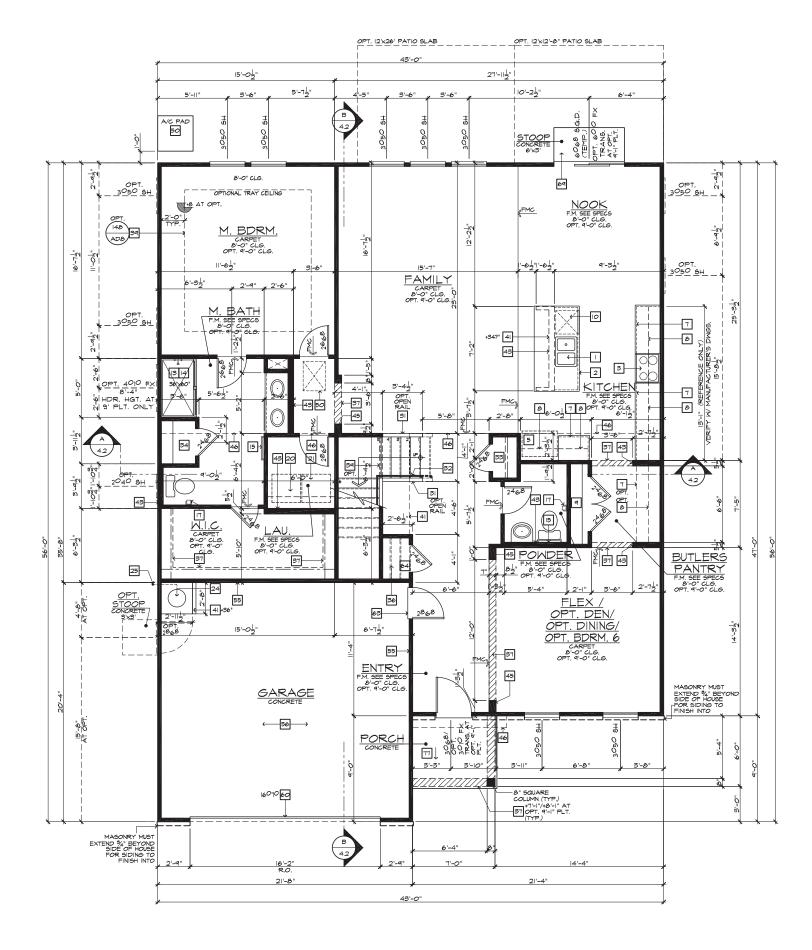
SINGLE STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING MITH UL 2034 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE NC-R R315 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF INDIVIDUAL CARBON MONOXIDE OR SMOKE ALARMS.

DRYER VENT

THE DRYER DUCT IS REQUIRED TO IDENTIFY THE LENGTH IN ACCORDANCE WITH SECTION MI502.4.5

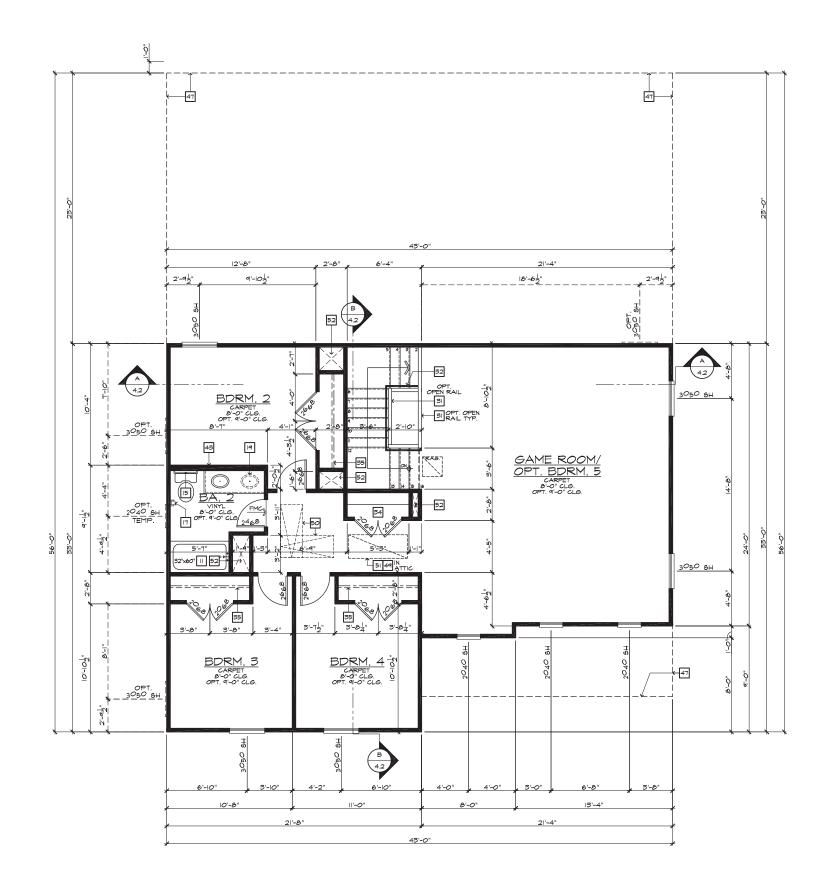




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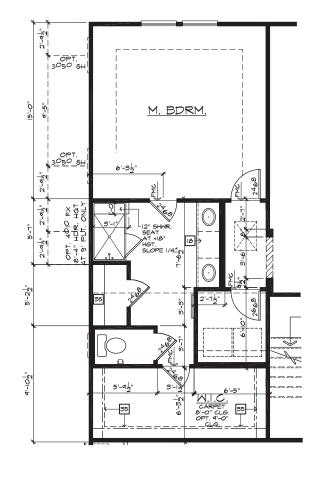
INTERIOR KEY					
	SOUARE FOOT				
	PLAN 243.29				
FIRST FLOOR AREA	1 1411 210.27	<i></i>	1779	SQ. FT.	
SECOND FLOOR ARE	A		1160	SQ. FT.	
TOTAL AREA			2939	SQ. FT	
CRAWL GAR. AREA			437	SQ. FT.	
PORCH AREA(S)	ELEVATION 'A'		42	50. FT.	
	ELEVATION 'B'		71	SQ. FT.	
	ELEVATION 'C'		86	SQ. FT.	
	ELEVATION 'D'		128	SQ. FT.	
DECK AREA(S)	OPEN 12'×12'		144	50. FT.	
	OPEN 12'x12' OPEN 12'x26'		339	50. FT.	
	SCREENED-IN 12'	<12'-8"	152	50. FT.	
	SCREENED-IN 12		339	SQ. FT.	
SUNROOM AREA(S)					
	12'XI2'-8"		152	SQ. FT.	
	PLATE NOT	res		2018 N.CR	
i	B'-I" PLATE N	IOTES			
MINDOW HEADER HEIGHT: 6-8° UNO. 2nd FLOOR NINDOW HOR, HEIGHT: 7-0° UNO. ELIDING GLASS DOOR HEIGHT: 6-8° UNO. SLIDING GLASS DOOR HEIGHT: 7-4* UNO. INTERIOR SOFFIT HEIGHT: 7-4* UNO.					
	9'-I" PLATE N	IOTES			
WINDOW HEADER HEIGHT: 1'-8' U.N.O. 2nd FLOOR WINDOW HDR. HEIGHT: 7'-8' U.N.O. ENTRY DOOR HEIGHT: 6'-8' W 12'' TRANSOM AE SLIDING GLASS DOOR HEIGHT: 6'-8' W 12'' TRANSOM AE INTERIOR SOFFIT HEIGHT: 6'-8'' W 12'' TRANSOM AE INTERIOR SOFFIT HEIGHT: 6'-8'' W 10''' TRANSOM AE INTERIOR SOFFIT HEIGHT: 6'-8'' U.N.O. INTERIOR DOOR HEIGHT: 6'-8'' U.N.O.				NSOM AB	
GE	ENERAL PLAN	NOTE	S	2018 N.CR	
ALL CEILING HEIGHT	IS PER SECTION AN	ID ELEVA	TION PL.		
ALL INTERIOR DOOL		CORE 3	/8" THIC	Κ,	
ALL GARAGE SERV EXTERIOR GRADE (REFER TO PLAN FO	R SIZE).			
ALL HOUSE TO GAR (REFER TO PLAN FO	OR SIZE).				
ALL ENTRY DOORS SOLID CORE 3/4"					
ALL FLOOR MATERIAL CHANGES TO OCCUR AT CENTER OF DOOR JAMES, U.N.O.					
STAIR DATA NOTES					
FIRST FLOOR WITH S.I" PLATE HEIGHT: 16' DEEP T.J.I. FLOOR JOISTS WITH 3/4" T&G DECKING. 15 TREADS AT 10' EACH 16 RISERS AT 7-7/8" EACH					
FIRST FLOOR WITH 16" DEEP T.J.I. FLOO 16 TREADS AT 17 RISERS AT &	OR JOISTS WITH 3/4	" T\$6 DE	CKING.		

#	FLOOR PLAN NOTES	
Т.	SINK WITH GARBAGE DISPOSAL - VERIFY DIMENSIONS WITH MANUFACTURER SPEC'S.	
2.	DISHWASHER - PROVIDE SURFACE MOUNT AIR GAP	
2	VERIFY DIMENSIONS WITH MANUFACTURER SPEC'S.	
3.	SLIDE-IN RANGE/ OVEN COMBINATION W BUILT-IN LIGHT \ddagger FAN (VENT TO OUTSIDE AIR) - VERIFY WITH MANUFACTURER SPEC'S.	
4.	36" COOKTOP - W BUILT-IN HOOD WLIGHT & FAN. (VENT TO OUTSIDE AIR) - CABINET MOUNTED MICROWAVE INCLUDED OVEN WITH VENT - VERIFY WITH MANUFACTURER SPEC'S.	HOME
5.	34" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL).	
6.	DOUBLE OVEN - VERIFY WITH MANUFACTUER SPEC'S.	• L @
٦.	BASE CABINETS - REFER TO INTERIOR ELEVATIONS	
8.	UPPER CABINETS - REFER TO INTERIOR ELEVATIONS	
٩.	PANTRY - SHELVES PER SPEC	
	ISLAND CABINET - REFER TO INTERIOR ELEVATIONS	
п.	TUB/SHOWER COMBINATION WITH 72" FIBERGLASS ENCLOSURE (NON-ABSORBENT) VERIFY DIMENSIONS WITH MFR'S SPEC'S.	
12.	OVAL TUB - VERIFY DIMENSIONS WITH MANUFACTURER SPEC'S.	
13.	SHOWER PAN WITH WAINSCOT TO 84" - VERIFY DIMENSIONS WITH MANUFACTURER SPEC'S.	
14.	SHATTERPROOF (TEMPERED) GLASS SHOWER ENCLOSURE	
15.	TOWEL BAR	
16.	NOT USED	
17.	TOILET PAPER HOLDER	NORTH CAROLINA
18.	EXTEND VANITY - REFER TO INTERIOR ELEVATIONS	
	OPTIONAL SINK	50' SERIES
20.	PROVIDE WATER AND WASTE FOR WASHER (WASHER CONTROL VALVES) (RECESSED IN WALL)	KB HOME
21.	DRYER VENT	NORTH CAROLINA DIVISION
~~	NOTICED	4518 S. MIAMI BLVD.
	NOT USED FREE STANDING LAUNDRY SINK - VERIFY DIMENSIONS	SUITE 180
∠ 3.	FREE STANDING LAUNDRY SINK - VERIFY DIMENSIONS WITH MER'S SPEC'S.	DURHAM, NC 27703
24.	ELECTRIC WATER HEATER - LOCATE ON 18" HIGH FRAMED PLATFORM	■ TEL: (919) 768-7988
25.	TEMPERATURE AND PRESSURE RELIEF VALVE DRAIN TO EXTERIOR - MIN. 6" ABOVE & MAX. 24" ABOVE GRADE	FAX: (919) 472-0582
	NOT USED	
<i>28</i> .	PRE-MFR. METAL GAS APPLIANCE FIREPLACE INSTALLED PER MANUFACTURERS INSTRUCTIONS	2018 NORTH
2a	NON-COMBUSTIBLE HEARTH MATERIAL	CAROLINA STATE
	ROUTE OF FIREPLACE "B" VENT FROM BELOW -	
	PROVIDE O.S.B. SHAFT	BUILDING
	+36" GUARD WALL DETAIL 84/AD5 OR 86/AD5	
	+34" - +38" HIGH HANDRAIL DETAIL 83/AD5	CODES
	COATS WITH SHELF & POLE - DETAIL 73/AD4	
	LINEN - SHELVES PER SPEC	
	WARDROBE WITH SHELF & POLE - DETAIL 13/AD4 U.N.O. MEDIA NICHE - REFER TO INTERIOR ELEVATIONS	
	FLAT SOFFIT - REFER TO PLAN OR ELEVATIONS FOR HEIGHT	
	NOT USED	
	LINE OF CEILING BREAK	
	INTERIOR SHELF - REFER TO PLAN OR INT. ELEVS. FOR HGT.	
	LOW WALL - REFER TO PLAN FOR HEIGHT - DETAIL 72/AD4	
42.	LOCATION OF PLUMBING WASTE DROP FROM ABOVE	ISSUE DATE: 08/17/18
43.	2×6 WALL	PROJECT No.: 1350999:57
44.	2x6 BALLOON FRAMED WALL - REFER TO STRUCTURAL	DIVISION MGR.: D.S. REVISIONS: 03/15/19
45.	DOUBLE 2x4 WALL	. , ,
	LINE OF FLOOR ABOVE	a 1 2018 CODE UPDATE NCI90ISNCP/ 03/15/19 / CTD
	LINE OF FLOOR BELOW	
	EXTERIOR RAIL	Z NCI9022NCP/ 03/15/19 / CTD
	F.A.U. VENT TO OUTSIDE AIR	
	22"x54" ATTIC ACCESS W/ STAIRS	* 3 NCI9028NCP/ 04/22/19 / FAE
9 1.	F.A.J. IN ATTIC - PROVIDE MIN. 22"x30" ATTIC ACCESS PANEL - PROVIDE FUEL GAS. REFER TO UTILITY PLAN DETAIL \mathcal{B} /AD5	
52	DETAIL 88/AD5 DUCT CHASE - DETAIL 89 \$ 90/AD5 - REFER TO MECH. PLAN	
	RETURN AIR GRILL (R.A.G.) -	
	REFER TO MECHANICAL PLAN	
54.	1/2" GYPSUM BOARD ON CEILING AND WALLS AT USEABLE SPACE UNDER STAIRS	•
55.		
	THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ?" GYPSUM BOARD APPLIED TO THE GARAGE SIDE	FOR INTERNAL USE ONLY
56.	SEPARATION BETWEEN SECOND FLOOR AND GARAGE CEILING; PROVIDE (1) LAYER OF ?" TYPE "X" GYPSUM BOARD, NALLS SUPPORTING SECOND FLOOR AND GARAGE CEILING; PROVIDE (1) LAYER OF ?" GYPSUM BOARD	REVIEWED BY: I.
57.	EXTERIOR SHELF - REFER TO ELEV. FOR HEIGHT	8 4
58.	NOT USED	• PLAN:
59.	NOT USED	243.2939
60.	SECTIONAL GARAGE DOOR - VERIFY WINDOW OPTION	SHEET:
	NOT USED	• • • 11
62.	DRAFTSTOP REQUIRED IN FLOOR / CEILING SPACES EXCEEDING 1000 SQUARE FEET, DIVIDED SPACES MUST BE	1.1
	ROUGHLY EQUAL.	
63.	OPENINGS BETWEEN GARAGE AND HOUSE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN I 3/8-INCH THICK, OR SHALL BE 20-MINUTE FIRE RATED. DOORS SHALL BE WEATHERSTRIPPED	SPEC. LEVEL 1
	NOTE: FOR ALL PLAN OPTIONS REFER TO BASIC PLAN FOR	RALEIGH
	INFORMATION NOT SHOWN HERE.	50' SERIES

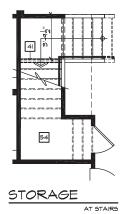


0			
INTERIOR KEY			
PLATE NOTES			
8'-I" PLATE I			
WINDOW HEADER HEIGHT: 2nd FLOOR WINDOW HDR. HEIGHT: ENTRY DOOR HEIGHT: SLIDING GLASS DOOR HEIGHT: INTERIOR DOOR HEIGHT: INTERIOR DOOR HEIGHT:	6'-8" UNO. T'-0" UNO. 6'-8" UNO. 6'-8" (TEMP) T'-4" UNO. 6'-8" UNO.		
9'-I" PLATE I			
 WINDOW HEADER HEIGHT; 2nd FLOOR WINDOW HOR, HEIGHT; ENTRY DOOR HEIGHT; SLIDING GLASS DOOR HEIGHT; INTERIOR SOFFIT HEIGHT; TRAY CELING; INTERIOR DOOR HEIGHT; 	7'-8" U.N.O. 7'-8" U.N.O. 6'-8" H/ 12" TRANSOM ABV 6'-8" H/ 12" TRANSOM ABV 6'-8" U.N.O. 7?" DROP U.N.O. 6'-8" U.N.O.		
GENERAL PLA	N NOTES		
ALL CEILING HEIGHTS PER SECTION AND ELEVATION PLATE HEIGHTS, U.N.O. ALL INTERIOR DOORS TO BE HOLLOW CORE I 3/0" THICK,			
U.N.O. (REFER TO PLAN FOR SIZE). ALL GARAGE SERVICE DOORS TO BE HOLLOW CORE EXTERIOR GRADE (REFER TO PLAN FOR SIZE).			
ALL HOUSE TO GARAGE DOORS TO BE 20-MINUTE FIRE-RATED (REFER TO PLAN FOR SIZE).			
ALL ENTRY DOORS AND EXTERIOR FE SOLID CORE 3/4" THICK (REFER TO			
ALL FLOOR MATERIAL CHANGES TO C DOOR JAMBS, U.N.O.	OCCUR AT CENTER OF		
STAIR DATA NOTES			
FIRST FLOOR WITH 9-1" PLATE HEIGHT: 16" DEEP T.J.I. FLOOR JOISTS MITH 3/4" T&G DECKING. 15 TREADS AT 10" EACH 16 RISERS AT 7-7/8" EACH			
FIRST FLOOR WITH 10-1" PLATE HEIGHT. 16" DEEP T.J.I. FLOOR JOISTS MITH 3/4" T&G DECKING. 16 TREADS AT 10" EACH 17 RISERS AT 8-1/8" EACH			

#	FLOOR PLAN NOTES	
Ι.	SINK WITH GARBAGE DISPOSAL - VERIFY DIMENSIONS WITH MANUFACTURER SPEC'S.	5
2.	DISHWASHER - PROVIDE SURFACE MOUNT AIR GAP	
З.	VERIFY DIMENSIONS WITH MANUFACTURER SPEC'S. SLIDE-IN RANGE/ OVEN COMBINATION W/ BUILT-IN LIGHT & FAN	
	SLIDE-IN RANGE/ OVEN COMBINATION W BUILT-IN LIGHT & FAN (VENT TO OUTSIDE AIR) - VERIFY WITH MANUFACTURER SPEC'S.	
4.	36" COOKTOP - W BUILT-IN HOOD WLIGHT & FAN. (VENT TO OUTSIDE AIR) - CABINET MOUNTED MICROWAVE INCLUDED OVEN WITH VENT - VERIFY WITH MANUFACTURER SPECS.	HOME
5.	39" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL).	
6.	DOUBLE OVEN - VERIFY WITH MANUFACTUER SPEC'S.	• (*
7.	BASE CABINETS - REFER TO INTERIOR ELEVATIONS	
8.	UPPER CABINETS - REFER TO INTERIOR ELEVATIONS	
9. 10	PANTRY - SHELVES PER SPEC ISLAND CABINET - REFER TO INTERIOR ELEVATIONS	
10.	TUR/SHOWER COMBINATION WITH 72" EIBERGI ASS ENCLOSURE	
	(NON-ABSORBENT) VERIFY DIMENSIONS WITH MFR'S SPEC'S.	
12. 15.	OVAL TUB - VERIFY DIMENSIONS WITH MANUFACTURER SPEC'S. SHOWER PAN WITH WAINSCOT TO &4" - VERIFY DIMENSIONS	
15.	WITH MANUFACTURER SPEC'S.	
14.	SHATTERPROOF (TEMPERED) GLASS SHOWER ENCLOSURE	
15.	TOWEL BAR	
16.	NOT USED	
17.	TOILET PAPER HOLDER	NORTH CAROLINA
	EXTEND VANITY - REFER TO INTERIOR ELEVATIONS	50' SERIES
	OPTIONAL SINK	DA SEKIES
20.	PROVIDE WATER AND WASTE FOR WASHER (WASHER CONTROL VALVES) (RECESSED IN WALL)	KB HOME
21.	DRYER VENT	NORTH CAROLINA DIVISION
22	NOT USED	4518 S. MIAMI BLVD.
	FREE STANDING LAUNDRY SINK - VERIFY DIMENSIONS	SUITE 180
	WITH MFR'S SPEC'S.	DURHAM, NC 27703
24.	ELECTRIC WATER HEATER - LOCATE ON 18" HIGH FRAMED PLATFORM	 TEL: (919) 768-7988 FAX: (919) 472-0582
25.	TEMPERATURE AND PRESSURE RELIEF VALVE DRAIN TO EXTERIOR - MIN. 6" ABOVE & MAX. 24" ABOVE GRADE	
26.	NOT USED	
27.	NOT USED	
28.	PRE-MFR. METAL GAS APPLIANCE FIREPLACE INSTALLED PER MANUFACTURERS INSTRUCTIONS	2018_NORTH
	FER PIRIO ROTORERS INSTRUCTIONS	CAROLINA STATE
	NON-COMBUSTIBLE HEARTH MATERIAL	CAROLINA SIAIP
30.	ROUTE OF FIREPLACE "B" VENT FROM BELOW - PROVIDE O.S.B. SHAFT	BUILDING
31.	+36" GUARD WALL DETAIL 84/AD5 OR 86/AD5	
32.	+34" - +38" HIGH HANDRAIL DETAIL 83/AD5	CODES
33.	COATS WITH SHELF & POLE - DETAIL 73/AD4	
	LINEN - SHELVES PER SPEC	
	WARDROBE WITH SHELF & POLE - DETAIL 73/AD4 U.N.O.	
	MEDIA NICHE - REFER TO INTERIOR ELEVATIONS FLAT SOFFIT - REFER TO PLAN OR ELEVATIONS FOR HEIGHT	
	NOT USED	
	LINE OF CEILING BREAK	
	INTERIOR SHELF - REFER TO PLAN OR INT. ELEVS. FOR HOT.	
41.	LOW WALL - REFER TO PLAN FOR HEIGHT - DETAIL 72/AD4	
42.	LOCATION OF PLUMBING WASTE DROP FROM ABOVE	ISSUE DATE: 08/17/18 PROJECT No.: 1350999:57
	2x6 WALL	DIVISION MGR.: D.S.
	2x6 BALLOON FRAMED WALL - REFER TO STRUCTURAL	REVISIONS: 03/15/19
	DOUBLE 2x4 WALL LINE OF FLOOR ABOVE	A 2018 CODE UPDATE
	LINE OF FLOOR ABOVE	* 1 NCI90ISNCP/ 03/15/19 / CTD
	EXTERIOR RAIL	DIVISION REVISIONS
	F.A.U. VENT TO OUTSIDE AIR	
50.	22"x54" ATTIC ACCESS W/ STAIRS	DIVISION REVISIONS NCI9628NCP/ 04/22/19 / FAE
51.	F.A.J. IN ATTIC - PROVIDE MIN. 22"x30" ATTIC ACCESS PANEL - PROVIDE FUEL GAS. REFER TO UTILITY PLAN	
	DETAIL 88/AD5	•
	DUCT CHASE - DETAIL 89 \$ 90/AD5 - REFER TO MECH. PLAN	8
53.	RETURN AIR GRILL (R.A.G.) - REFER TO MECHANICAL PLAN	
54.	I/2" GYPSUM BOARD ON CEILING AND WALLS AT USEABLE SPACE UNDER STAIRS	
55.		
	THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ?" GYPSUM BOARD APPLIED TO THE GARAGE SIDE	FOR INTERNAL USE ONLY
	SEPARATION BETWEEN SECOND FLOOR AND GARAGE CELLING: PROVIDE (1) LAYER OF ?" TYPE "X" GYPSUM BOARD, WALLS SUPPORTING SECOND FLOOR AND GARAGE CEILING: PROVIDE (1) LAYER OF ?" GYPSUM BOARD	REVIEWED BY. I 2 3
57.	EXTERIOR SHELF - REFER TO ELEV. FOR HEIGHT	a b b c c c c c c c c c c
	NOT USED	6
	NOT USED	243.2939
60	SECTIONAL GARAGE DOOR - VERIFY WINDOW OPTION	SHIDET:
	NOT USED	
62.	DRAFTSTOP REQUIRED IN FLOOR / CEILING SPACES	1.2
	EXCEEDING 1000 SQUARE FEET, DIVIDED SPACES MUST BE ROUGHLY EQUAL,	
63.	OPENINGS BETWEEN GARAGE AND HOUSE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN I 3/8-INCH THICK, OR SHALL BE 20-MINUTE FIRE RATED. DOORS SHALL BE	SPEC. LEVEL 1
	MEATHERSTRIPPED	RALEIGH DURHAM
	NOTE: FOR ALL PLAN OPTIONS REFER TO BASIC PLAN FOR	
	INFORMATION NOT SHOWN HERE.	50' SERIES

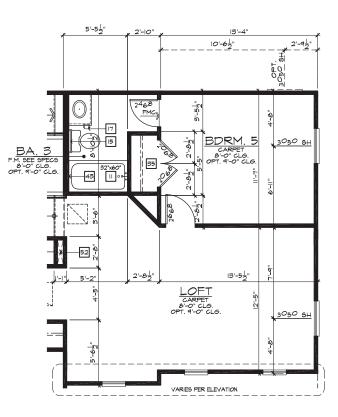


DELUXE M. BATH AT MASTER BATH



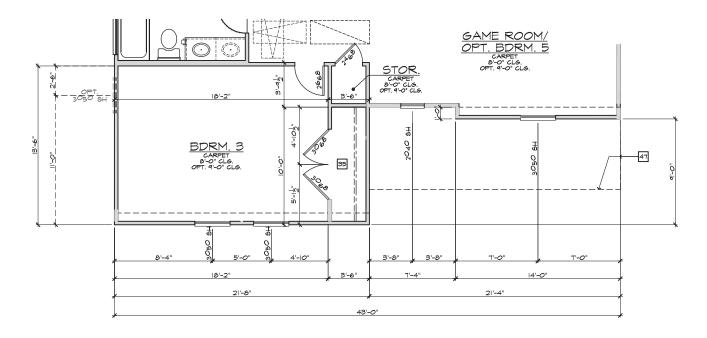
FIRST FLOOR PLAN OPTIONS SCALE |/4"=|'-0" (22"X34") - |/8"=|'-0" (||"X17")

ŧ				
	5INK WITH GARBAGE DISPOSAL - VERIFY DIMENSIONS WITH MANUFACTURER SPEC'S.			-
	DISHWASHER - PROVIDE SURFACE MOUNT AIR GAP VERIFY DIMENSIONS WITH MANUFACTURER SPEC'S.	8	_	_
	SLIDE-IN RANGE/ OVEN COMBINATION W/ BUILT-IN LIGHT & FAN		_	Ì
	(VENT TO OUTSIDE AIR) - VERIFY WITH MANUFACTURER SPEC'S.		K	
	36" COOKTOP - W BUILT-IN HOOD W/LIGHT & FAN, (VENT TO OUTSIDE AIR) - CABINET MOUNTED MICROWAVE INCLUDED OVEN WITH VENT - VERIFY WITH MANUFACTURER SPEC'S.			
	39" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING		10	ĺ
	FOR ICEMAKER (RECESSED IN WALL).		10	
	DOUBLE OVEN - VERIFY WITH MANUFACTUER SPEC'S.			
	BASE CABINETS - REFER TO INTERIOR ELEVATIONS			
	UPPER CABINETS - REFER TO INTERIOR ELEVATIONS PANTRY - SHELVES PER SPEC			
	ISLAND CABINET - REFER TO INTERIOR ELEVATIONS			
	TUB/SHOWER COMBINATION WITH 72" FIBERGLASS ENCLOSURE			
	(NON-ABSORBENT) VERIFY DIMENSIONS WITH MFR'S SPEC'S.			
	OVAL TUB - VERIFY DIMENSIONS WITH MANUFACTURER SPEC'S. SHOWER PAN WITH WAINSCOT TO 84" - VERIFY DIMENSIONS	• •	•	
	SHOWER PAN WITH WAINSCOT TO 84" - VERIFY DIMENSIONS WITH MANUFACTURER SPEC'S.		-	
	SHATTERPROOF (TEMPERED) GLASS SHOWER ENCLOSURE	- •	-	
i,	TOWEL BAR			
	NOT USED			
	TOILET PAPER HOLDER		•	
	EXTEND VANITY - REFER TO INTERIOR ELEVATIONS	NORT	ГН С	
	OPTIONAL SINK	· 50	' SI	
0.	PROVIDE WATER AND WASTE FOR WASHER (WASHER CONTROL VALVES) (RECESSED IN WALL)	. 50	51	
١.	DRYER VENT	MODEL	KB	
,	NOT LISED	NORTH	CARO	L
2. 3.	NOT USED FREE STANDING LAUNDRY SINK - VERIFY DIMENSIONS	4518	8 S. M	
	WITH MFR'S SPEC'S.		SUIT	
4.	ELECTRIC WATER HEATER - LOCATE ON 18" HIGH FRAMED PLATFORM		RHAM, (919)	
5.	TEMPERATURE AND PRESSURE RELIEF VALVE DRAIN TO EXTERIOR - MIN. 6" ABOVE & MAX. 24" ABOVE GRADE		(919)	
6	TO EXTERIOR - MIN. 6" ABOVE & MAX. 24" ABOVE GRADE NOT USED			
	NOT USED			
	PRE-MER. METAL GAS APPLIANCE FIREPLACE INSTALLED	• •	•	
	PER MANUFACTURERS INSTRUCTIONS	_ 20	18_N	ľ
7.	NON-COMBUSTIBLE HEARTH MATERIAL	CARC		
0.	ROUTE OF FIREPLACE "B" VENT FROM BELOW - PROVIDE O.S.B. SHAFT	CAR	านไ	
١.	+36" GUARD WALL DETAIL 84/AD5 OR 86/AD5	B	UIL	•
2.	+34" - +38" HIGH HANDRAIL DETAIL 83/AD5			
З.	COATS WITH SHELF & POLE - DETAIL 73/AD4		CO	
4.	LINEN - SHELVES PER SPEC			
	WARDROBE WITH SHELF & POLE - DETAIL 73/AD4 U.N.O.		-	
	MEDIA NICHE - REFER TO INTERIOR ELEVATIONS	- •	-	
	FLAT SOFFIT - REFER TO PLAN OR ELEVATIONS FOR HEIGHT			
	LINE OF CEILING BREAK INTERIOR SHELF - REFER TO PLAN OR INT. ELEVS. FOR HGT.	• •		
	LOW WALL - REFER TO PLAN FOR HEIGHT - DETAIL 72/AD4	_	-	
	LOCATION OF PLUMBING WASTE DROP FROM ABOVE	ISSUE	ت متتبد	
з.	2×6 MALL	PROJEC		
4.	2x6 BALLOON FRAMED WALL - REFER TO STRUCTURAL	DIVISIO		
5.	DOUBLE 2x4 WALL	REVISIO		
	LINE OF FLOOR ABOVE			τ
	LINE OF FLOOR BELOW		IS CODE	Ř
	EXTERIOR RAIL F.A.U. VENT TO OUTSIDE AIR		VISION	R
	F.A.J. VENT TO OUTSIDE AIR 22"x54" ATTIC ACCESS W/ STAIRS			
	F.A.U. IN ATTIC - PROVIDE MIN. 22"X30" ATTIC ACCESS PANEL		VISION	R
	- PROVIDE FUEL GAS. REFER TO UTILITY PLAN DETAIL 88/AD5			
2.	DUCT CHASE - DETAIL 89 & 90/AD5 - REFER TO MECH. PLAN	•		
3.	RETURN AIR GRILL (R.A.G.) -	_		
F.	REFER TO MECHANICAL PLAN 1/2" GYPSUM BOARD ON CEILING AND WALLS AT	•		
	USEABLE SPACE UNDER STAIRS			
5.	THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ?" GYPSIM BOARD APPLIED THE GARAGE SIDE			
	APPLIED TO THE GARAGE SIDE SEPARATION BETWEEN SECOND FLOOR AND GARAGE CELLING, PROVIDE (1) LATER OF ?" TYPE 'X" GYPSIAN BOARD, NALLS SUPPORTING SECOND FLOOR AND GARAGE CELLING, PROVIDE (1) LATER OF ?"	REVIEWED BY	OR INTERN	
	SECOND FLOOR AND GARAGE CEILING: PROVIDE (I) LAYER OF ?" GYPSUM BOARD		- 1 2	
1.	EXTERIOR SHELF - REFER TO ELEV. FOR HEIGHT		3 4	
3.	NOT USED		5 6	
		• PLAN	J:	
١.	NOT USED			
D .	SECTIONAL GARAGE DOOR - VERIFY WINDOW OPTION	•	- TJ.	í
	NOT USED			j
2.	DRAFTSTOP REQUIRED IN FLOOR / CEILING SPACES EXCEEDING 1000 SQUARE FEET. DIVIDED SPACES MUST BE ROUGHLY EQUAL.	• •		
з.	OPENINGS BETWEEN GARAGE AND HOUSE SHALL BE EQUIPPED WITH SOLID MOOD DOORS NOT LESS THAN I 3/8-INCH THICK, OR SHALL BE 20-MINUTE FIRE RATED. DOORS SHALL BE WEATHERSTRIPPED	SP	PEC. I	
	NOTE:	RALE	IGH	
	INFORMATION NOT SHOWN HERE.			
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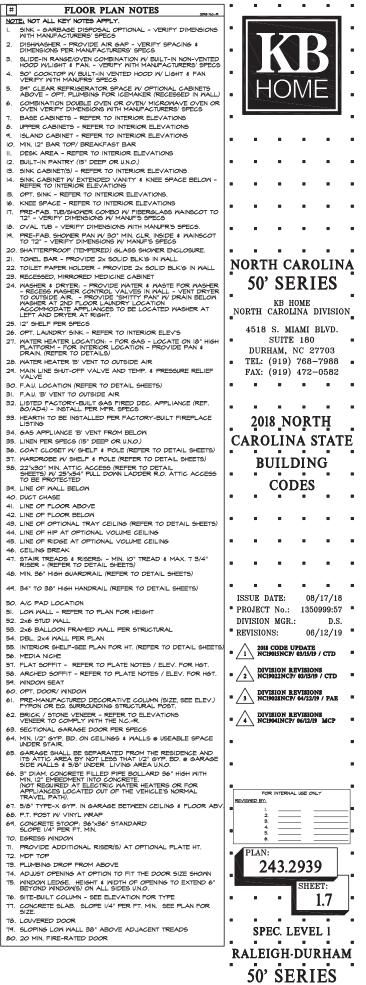


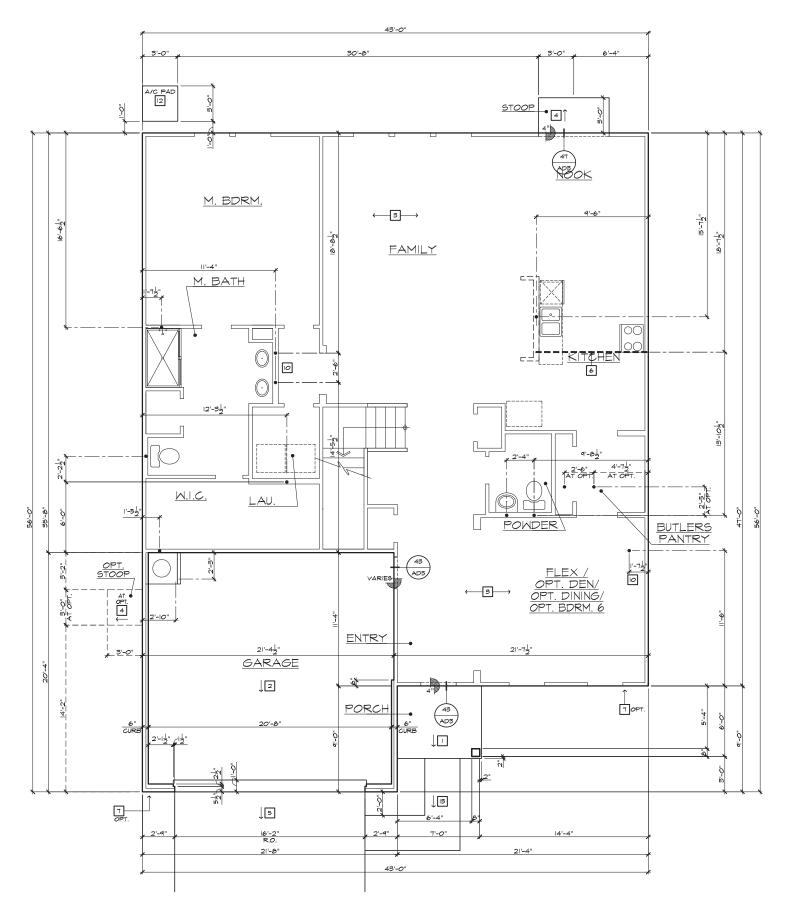
BEDROOM 5 W/ BATH 3 AND LOFT

#	FLOOR PLAN NOTES	
Ι.	SINK WITH GARBAGE DISPOSAL - VERIFY DIMENSIONS WITH MANUFACTURER SPEC'S.	5
2.	DISHWASHER - PROVIDE SURFACE MOUNT AIR GAP	
З.	VERIFY DIMENSIONS WITH MANUFACTURER SPEC'S. SLIDE-IN RANGE/ OVEN COMBINATION W/ BUILT-IN LIGHT & FAN	
	SLIDE-IN RANGE/ OVEN COMBINATION W BUILT-IN LIGHT \ddagger FAN (VENT TO OUTSIDE AIR) - VERIPY WITH MANUFACTURER SPECS.	
4.	36" COOKTOP - W BUILT-IN HOOD WLIGHT & FAN. (VENT TO OUTSIDE AIR) - CABINET MOUNTED MICROWAVE INCLUDED OVEN WITH VENT - VERIFY WITH MANUFACTURER SPECS.	HOME
5.	39" CLEAR REFRIGERATOR SPACE - PROVIDE PLUMBING FOR ICEMAKER (RECESSED IN WALL).	
6.	DOUBLE OVEN - VERIFY WITH MANUFACTUER SPEC'S.	•
7. 8.	BASE CABINETS - REFER TO INTERIOR ELEVATIONS UPPER CABINETS - REFER TO INTERIOR ELEVATIONS	
а.	PANTRY - SHELVES PER SPEC	
10.	ISLAND CABINET - REFER TO INTERIOR ELEVATIONS	
н.	TUB/SHOWER COMBINATION WITH 72" FIBERGLASS ENCLOSURE (NON-ABSORBENT) VERIFY DIMENSIONS WITH MFR'S SPEC'S.	
12.	OVAL TUB - VERIFY DIMENSIONS WITH MANUFACTURER SPEC'S.	
15.	SHOWER PAN WITH WAINSCOT TO 84" - VERIFY DIMENSIONS	
14.	WITH MANUFACTURER SPEC'S. SHATTERPROOF (TEMPERED) GLASS SHOWER ENCLOSURE	
	TOWEL BAR	
16. 17.	NOT USED TOILET PAPER HOLDER	NODTIL CADALINA
	EXTEND VANITY - REFER TO INTERIOR ELEVATIONS	NORTH CAROLINA
	OPTIONAL SINK	50' SERIES
20.	PROVIDE WATER AND WASTE FOR WASHER (WASHER CONTROL VALVES) (RECESSED IN WALL)	KB HOME
21.	CONTROL VALVES) (RECESSED IN WALL) DRYER VENT	NORTH CAROLINA DIVISION
		■ 4518 S. MIAMI BLVD.
	NOT USED	SUITE 180
∠ 9.	FREE STANDING LAUNDRY SINK - VERIFY DIMENSIONS WITH MFR'S SPEC'S.	DURHAM, NC 27703
24.	ELECTRIC WATER HEATER - LOCATE ON 18" HIGH FRAMED PLATFORM	■ TEL: (919) 768-7988
25.	TEMPERATURE AND PRESSURE RELIEF VALVE DRAIN TO EXTERIOR - MIN. 6" ABOVE & MAX. 24" ABOVE GRADE	FAX: (919) 472-0582
26	TO EXTERIOR - MIN. 6" ABOVE & MAX. 24" ABOVE GRADE	
	NOT USED	
	PRE-MFR. METAL GAS APPLIANCE FIREPLACE INSTALLED	2018_NORTH
	PER MANUFACTURERS INSTRUCTIONS	
29.	NON-COMBUSTIBLE HEARTH MATERIAL	CAROLINA STATE
30.	ROUTE OF FIREPLACE "B" VENT FROM BELOW - PROVIDE O.S.B. SHAFT	BUILDING
3 I.	+36" GUARD WALL DETAIL 84/AD5 OR 86/AD5	
52.	+34" - +38" HIGH HANDRAIL DETAIL 83/AD5	CODES
	COATS WITH SHELF & POLE - DETAIL 73/AD4	
	LINEN - SHELVES PER SPEC	
	WARDROBE WITH SHELF & POLE - DETAIL 73/AD4 U.N.O. MEDIA NICHE - REFER TO INTERIOR ELEVATIONS	
	FLAT SOFFIT - REFER TO PLAN OR ELEVATIONS FOR HEIGHT	
	NOT USED	
39.	LINE OF CEILING BREAK	
	INTERIOR SHELF - REFER TO PLAN OR INT. ELEVS. FOR HGT.	
	LOW WALL - REFER TO PLAN FOR HEIGHT - DETAIL 72/AD4	ISSUE DATE: 08/17/18
	LOCATION OF PLUMBING WASTE DROP FROM ABOVE 2x6 WALL	PROJECT No.: 1350999:57
	2x6 MALL 2x6 BALLOON FRAMED WALL - REFER TO STRUCTURAL	DIVISION MGR.: D.S.
	DOUBLE 2x4 WALL	REVISIONS: 03/15/19
	LINE OF FLOOR ABOVE	2018 CODE UPDATE 1 2018 CODE UPDATE NCI90ISNCP/ 03/15/19 / CTD
47.	LINE OF FLOOR BELOW	
	EXTERIOR RAIL	DIVISION REVISIONS NCI9022NCP/ 03/15/19 / CTD
	F.A.U. VENT TO OUTSIDE AIR	DIVISION REVISIONS
	22"x54" ATTIC ACCESS W/ STAIRS F.A.U. IN ATTIC - PROVIDE MIN. 22"x30" ATTIC ACCESS PANEL	⁸ <u>3</u> NCI9028NCP/ 04/22/19 / FAE
200	- PROVIDE FUEL GAS, REFER TO UTILITY PLAN DETAIL 88/AD5	
52.	DUCT CHASE - DETAIL 89 \$ 90/AD5 - REFER TO MECH. PLAN	
53.	RETURN AIR GRILL (R.A.G.) - REFER TO MECHANICAL PLAN	
54.	1/2" GYPSUM BOARD ON CEILING AND WALLS AT	
	USEABLE SPACE UNDER STAIRS	-
ə5.	THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTLIC AREA BY NOT LESS THAN ?" GYPSUM BOARD APPLIED TO THE GARAGE SIDE	
	SEPARATION BETWEEN SECOND FLOOR AND GARAGE CELLING: PROVIDE	FOR INTERNAL USE ONLY REVIEWED BY.
	(I) LAYER OF ?" TYPE "X" SYPSUM BOARD, WALLS SUPPORTING SECOND FLOOR AND GARAGE CEILING: PROVIDE (I) LAYER OF ?" GYPSUM BOARD	3.
57.	EXTERIOR SHELF - REFER TO ELEV. FOR HEIGHT	B 5
58.	NOT USED	• PLAN:
		243.2939
59.	NOT USED	243.2939
	SECTIONAL GARAGE DOOR - VERIFY WINDOW OPTION	SHEET:
	NOT USED	•••1.5
62.	DRAFTSTOP REQUIRED IN FLOOR / CEILING SPACES EXCEEDING 1000 SQUARE FEET. DIVIDED SPACES MUST BE	
63	ROUGHLY EQUAL.	SPEC. LEVEL 1
00.	OPENINGS BETWEEN GARAGE AND HOUSE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN I 3/8-INCH THICK, OR SHALL BE 20-MINUTE FIRE RATED. DOORS SHALL BE	
	MEATHERSTRIPPED	RALEIGH·DURHAM
	NOTE: FOR ALL PLAN OPTIONS REFER TO BASIC PLAN FOR INFORMATION NOT SHOWN HERE.	
	na on a statement registion del 1911 HallNas.	50' SERIES



ENLARGED BEDROOM 2	\$ 3 -	'D'
5CALE /4"= '-0" (22"x34") - /8"= '-0" ("x17")		





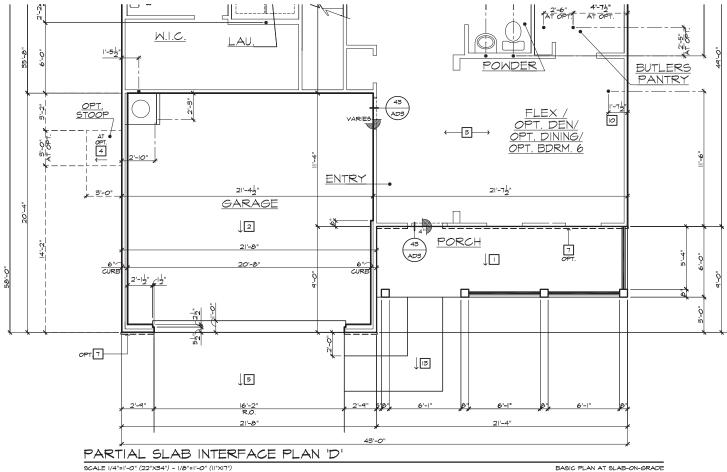
SLAB INTERFACE PLAN 'A'

SCALE I/4"=I'-0" (22"X34") - I/8"=I'-0" (II"XIT")

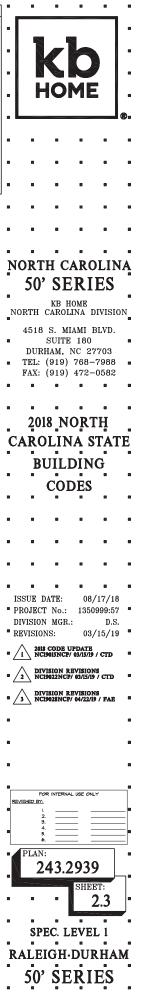
#	SLAB PLAN NOTES
NO	TE, NOT ALL KEY NOTES APPLY.
ι.	CONCRETE PATIO/PORCH SLAB PER STRUCTURAL- SLOPE 1/4" PER FT. MIN.
2.	CONCRETE GARAGE SLAB PER STRUCTURAL- SLOPE I/8" PER. I'-0" MIN. TOWARD DOOR OPENING.
З.	CONCRETE FOUNDATION PER STRUCTURAL.
4.	CONCRETE STOOP: 36"x36" STANDARD SLOPE I/4" PER FT. MIN.
5.	CONCRETE DRIVEWAY SLOPE 1/4" PER FT. MIN. AWAY FROM GARAGE DOOR OPENING.
6.	PROVIDE ELECTRICAL CONDUIT UNDER SLAB AT ISLAND. VERIFY LOCATION.
7.	5" BRICK LEDGE FOR MASONRY VENEER.
8.	3" DIAMETER CONCRETE FILLED PIPE BOLLARD 36" HIGH WITH MIN. 12" EMBEDMENT INTO CONCRETE.
প.	REFER TO CIVIL DRAWINGS FOR ALL FINISH SURFACE ELEVATIONS.
10.	VERIFY ALL PLUMBING STUB DIMENSIONS SHOWN HERE PRIOR TO POUR OF SLAB.
п.	4" MIN. & I/4" MAX. TO HARD SURFACE.
12.	A/G PAD. VERIFY LOCATION.
13.	36" WIDE WALKWAY- SLOPE 1/4" PER FT. MIN.

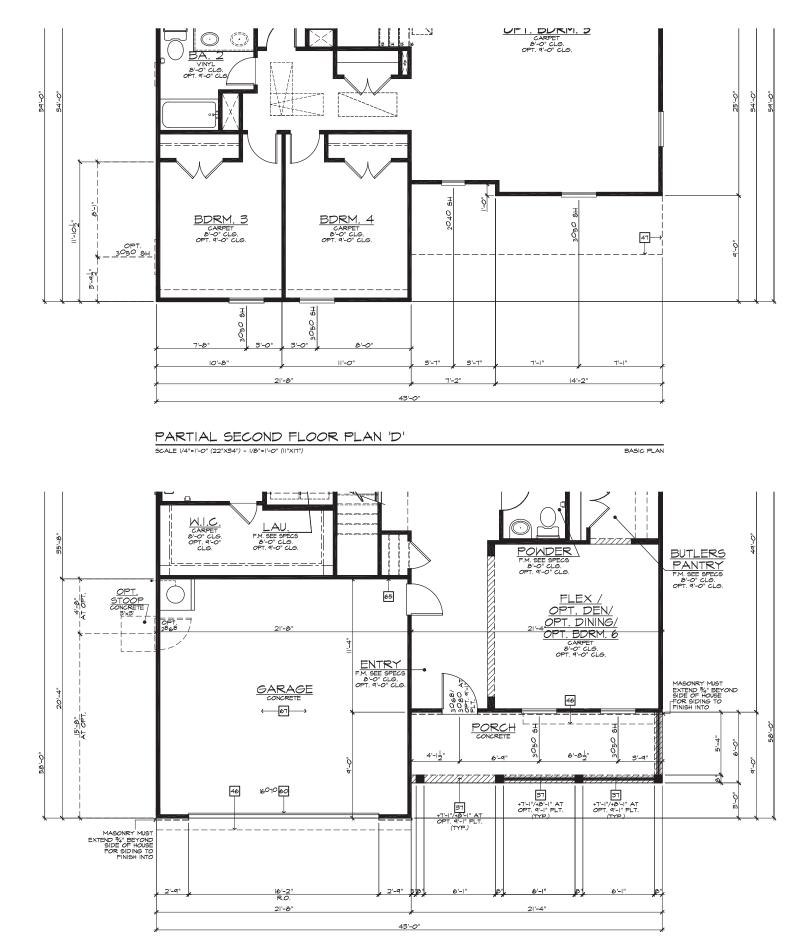


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#	SLAB PLAN NOTES
NOT	T <u>E:</u> NOT ALL KEY NOTES APPLY.
I.	CONCRETE PATIO/PORCH SLAB PER STRUCTURAL- SLOPE 1/4" PER FT. MIN.
2.	CONCRETE GARAGE SLAB PER STRUCTURAL- SLOPE 1/8" PE 1'-0" MIN. TOWARD DOOR OPENING.
З.	CONCRETE FOUNDATION PER STRUCTURAL.
4.	CONCRETE STOOP: 36"x36" STANDARD SLOPE I/4" PER FT. MIN.
5.	CONCRETE DRIVEWAY SLOPE 1/4" PER FT. MIN. AWAY FROM GARAGE DOOR OPENING.
6.	PROVIDE ELECTRICAL CONDUIT UNDER SLAB AT ISLAND. VERIFY LOCATION.
7.	5" BRICK LEDGE FOR MASONRY VENEER.
8.	3" DIAMETER CONCRETE FILLED PIPE BOLLARD 36" HIGH WITH MIN. 12" EMBEDMENT INTO CONCRETE.
٩.	REFER TO CIVIL DRAWINGS FOR ALL FINISH SURFACE ELEVATIONS.
10.	VERIFY ALL PLUMBING STUB DIMENSIONS SHOWN HERE PRIOR TO POUR OF SLAB.
П.	4" MIN, 8 1/4" MAX. TO HARD SURFACE.
12.	A/G PAD. VERIFY LOCATION.
13.	36" WIDE WALKWAY- SLOPE 1/4" PER FT. MIN.





PARTIAL FIRST FLOOR PLAN 'D'

SCALE 1/4"=1'-0" (22"X34") - 1/8"=1'-0" (11"XI7")

* PARTIAL PLAN NOTES] • _	۵	8	8	8	
NOTE: NOT ALL KEY NOTES APPLY. 31. +36" GUARD WALL DETAIL &4/AD5 OR &6/AD5 37. FLAT SOFFIT - REFER TO PLAN OR ELEVATIONS FOR HEIGHT 38. NOT USED 39. LINE OF CEILING BREAK 40. INTERIOR SHELF - REFER TO PLAN OR INT. ELEVS. FOR HGT. 41. LOW WALL - REFER TO PLAN FOR HEIGHT - DETAIL T2/AD4 43. 2x6 WALL 44. 2x6 BALLOON FRAMED WALL - REFER TO STRUCTURAL	8					(B) -
45. DOUBLE 2x4 WALL 46. LINE OF FLOOR ABOVE						
47. LINE OF FLOOR BELOW		_	-	-	-	
48. EXTERIOR RAIL 55. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE		•	•	•	-	
 THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ?" SYPSUM BOARD APPLIED TO THE GARAGE SIDE SEPARATION BETWEEN SECOND FLOOR AND GARAGE CEILING, FROVIDE (I) LAYER OF ?" TYPE "X" GYPSUM BOARD, MALLS, SUPPORTING 	•	•	•	•		
(i) LATER OF 7" TYPE "X" GYPSUM BOARD. WALLS SUPPORTING SECOND FLOOR AND GARAGE CEILING: PROVIDE (I) LAYER OF 7" GYPSUM BOARD	•		•		•	•
57. EXTERIOR SHELF - REFER TO ELEV, FOR HEIGHT 60. SECTIONAL GARAGE DOOR - VERIFY WINDOW OPTION	•	•	•	•	•	8
		ORT 50'	кв н	ERI ^{HOME}	ES	8
	•	DUR TEL:	SUITH HAM, (919)	IAMI 1 5 180 NC 2' 768- 472-	7703 •7988	2
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		SSUE I ROJECI			/17/18	
	D	IVISION EVISIO	MGR	.:	D.S /15/19	
	• /	∧ 2018	CODE			
	• /			EVISIOI P/ 03/15/19		
	• /	 / DIN	ISION B	LEVISIOI P/ 04/22/1	NS.	
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	PE		R INTERN	AL USE ON	LY	_

1. _____ 2. _____ 3. _____ 4. _____ 5. _____

243.2939

SPEC. LEVEL 1 RALEIGH-DURHAM

50' SERIES

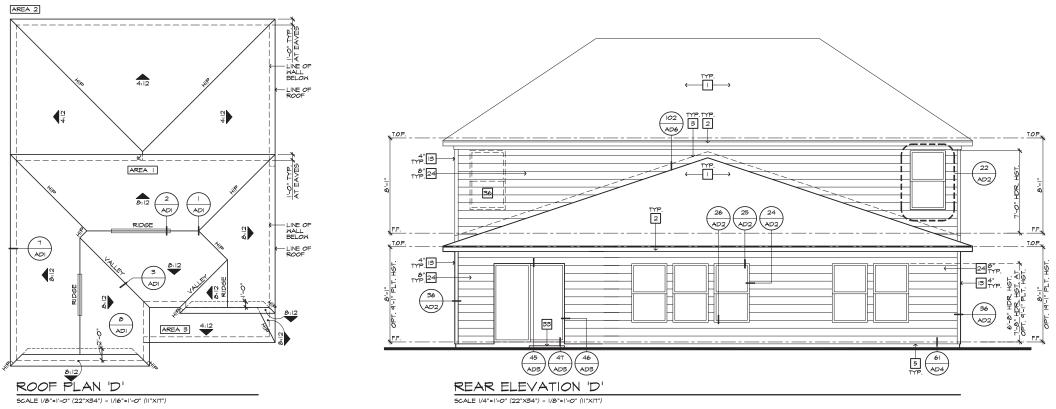
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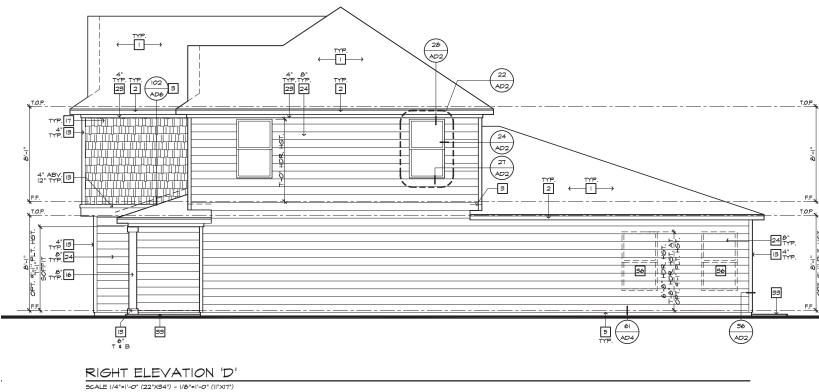
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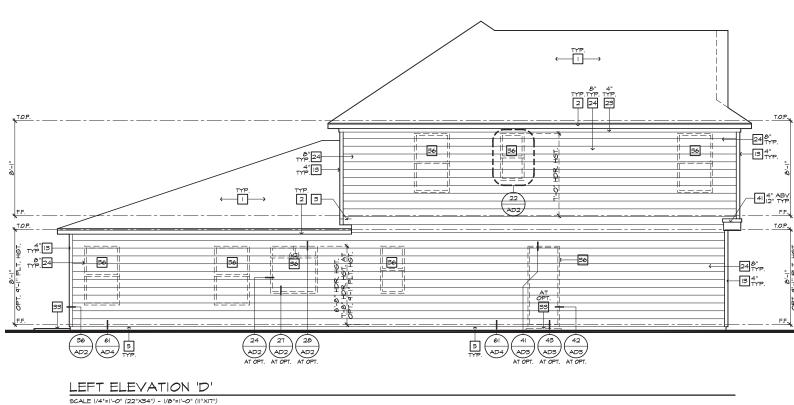
PLAN:

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NOTE: NOT ALL KEY NOTES APPLY.	
I. ROOF MATERIAL - REFER TO ROOF NOTES	· – – – –
 2X FASCIA/BARGE BOARD WITH FASCIA CAP G.I. FLASHING 	
4. G.I. FLASHING & SADDLE/CRICKET	
5. G.I. DRIP SCREED 6. 24"x24" CHIMNEY	
7. DECORATIVE VENT	
8. DECORATIVE CORBEL	I HOME
9. DECORATIVE SHUTTERS 10. PEDIMENT. SEE ELEVATION FOR TYPE	
II. RECESSED ELEMENT	•
 DECORATIVE TRIM FYPON OR EQ. SEE ELEVATION FOR TYPE TRIM - SEE ELEVATION FOR SIZE 	
14. SYNTHETIC MATERIAL	
15. PRE-MANUFACTURED DECORATIVE COLUMN (SIZE, SEE ELEV.) FYPON OR EQ. SURROUNDING STRUCTURAL POST.	
16. SITE-BUILT COLUMN - SEE ELEVATION FOR TYPE	
17. SHAKE SIDING	
Ið. STONE VENEER PER SPECSI9. BRICK/MASONRY VENEER PER SPECS	
20. BUILT UP BRICK COLUMN	
21. SOLDIER COURSE	
22. ROWLOCK COURSE	
23. FRIEZE BOARD 24. SIDING W/ 4° CORNER TRIM PER SPECS	
25. P.T. POST W/ WRAP - SEE STRUCTURAL FOR SIZE	
26. PRE-FAB DECORATIVE TRIM	NORTH CAROLIN
27. LIGHT WEIGHT PRECAST STONE TRIM 28. RAILINGS (+36" U.N.O.)	50' SERIES
29. VINYL WRAP	JU SERIES
30. DECORATIVE WINDOW/DOOR TRIM - FYPON OR EQ. SEE ELEVATION FOR SIZE.	KB HOME
31. BRACKET OR KICKER - FYPHON OR EQ.	NORTH CAROLINA DIVISIO
32. ENTRY DOOR 33. CONCRETE STOOP/ PORCH - SEE SLAB INTERFACE PLAN.	4518 S. MIAMI BLVD.
34. SECTIONAL GARAGE DOOR PER SPECS	SUITE 180
35. ALUMINUM WRAP 36. OPTIONAL DOOP (MINDOW - REFER TO REAN OPTIONS	DURHAM, NC 27703
36. OPTIONAL DOOR/WINDOW - REFER TO PLAN OPTIONS 37. OPTIONAL STANDING SEAM METAL ROOF	■ TEL: (919) 768-7988
38. KEYSTONE	FAX: (919) 472-0582
39. SOLDIER CROWN 40. JACK SOLDIER COURSE	
41. WATER TABLE	
43. PILASTER - SEE ELEVATION FOR TYPE ROOF PLAN NOTES 'D'	2018_NORTH
	CAROLINA STAT
8:12 INDICATES ROOF SLOPE	
	BUILDING
ROOF MATERIAL: COMPOSITION SHINGLE 12" (INCHES) TYPICAL ROOF OVERHANG AT RAKE, U.N.O.	
12" (INCHES) TYPICAL ROOF OVERHANG AT EAVE, U.N.O.	CODES
LOCATE EAVE/ RAFTER VENTS EQUALLY BALANCED AROUND HOUSE EXCEPT ABOVE SHEARWALL PANELS.	
ATTIC VENT CALCULATIONS	4
PROVIDE I SQ. IN. OF VENTILATION PER 300 SQ. IN. OF ATTIC	
SPACE. PROVIDE THAT AT LEAST 50% & NO MORE THAN 80% OF THE REQ. VENTILATING AREA IS PROVIDED BY VENTILATORS	
LOCATED IN THE UPPER PORTION OF THE ATTIC, (HIGH VENTING) AT 3'-O" ABOVE EAVE VENT WITH THE BALANCE BEING PROVIDED	
BY EAVE VENTS, (LOW VENTING) (2018 N.CR 806.2) * CALCULATION BY 1/150, HIGH/LOW VENTING NOT REQUIRED.	
APPROXIMATE RIDGE VENT LOCATIONS SHOWN. ACTUAL LOCATIONS TO BE DETERMINED IN THE FIELD.	1
AREA I / MAIN	
VENTILATION REQUIRED: ATTIC AREA 1262 SQ. FT. / 300 = 4.2 SQ. FT.	ISSUE DATE: 08/17/18
X 144 = 604.0 SQ. IN. X 50% = 302.4 SQ. IN.	PROJECT No.: 1350999:57
VENTILATION PROVIDED:	DIVISION MGR.: D.S.
HIGH (17) LIN, FEET OF RIDGE VENT AT (18 SQ. IN,/FOOT) = 506 SQ. IN.	^a REVISIONS: 03/15/19
LOW (6)) LIN. FEET OF VENTILATED SOFFIT (5 SQ. IN./FOOT) =305_SQ. IN.	a 1 2018 CODE UPDATE NCI9015NCP/ 03/15/19 / CTD
TOTAL VENTILATION PROVIDED: 611 SQ. IN.	* 1 NC19015NCP/ 03/15/19 / CTD
AREA 2 / FIRST FLOOR ROOF (REAR) VENTILATION REQUIRED:	DIVISION REVISIONS NCI9022NCP/ 03/15/19 / CTD
VENILATION REQUIRED: 989 SQ. FT. / 300 = 3.2 SQ. FT. ATTIC AREA 989 SQ. FT. / 300 = 3.2 SQ. FT. X 144 = 460.8 SQ. IN. X X	
× 50% = 230.4 SQ. IN.	B J DIVISION REVISIONS NCI9028NCP/ 04/22/19 / FAE
VENTILATION PROVIDED: HIGH	
HIGH () LIN, FEET OF RIDGE VENT AT (18 50. IN./FOOT) = 50. IN. (2) 5-144 ROOF VENT(5) AT (144 50. IN. EA.) = 268 50. IN.	•
HIGH () Lin, Feet of Ridge vent at (18 50, In/Foot) = 50, In. (2) 5-144 Roof vent(5) at (144 50, In. EA) = 288 50, In. Loy	•
HIGH (>) LIN, FEET OF, RIDGE, VENT AT. (18, 502, IN, FGOT) = (2), 5-144, ROOF, VENT(S), AT. (144, 502, IN, EA.) = LOW (41) LIN, FEET OF, VENTILATED SOFFIT. (5, 502, IN, FGOT) =	•
HIGH () LIN, FEET OF RIDGE VENT AT (18 50, IN/FOOT) = S0, IN, (2) 5 - 144 ROOF VENT(5) AT (144 50, IN, EA) = 286 50, IN, LON (144 50, IN, FOOT) = 225 50, IN, (47) LIN, FEET OF VENTLATED SOFFIT (5 50, IN/FOOT) = 225 50, IN, TOTAL, VENTLATION PROVIDED; 523 50, IN, SREA 5 / PORCH 523 50, IN,	•
High () LIN, FEET OF RIDGE VENT AT (18 50, IN, FOOT) = (2) 5 -144 ROOF VENT(5) AT (144 50, IN, EA) = (20) (AT) LIN, FEET OF VENTLATED SOFFIT (5 50, IN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (5 50, IN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (5 50, IN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (5 50, IN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (5 50, IN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (5 50, IN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (5 50, IN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (5 50, IN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (5 50, IN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (5 50, IN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (5 50, IN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (5 50, IT, / 50 = (AT) LIN, FEET OF VENTLATED SOFFIT (5 50, FT, / 50 = (AT) LIN, FEET OF VENTLATED SOFFIT (5 50, FT, / 50 = (AT) LIN, FEET OF VENTLATED SOFFIT (5 50, FT, / 50 = (AT) LIN, FEET OF VENTLATED SOFFIT (AT) LIN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (AT) LIN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (AT) LIN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (AT) LIN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (AT) LIN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (AT) LIN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (AT) LIN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (AT) LIN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (AT) LIN, FOOT) = (AT) LIN, FEET OF VENTLATED SOFFIT (AT) LIN, FOOT) = (AT) LIN, FOOT (AT) LIN, FOOT (AT) LIN, FOOT) = (AT) LIN, FOOT (AT) LI	•
Hight () LIN, FEET OF RIDGE VENT AT (18 50, IN,/FOOT) = (2) 51-144 ROOF VENT(5) AT (144 50, IN, EA) = LOA (41) LIN, FEET OF VENTLATED SOFFIT (5 50, IN,/FOOT) = (41) LIN, FEET OF VENTLATED SOFFIT (5 50, IN,/FOOT) = TOTAL VENTLATION PROVIDED, 225 50, IN, 523 50, IN, 524 50, IN, 525 50, IN, 526 50, IN, 527 50, IN, 528 50, IN, 528 50, IN, 528 50, IN, 529 50, IN, 529 50, IN, 520 50, IN	•
HIGH	FOR INTERNAL USE ONLY
HIGH () LIN. FEET OF RIDGE VENT AT (18 50. IN./FOOT) = (2) 5 -144 ROOF VENT(5) AT (144 50. IN. FA) = (200 50. IN. (200 50.	
HIGH	REVIENED BY: I
HIGH	REVIEWED BY: 1 2. 2.
Hight () LIN, FEET OF RIDGE VENT AT (18 50, IN/FOOT) = S0, IN, (2) 51-144 ROOF VENT(5) AT (144 50, IN, FA) = 286 50, IN, LOXI	REVIDED BY1 1. 2. 3. 4.
HIGH (-) LIN, FEET OF RIDGE VENT AT (18 50, IN/FOOT) = (2) 51-144 ROOF VENT(3) AT (144 50, IN, EA) = (20) 51-144 ROOF VENT(3) AT (144 50, IN, EA) = (20) 52-144 ROOF VENT(3) AT (144 50, IN, FOOT) = (20) 52-50, IN, (AT) LIN, FEET OF VENTLATED SOFTIT (5 50, IN/FOOT) = (20) 50, IN, AREA 3 / FORCH VENTLATION REQUIRED: ATTC AREA ATTC AREA VENTLATION REQUIRED: ATTC AREA VENTLATION PROVIDED; VENTLATION PROVIDED;	Stribed br. 2 3 4 5 6
HIGH (-) LIN, FEET OF RIDGE VENT AT (18 50, IN/FOOT) = (2) 51-144 ROOF VENT(3) AT (144 50, IN, EA) = (20) 51-144 ROOF VENT(3) AT (144 50, IN, EA) = (20) 52-144 ROOF VENT(3) AT (144 50, IN, FOOT) = (20) 52-50, IN, (AT) LIN, FEET OF VENTLATED SOFTIT (5 50, IN/FOOT) = (20) 50, IN, AREA 3 / FORCH VENTLATION REQUIRED: ATTC AREA ATTC AREA VENTLATION REQUIRED: ATTC AREA VENTLATION PROVIDED; VENTLATION PROVIDED;	SEVID-62-DY1 1 2 3 4 5 6
HIGH () LIN. FEET OF RIDGE VENT AT (18 50. IN/FOOT) = (2) 51-144 ROOF VENT(S) AT (144 50. IN. FA) = (20) (2) 15-144 ROOF VENT(S) AT (144 50. IN. FA) = (20) (41) LIN. FEET OF VENTLATED SOFTIT (5 50. IN.FOOT) = (22) 50. IN. (41) LIN. FEET OF VENTLATED SOFTIT (5 50. IN.FOOT) = (52) 50. IN. (52) 50. IN. (10) 50. IN. (11) FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (11) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (11) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (11) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (11) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (12) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (12) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (13) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (13) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (13) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (13) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (13) LIN. FEET OF RIDGE VENT AT (144 50. IN. FOOT) = (14) 50. IN. (14)	Pribed pr. 5. 9. 9. 9. 9. 9. 9. 9. 9. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1
HIGH () LIN. FEET OF RIDGE VENT AT (18 50. IN/FOOT) = (2) 51-144 ROOF VENT(S) AT (144 50. IN. FA) = (20) (2) 15-144 ROOF VENT(S) AT (144 50. IN. FA) = (20) (41) LIN. FEET OF VENTLATED SOFTIT (5 50. IN.FOOT) = (22) 50. IN. (41) LIN. FEET OF VENTLATED SOFTIT (5 50. IN.FOOT) = (52) 50. IN. (52) 50. IN. (10) 50. IN. (11) FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (11) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (11) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (11) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (11) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (12) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (12) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (13) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (13) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (13) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (13) LIN. FEET OF RIDGE VENT AT (18 50. IN.FOOT) = (13) LIN. FEET OF RIDGE VENT AT (144 50. IN. FOOT) = (14) 50. IN. (14)	Pribed by. 4. 9. 9. 9. 9. 9. 9. 9. 9. 9. 9
High () LIN. FEET OF RIDGE VENT AT (18 50. IN./FOOT) = () LIN. FEET OF RIDGE VENT (144 50. IN./FOOT) = (2) 5+144 ROOF VENT(5) AT (144 50. IN.FOOT) = (20) 200 200 200 200 200 200 200 200 200	Pribed pr. 5. 9. 9. 9. 9. 9. 9. 9. 9. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1
High () LIN. FEET OF RIDGE VENT AT (12 53. IN./FOOT) = (2) 51-144 ROOF VENT(3) AT (144 50. IN.FA) = (20 50. IN. (20 50. IN. FEET OF VENTLATED SOFTIT (5 50. IN./FOOT) = (20 50. IN. FEET OF VENTLATED SOFTIT (5 50. IN./FOOT) = (20 50. IN. (20 50. IN. III 50. IN. III 50. IN. III 50. IN. III 50. IN. III 50. IN. III 50. IN.	Pribed by. 4. 9. 9. 9. 9. 9. 9. 9. 9. 9. 9
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High	Pribed by. 4. 9. 9. 9. 9. 9. 9. 9. 9. 9. 9
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High () LIN, FEET OF RIDGE VENT AT (18 50, IN,/FOOT) = (2) 51-144 ROOF VENT(5) AT (144 50, IN, FA) = (20) (20) 51-144 ROOF VENT(5) AT (144 50, IN, FA) = (20) (20) 51-144 ROOF VENT(5) AT (144 50, IN, FOOT) = (20) 52-3 50, IN, (10) FEET OF VENTLATED SOFTIT (5 50, IN,/FOOT) = (20) 52-3 50, IN, (20) AT (20) 50, IN, FOOT) = (20) 50, IN, FEET OF RIDGE VENT AT (18 50, IN,/FOOT) = (11) IN, FEET OF RIDGE VENT AT (18 50, IN,/FOOT) = (12) LIN, FEET OF RIDGE VENT AT (18 50, IN,/FOOT) = (12) LIN, FEET OF RIDGE VENT AT (18 50, IN,/FOOT) = (12) LIN, FEET OF RIDGE VENT AT (18 50, IN,/FOOT) = (12) LIN, FEET OF RIDGE VENT AT (18 50, IN,/FOOT) = (12) LIN, FEET OF RIDGE VENT AT (18 50, IN,/FOOT) = (12) LIN, FEET OF VENTLATED SOFTIT (15 50, IN,/FOOT) = (12) LIN, FEET OF VENTLATED SOFTIT (15 50, IN,/FOOT) = (12) LIN, FEET OF RIDGE VENT AT (18 50, IN,/FOOT) = (12) LIN, FEET OF VENTLATED SOFTIT (15 50, IN,/FOOT) = (12) LIN, FEET OF RIDGE VENT AT (18 50, IN,/FOOT) = (12) LIN, FEET OF RIDGE VENT AT (18 50, IN,/FOOT) = (12) LIN, FEET OF RIDGE VENT AT (144 50, IN, EA) = (14 50, IN, (13) LIN, FEET OF RIDGE VENT AT (144 50, IN, EA) = (14 50, IN, (14 50, IN, (14 50, IN, (114	Pribed pri 2 3 4 5 6 PLAN: 243.2939 SHEET: 3.D2





#	ELEVATION NOTES			8	•	8
NOT	E: NOT ALL KEY NOTES APPLY.	1				
l.	ROOF MATERIAL - REFER TO ROOF NOTES					
2.	2X FASCIA/BARGE BOARD WITH FASCIA CAP				\sim	
З.	G.I. FLASHING					
4.	G.I. FLASHING & SADDLE/CRICKET					
5.	G.I. DRIP SCREED					-=
	24"x24" CHIMNEY					
	DECORATIVE VENT					
	DECORATIVE CORBEL		1	40	M	
	DECORATIVE SHUTTERS					·
	PEDIMENT. SEE ELEVATION FOR TYPE					
	RECESSED ELEMENT					
	DECORATIVE TRIM FYPON OR EQ. SEE ELEVATION FOR TYPE	-				
	TRIM - SEE ELEVATION FOR SIZE					
	SYNTHETIC MATERIAL					
15.	PRE-MANUFACTURED DECORATIVE COLUMN (SIZE, SEE ELEV.) FYPON OR EQ. SURROUNDING STRUCTURAL POST.		-	_	-	-
6	SITE-BUILT COLUMN - SEE ELEVATION FOR TYPE					
	SHAKE SIDING					
	STONE VENEER PER SPECS					
	BRICK/MASONRY VENEER PER SPECS					
19.	BRICK/PRODURT VENEER FER SFECS					
20	BUILT UP BRICK COLUMN		8		8	
	SOLDIER COURSE					
	ROWLOCK COURSE		-	-	-	_
	FRIEZE BOARD					
	SIDING W/ 4" CORNER TRIM PER SPECS					
	P.T. POST W/ WRAP - SEE STRUCTURAL FOR SIZE					
		- N	IOR'	гн с	ARG	JLII
	LIGHT WEIGHT PRECAST STONE TRIM	8				
	RAILINGS (+36" U.N.O.)		- 50	' SE	€RI	ES
	VINYL WRAP		20			
30.	DECORATIVE WINDOW/DOOR TRIM - FYPON OR EQ. SEE ELEVATION FOR SIZE.			KB	HOME	
31	BRACKET OR KICKER - FYPHON OR EQ.	l N	ORTH	CARO		וצועום
	ENTRY DOOR		0101111	CHIO		DIVIDI
	CONCRETE STOOP/ PORCH - SEE SLAB INTERFACE PLAN.		4511	з s. м	TAMT	DIVD
	SECTIONAL GARAGE DOOR PER SPECS		4010			
	ALUMINUM WRAP				E 180	
			DUI	RHAM,	NC 2	7703
	OPTIONAL DOOR/WINDOW - REFER TO PLAN OPTIONS OPTIONAL STANDING SEAM METAL ROOF		TEL:	(919)	768-	-7988
	KEYSTONE			(919)		
			raa.	` '		0000
	SOLDIER CROWN		8		8	
	JACK SOLDIER COURSE					
	WATER TABLE		-	-	-	_
	ATRIUM DOOR					
43.	PILASTER - SEE ELEVATION FOR TYPE		20	18_N	OR'	гн
			20	10 11	O'N	
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		. U	AK	JLII	NA 3	AIG
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ISSUE DATE: 08/17/18 PROJECT No.: 1350999:57

* REVISIONS: 03/15/19 * a 1 2013 CODE UPDATE NCI9015NCP/ 03/15/19 / CTD

DIVISION REVISIONS NCD022NCP/ 03/15/19 / CTD B J DIVISION REVISIONS NCI9028NCP/ 04/22/19 / FAE

FOR INTERNAL USE ONLY

243.2939

spec. level 1 raleigh-durham 50' SERIES

SHEET:

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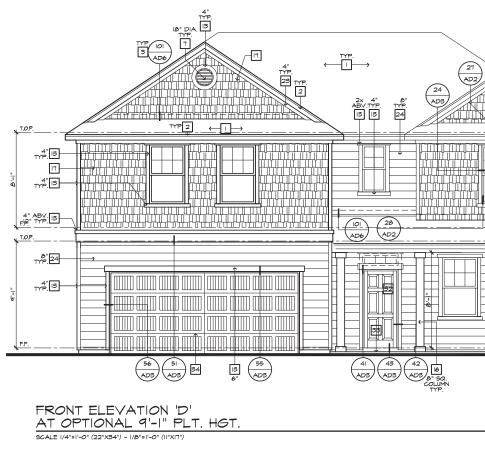
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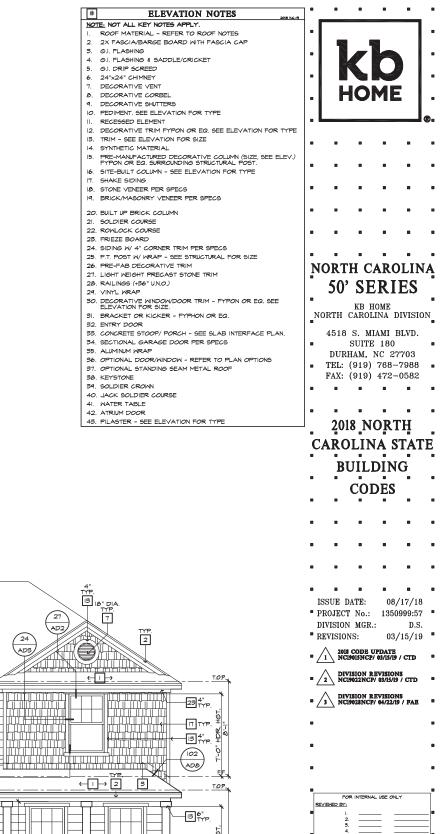
REVIEWED BY

PLAN:

D.S.

DIVISION MGR .:





-134", ₽, ₿

_<u>F</u>F.

PLAN

243.2939

50' SERIES

SHEET:

8 8 SPEC. LEVEL 1 . . . **RALEIGH-DURHAM**

3.D5

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24 13 8" 4" TYP. TYP.



OPTIONAL INTERIOR ELEVATIONS

36" METAL FIREPLACE MANTLE

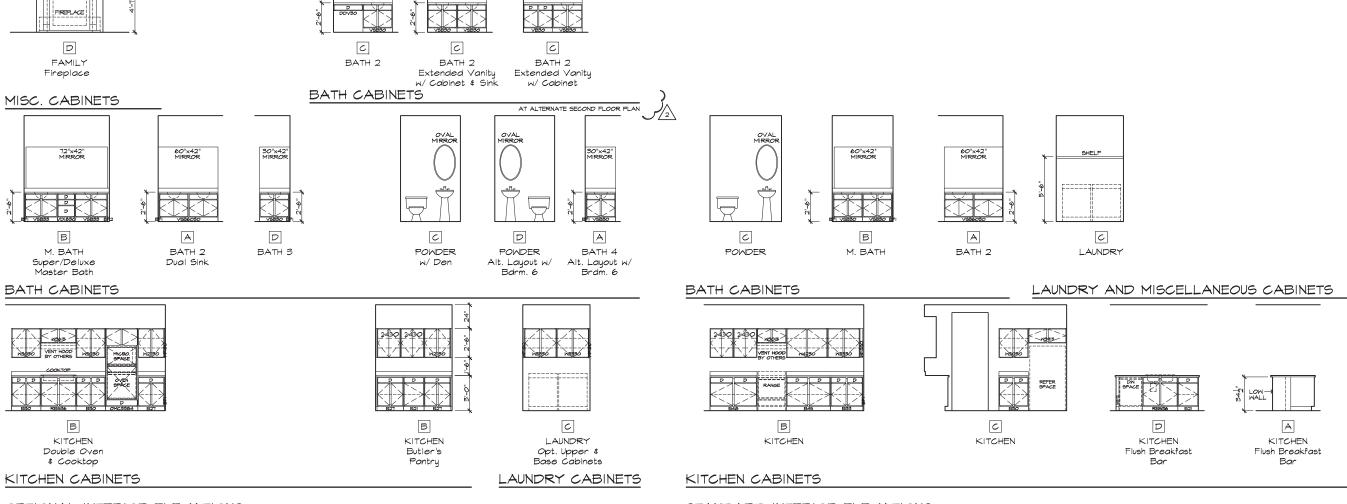
<u>64-4----</u>p

60"x36" MIRROR 60"x36" MIRROR 60"x36" MIRROR

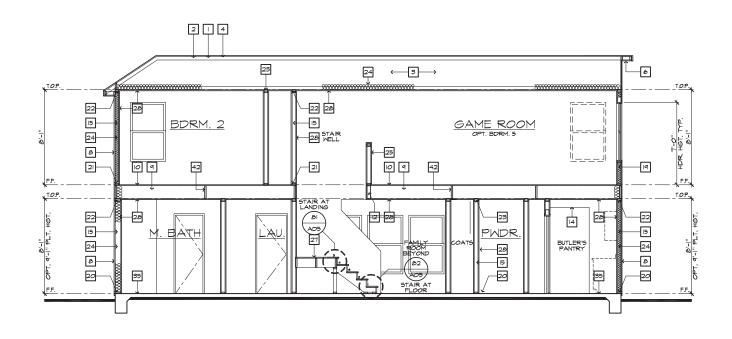
SCALE: 1/4"=1'-0" (22"X34") - 1/8"=1'-0" (11"X17")

STANDARD INTERIOR ELEVATIONS

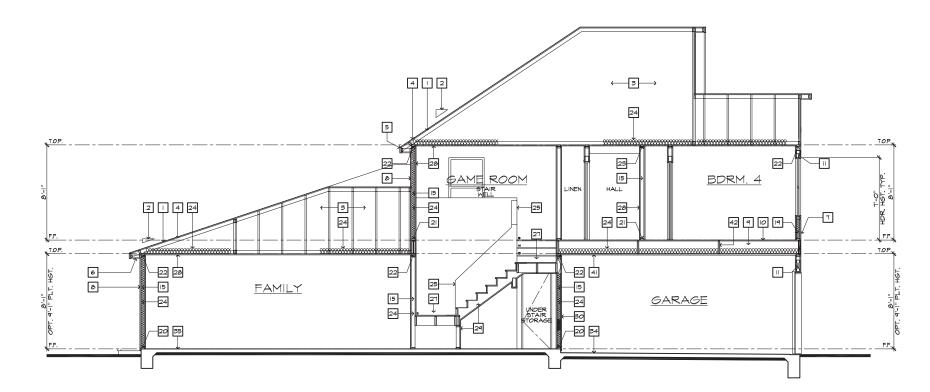
SCALE: 1/4"=1'-0" (22"X34") - 1/8"=1'-0" (11"X17")



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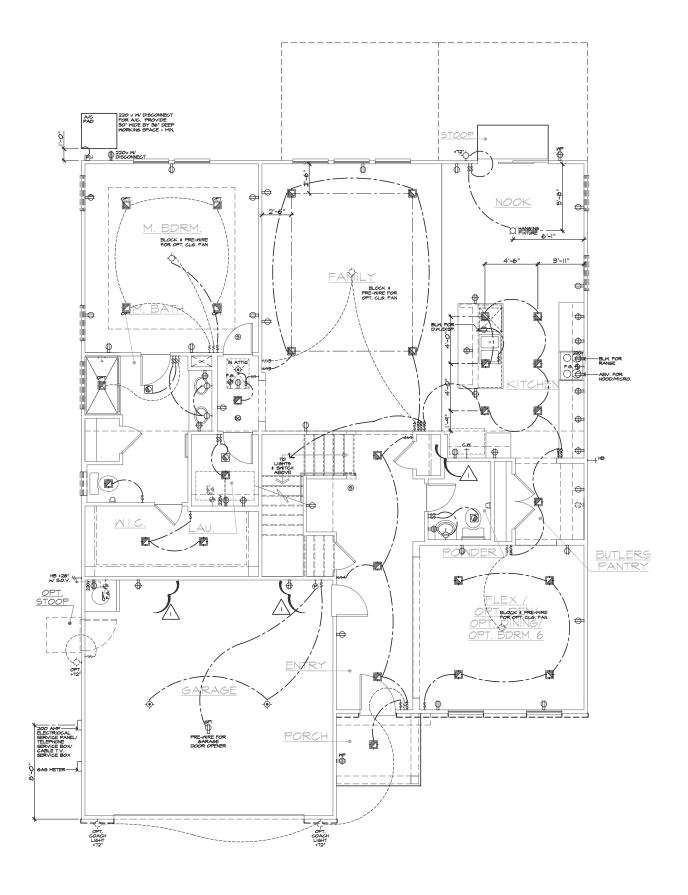




SECTION "B"

SCALE I/4"=I'-0" (22"×34") - I/8"=I'-0" (II"×I7")

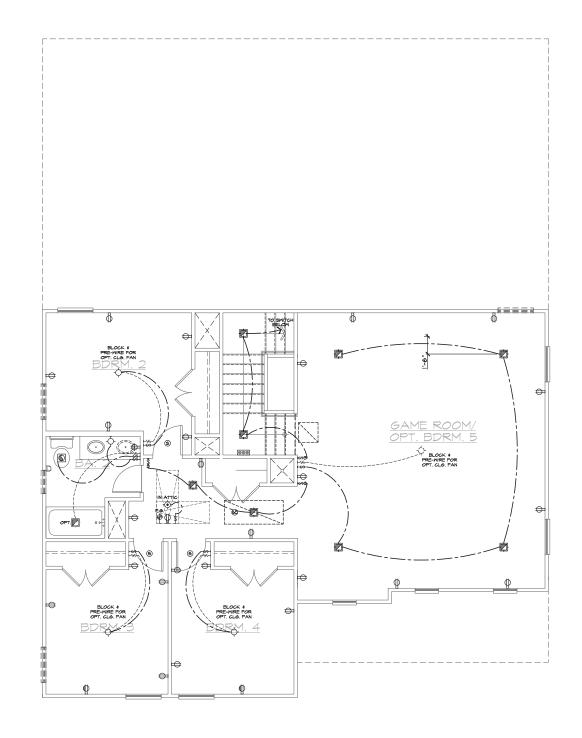
#	SECTION NOTES]•	•		•	• •
NO"	TE: NOT ALL KEY NOTES APPLY. ROOF MATERIAL - REFER TO ROOF NOTES					
2.	ROOF PITCH - REFER TO ROOF NOTES				~	
З.	PRE-MANUFACTURED WOOD ROOF TRUSS SYSTEM - SEE STRUCTURAL & TRUSS CALCS	8			A	•
4. 5.	ROOF SHEATHING PER STRUCTURAL 2x FASCIA/BARGE BOARD					
6.	CONT. SOFFITED EAVE W/ VENTING	-				
7. 8.	G.I. FLASHING - ROOF TO WALL EXTERIOR FINISH PER ELEVATIONS	8	N N		ME	
٩.	FLOOR FRAMING PER STRUCTURAL					
ю. II.	FLOOR SHEATHING PER STRUCTURAL HEADER PER STRUCTURAL					
12.	FLUSH BEAM PER STRUCTURAL					
	DROPPED BEAM PER STRUCTURAL FLAT/ ARCHED SOFFIT PER PLAN	[-	-	-	
15.	2x4 STUD WALL	8				
16. 17.	2x6 STUD WALL 2x6 BALLOON FRAMED WALL PER STRUCTURAL					
18.	DBL. 2x4 WALL PER PLAN	•			8	
19. 20	2x CRIPPLES © 16" O.C. 2x PRESSURE TREATED SILL PLATE					
21.	2x SOLE PLATE			•		
	DBL. 2x TOP PLATE @ EXTERIOR & BEARING WALLS Ix OVER 2x TOP PLATE @ INTERIOR & NON-BEARING					
	INSULATION MATERIAL PER ENERGY CALCULATIONS					
	MIN. 36" HIGH GUARD - SEE PLAN FOR HEIGHT	•				
	LOW WALL - SEE PLAN FOR HEIGHT	N	ORT	H C	ARO	LINA
	STAIR TREADS AND RISERS PER PLAN: - MIN. 10" TREAD & MAX. 7 3/4" RISER	8			RIE	
	INTERIOR FINISH: - MIN. 1/2" GYP. BD. @ WALLS & SAG RESISTANT OR 5/8" DRYWALL @ CEILING		20	эE	117	נט _
	MIN. 1/2" GYP. BD. ON CEILING & WALLS @ USEABLE SPACE UNDER STAIRS.	[⁻	0.0777	KB H		unoros.
30.	GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND	N	UKTH	CAROL	INA DI	VISION
21	ITS ATTIC AREA BY NOT LESS THAT 1/2" GYP. BD. @ GARAGE SIDE WALLS & 5/8" UNDER LIVING AREA U.N.O. MATERIAL TO UNDERSIDE OF ROOF SHEATHING		4518		AMI BI	.VD.
32.	INTERIOR SHELF - MIN. 1/2" GYP. BD. OVER 3/8" PLY WD.			SUITE		a
33.	CONCRETE PATIO/ PORCH SLAB PER STRUCTURAL - SLOPE I/4" PER FT. MIN.	_			NC 277 768-7	
	CONCRETE GARAGE SLAB PER STRUCTURAL - SLOPE 2" MIN.			1 f	472-0	
	CONCRETE FOUNDATION PER STRUCTURAL LINE OF OPTIONAL TRAY CEILING/ STEP CEILING	8				
37.	LINE OF OPTIONAL VOLUME CEILING					
	PROFILE OF OPTIONAL COVERED PATIO EXTERIOR SOFFIT MATERIAL - REFER TO ELEVATIONS.			8		
40.	8" BLOCK WALL		201	8 N	ORT	H
41.	5/8" TYPE-X DRYWALL & GARAGE CEILING					
42.	WHEN THERE IS USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR-CEILING ASSEMBLY IN A		AKU		<u> </u>	TATE
	SINGLE-FAMILY DWELLING, DRAFT STOPS SHALL BE INSTALLED		BI	TTT T	DINC	2
	SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING BHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS.		יע	8		, 8 8
	TENER ER GERER EN DE INTO ATTROATMATELT LOUAE AREAD.			COL	DES	
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FIRST FLOOR UTLITY PLAN

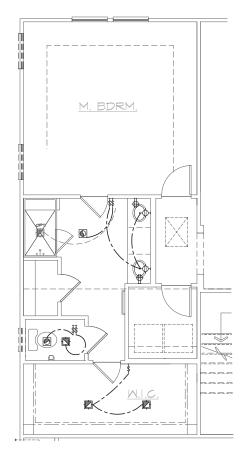
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	UTILITY LEGEND	•	•			-	•
÷	120V DUPLEX CONVENIENCE RECEPTACLE ARC FAULT(AFCI) AND TAMPER RESISTANT(TR)						
in⊖ me er	ARC FAULT(AFC)) AND TAMPER RESISTANT(TR) 12" ABV, FIN, FLR, TYPICAL UN.O. 120V (TR) RECEPTACLE W GFI CIRCUIT			7			
r∰ mP	W WATER RESISTANT HOUSING	•		K		KI	•
⊫⊜ ⊛≂। ⊫⊕	120V (TR) RECEPTACLE W/ GFI CIRCUIT					21	
р.	FUSED DISCONNECT				ΝÆ		
0	120V (AFCI & TR) RECESSED FLOOR RECEPTACLE W/ COVER	•	$ - 1 \rangle$	IU	IVI		•
⊕	1207 (AFCI & TR) DUPLEX CONVENIENCE RECEPTACLE SWITCH CONTROLLED, 1/2 HOT						
i⊕ 220 v							
÷	TWO-POLE LIGHT SWITCH AT 42" ABV. FIN. FLR.	•	•	•	•	•	•
+ 69 -8	8" ABOVE COUNTER U.N.O. THREE-POLE LIGHT SWITCH	•					
+ 69 -4	FOUR-POLE LIGHT SMITCH						
ю́•м.р.	WALL MOUNTED LIGHT FIXTURE W/WATER RESISTANT HOUSING	•	•	•	•	•	•
ф	WALL MOUNTED INCANDESCENT LIGHT FIXTURE	•	•	•		•	•
нġ-	WALL MOUNTED FLUORESCENT		-		_	_	_
-¢-	LIGHT FIXTURE CEILING MOUNTED INCANDESCENT	-	-	•	•	-	•
	LIGHT FIXTURE CEILING MOUNTED FLUORESCENT	•	•	•	•	•	•
-¢-	LIGHT FIXTURE	N	ORT	Н С	ARC	DLIN	IA
¤	HANGING INCANDESCENT LIGHT FIXTURE	-	50 ²	' SE	ERI	ES	-
Ø	RECESSED INCANDESCENT DIRECTIONAL LIGHT FIXTURE (EYE BALL)	•		KB E	IOME		•
Ø	RECESSED INCANDESCENT LIGHT FIXTURE	N	ORTH	CAROI		DIVISIO)N
	LIGHTING - TRAVERSE II LED FIXTURE - PER SPECS		4518	S. M		BLVD.	
фи.р.	RECESSED INCANDESCENT LIGHT FIXTURE W/WATER RESISTANT HOUSING	•	פיות	SUITE HAM,		7703	•
¢ N	RECESSED FLUORESCENT LIGHT FIXTURE RECESSED EXHAUST FAN		TEL:	(919)	768-	-7988	
	RECESSED EXHAUST FAN/ INCANDESCENT		FAX:	(919)	472-		
	LIGHT COMBINATION RECESSED EXHAUST FAN/ FLUORESCENT	•	•	•	•	•	•
	LIGHT COMBINATION	•	•	•	•	•	•
	INCANDESCENT WALL SCONCE ILLUMINATED ADDRESS SIGN - VISIBLE		20	18 N	ORI	ΓĦ	-
	FROM STREET	C	ĀRC) LIN	JA S	TAT	Έ
							•
	24"x48" FLUORESCENT LIGHT BOX (CEILING MOUNTED)		R	UIL		G	
				COI	DES		
		•	•	•	•	•	•
	12"x48" FLUORESCENT LIGHT BOX (CEILING MOUNTED)						
li∥i –							
ē	OPTIONAL PRE-WIRED CEILING FAN	•	•	•	•	•	•
Ð	AND SMITCH - LOCATED IN CENTER OF ROOM U.N.O. CEILING MOUNTED JUNCTION BOX	•	•	•	•	•	•
нØ	WALL MOUNTED JUNCTION BOX		-	-	-	-	
	DOOR CHIME	- 15	- SUE 1	- DATE:	- 08	- /17/18	-
⊢⊡ ⊢®	CATV RECEPTACLE PUSH BUTTON			Г No.:		9999:57	
н	PHONE OUTLET		IVISIOI EVISIO	N MGR.		D.S. /12/19	
	SERVICE BOX	n.		I CODE I		/12/19	
-++68 ≁+68	HOSE BIB HOSE BIB W/ S.O.V.	•		19015NCP	/ 03/15/19	/ CTD	•
-+ cm	WATER STUB FOR ICE MAKER	• /		ISION R	EVISIO	NS / CTD	
9	APPROVED CEILING MOUNTED SMOKE DETECTOR TO BE HARD WIRED WITH BATTERY BACK-UP AND INTERCONNECTED	[ISION R	EVISIO	15	_
⊗	APPROVED CARBON MONOXIDE ALARM/ SMOKE DET.	- 4		19028NCF			
HT LA	THERMOSTAT (VERIFY LOCATION W/ HVAC PLAN)	• /		ISION B	EVISIOI / 06/12/19	NS MCP	•
+	GAS TAP GAS KEY - FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA,						
· ₹	LOCATED OUTSIDE OF REQUIRED HEARTH AREA, BUT NO MORE THAN 48" FROM GAS OUTLET						
R	NITCHING FOR 24" MIN. SEPERATION DOMS W/ CLG. FAN OF ELECTRICAL BOXES	•					•
OF LIGHT / I	TIONS AS SHOWN BELOW FAN LIGHT	•		OR INTERNA	N 10400	×	-,•
1/2 HC	↑ / ` \ ↑ ½ HOT ¥	RE	/IEWED BY:				
_			2	2	= =		=[
SEC	NDARY MASTER GARAGE	•	5		= =		=
	NOTES		PLAN	:			
I. MEC SHC ENG	HANICAL, ELECTRICAL AND PLIMBING SYSTEMS ARE WN FOR INTENT ONLY. THESE SYSTEMS SHALL BE INEERED BY OTHERS. THE CONTRACTOR SHALL BE PONSIBLE FOR PROPER INSTALLATION AND		2	43.2	293	9	
I PLA	PONSIBLE FOR PROPER INSTALLATION AND CEMENT, ALL HEIGHTS SHOWN ARE TO CENTERLINE FIXTURE.	"			SHE		•٦
		•		•		5.1	-
	WIDE SWITCH, LIGHT, IZOV (AFCI & TR) DUPLEX EPTACLE, & FUEL GAS STUB OR 220V RECEPTACLE ITTIC FOR F.A.U PER COMMUNITY SPECIFICATIONS.		-	ار			
	KE DETECTORS IN ROOMS WITH VOLUME CEILING TO LOCATED AT HIGHEST POINT OF CEILING	-	SP	EC. L	.EVE	- L 1	-
4. 20 ADI INTE	FOOT #4 REBAR FOR UFER GROUND AND VITIONAL COLD WATER GROUND. REFER TO SLAB REFACE PLAN FOR LOCATION.	п р		ГСР	ייזת	• • • • •	м.
	NARACE PLAN FOR LOCATION. DAMP ELECTRICAL PANEL (DEFAULT). ELECTRICAL N CHECK PERMIT REQUIRED IF LOAD EXCEED 400			IGH			141
AMF	N UNLUR FERMIN REQUIRED IF LOAD EXCEED 400 5. 		5 0'	' SE	ŔĮ	ES	



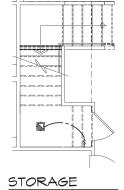
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	UTILITY LEGEND	•	•	•	•	•	•
÷	120V DUPLEX CONVENIENCE RECEPTAGLE						
i ⊫⊖ me er	ARC FAULT(AFCI) AND TAMPER RESISTANT(TR) 12" ABV. FIN. FLR. TYPICAL UN.O. 120V (TR) RECEPTACLE W/ SFI CIRCUIT	-					
i ⊕ m•	W WATER RESISTANT HOUSING	•		K		K II	
⊫⊜ eFi ⊫⊕	120V (TR) RECEPTACLE W/ GFI CIRCUIT				56		_
	FUSED DISCONNECT				Ν /		
o	120v (AFGI & TR) RECESSED FLOOR RECEPTACLE W/ COVER	•		10	IVI		
-	1207 (AFCI & TR) DUPLEX CONVENIENCE RECEPTAGLE						
	SWITCH CONTROLLED, 1/2 HOT 2207 SINGLE CONVENIENCE RECEPTACLE	•					•
i∉ 220 v	HEIGHT NOTED AS PER PLAN						
÷	TWO-POLE LIGHT SWITCH AT 42" ABV. FIN. FLR. 8" ABOVE COUNTER U.N.O.						
+ 67 8	THREE-POLE LIGHT SWITCH	•	•	•	•	•	•
++++++4							
ю́•м.р.	WALL MOUNTED LIGHT FIXTURE W/ WATER RESISTANT HOUSING						
ф	WALL MOUNTED INCANDESCENT LIGHT FIXTURE	•	•	•	•	•	•
ŀ∲-	WALL MOUNTED FLUORESCENT LIGHT FIXTURE						
-\$	CEILING MOUNTED INCANDESCENT						
	LIGHT FIXTURE CEILING MOUNTED FLUORESCENT	•	•	•		•	
-¢-	LIGHT FIXTURE	N(ORT	Н С	ARC	DLIN	IA .
¤	HANGING INCANDESCENT LIGHT FIXTURE		50 ²	' SE	ERI	ES	-
Ø	RECESSED INCANDESCENT DIRECTIONAL LIGHT FIXTURE (EYE BALL)	•	•••	KB E			•
Ø	RECESSED INCANDESCENT LIGHT FIXTURE	NC	ORTH	CAROI		DIVISIO)N
Ø	LIGHTING - TRAVERSE II LED FIXTURE - PER SPECS		4518	S. M	IAMI	BLVD.	-
(Орм.р.	RECESSED INCANDESCENT LIGHT FIXTURE W/WATER RESISTANT HOUSING	•		SUITE	180		•
Ø	RECESSED FLUORESCENT LIGHT FIXTURE			HAM, (919)			_
	RECESSED EXHAUST FAN	•		(919)		-0582	
Ş	RECESSED EXHAUST FAN/ INCANDESCENT LIGHT COMBINATION			•			
ē	RECESSED EXHAUST FAN/ FLUORESCENT LIGHT COMBINATION						
D	INCANDESCENT WALL SCONCE	•	-	• • • • •	• • • •	-	
ĺ	ILLUMINATED ADDRESS SIGN - VISIBLE FROM STREET		20	18 N	OR:	ĽĦ	
	FROM SIREE	C	ARC)LIN	IA S	TAT	'E
		•	- D		DIN	~	•
	24"x48" FLUORESCENT LIGHT BOX (CEILING MOUNTED)		B	UIL		G	
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li li	12"x48" FLUORESCENT LIGHT		-	_	_	-	
	BOX (CEILING MOUNTED)	-	•	•	•	•	
نلك		•					•
۲	OPTIONAL PRE-WIRED CEILING FAN AND SWITCH - LOCATED IN CENTER OF ROOM U.N.O.						
9	CEILING MOUNTED JUNCTION BOX	•	•	•	•	•	•
H-Q)	WALL MOUNTED JUNCTION BOX						
ΗM	DOOR CHIME CATV RECEPTACLE	IS	SUE I	DATE:		/17/18	
н®	PUSH BUTTON			Г No.:)999:57	
H	PHONE OUTLET	_	EVISIO	N MGR.		D.S. /12/19	-
	SERVICE BOX					, 10/19	
-++68 ⊁+168	HOSE BIB HOSE BIB W/ S.O.V.	•2	1 201 1 NC	I CODE U	/ 03/15/19	/ CTD	•
-+ cm	HOSE BIB W S.O.V. WATER STUB FOR ICE MAKER	. /		ISION R	EVISIO		
6	APPROVED CEILING MOUNTED SMCKE DETECTOR TO BE HARD WIRED WITH BATTERY BACK-UP AND INTERCONNECTED	⁻ _	`				-
-		• _		ISION R	EVISIO / 04/22/	NS 9 / FAE	•
⊗ ⊦©	APPROVED CARBON MONOXIDE ALARM/ SMOKE DET. THERMOSTAT (VERIFY LOCATION W/ HVAC PLAN)			ISION R	EVISIO	NS	-
	GAS TAP	"4	4 \ NC	19041NCP	7 06/12/19	MCP	-
- <u>-</u>	GAS KEY - FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA,	•					•
	BUT NO MORE THAN 48" FROM GAS OUTLET						_
R	NITCHING FOR 24" MIN. SEPERATION DOMS W/ CLG. FAN OF ELECTRICAL BOXES						•
OF LIGHT / I	TIONS AS SHOWN BELOW FAN LIGHT	•					•
12 HC		REA	TO NEWED BY:	or interna	AL USE ON	LY	
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950	2NDARY MASTER GARAGE		é	b			
I. MEC			PLAN		<u>.</u>		•
SHC	HANICAL, ELECTRICAL AND PLUMBING SYSTEMS ARE WIN FOR INTENT ONLY. THESE SYSTEMS SHALL BE INEERED BY OTHERS. THE CONTRACTOR SHALL BE PONSIBLE FOR PROFER INSTALLATION AND COMPUT ALL HEIGHTER LINEALATION AND		2	43.2	293	<u>y</u>	-,=
	COMBILE FOR PROPER INSTALLATION AND CEMENT. ALL HEIGHTS SHOWN ARE TO CENTERLINE FIXTURE.				SHE	ET:	Ī
		•	•	•	l.	5.2	•
IN A	IVIDE SWITCH, LIGHT, 120V (AFCI & TR) DUPLEX EPTACLE, & FUEL GAS STUB OR 220V RECEPTACLE ITTIC FOR F.A.U PER COMMUNITY SPECIFICATIONS.	_	_	_			
B. SMC BE	WE DETECTORS IN ROOMS WITH VOLUME CEILING TO LOCATED AT HIGHEST POINT OF CEILING		= SP	EC. L	EVE	L1	•
	FOOT #4 REBAR FOR UFER GROUND AND DITIONAL COLD WATER GROUND. REFER TO SLAB REFACE PLAN FOR LOCATION.				ند v بد. •	•	
		R .	ALE	IGH	DU	RHA	M
5. 200 PLA AMF) AMP ELECTRICAL PANEL (DEFAULT). ELECTRICAL N CHECK PERMIT REQUIRED IF LOAD EXCEED 400 %		502	' SE	זקו	23	•
	J.	_	20	പ്പ	III	S	_



DELUXE M. BATH

AT MASTER BATH



AT STAIRS

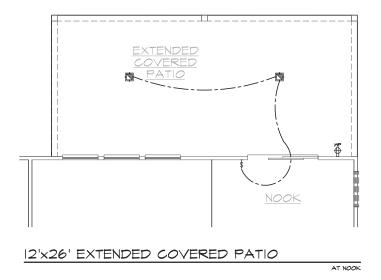
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	UTILITY LEGEND						
÷	120V DUPLEX CONVENIENCE RECEPTACLE					_	
	ARC FAULT(AFCI) AND TAMPER RESISTANT(TR) 12" ABV. FIN. FLR. TYPICAL U.N.O.	•					
바 MP 6F 바 MP	1 120V (TR) RECEPTACLE W/ GFI CIRCUIT W/ WATER RESISTANT HOUSING						
III GFI	120V (TR) RECEPTACLE W/ GFI CIRCUIT	-	$\ \setminus$				
-		8					
P			NĘ	-	Λ		_
o	120V (AFCI & TR) RECESSED FLOOR RECEPTACLE W COVER	•	- <u>-</u>		I V I I	-	
-⇔	1207 (AFCI & TR) DUPLEX CONVENIENCE RECEPTACLE SWITCH CONTROLLED, 1/2 HOT						
i∉ 220 v	220V SINGLE CONVENIENCE RECEPTACLE HEIGHT NOTED AS PER PLAN						
+ 69-	TWO-POLE LIGHT SWITCH AT 42" ABY, FIN, FLR,		•		•	8	
H-69- B	8" ABOVE COUNTER U.N.O.	8					
+67-4	THREE-POLE LIGHT SWITCH FOUR-POLE LIGHT SWITCH						
ю́-м.р.	WALL MOUNTED LIGHT FIXTURE				•	8	
	W/ WATER RESISTANT HOUSING WALL MOUNTED INCANDESCENT						
φ	LIGHT FIXTURE	-	-	-	-	-	-
ŀ€-	WALL MOUNTED FLUORESCENT LIGHT FIXTURE	8					
-¢-	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE		_	_	_	_	_
-@-	CEILING MOUNTED FLUORESCENT	NT 4	Т П О			а \т т \	та
	LIGHT FIXTURE HANGING INCANDESCENT			H C			A
a	LIGHT FIXTURE		50 ²	' SE	ERI	ES	
Ð	RECESSED INCANDESCENT DIRECTIONAL LIGHT FIXTURE (EYE BALL)			кв н	OME		
Ø	RECESSED INCANDESCENT LIGHT FIXTURE	NC	ORTH	CAROL		DIVISI	DN
Ø	LIGHTING - TRAVERSE II LED FIXTURE - PER SPECS		4518	S. MI	IAMI I	BLVD.	-
₿м.р.	RECESSED INCANDESCENT LIGHT FIXTURE W/WATER RESISTANT HOUSING			SUITE	180		8
Ð	RECESSED FLUORESCENT LIGHT FIXTURE			HAM,			~
	RECESSED EXHAUST FAN			(919) (919)			•
Ş	RECESSED EXHAUST FAN/ INCANDESCENT LIGHT COMBINATION			/			
	RECESSED EXHAUST FAN/ FLUORESCENT LIGHT COMBINATION						
D	INCANDESCENT WALL SCONCE	8					
ĺ	ILLUMINATED ADDRESS SIGN - VISIBLE		2 0	18 N	ORI	Γ Η	
	FROM STREET		ARC)LIN	IA S	TAT	E
		8				~	
	24"x48" FLUORESCENT LIGHT BOX (CEILING MOUNTED)		B	UILI	UIN	G	-
		-	-	COI	DĒS	-	-
					•		
	12"x48" FLUORESCENT LIGHT						
	BOX (CEILING MOUNTED)	8	•				
l LL -				8		8	
Ð	OPTIONAL PRE-WIRED CEILING FAN AND SWITCH - LOCATED IN CENTER OF ROOM U.N.O.						
Ð	CEILING MOUNTED JUNCTION BOX			•	8		
нQ	WALL MOUNTED JUNCTION BOX					8	
		IS	SUE I	DATE:	08,	/17/18	
⊢₽	CATV RECEPTACLE PUSH BUTTON			Г No.:		, 999:57	
H	PHONE OUTLET			MGR.		D.S	_
	SERVICE BOX	- RI	EVISIO	NS:	06,	/12/19) -
— нв	HOSE BIB	• /	1 2014 1 NC	I CODE U	/ 03/15/19	/ CTD	
-# HB			 ^ DR	ISION R	EVISIO	45	
— см	WATER STUB FOR ICE MAKER APPROVED CEILING MOUNTED	•∠	2 NC	19022NCF	/ 03/15/19	/ CTD	
6	SMOKE DETECTOR TO BE HARD WIRED WITH BATTERY BACK-UP AND INTERCONNECTED	. /		ISION R	EVISIO1 / 04/22/1	IS 9 / FAE	
8	APPROVED CARBON MONOXIDE ALARM/ SMOKE DET.			ISION R			
⊢© ⊢⊕	THERMOSTAT (VERIFY LOCATION W/ HVAC PLAN) GAS TAP	•/		1904INCP	/ 06/12/19	MCP	
ŀ ₹	GAS KEY - FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA, BUT NO MORE THAN 48" FROM GAS OUTLET						
<u>s</u> r	NITCHING FOR 24" MIN. SEPERATION DOMS W/ CLG. FAN OF ELECTRICAL BOXES	•					•
01	PTIONS AS SHOWN BELOW						-
LIGHT / I		RP	Fo	OR INTERNA	L USE ON	_ Y	7
			1				_
=			5	k	= =		
SECO	NDARY MASTER GARAGE		5 6				
I. MEC		•	PLAN	:			8
SHO ENG	HANICAL, ELECTRICAL AND PLUMBING SYSTEMS ARE WIN FOR INTENT ONLY. THESE SYSTEMS SHALL BE INEERED BY OTHERS. THE CONTRACTOR SHALL BE PONSIBLE FOR PROPER INSTALLATION AND		2	43.2	293	9	
I PLA	CEMENT. ALL HEIGHTS SHOWN ARE TO CENTERLINE				SHE		
	FIXTURE. XVIDE SWITCH, LIGHT, 120V (AFCI & TR) DUPLEX					5.3	
REC IN A	X/IDE SMITCH, LIGHT, I2OV (AFCI & TR) DUPLEX EPTACLE, & FUEL GAS STUB OR 22OV RECEPTACLE ITTIC FOR F.A.U PER COMMINITY SPECIFICATIONS.				l	J.J	
	KE DETECTORS IN ROOMS WITH VOLUME CEILING TO LOCATED AT HIGHEST POINT OF CEILING	•				а т 4	
4 20	FOOT #4 REBAR FOR LEFR GROUND AND		SP.	EC. L	EVE	LI	-
ADE	NTIONAL COLD WATER GROUND, REFER TO SLAB RFACE PLAN FOR LOCATION.	R	ALE	IGH-	DU	RHA	M
5. 200 PLA) AMP ELECTRICAL PANEL (DEFAULT), ELECTRICAL N CHECK PERMIT REQUIRED IF LOAD EXCEED 400						
AMF	5.		5 0'	SE	ΪŇΙ	ES	_

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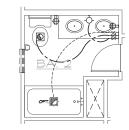
NOTE: REFER TO BASIC UTILITY PLAN FOR INFORMATION NOT SHOWN HERE



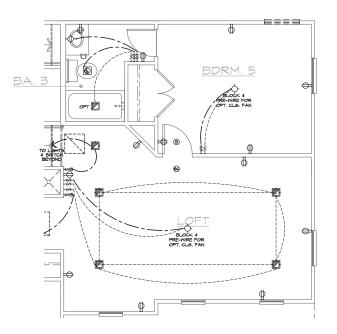
**

	UTILITY LEGEND		•				
÷	120 Y DURI EX CONVENIENCE RECERTACI E						
	ARC FAULT(AFCI) AND TAMPER RESISTANT(TR) 12" ABV. FIN. FLR. TYPICAL UN.O. 1000. CD) DECEDENCE FAULT (CEL CIDCUIT	8					
i i i i i i i i i i i i i i i i i i i	1 120V (TR) RECEPTACLE W/ GFI CIRCUIT W/ WATER RESISTANT HOUSING	8				\sim	8
itti e≓i	120V (TR) RECEPTACLE W/ GFI CIRCUIT			7 (
⊕ □	FUSED DISCONNECT				N / I	-	
0	120V (AFCI & TR) RECESSED FLOOR		ŊĘ	\bigcirc	IVIt		
-	RECEPTACLE W/ COVER 120V (AFCI & TR) DUPLEX CONVENIENCE RECEPTACLE						
4	SWITCH CONTROLLED, 1/2 HOT						
⊫ ⊖ 220 v	HEIGHT NOTED AS PER PLAN			8		8	
⊢∽ -	TWO-POLE LIGHT SWITCH AT 42" ABV. FIN. FLR. 8" ABOVE COUNTER U.N.O.						
H6 9- 8	THREE-POLE LIGHT SWITCH	•				•	
+69-4	FOUR-POLE LIGHT SWITCH			8			
ю́∙м.р.	WALL MOUNTED LIGHT FIXTURE W/ WATER RESISTANT HOUSING						
ф	WALL MOUNTED INCANDESCENT LIGHT FIXTURE	•	8			8	
ŀ€-	WALL MOUNTED FLUORESCENT LIGHT FIXTURE						8
-0-	CEILING MOUNTED INCANDESCENT						
	LIGHT FIXTURE CEILING MOUNTED FLUORESCENT	•		8	•	8	-
÷	LIGHT FIXTURE	NC	ORTI	H C	ARO	DLIN	ĪĄ
¤	HANGING INCANDESCENT LIGHT FIXTURE	-	50'	SE	RI	ES	-
Ð	RECESSED INCANDESCENT DIRECTIONAL LIGHT FIXTURE (EYE BALL)	•		кв н			
Ø	RECESSED INCANDESCENT LIGHT FIXTURE	NO	RTH C			IVISIO	ON
Ø	LIGHTING - TRAVERSE II LED FIXTURE - PER SPECS	-	4518	s. Mi	AMI F	BLVD.	•
⊕ м.р.	RECESSED INCANDESCENT LIGHT FIXTURE W/WATER RESISTANT HOUSING	8	5	SUITE	180		8
Ð	RECESSED FLUORESCENT LIGHT FIXTURE		DURH TEL: (NC 27		-
	RECESSED EXHAUST FAN		FAX: (•
	RECESSED EXHAUST FAN/ INCANDESCENT LIGHT COMBINATION			•			
Ð	RECESSED EXHAUST FAN/ FLUORESCENT LIGHT COMBINATION						
D	INCANDESCENT WALL SCONCE	8	- 2010	а Таб	יי יי	а ТТ	
]	ILLUMINATED ADDRESS SIGN - VISIBLE FROM STREET	•			ORT		
			RO	LIN	A S	TAT	
	24"x48" FLUORESCENT LIGHT		RI	TTT T	NIC	c.	
	BOX (CEILING MOUNTED)				-	Ч.	•
ill li			(COL	DES		
		•	•	•			
	12"x48" FLUORESCENT LIGHT BOX (CEILING MOUNTED)						
li∥i							
	OPTIONAL PRE-WIRED CEILING FAN	•		8	•	8	•
Ð	AND SWITCH - LOCATED IN CENTER OF ROOM U.N.O.						8
нØ	CEILING MOUNTED JUNCTION BOX						
	DOOR CHIME		•	8	•	8	
ΗM	CATV RECEPTACLE		SUE DA SOJECT			'17/18 999:57	
н®	PUSH BUTTON		VISION			999.57 D.S.	
⊨ ¶ 1	PHONE OUTLET SERVICE BOX		VISION			/12/19	
на	HOSE BIB	. /.	2018	CODE U	PDATE		
-⊮ нв	HOSE BIB W/ S.O.V.		<u> </u>		03/15/19		8
— см	WATER STUB FOR ICE MAKER	• /2		SION RI 022NCP	EVISION / 03/15/19	/ CTD	
6	APPROVED CEILING MOUNTED SMOKE DETECTOR TO BE HARD WIRED WITH BATTERY BACK-UP AND INTERCONNECTED	, /		SION R	EVISION	s	
⊗	APPROVED CARBON MONOXIDE ALARM/ SMOKE DET.	<u>^</u>	<u> </u>		04/22/19		
HT L	THERMOSTAT (VERIFY LOCATION W/ HVAC PLAN)	• [NCI9	SION RI 641NCP/	EVISION 06/12/19	MCP	
• •	GAS TAP GAS KEY - FIREPLACE GAS VALVES SHALL BE						
ŀ₩	GAS KEY - FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA, BUT NO MORE THAN 48" FROM GAS OUTLET	-					
sr	NITCHING FOR 24" MIN. SEPERATION DOMS W/ CLG. FAN OF ELECTRICAL BOXES	•					
RC OF	PTIONS AS SHOWN BELOW						
LIGHT / I ½ HC	TTTTTTTTTTTTTTTTTTTTTTTTTTTTTTTTTTTTTT			INTERNA	l use onl	Y.	
			ENED BY: I.				_ =
=	\$\$\$ 2-0 0 6F I S \$\$ X MIN. X		2. 3. 4.	_	= =		
SECO	NDARY MASTER GARAGE		5. 6.				
I. MEG		•	PLAN:				
I. MEC SHO ENG	HANICAL, ELECTRICAL AND PLUMBING SYSTEMS ARE WN FOR INTENT ONLY. THESE SYSTEMS SHALL BE INEERED BY OTHERS. THE CONTRACTOR SHALL BE		24	13.2	.939)	_
RES PLA	CEMENT, ALL HEIGHTS SHOWN ARE TO CENTERLINE				SHE		7
	FIXTURE.						
REC IN A	X/DE SMITCH, LIGHT, I20Y (AFCI & TR) DUFLEX EPTACLE, & FUEL GAS STUB OR 220Y RECEPTACLE ITTIC FOR F.A.U PER COMMINITY SPECIFICATIONS.				l	5.4	
	KE DETECTORS IN ROOMS WITH VOLUME CEILING TO LOCATED AT HIGHEST POINT OF CEILING				a DVDI	10 1	
			SPE	ν. L.	EVE	L I 8	
ADE	FOOT #4 REBAR FOR UFER GROUND AND DITIONAL COLD WATER GROUND. REFER TO SLAB RFACE PLAN FOR LOCATION.	RA	LEI	GH-	DUF	RHA	Μ
PLA) AMP ELECTRICAL PANEL (DEFAULT). ELECTRICAL N CHECK PERMIT REQUIRED IF LOAD EXCEED 400		8				8
AMF	25.		50'	2F	ŖI	E2	

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DUAL SINK AT BATH 2



BEDROOM 5 W/ BATH 3 AND LOFT

AT GAME ROOM

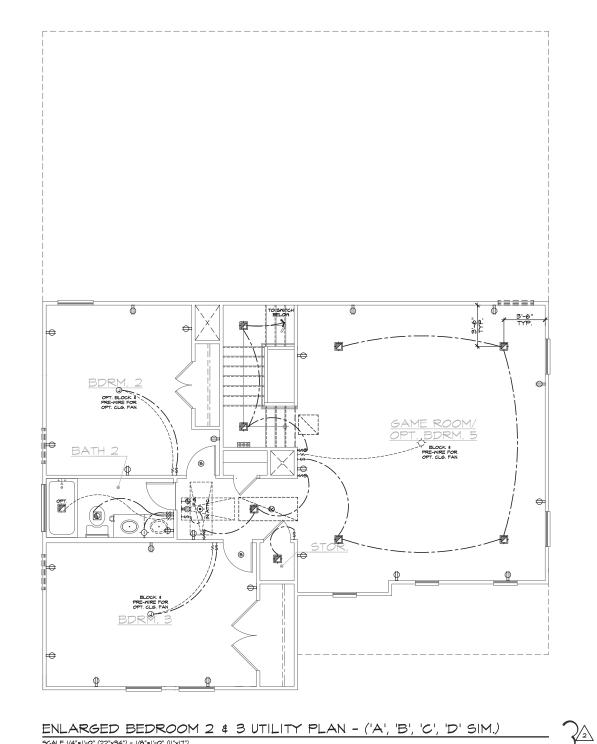
 $\frac{\mathsf{SECOND} \mathsf{FLOOR} \mathsf{UTILITY} \mathsf{PLAN} \mathsf{OPTIONS}}{\mathsf{SCALE} | / 4^* \mathsf{e} | ^4 \mathsf{o} '' (22^* \mathsf{XS4'}) - | / 8^* \mathsf{e} | ^4 \mathsf{o} '' (| | ^* \mathsf{XI} | ^4)}$

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[UTILITY LEGEND	•					8
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in⊖ m¤ 6F	ARC FAULT(AFCI) AND TAMPER RESISTANT(TR) 12" ABV. FIN. FLR. TYPICAL U.N.O. 11 120y (TR) RECEPTACLE W/GFI CIRCUIT						
r⊕ w₽	W/ WATER RESISTANT HOUSING	8					8
⊯ ⊜=⊓ ⊯⊉	120V (TR) RECEPTACLE W/ GFI CIRCUIT			<u> </u>	56		
С ^Р	FUSED DISCONNECT			J	N AL		-
o	1207 (AFCI & TR) RECESSED FLOOR RECEPTACLE W/ COVER	8		IU	IVII		8
⊕	120V (AFCI & TR) DUPLEX CONVENIENCE RECEPTACLE SMITCH CONTROLLED, 1/2 HOT	8					
i⊫ 220 v	220Y SINGLE CONVENIENCE RECEPTACLE						
- +	HEIGHT NOTED AS PER PLAN TWO-POLE LIGHT SWITCH AT 42" ABV. FIN. FLR. 8" ABOVE COUNTER U.N.O.	•			•		
H-69- B	8" ABOVE COUNTER U.N.O. THREE-POLE LIGHT SWITCH	8					
⊦09 -4	FOUR-POLE LIGHT SWITCH						
ю́-м.р.	WALL MOUNTED LIGHT FIXTURE W/ WATER RESISTANT HOUSING		•	8	•		
ф	WALL MOUNTED INCANDESCENT LIGHT FIXTURE						8
ŀ€-	WALL MOUNTED FLUORESCENT		_	_	_	_	_
-¢-	LIGHT FIXTURE CEILING MOUNTED INCANDESCENT		•		•	•	8
	LIGHT FIXTURE CEILING MOUNTED FLUORESCENT			8	•		
÷	LIGHT FIXTURE	N(ORT	H C	ARC	DLIN	IĄ
¤	HANGING INCANDESCENT LIGHT FIXTURE		50 ²	SE	RI	ES	
Ø	RECESSED INCANDESCENT DIRECTIONAL LIGHT FIXTURE (EYE BALL)	•	~ •	КВН			
Ø	RECESSED INCANDESCENT LIGHT FIXTURE	NO	RTH	CAROL		IVISIO	DN .
Ø	LIGHTING - TRAVERSE II LED FIXTURE - PER SPECS		4518	s. M		BLVD.	
Ф м.р.	RECESSED INCANDESCENT LIGHT FIXTURE W/ WATER RESISTANT HOUSING	•	פוזת	SUITE HAM,		7709	8
® ■	RECESSED FLUORESCENT LIGHT FIXTURE		TEL:	(919)	768-	7988	
	RECESSED EXHAUST FAN RECESSED EXHAUST FAN/ INCANDESCENT		FAX:	(919)	472-	0582	
	LIGHT COMBINATION RECESSED EXHAUST FAN/ FLUORESCENT			•	•	•	8
	LIGHT COMBINATION			8	•	•	
	INCANDESCENT WALL SCONCE ILLUMINATED ADDRESS SIGN - VISIBLE		20	18_N	OR]	ΓĻ	-
	FROM STREET	C	٩ŔĊ) LIN	IA S	TAT	Ē
		8					
	24"×48" FLUORESCENT LIGHT BOX (CEILING MOUNTED)		R	UILI		G	
╎╵╨╨╵				COI	DES		
		•		•	•	•	8
	12"x48" FLUORESCENT LIGHT BOX (CEILING MOUNTED)						
li∥i							
Ð	OPTIONAL PRE-WIRED CEILING FAN		•	8	•	•	
Q	AND SWITCH - LOCATED IN CENTER OF ROOM U.N.O. CEILING MOUNTED JUNCTION BOX		•		•	•	8
нQ	WALL MOUNTED JUNCTION BOX		-		-	-	-
686	DOOR CHIME	IS	SUE I	- DATE:	- 08.	- /17/18	-
⊢⊷	CATV RECEPTACLE PUSH BUTTON			Г No.:		, 999:57	
H	PHONE OUTLET		VISIOI EVISIO	MGR.		D.S.	_
	SERVICE BOX					/12/19	
—+нв —≁нв	HOSE BIB HOSE BIB W/ S.O.V.	•/		I CODE U	03/15/19	/ CTD	
— см	WATER STUB FOR ICE MAKER	• /:		ISION R	EV18101	IS	8
6	APPROVED CEILING MOUNTED SMOKE DETECTOR TO BE HARD WIRED WITH BATTERY BACK-UP AND INTERCONNECTED		 ^D	ISION R	EVISIO	15	
8	APPROVED CARBON MONOXIDE ALARM/ SMOKE DET.	• <u>/</u> :	<u>з /</u> ис	19028NCP	/ 04/22/1	9 / FAE	
⊢œ	THERMOSTAT (VERIFY LOCATION W/ HVAC PLAN)	• [ISION R	EVISIO1 / 06/12/19	IS MCP	
 	GAS TAP GAS KEY - FIREPLACE GAS VALVES SHALL BE						
' X	GAS KEY - FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA, BUT NO MORE THAN 48" FROM GAS OUTLET						-
SP B	NITCHING FOR 24" MIN. SEPERATION DOMS W/ CLG. FAN OF ELECTRICAL BOXES	•					
OF LIGHT / I	PTIONS AS SHOWN BELOW						
1/2 HC		REV	FO	OR INTERNA	L USE ON	.Y	
			1		= =		_
SECO	THE MIN. "		4	: <u> </u>	= =		_
	NOTES		PLAN				
I. MEC SHO	HANICAL, ELECTRICAL AND PLUMBING SYSTEMS ARE WN FOR INTENT ONLY. THESE SYSTEMS SHALL BE INEERED BY OTHERS. THE CONTRACTOR SHALL BE			43.2	2930	9	-
RES PLA	CEMENT, ALL HEIGHTS SHOWN ARE TO CENTERLINE						7"
OF	FIXTURE.			8	SHE	5.5	
REC	IVIDE SWITCH, LIGHT, I2OV (AFCI & TR) DUPLEX EPTACLE, & FUEL GAS STUB OR 22OV RECEPTACLE ITTIC FOR F.A.U PER COMMUNITY SPECIFICATIONS.						
	WE DETECTORS IN ROOMS WITH VOLUME CEILING TO LOCATED AT HIGHEST POINT OF CEILING	•	Ср	EC. L	• EVE	• L 1	
	FOOT #4 REBAR FOR UFER GROUND AND DITIONAL COLD WATER GROUND. REFER TO SLAB RFACE PLAN FOR LOCATION.	•	8		- - -	8	
		R	ALE	IGH	DUI	RHA	M
5. 200 PLA AMF) AMP ELECTRICAL PANEL (DEFAULT), ELECTRICAL N CHECK PERMIT REQUIRED IF LOAD EXCEED 400 '5.		50'	SF	ŔI	FS	
			20	2		<u> </u>	

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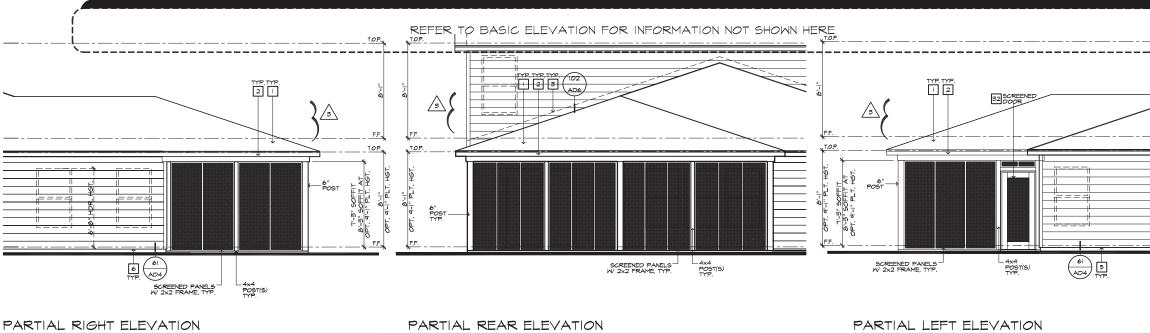


ENLARGED BEDROOM 2 & 3 UTILITY PLAN - ('A', 'B', 'C', 'D' SIM.) Scale 1/4"=1-0" (22"x34") - 1/8"=1-0" (11"x17")

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[UTILITY LEGEND	•					8
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in⊖ m¤ 6F	ARC FAULT(AFCI) AND TAMER RESISTANT(TR) 12" ABV. FIN. FLR. TYPICAL U.N.O. 12 (20y (TR) RECEPTACLE W/ GFI CIRCUIT						-
r⊕ w₽	W/ WATER RESISTANT HOUSING	8					8
⊯ ⊜=⊓ ⊯⊉	120V (TR) RECEPTACLE W/ GFI CIRCUIT				JE	\mathcal{D}	
С ^Р	FUSED DISCONNECT			J	N AI		-
o	1207 (AFCI & TR) RECESSED FLOOR RECEPTACLE W/ COVER	8		JU	IVI		8
⊕	120V (AFCI & TR) DUPLEX CONVENIENCE RECEPTACLE SMITCH CONTROLLED, 1/2 HOT	8					
i⊫ 220 v	220Y SINGLE CONVENIENCE RECEPTACLE						
- +	HEIGHT NOTED AS PER PLAN TWO-POLE LIGHT SWITCH AT 42" ABV. FIN. FLR. 8" ABOVE COUNTER U.N.O.	•			•		
H-69- B	8" ABOVE COUNTER U.N.O. THREE-POLE LIGHT SWITCH						
⊢69- 4	FOUR-POLE LIGHT SWITCH						
ю́-м.р.	WALL MOUNTED LIGHT FIXTURE W/ WATER RESISTANT HOUSING	8	•		•	8	
ф	WALL MOUNTED INCANDESCENT LIGHT FIXTURE						8
ŀ€-	WALL MOUNTED FLUORESCENT		_	_	_	_	_
-¢-	LIGHT FIXTURE CEILING MOUNTED INCANDESCENT		•	•	•	•	8
	LIGHT FIXTURE CEILING MOUNTED FLUORESCENT			8	•	8	
÷	LIGHT FIXTURE	N	ORT	H C	ARC	DLIN	IĄ
¤	HANGING INCANDESCENT LIGHT FIXTURE		50 ²	' SE	RI	ES	
Ø	RECESSED INCANDESCENT DIRECTIONAL LIGHT FIXTURE (EYE BALL)	•	~ •	КВН			
Ø	RECESSED INCANDESCENT LIGHT FIXTURE	NO	RTH	CAROL		OIVISIO	DN .
Ø	LIGHTING - TRAVERSE II LED FIXTURE - PER SPECS		4518	s. M		BLVD.	
ф м.р.	RECESSED INCANDESCENT LIGHT FIXTURE W/ WATER RESISTANT HOUSING	•	פוזת	SUITE HAM,		7703	8
® ■	RECESSED FLUORESCENT LIGHT FIXTURE		TEL:	(919)	768-	7988	
	RECESSED EXHAUST FAN RECESSED EXHAUST FAN/ INCANDESCENT		FAX:	(919)	472-	0582	
	LIGHT COMBINATION RECESSED EXHAUST FAN/ FLUORESCENT			•		•	8
	LIGHT COMBINATION						
	INCANDESCENT WALL SCONCE ILLUMINATED ADDRESS SIGN - VISIBLE		20	18_N	OR1	ΓĻ	-
	FROM STREET	C/	ARC	DLIN	IA S	TAT	Έ.
							8
	24"x48" FLUORESCENT LIGHT BOX (CEILING MOUNTED)		R	UILI		G	
				COI	DES		
		•		•		•	8
	12"x48" FLUORESCENT LIGHT BOX (CEILING MOUNTED)						
li∥i							
	OPTIONAL PRE-WIRED CEILING FAN	•			•		
Q	AND SWITCH - LOCATED IN CENTER OF ROOM U.N.O. CEILING MOUNTED JUNCTION BOX						8
нÐ	WALL MOUNTED JUNCTION BOX		_	_	_	_	_
	DOOR CHIME	IS	SUE 1	DATE:	08.	/17/18	
⊢⊷	CATV RECEPTACLE PUSH BUTTON			Г No.:		9999:57	
H	PHONE OUTLET			MGR.		D.S	_
]	SERVICE BOX					/12/19	-
—+нв —≁нв	HOSE BIB HOSE BIB W/ S.O.V.	• _		I CODE L	/ 03/15/19	/ CTD	
— см	WATER STUB FOR ICE MAKER	• /		ISION R	EVISIO1	NS / CTD	
6	APPROVED CEILING MOUNTED SMOKE DETECTOR TO BE HARD WIRED WITH BATTERY BACK-UP AND INTERCONNECTED			ISION R			
⊗	APPROVED CARBON MONOXIDE ALARM/ SMOKE DET.	• <u>/</u> :	3 ∕ йс	19028NCP	/ 04/22/1	9 / FAE	
нt	THERMOSTAT (VERIFY LOCATION W/ HVAC PLAN)	• _		ISION R	EVISIO1 / 06/12/19	MCP	8
•	GAS TAP GAS KEY - FIREPLACE GAS VALVES SHALL BE						_
ŀ₩	GAS KEY - FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA, BUT NO MORE THAN 48" FROM GAS OUTLET						8
SI	NITCHING FOR 24" MIN. SEPERATION	•					
RC OF LIGHT / I	TIONS W/ CLG. FAN OF ELECTRICAL BOXES PTIONS AS SHOWN BELOW						
10H1 / 1 12 HC		REV	FC IENED BY:	OR INTERNA	L USE ON	_Y	
			1	i	= =		_
SECO			4	i	= =		_
	NOTES		PLAN				=
I. MEC SHO	HANICAL, ELECTRICAL AND PLUMBING SYSTEMS ARE WN FOR INTENT ONLY. THESE SYSTEMS SHALL BE INEERED BY OTHERS. THE CONTRACTOR SHALL BE			: 43.2	9020	9	8
RES PLA	CEMENT, ALL HEIGHTS SHOWN ARE TO CENTERLINE			тЈ.2			~ "
OF	FIXTURE.		8	8	SHE	ет: 5.3	
2. PRO REC IN A	X/DE SMITCH, LIGHT, I20Y (AFCI & TR) DUFLEX EPTACLE, & FUEL GAS STUB OR 220Y RECEPTACLE ITTIC FOR F.A.U PER COMMINITY SPECIFICATIONS.					J.J	
	WE DETECTORS IN ROOMS WITH VOLUME CEILING TO LOCATED AT HIGHEST POINT OF CEILING		CD	EC. L	• EVE	• T 1	
	FOOT #4 REBAR FOR UFER GROUND AND DITIONAL COLD WATER GROUND. REFER TO SLAB REFACE PLAN FOR LOCATION.		3ľ. 8	EU. L	EVE.	ы I в	
		RA	ALE	IGH	DUI	RHA	M
5. 200 PLA AMF) AMP ELECTRICAL PANEL (DEFAULT), ELECTRICAL N CHECK PERMIT REQUIRED IF LOAD EXCEED 400 '5.	"	50'	ŚF	ŔI	ES	
			20			<u> </u>	

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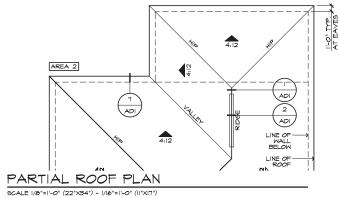


SCALE |/4"=|'-0" (22"×34") - |/8"=|'-0" (||"×|7")

PARTIAL RIGHT ELEVATION

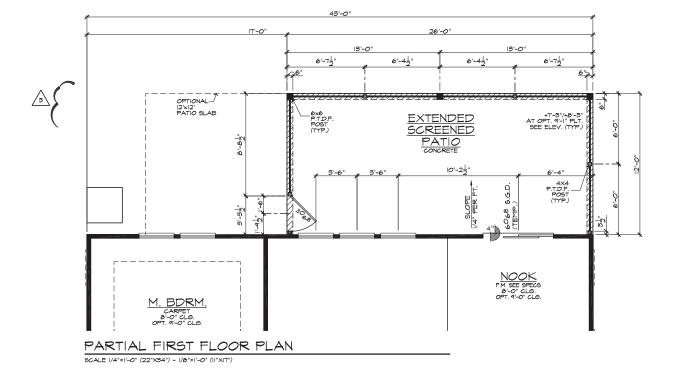
SCALE 1/4"=1'-0" (22"X34") - 1/8"=1'-0" (11"X17")

ROOF PLAN NOTES 'A	/B/C/I	y		
4:12 INDICATES ROOF SLOPE				
ROOF MATERIAL: COMPOSITION SHINGLE				
12" (INCHES) TYPICAL ROOF OVERHANG AT RAKE,	U.N.O.			
12" (INCHES) TYPICAL ROOF OVERHANG AT EAVE,	U.N.O.			
LOCATE EAVE/ RAFTER VENTS EQUALLY BALANCE HOUSE EXCEPT ABOVE SHEARWALL PANELS.	ED AROL	IND		
ATTIC VENT CALCULATIO	NS	A	ĸ	
PROVIDE I 5Q. IN. OF VENTLATION PER 300 SQ. IN. OF ATTIC SPACE. PROVIDE THAT AT LEAST 50% 4 NO MORE THAN 80% OF THE REQ. VENTLATING AREA IS PROVIDED BY VENTLATORS LOCATED IN THE UPPER PORTION OF THE ATTIC, (HIGH VENTING) AT 3-0' ABOVE EAVE VENT NITH THE BALANCE BEING PROVIDED BY EAVE VENTS, (LOW VENTING) (2018 N.C. R 206.2) * CALCULATION BY 'USO, HIGH/LOW VENTING NOT REQUIRED. APPROXIMATE RIDGE VENT LOCATIONS SHORN ACTUAL LOCATIONS TO BE DETERMINED IN THE FIELD.				
AREA 2 / FIRST FLOOR (REAR) W/ OPT. IOXIO COV				
VENTILATION REQUIRED:	3.80	5Q. FT.		
X 144 =				
X 144 = X 50% = VENTILATION PROVIDED: HIGH (2) 5-144 ROOF VENT(5) AT (144 50. IN. EA) = LON	273.6 288	5Q. IN. 5Q. IN.		
X 144 = X 50% = High 1(2) 2-144 ROOF VENT(5) AT (144 50. IN. EA) = LOW (4) LIN. FEET OF RIDGE VENT AT (16 50. IN./FOOT) =	273.6 288 162	50. IN. 50. IN. 50. IN.		
X 144 = X 50% = VENTILATION PROVIDED: HIGH (2) 5-144 ROOF VENT(5) AT (144 50. IN. EA) = LOA	273.6 288 162 565	5Q. IN. 5Q. IN.		



12'x26' SCREENED-IN EXTENDED COVERED PATIO

SCALE |/4"=|'-0" (22"X34") - |/8"=|'-0" (||"X17")



SCALE |/4"=|'-0" (22"X34") - |/8"=|'-0" (||"X|7")

	· · · · · · · · · · · · · · · · · · ·
NOTE: NOT ALL KEY NOTES APPLY. 1. ROOF MATERIAL - REFER TO ROOF NOTES 2. 2X FASCIA/BARGE BOARD WITH FASCIA CAP	
3. G.I. FLASHING	
 G.I. FLASHING & SADDLE/CRICKET G.I. DRIP SCREED 	il KD l'
6. 24"x24" CHIMNEY	
 DECORATIVE VENT DECORATIVE CORBEL 	HOME
9. DECORATIVE SHUTTERS	HOME I
IO. PEDIMENT. SEE ELEVATION FOR TYPE II. RECESSED ELEMENT	
12. DECORATIVE TRIM FYPON OR EQ. SEE ELEVATION FOR TYPE	
13. TRIM - SEE ELEVATION FOR SIZE 14. SYNTHETIC MATERIAL	
15. PRE-MANUFACTURED DECORATIVE COLUMN (SIZE, SEE ELEV.)	
FYPON OR EQ. SURROUNDING STRUCTURAL POST. 16. SITE-BUILT COLUMN - SEE ELEVATION FOR TYPE	
17. SHAKE SIDING	
18. STONE VENEER PER SPECS	
19. BRICK/MASONRY VENEER PER SPECS	
20. BUILT UP BRICK COLUMN 21. SOLDIER COURSE	
22. ROWLOCK COURSE	
23. FRIEZE BOARD	
24. SIDING W/ 4" CORNER TRIM PER SPECS 25. P.T. POST W/ WRAP - SEE STRUCTURAL FOR SIZE	
26. PRE-FAB DECORATIVE TRIM	
27. LIGHT WEIGHT PRECAST STONE TRIM 28. RAILINGS (+36" U.N.O.)	NORTH CAROLINA
28. KAILINGS (+36" U.N.O.) 29. VINYL WRAP	50' SERIES
30. DECORATIVE WINDOW/DOOR TRIM - FYPON OR EQ. SEE ELEVATION FOR SIZE.	p
31. BRACKET OR KICKER - FYPHON OR EQ.	KB HOME NORTH CAROLINA DIVISION
32. ENTRY DOOR	• •
33. CONCRETE STOOP/ PORCH - SEE SLAB INTERFACE PLAN. 34. SECTIONAL GARAGE DOOR PER SPECS	4518 S. MIAMI BLVD.
35. ALUMINUM WRAP	SUITE 180
36. OPTIONAL DOOR/WINDOW - REFER TO PLAN OPTIONS 37. OPTIONAL STANDING SEAM METAL ROOF	DURHAM, NC 27703 TEL: (919) 768-7988
36. KEYSTONE	FAX: (919) 472-0582
39. SOLDIER CROWN	
40. JACK SOLDIER COURSE 41. WATER TABLE	
42. ATRIUM DOOR	
43. PILASTER - SEE ELEVATION FOR TYPE	2018 NORTH
# PARTIAL PLAN NOTES 2009 NG-R	CAROLINA STATE
NOTE: NOT ALL KEY NOTES APPLY. 27. WATER HEATER LOCATION: - FOR GAS - LOCATE ON 18" HIGH	
WIEL NOT ALL RET NOIES ANT. 7. MATER HEATER LOCATION: - FOR GAS - LOCATE ON 18" HIGH PLATFORM - FOR INTERIOR LOCATION - PROVIDE PAN & DRAIN (RETER) DEVENTION - LOCATION - PROVIDE PAN & 28. MANLER HATER BY VENT OUTSIDE AIR 24. MANLER SHUT-OFF VALVE AND TEMP. & PRESSURE RELIEF	BUILDING
29. MAIN LINE SHUT-OFF VALVE AND TEMP. & PRESSURE RELIEF	CODES
34 LINE OF HALL BELOW 41. LINE OF FLOOR ABOVE 22. LINE OF FLOOR ABOVE 22. LINE OF FLOOR ABOVE	CODES
42. LINE OF FLOOR BELOW 46. MIN 36" HIGH GUARDRAIL (REFER TO DETAIL SHEETS) 50. AVC PAD LOCATION 50. AVC PAD LOCATION OF AN ECP HEIGHT	
51. LOW WALL - REFER TO PLAN FOR HEIGHT 52. 2X6 STUD WALL	
54. DEL. 2x4 WALL PER PLAN 55. INTERIOR SHELF - REFER TO PLAN FOR HEIGHT	
58. ARCHED SOFFIT	
60 OPT DOOR/WINDOW	
FYPON OR EQ. SURROUNDING STRUCTURAL POST.	
22. BAICK / SIGNAL GARAGE DOOR PER SPECS 35. SECTIONAL GARAGE DOOR PER SPECS 36. B" DIAM. CONCRETE FILLED PIPE BOLLARD 36" HIGH WITH MIN. 12" EMBEDMENT INTO CONCRETE. (NOT REQUIRED AT ELECTRIC WATER HEATERS OR FOR	
MIN. 12" EMBEDMENT INTO CONCRETE. (NOT REQUIRED AT ELECTRIC WATER HEATERS OR FOR	
APPLIANCES LOCATED OUT OF THE VEHICLE'S NORMAL TRAVEL PATH).	ISSUE DATE: 08/17/18
58, P.T. POST W. VINTL WRAP. O. EGRESS WINDOW 5. WINDOW LEDGE. HEIGHT & WIDTH OF OPENING TO EXTEND 6"	 PROJECT No.: 1350999:57 DIVISION MGR.: D.S.
15. WINDOW LEDGE. HEIGHT & WIDTH OF OPENING TO EXTEND 6" BEYOND WINDOW(S) ON ALL SIDES UN.O. 16. SITE-BUILT COLUMN - SEE ELEVATION FOR TYPE	REVISION MGR.: D.S. REVISIONS: 03/15/19
17. CONCRETE SLAB. SLOPE 1/4" PER FT. MIN. SEE PLAN FOR SIZE	
	2019 CODE UPDATE NCI90ISNCP/ 03/15/19 / CTD
	✓ DIVISION REVISIONS
	Z NCI9022NCP/ 03/I5/19 / CTD
	B J DIVISION REVISIONS NCI9028NCP/ 04/22/19 / FAE
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	FOR INTERNAL USE ONLY REVIEWED BY.
	REVIEWED BY: I. 2.
	REVIDED BY: I.
	REVIENED BY:
	REVIEWED BY. L
THE CRAML SPACE IS TO BE CONDITIONED PER NO-R SECTION R409.	Scylered BY. 1 2 3 4 6 PLAN:
NOTEL THE CRANL SPACE IS TO BE CONDITIONED PER NO-R SECTION REGR. THE CRANL SPACE VAPOR RETARDER (BARRIER) IS TO BE PER IS-R SECTION REGA2.	PLAN: 243.2939
THE CRANL SPACE IS TO BE CONDITIONED PER NO-R SECTION REGR. THE CRANL SPACE VAPOR RETARDER (BARRIER) IS TO BE PER NOTE.	PLAN: 243.2939 SHEET:
THE CRAWL SPACE IS TO BE CONDITIONED PER NO-R SECTION REACH, THE CRAWL SPACE VAPOR RETARDER (BARRIER) IS TO BE PER NO-R SECTION REACH. STEL STEL REFER TO BASIC <u>ROOF PLAN</u> FOR INFORMATION NOT SHOWN HERE	PLAN: 243.2939
THE CRAWL SPACE IS TO BE CONDITIONED PER NO-R SECTION 2409, THE CRAWL SPACE VAPOR RETARDER (BARRIER) IS TO BE PER NO-R SECTION R409.2. WOTE. EFFER TO BASIC ROOF PLAN FOR INFORMATION NOT	PLAN: 243.2939 SHEET:
THE CRANL SPACE IS TO BE CONDITIONED PER NO-R SECTION REGR. NAME. SPACE VAPOR RETARDER (BARRIER) IS TO BE PER NOTE: 15 TO BASIC RECEIPTION FOR INFORMATION NOT HORN HERE NOTE: 10 BASIC REVATIONS FOR INFORMATION NOT HORN HERE	PLAN: 243.2939 SHEET: 8.A6 SPEC. LEVEL 1
THE CRAWL SPACE IS TO BE CONDITIONED PER NC-R SECTION 409, THE CRAWL SPACE VAPOR RETARDER (BARRIER) IS TO BE PER NC-R SECTION R401.2. MOTE: EFFER TO BASIC <u>ROOF FLAN</u> FOR INFORMATION NOT HOWN HERE <u>VOTE:</u> EFFER TO BASIC <u>ELEVATIONS</u> FOR INFORMATION NOT	PLAN: 243.2939 SHEET: 8.A6

STRUCTURAL PLANS FOR:



243.2939 - LH GARAGE

PLAN RELEASE / REVISIONS REV DATE ARCH PLAN VERSION REVISION DESCRIPTION 05/23/2019 2939-243-01350-ABCD INITIAL SETUP OF LAYOUT 05/23/2019 2939-243-01350-ABCD CREATED LOT-SPECIFIC STRUCTURAL LAYOUT FROM MASTER PLAN AND EWP LAYOUT

NOTES	CODE	ENGINEER OF
LIABILITY FOR CHANGES MADE TO THESE PLANS BY THE SET IS VALID OTHERS, OR FOR CONSTRUCTION METHODS, OR FOR ANY THE SEAL, UNLES DEVIATION FROM THE PLANS. ENGINEER TO BE NOTIFIED PLACED IN EFFEC PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE B. IF THESE PLANS A NOTED ON THE PLANS. SET, THE SET IS V	AND MATERIAL QUALITY AND SELECTION SHALL BE PER: S A MASTER-PLAN SET, THS FROM THE DATE ON REQUIRED UPDATES ARE 2018	JDS CONSULTING & DESIGN, ENGINEERING, BUILDING DES CONSULTING SERVICES 8600 'D' JERSEY COURT RALEIGH, NC 27617 FIRM LIC. NO: P-0961 PROJECT REFERENCE: 19907

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ESIGN, & CONSTRUC	TION	
04074		
01074		



NOTE: ALL CHAPTERS, SECTIONS, TABLES, AND FIGURES CITED WITHOUT A PUBLICATION TITLE ARE FROM THE APPLICABLE RESIDENTIAL CODE (SEE TITLE SHEET).

GENERAL

- 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION, FURTHERMORE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND SAFETY ON SITE, NOTIFY JDS CONSULTING & DESIGN, PLLC IMMEDIATELY IF DISCREPANCIES ON PLAN EXIST.
- BRACED-WALL DESIGN IS BASED ON SECTION R602.10 WALL BRACING. PRIMARY PRESCRIPTIVE METHOD TO BE CS-WSP. SEE WALL BRACING PLANS AND DETAILS FOR ADDITIONAL INFORMATION.

ALL NON-PRESCRIPTIVE SOLUTIONS ARE BASED ON GUIDELINES ESTABLISHED IN THE AMERICAN SOCIETY OF CIVIL ENGINEERS PUBLICATION ASCE 7 AND THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION - SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC

0.000 000

SEISMIC DESIGN SHALL BE PER SECTION R301.2.2 - SEISMIC 3. PROVISIONS, INCLUDING ASSOCIATED TABLES AND FIGURES. BASED ON LOCAL SEISMIC DESIGN CATEGORY.

DESIGN LOADS

ASSUMED SOIL BEARING-CAPACITY	2,000 PSF
	LIVE LOAD
ULTIMATE DESIGN WIND SPEED	115 MPH, EXPOSURE B
GROUND SNOW	15 PSF
ROOF	20 PSF
RESIDENTIAL CODE TABLE R301.5	LIVE LOAD (PSF)
DWELLING UNITS	40
SLEEPING ROOMS	30
ATTICS WITH STORAGE	20
ATTICS WITHOUT STORAGE	10
STAIRS	40
DECKS	40
EXTERIOR BALCONIES	60
PASSENGER VEHICLE GARAGES	50
FIRE ESCAPES	40
GUARDS AND HANDRAILS	200 (pounds, concentrated)

COMPONENT AND CLADDING LOADS, INCLUDING THOSE FOR DOORS AND WINDOWS, SHALL BE DERIVED FROM TABLES R301.2(2) AND R301.2(3) FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 35 FEET, LOCATED IN EXPOSURE B.

MATERIALS

INTERIOR / TRIMMED FRAMING LUMBER SHALL BE #2 SPRUCE PINE FIR (SPF) WITH THE FOLLOWING DESIGN PROPERTIES (#2 SOUTHERN YELLOW PINE MAY BE SUBSTITUTED):

Fb = 875 PSI Fv = 70 PSI E = 1.4E6 PSI

2. FRAMING LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND, CONCRETE, OR MASONRY SHALL BE PRESSURE TREATED #2 SOUTHERN YELLOW PINE (SYP) WITH THE FOLLOWING DESIGN PROPERTIES:

Fb = 975 PSI Fv = 95 PSI E = 1.6E6 PSI

3. LVL STRUCTURAL MEMBERS TO BE LAMINATED VENEER LUMBER WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:

Eb = 2600 PSI Ev = 285 PSI E = 1.9E6 PSI

PSL STRUCTURAL MEMBERS TO BE PARALLEL STRAND LUMBER WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:

Eb = 2900 PSI Ev = 290 PSI E = 2.0E6 PSI

LSL STRUCTURAL MEMBERS TO BE LAMINATED STRAND LUMBER 5. WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:

Fb = 2250 PSI Fv = 400 PSI E = 1.55E6 PSI

- 6. STRUCTURAL STEEL WIDE-FLANGE BEAMS SHALL CONFORM TO ASTM A992. Fv = 50 KSI
- REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615, 7. GRADE 60.
- POURED CONCRETE COMPRESSIVE STRENGTH TO BE A MINIMUM 3,000 PSI AT 28 DAYS, MATERIALS USED TO PRODUCE CONCRETE SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN AMERICAN CONCRETE INSTITUTE STANDARD ACI 318 OR ASTM C1157
- CONCRETE SUBJECT TO MODERATE OR SEVERE WEATHERING 9. PROBABILITY PER TABLE R301.2(1) SHALL BE AIR-ENTRAINED WHEN REQUIRED BY TABLE R402.2.
- 10. CONCRETE MASONRY UNITS (CMU) SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE PUBLICATION 530: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES AND COMPANION COMMENTARIES AND THE MASONRY SOCIETY PUBLICATION TMS 402/602: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES.
- 11. MORTAR SHALL COMPLY WITH ASTM INTERNATIONAL STANDARD C270.
- 12. INDICATED MODEL NUMBERS FOR ALL METAL HANGERS, STRAPS, FRAMING CONNECTORS, AND HOLD-DOWNS ARE SIMPSON STRONG-TIE BRAND. EQUIVALENT USP BRAND PRODUCTS ARE ACCEPTABLE.
- 13. REFER TO I-JOIST EQUIVALENCE CHART ON I-JOIST DETAIL SHEET FOR SUBSTITUTION OF MANUFACTURER SERIES.

FOUNDATION

- 1. MINIMUM ALLOWABLE SOIL BEARING CAPACITY IS ASSUMED TO BE 2.000 PSF. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIEV SOIL BEARING CAPACITY IF UNSATISFACTORY CONDITIONS EXIST.
- 2. CONCRETE FOUNDATION WALLS TO BE SELECTED AND CONSTRUCTED PER SECTION R404 OR AMERICAN CONCRETE INSTITUTE STANDARD ACI 318.
- MASONRY FOUNDATION WALLS TO BE SELECTED AND CONSTRUCTED PER SECTION R404 AND/OR AMERICAN CONCRETE INSTITUTE PUBLICATION 530: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES AND COMPANION COMMENTARIES AND/OR THE MASONRY SOCIETY PUBLICATION TMS 402/602: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES
- CONCRETE WALL HORIZONTAL REINFORCEMENT TO BE PER TABLE R404.1.2(1) OR AS NOTED OR DETAILED. CONCRETE WALL VERTICAL REINFORCEMENT TO BE PER TABLES R404.1.2(3 AND 4) OR AS NOTED OR DETAILED. ALL CONCRETE WALLS SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 6.
 - A. TABLES ASSUME THAT WALLS HAVE PERMANENT LATERAL SUPPORT AT THE TOP AND BOTTOM.
 - B. FOUNDATION DRAINS ARE ASSUMED AT ALL WALLS PER SECTION R405
- PLAIN-MASONRY WALL DESIGN TO BE PER TABLE R404.1.1(1) OR AS NOTED OR DETAILED. MASONRY WALLS WITH VERTICAL REINFORCEMENT TO BE PER TABLES R404.1.1 (2 THROUGH 4) OR AS NOTED OR DETAILED. ALL MASONRY WALLS SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 6.
 - A. TABLES ASSUME THAT WALLS HAVE PERMANENT LATERAL SUPPORT AT THE TOP AND BOTTOM.
 - В. WALL REINFORCING SHALL BE PLACED ACCORDING TO FOOTNOTE (c) OF THE TABLES (REINFORCING IS NOT CENTERED IN WALL).
 - C. FOUNDATION DRAINS ARE ASSUMED AT ALL WALLS PER SECTION R405.
- WOOD SILL PLATES TO BE ANCHORED TO THE FOUNDATION WITH 1/2" DIAMETER ANCHOR BOLTS WITH MINIMUM 7" EMBEDMENT, SPACED A MAXIMUM OF 6'-0" OC AND WITHIN 12" FROM THE ENDS OF EACH PLATE SECTION. INSTALL MINIMUM (2) ANCHOR BOLTS PER SECTION. SEE SECTION R403.1.6 FOR SPECIFIC CONDITIONS.
- THE UNSUPPORTED HEIGHT OF SOLID MASONRY PIERS SHALL NOT EXCEED TEN TIMES THEIR LEAST DIMENSION. UNFILLED, HOLLOW PIERS MAY BE USED IF THE UNSUPPORTED HEIGHT IS NOT MORE THAN FOUR TIMES THEIR LEAST DIMENSION
- CENTERS OF PIERS TO BEAR IN THE MIDDLE THIRD OF THE FOOTINGS, AND GIRDERS SHALL CENTER IN THE MIDDLE THIRD OF THE PIERS
- 9. ALL FOOTINGS TO HAVE MINIMUM 2" PROJECTION ON EACH SIDE OF FOUNDATION WALLS (SEE DETAILS).
- 10. ALL REBAR NOTED IN CONCRETE TO HAVE AT LEAST 2" COVER FROM EDGE OF CONCRETE TO EDGE OF REBAR.
- 11. FRAMING TO BE FLUSH WITH FOUNDATION WALLS.
- 12. WITH CLASS 1 SOILS, VAPOR BARRIER AND CRUSHED STONE MAY BE OMITTED.

FRAMING

- 3.
- WITH 2x4 STUDS @ 24" OC.
- STRUCTURAL COMPONENTS.
- CONSTRUCTION.
- LUMBER.
- - DETAILS.

SPECIFICATIONS.

- - MANUFACTURER. C.
 - D.
 - DRAWINGS

- EACH END OF FLITCH BEAM.

- EXTERIOR RIM JOIST / BOARD.
- SHALL BE MET.

1. ALL BEARING HEADERS TO BE (2) 2x6 SUPPORTED W/ MIN (1) JACK STUD AND (1) KING STUD EACH END, UNO.

2. ALL NON-BEARING HEADERS TO BE (2) 2x4, UNO.

NON-BEARING INTERIOR WALLS NOT MORE THAN 10' NOMINAL HEIGHT AND NOT SHOWN AS BRACED WALLS MAY BE FRAMED

4. SOLID BLOCKING TO BE PROVIDED AT ALL POINT LOADS THROUGH FLOOR LEVELS TO THE FOUNDATION OR TO OTHER

5. ALL BEAMS SPECIFIED ARE MINIMUM SIZES ONLY, LARGER MEMBERS MAY SUBSTITUTED AS NEEDED FOR EASE OF

6. ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH 7/16" OSB.

PORCH / PATIO COLUMNS TO BE 4x4 MINIMUM PRESSURE-TREATED

A. ATTACH PORCH COLUMNS TO SLAB / FDN WALL USING ABA, ABU, ABW, OR CPT SIMPSON POST BASES TO FIT COLUMN SIZES NOTED ON PLAN -OR- ANY OTHER COLUMN CONNECTION WITH 500# UPLIFT CAPACITY.

ATTACH PORCH COLUMNS TO PORCH BEAMS USING AC OR BC SIMPSON POST CAPS TO FIT COLUMN SIZES NOTED ON PLAN -OR- ANY OTHER COLUMN CONNECTION WITH 500# UPLIFT CAPACITY.

C. TRIM OUT COLUMN(S) AND BEAM(S) PER BUILDER AND

ALL ENGINEERED WOOD PRODUCTS (LVL, PSL, LSL, ETC.) SHALL BE INSTALLED WITH CONNECTIONS PER MANUFACTURER

9. ENGINEERED WOOD FLOOR SYSTEMS AND ROOF TRUSS SYSTEMS: A SHOP DRAWINGS FOR THE SYSTEMS SHALL BE PROVIDED TO THE ENGINEER OF RECORD FOR REVIEW AND COORDINATION BEFORE CONSTRUCTION. TRUSS PROFILES SHALL BE SEALED BY THE TRUSS

INSTALLATION OF THE SYSTEMS SHALL BE PER

MANUFACTURER'S INSTRUCTIONS.

TRUSS LAYOUT AND PLACEMENT BY MANUFACTURER TO COINCIDE WITH THE SUPPORT LOCATIONS SHOWN IN THESE

10. ALL BEAMS TO BE CONTINUOUSLY SUPPORTED LATERALLY AND SHALL BEAR FULL WIDTH ON THE SUPPORTING WALLS OR COLUMNS INDICATED, WITH A MINIMUM OF THREE STUDS, UNO.

11. ALL STEEL BEAMS TO BE SUPPORTED AT EACH END WITH A MIN BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH. BEAMS MUST BE ATTACHED AT EACH END WITH A MINIMUM OF FOUR 16d NAILS OR TWO 1/2" x 4" LAG SCREWS, UNO.

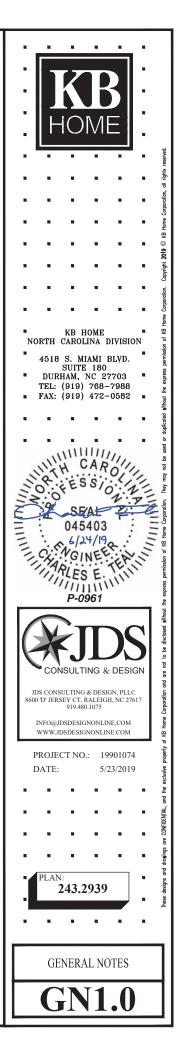
12. STEEL FLITCH BEAMS TO BE BOLTED TOGETHER USING (2) ROWS OF 1/2" DIAMETER BOLTS (ASTM 307) WITH WASHERS PLACED LINDER THE THREADED END OF THE BOLT, BOLTS TO BE SPACED AT 24" OC (MAX) AND STAGGERED TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE, WITH TWO BOLTS TO BE LOCATED AT 6" FROM

13. WHEN A 4-PLY LVL BEAM IS USED, ATTACH WITH (1) 1/2" DIAMETER BOLT, 12" OC, STAGGERED TOP AND BOTTOM, 1 1/2" MIN FROM ENDS. ALTERNATE EQUIVALENT ATTACHMENT METHOD MAY BE USED, SUCH AS SDS, SDW, OR TRUSSLOK SCREWS (SEE MANUFACTURER SPECIFICATIONS).

14. FOR STUD COLUMNS OF 4-OR-MORE STUDS, INSTALL SIMPSON STRONG-TIE CS16 STRAPS ACROSS STUDS @ 30" OC, 6" MAX FROM PLATES, ON INSIDE FACE OF COLUMN (EXTERIOR WALL), ON BOTH FACES OF COLUMN (INTERIOR WALL).

15. FLOOR JOISTS ADJACENT AND PARALLEL TO THE EXTERIOR FOUNDATION WALL SHALL BE PROVIDED WITH FULL-DEPTH SOLID BLOCKING, NOT LESS THAN TWO (2) INCHES NOMINAL IN THICKNESS, PLACED PERPENDICULAR TO THE JOIST AT SPACING NOT MORE THAN FOUR (4) FEET. THE BLOCKING SHALL BE NAILED TO THE FLOOR SHEATHING, THE SILL PLATE, THE JOIST, AND THE

16. BRACED WALL PANELS SHALL BE FASTENED TO MEET THE UPLIFT-RESISTANCE REQUIREMENTS IN CHAPTERS 6 AND 8 OF THE APPLICABLE CODE (SEE TITLE SHEET). REQUIREMENTS OF THE STRUCTURAL DRAWINGS THAT EXCEED THE CODE MINIMUM



FASTENER SCHEDULE				
CONNECTION	3" x 0.131" NAIL	3" x 0.120" NAIL		
JOIST TO SILL PLATE	(4) TOE NAILS	(4) TOE NAILS		
SOLE PLATE TO JOIST / BLOCKING	NAILS @ 8" OC (typical) (4) PER 16" SPACE (at braced panels)	NAILS @ 8" OC (typical) (4) PER 16" SPACE (at braced panels)		
STUD TO SOLE PLATE	(4) TOE NAILS	(4) TOE NAILS		
TOP OR SOLE PLATE TO STUD	(3) FACE NAILS	(4) FACE NAILS		
RIM JOIST OR BAND JOIST TO TOP PLATE OR SILL PLATE	TOE NAILS @ 6" OC	TOE NAILS @ 4" OC		
BLOCKING BETWEEN JOISTS TO TOP PLATE OR SILL PLATE	(4) TOE NAILS	(4) TOE NAILS		
DOUBLE STUD	NAILS @ 8" OC	NAILS @ 8" OC		
DOUBLE TOP PLATES	NAILS @ 12" OC	NAILS @ 12" OC		
DOUBLE TOP PLATES LAP (24" MIN LAP LENGTH)	(12) NAILS IN LAPPED Area, ea side of Joint	(12) NAILS IN LAPPED Area, ea side of Joint		
TOP PLATE LAP AT CORNERS AND INTERSECTING WALLS	(3) FACE NAILS	(3) FACE NAILS		
OPEN-WEB TRUSS BOTTOM CHORD TO TOP PLATES OR SILL PLATE (PARALLEL TO WALL)	NAILS @ 6" OC	NAILS @ 4" OC		
BOTTOM CHORD OF TRUSS TO TOP PLATES OR SILL PLATE (PERPENDICULAR TO WALL)	(3) TOE NAILS	(3) TOE NAILS		

SEE <u>TABLE R602.3(1)</u> FOR ADDITIONAL STRUCTURAL-MEMBER FASTENING REQUIREMENTS.

DETAILS AND NOTES ON DRAWINGS GOVERN.

BALLOON WALL FRAMING SCHEDULE (USE THESE STANDARDS UNLESS NOTED OTHERWISE ON THE FRAMING PLAN SHEETS)

	MAX HEIGHT (PLATE TO PLATE)
FRAMING MEMBER SIZE	115 MPH ULTIMATE DESIGN WIND SPEED
2x4 @ 16" OC	10'-0"
2x4 @ 12" OC	12'-0"
	•
2x6 @ 16" OC	15'-0"
2x6 @ 12" OC	17'-9"
200 @ 12 00	17-9
0-0 @ 400 00	401.01
2x8 @ 16" OC	19'-0"
2x8 @ 12" OC	22'-0"
(2) 2x4 @ 16" OC	14'-6"
(2) 2x4 @ 12" OC	17'-0"
(2) 2x6 @ 16" OC	21'-6"
(2) 2x6 @ 12" OC	25'-0"
(2) 200 @ 12 00	20-0
(2) 2×8 @ 16" 00	27'-0"
(2) 2x8 @ 16" OC	
(2) 2x8 @ 12" OC	31'-0"

- a. ALL HEIGHTS ARE MEASURED SUBFLOOR TO TOP OF WALL PLATE.
- b. WHEN SPLIT-FRAMED WALLS ARE USED FOR HEIGHTS OVER 12', THE CONTRACTOR SHALL ADD 6' MINIMUM OF CS16 COIL STRAPPING (FULLY NAILED), CENTERED OVER THE WALL BREAK.
- c. FINGER-JOINTED MEMBERS MAY BE USED FOR CONTINUOUS HEIGHTS WHERE TRADITIONALLY MILLED LUMBER LENGTHS ARE LIMITED.
- d. FOR GREATER WIND SPEED, SEE ENGINEERED SOLUTION FOR CONDITION IN DRAWINGS.

ROOF SYSTEMS

TRUSSED ROOF - STRUCTURAL NOTES

- 1. PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
- 2. DENOTES OVER-FRAMED AREA
- 3. MINIMUM 7/16" OSB ROOF SHEATHING
- 4. TRUSS LAYOUT AND PLACEMENT BY MANUFACTURER TO COINCIDE WITH THE SUPPORT LOCATIONS SHOWN. TRUSS PROFILES SHALL BE SEALED BY THE TRUSS MANUFACTURER. TRUSS PLANS TO BE COORDINATED WITH THE SEALED STRUCTURAL DRAWINGS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- 5. MANUFACTURER TO PROVIDE REQUIRED UPLIFT CONNECTION.
- 6. PROVIDE H2.5A (MINIMUM) OR EQUIVALENT AT EACH TRUSS-TO-TOP PLATE CONNECTION AT OVER-FRAMED AREAS, UNLESS NOTED OTHERWISE.
- 7. UPLIFT CONNECTION TO BE CARRIED THROUGH TO FLOOR SYSTEM.

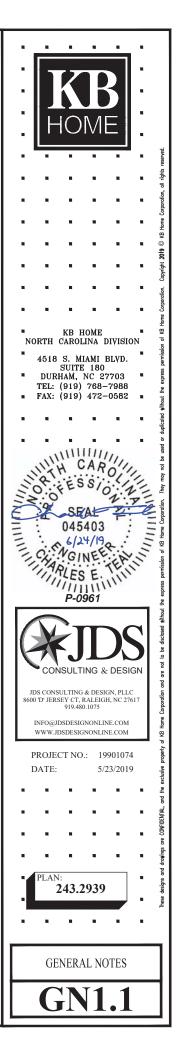
STICK-FRAMED ROOF - STRUCTURAL NOTES

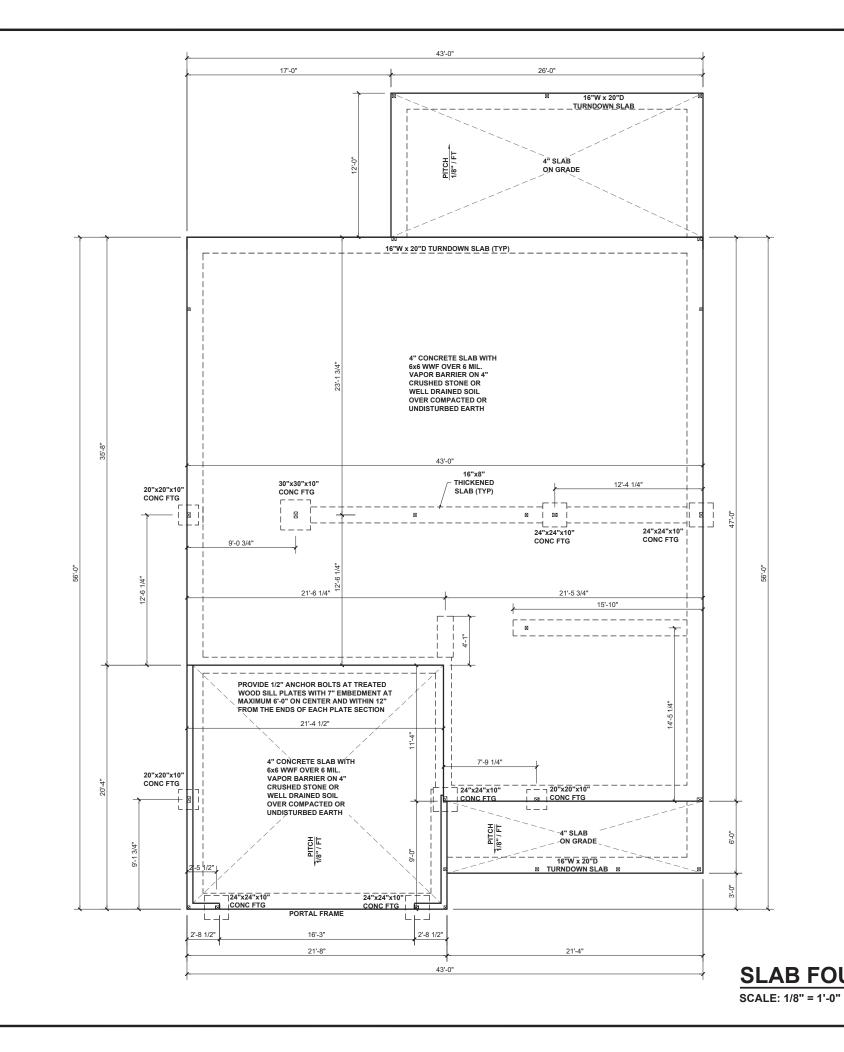
- 1. PROVIDE 2x4 COLLAR TIES AT 48" OC AT UPPER THIRD OF RAFTERS, UNLESS NOTED OTHERWISE.
- 2. FUR RIDGES FOR FULL RAFTER CONTACT.
- 3. PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
- 4. DENOTES OVER-FRAMED AREA
- 5. MINIMUM 7/16" OSB ROOF SHEATHING
- 6. PROVIDE 2x4 RAFTER TIES AT 16" OC AT 45° BETWEEN RAFTERS AND CEILING JOISTS. USE (4) 16d NAILS AT EACH CONNECTION. RAFTER TIES MAY BE SPACED AT 48" OC AT LOCATIONS WHERE NO KNEE WALLS ARE INSTALLED.
- 7. PROVIDE H2.5A (MINIMUM) OR EQUIVALENT AT EACH RAFTER-TO-TOP PLATE CONNECTION AT OVER-FRAMED AREAS, UNLESS NOTED OTHERWISE.
- 8. UPLIFT CONNECTION TO BE CARRIED THROUGH TO FLOOR SYSTEM.

BF	BRICK VENEER LINTEL SCHEDULE				
SPAN	STEEL ANGLE SIZE	END BEARING LENGTH			
UP TO 42"	L3-1/2"x3-1/2"x1/4"	8" (MIN. @ EACH END)			
UP TO 72"	L6"x4"x5/16"* (LLV)	8" (MIN. @ EACH END)			
OVER 72" L6"x4"x5/16"* (LLV) ATTACH LINTEL w/ 1/2" THRU BOLT @ 12" OC, 3" FROM EACH END					

* FOR QUEEN BRICK: LINTELS AT THIS CONDITION MAY BE 5"x3-1/2"x5/16"

NOTE: BRICK LINTELS AT SLOPED AREAS TO BE $4^{x}x^{3}-1/2^{x}x^{1/4^{u}}$ STEEL ANGLE WITH 16D NAILS IN 3/16" HOLES IN 4" ANGLE LEG AT 12" OC TO TRIPLE RAFTER. WHEN THE SLOPE EXCEEDS 4:12 A MINIMUM OF 3"x3"x1/4" PLATES SHALL BE WELDED AT 24" OC ALONG THE STEEL ANGLE.





BEAM & POINT LOAD LEGEND

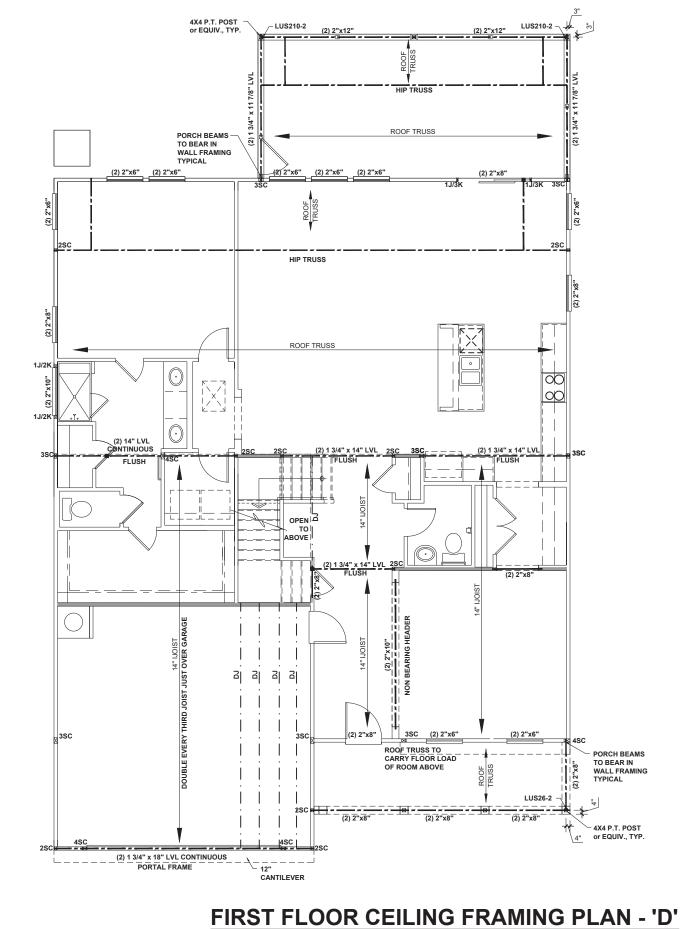
	INTERIOR LOAD BEARING WALL
	ROOF RAFTER / TRUSS SUPPORT
- · - · - · -	DOUBLE RAFTER / DOUBLE JOIST
	STRUCTURAL BEAM / GIRDER
	WINDOW / DOOR HEADER
	POINT LOAD TRANSFER
	POINT LOAD FROM ABOVE
	BEARING ON BEAM / GIRDER

(1) #5 REBAR @ CENTER OFF ALL PERIMETER AND INTERNAL LOAD BEARING FOOTINGS. (2" C.C. MIN)

. кв номе NORTH CAROLINA DIVISION 4518 S. MIAMI BLVD. SUITE 180 DURHAM, NC 27703 TEL: (919) 768-7988 FAX: (919) 472-0582 11111111111 CARO sion. CONSULTING & DESIGN JDS CONSULTING & DESIGN, PLLC 8600 'D' JERSEY CT, RALEIGH, NC 27617 919.480.1075 INFO@JDSDESIGNONLINE.COM WWW.JDSDESIGNONLINE.COM PROJECT NO.: 19901074 5/23/2019 DATE: . . PLAN 243.2939 SLAB FOUNDATION PLAN **S.10D**

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SLAB FOUNDATION PLAN - 'D'



SCALE: 1/8"=1'-0"

BEAM & POINT LOAD LEGEND. Interior Load BEARING WALL ROOF RAFTER / TRUSS SUPPORT Image: Structural BEAM / GIRDER WINDOW / DOOR HEADER POINT LOAD TRANSFER POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER STRUCTURAL FRAMING NOTES - (SEE GENERAL NOTES SHEET FOR ADDITIONAL REQUIREMENTS.) 1. ALL FRAMING TO BE #2 SPF MINIMUM. 2. ALL BEARING HEADERS TO BE (2) 2x6 SUPPORTED w/ MIN (1) JACK AND (1) KING EACH END, UNO. 3. EXTERCR WALL OPENINGS OVER 3' TO HAVE MULTIPLE KING STUDS AS NOTED ON PLAN. 4. ALL NON-BEARING HEADERS TO BE (2) 2x4 (1) J / (1) K, UNO. 5. PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS. 6. ALL HANGERS AND CONNECTORS SPECIFIED ARE TO BE SIMPSON STRONG-TIE OR EQUIVALENT. 7. ALL BEAMS SPECIFIED ARE MINIMUM SIZES ONLY. LARGER MEMBERS MAY SUBSTITUTED AS NEEDED FOR EASE OF CONSTRUCTION. MINIMUM BEAM SUPPORT IS (1) 2x4 STUD. 8. ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH 7/16" OSB. 9. FRONT PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT TOP AND BOTTOM USING SIMPSON (OR EQUIV) COLUMN BASE OR SST A24 BRACKETS. TRIM OUT FER BUILDER.	BEAM & POINT LOAD LEGEND
NOTES SHEET FOR ADDITIONAL REQUIREMENTS.) 1. ALL FRAMING TO BE #2 SPF MINIMUM. 2. ALL BEARING HEADERS TO BE (2) 2x6 SUPPORTED w/ MIN (1) JACK AND (1) KING EACH END, UNO. 3. EXTERIOR WALL OPENINGS OVER 3' TO HAVE MULTIPLE KING STUDS AS NOTED ON PLAN. 4. ALL NON-BEARING HEADERS TO BE (2) 2x4 (1) J / (1) K, UNO. 5. PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS. 6. ALL HANGERS AND CONNECTORS SPECIFIED ARE TO BE SIMPSON STRONG-TIE OR EQUIVALENT. 7. ALL BEAMS SPECIFIED ARE MINIMUM SIZES ONLY. LARGER MEMBERS MAY SUBSTITUTED AS NEEDED FOR EASE OF CONSTRUCTION. MINIMUM BEAM SUPPORT IS (1) 2x4 STUD. 8. ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH 7/16" OSB. 9. FRONT PORCH COLUMNS TO BE MIN MAX PT ATTACHED AT TOP AND BOTTOM USING SIMPSON (OR EQUIV) COLUMN BASE OR SST A24	INTERIOR LOAD BEARING WALL ROOF RAFTER / TRUSS SUPPORT DOUBLE RAFTER / DOUBLE JOIST STRUCTURAL BEAM / GIRDER WINDOW / DOOR HEADER POINT LOAD TRANSFER POINT LOAD FROM ABOVE
 10. PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT BOTTOM USING SIMPSON (OR EQUIV) ABA44 AND AT TOP USING CS 16 STRAPPING (12" MIN) TO PORCH HEADER / BAND. 11. WHEN A 4-PLY LVL IS USED, ATTACH WITH (1) 12" Ø BOLT 12" OC STAGGERED, TOP AND BOTTOM, 1-1/2" MIN FROM ENDS. ALTERNATE ATTACHMENT EQUIVALENT METHOD MAY BE USED, SUCH AS SOW OR TRUSSLOK SCREWS (SEE MANUFACTURER'S SPECIFICATIONS). 12. FOR STUD COLUMNS OF 4 OR MORE, INSTALL SST CS16 STRAPS @ 30° OC, 6" MAX FROM PLATES, ON INSIDE FACE OF COLUMN (INTERIOR WALL). 1-JOIST SPACING NOT TO EXCEED 19.2" OC IN LOCATIONS WITH TILE FINISH FLOOR ALL FLUSH BEAMS TO BE DIRECTLY SUPPORTED BY (2) 2X_ STUDS UNLESS OTHERWISE NOTED. STUD COLUMNS TO BE SUPPORTED BY SOLID BLOCKING TO FOUNDATION OR TO BEARING COMPONENT BELOW. **REFER TO 1-JOIST EQUIVALENCE CHART ON 1-JOIST DETAIL SHEET FOR SUBSTITUTION OF MANUFACTURER SERIES FLOOR FRAMING TO BE 14" DEEP TJI 210 SERIES OR EQUAL, 19.2" OC MAXIMUM SPACING, U.N.O. 	NOTES SHEET FOR ADDITIONAL REQUIREMENTS.) 1. ALL FRAMING TO BE #2 SPF MINIMUM. 2. ALL BEARING HEADERS TO BE (2) 2x6 SUPPORTED W/ MIN (1) JACK AND (1) KING EACH END, UNO. 3. EXTERIOR WALL OPENINGS OVER 3' TO HAVE MULTIPLE KING STUDS AS NOTED ON PLAN. 4. ALL NON-BEARING HEADERS TO BE (2) 2x4 (1) J/ (1) K, UNO. 5. PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS. 6. ALL HANGERS AND CONNECTORS SPECIFIED ARE TO BE SIMPSON STRONG-TIE OR EQUIVALENT. 7. ALL BEAMS SPECIFIED ARE MINIMUM SIZES ONLY. LARGER MEMBERS MAY SUBSTITUTED AS NEEDED FOR EASE OF CONSTRUCTION. MINIMUM BEAM SUPPORT IS (1) 2x4 STUD. 8. ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH 7/16" OSB. 9. FRONT PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT TOP AND BOTTOM USING SIMPSON (OR EQUIV) COLUMN BASE OR SST A24 BRACKETS. TRIM OUT PER BUILDER. 10. PORCH COLUMNS TO BE MIN 4x4 PT ATTOP USING SIMPSON (OR EQUIV) ABA44 AND AT TOP USING SI & STRAPPING (12" MIN) TO PORCH HEADER / BAND. 11. WHEN A 4-PLY LVL IS USED, ATTACH WITH (1) 1/2" Ø BOLT 12" OC STAGGERED, TOP AND BOTTOM, 1.1/2" MIN FROM ENDS. ALTERNATE ATTACHMENT EQUIVALENT METHOD MAY BE USED, SUCH AS SDW OR TRUSSLOK SCREWS (SEE MANUFACTURER'S SPECIFICATIONS). 12. FOR STUD COLUMNS OF 4 OR MORE, INSTALL SST CS16 STRAPS @ 30" OC, 6" MAX FROM PLATES, ON INSIDE FACE OF COLUMN (EXTERIOR WALL). 11. JOIST SPACING NOT TO EXCEED 19.2" OC IN LOCATIONS WITH TILE FINISH FLOOR 12. FOR STUD COLUMNS OF BE DIRECTLY SUPPORTED BY (2) 2X_ STUDS UNLESS OTHERWISE NOTED. STUD COLUMNS TO BE SUPPORTED BY SOLID BLOCKING TO FOUNDATION OR TO BEARING COMPONENT BELOW. 14. PLOST TO I-JOIST EQUIVALENCE CHART ON I-JOIST EQUIVALEN

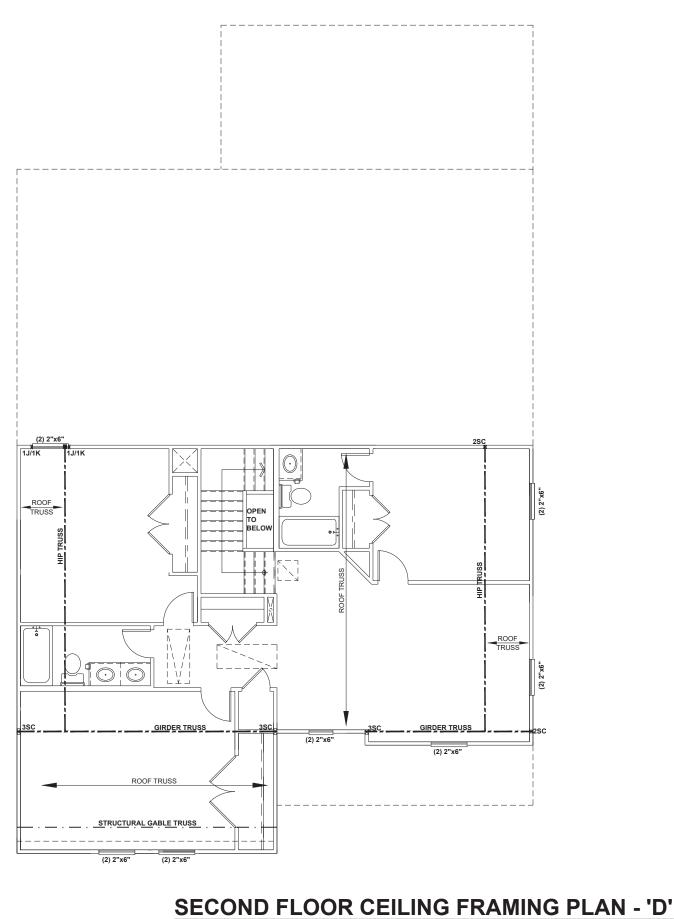
LAN

243.2939

FIRST FLOOR CEILING FRAMING PLAN

S1.0D

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SCALE: 1/8" = 1'-0"

BEAM & POINT LOAD LEGEND

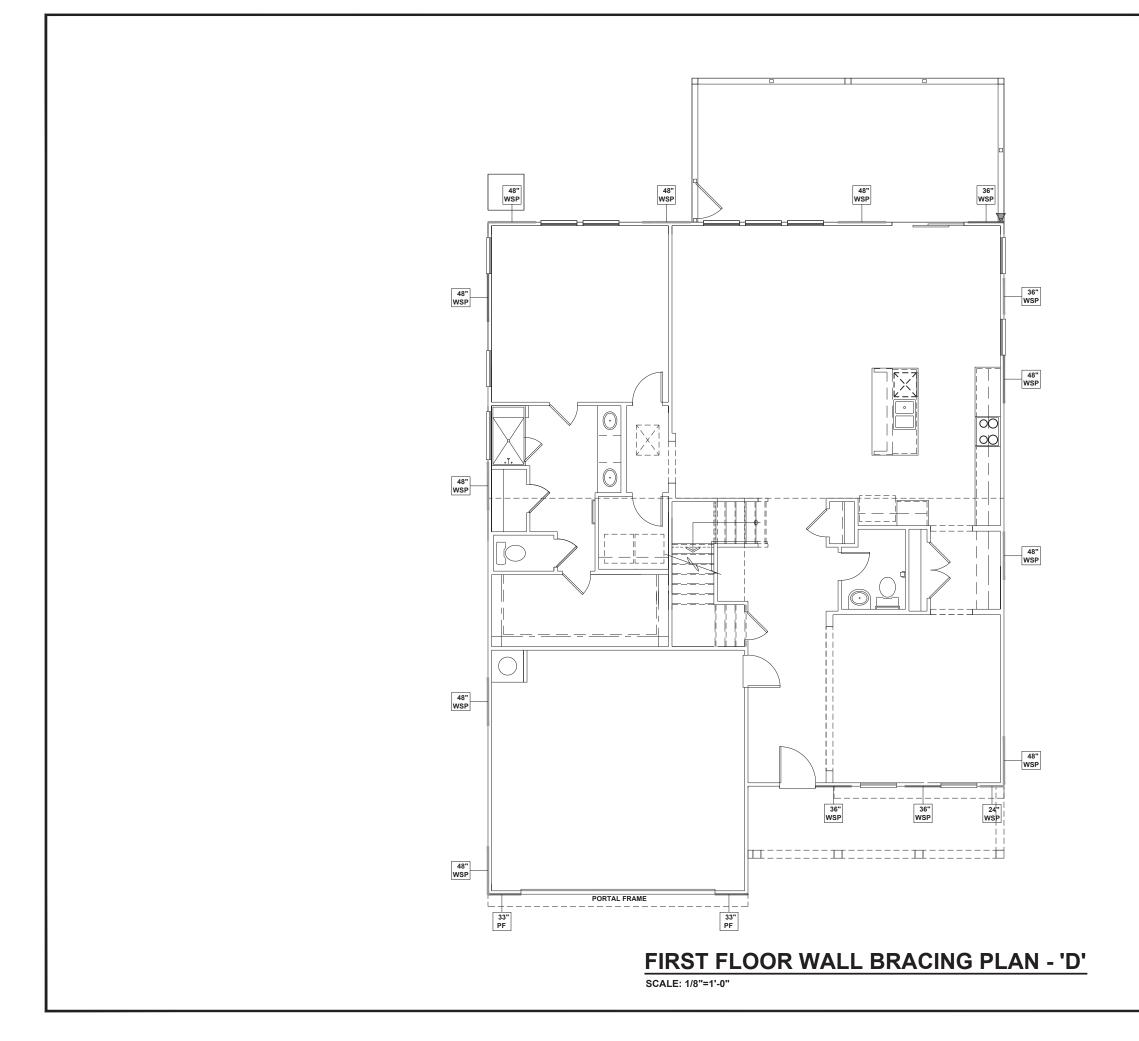
	INTERIOR LOAD BEARING WALL
	ROOF RAFTER / TRUSS SUPPORT
	DOUBLE RAFTER / DOUBLE JOIST
	STRUCTURAL BEAM / GIRDER
	WINDOW / DOOR HEADER
	POINT LOAD TRANSFER
-	POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER

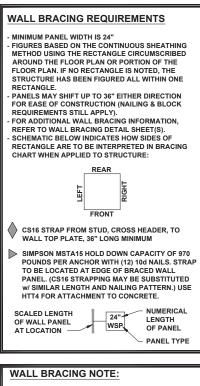
STRUCTURAL FRAMING NOTES - (SEE GENERAL NOTES SHEET FOR ADDITIONAL REQUIREMENTS.)

- 1. ALL FRAMING TO BE #2 SPF MINIMUM.
- ALL BEARING HEADERS TO BE (2) 2x6 SUPPORTED w/ MIN (1) JACK AND (1) KING EACH END, UNO.
- 3. EXTERIOR WALL OPENINGS OVER 3' TO HAVE MULTIPLE KING STUDS AS NOTED ON PLAN.
- 4. ALL NON-BEARING HEADERS TO BE (2) 2x4 (1) J / (1) K, UNO.
- 5. PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
- 6. ALL HANGERS AND CONNECTORS SPECIFIED ARE TO BE SIMPSON STRONG-TIE OR EQUIVALENT.
- 7. ALL BEAMS SPECIFIED ARE MINIMUM SIZES ONLY. LARGER MEMBERS MAY SUBSTITUTED AS NEEDED FOR EASE OF CONSTRUCTION. MINIMUM BEAM SUPPORT IS (1) 2x4 STUD.
- 8. ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH 7/16" OSB.
- 9. FRONT PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT TOP AND BOTTOM USING SIMPSON (OR EQUIV) COLUMN BASE OR SST A24 BRACKETS. TRIM OUT PER BUILDER.
- 10. PORCH COLUMNS TO BE MIN 4x4 PT ATTACHED AT BOTTOM USING SIMPSON (OR EQUIV) ABA44 AND AT TOP USING CS 16 STRAPPING (12" MIN) TO PORCH HEADER / BAND.
- 11. WHEN A 4-PLY LVL IS USED, ATTACH WITH (1) 1/2" Ø BOLT 12" OC STAGGERED, TOP AND BOTTOM, 1-1/2" MIN FROM ENDS. ALTERNATE ATTACHMENT EQUIVALENT METHOD MAY BE USED, SUCH AS SDW OR TRUSSLOK SCREWS (SEE MANUFACTURER'S SPECIFICATIONS).
- 12. FOR STUD COLUMNS OF 4 OR MORE, INSTALL SST C\$16 STRAPS @ 30" OC, 6" MAX FROM PLATES, ON INSIDE FACE OF COLUMN (EXTERIOR WALL), ON BOTH FACES OF COLUMN (INTERIOR WALL).

ALL FLUSH BEAMS TO BE DIRECTLY SUPPORTED BY (2) 2X_STUDS UNLESS OTHERWISE NOTED. STUD COLUMNS TO BE SUPPORTED BY SOLID BLOCKING TO FOUNDATION OR TO BEARING COMPONENT BELOW.



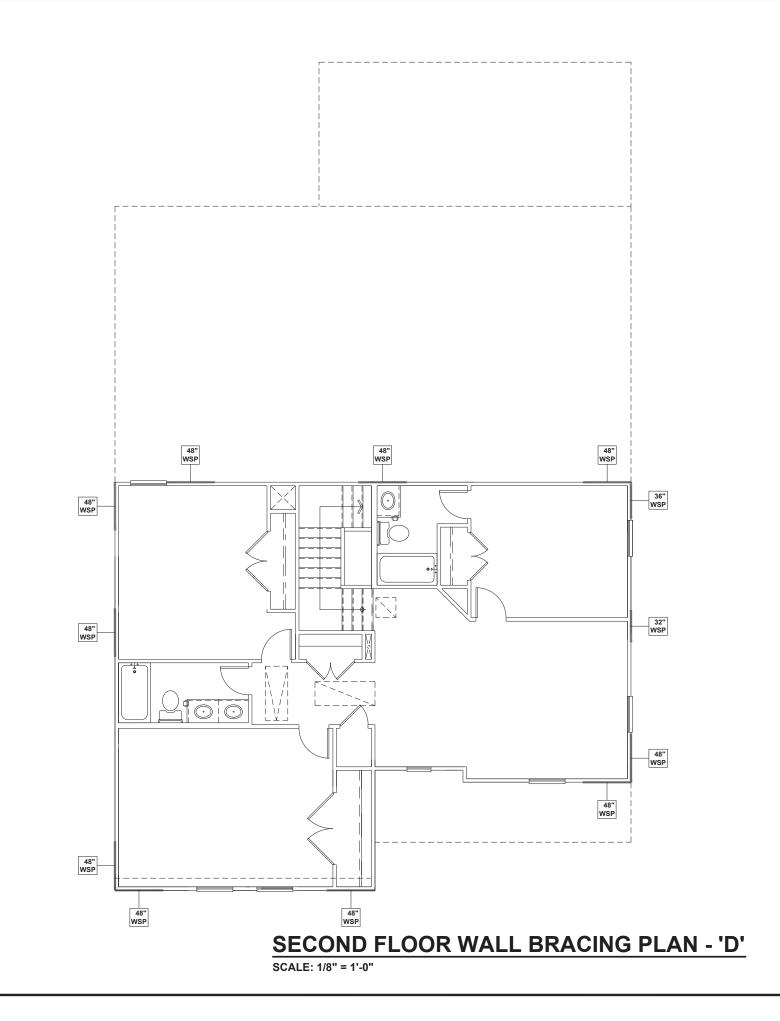


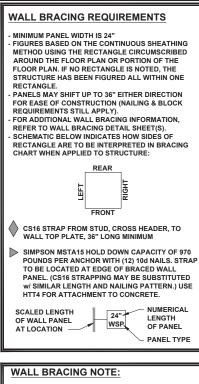


WALLS WITH REQUIRED LENGTH LISTED AS "N/A" DO NOT MEET THE REQUIREMENTS OF PRESCRIPTIVE WALL BRACING FOUND IN THE NACT. THESE WALLS HAVE BEEN ENGINEERED BASED ON DESIGN GUIDELINES ESTABLISHED IN ASCE-07 AND THE NDS: WIND & SEISMIC PROVISIONS SUPPLEMENT.

WALL BRACING: RECTANGLE 1					
REQUIRED LENGTH	PROVIDED LENGTH				
15.0 FT.	16.25 FT.				
11.0 FT.	15.0 FT.				
15.0 FT.	15.0 FT.				
11.0 FT.	16.0 FT.				
	REQUIRED LENGTH 15.0 FT. 11.0 FT. 15.0 FT.				

KB HOME NORTH CAROLINA DIVISION 4518 S. MIAMI BLVD. SUITE 180 DURHAM, NC 27703 TEL: (919) 768-7988 FAX: (919) 472-0582 1111111111 CARO 02 SEAL CONSULTING & DESIGN JDS CONSULTING & DESIGN, PLLC 8600 'D' JERSEY CT, RALEIGH, NC 27617 919.480.1075 INFO@JDSDESIGNONLINE.COM WWW.JDSDESIGNONLINE.COM PROJECT NO.: 19901074 5/23/2019 DATE: LAN 243.2939 FIRST FLOOR WALL BRACING PLAN **S4.0D**

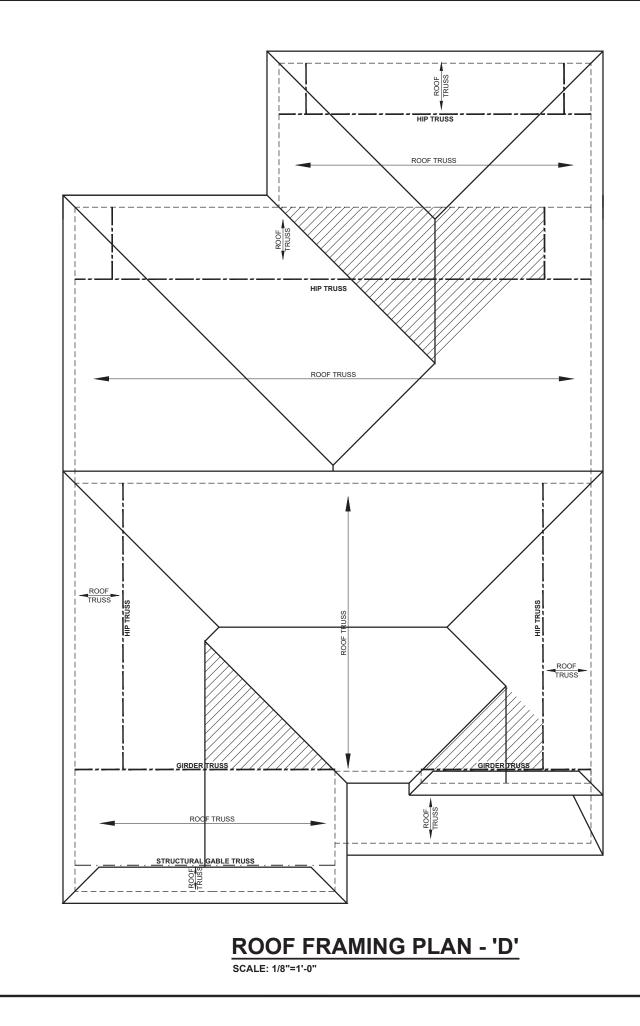




WALLS WITH REQUIRED LENGTH LISTED AS "N/A" DO NOT MEET THE REQUIREMENTS OF PRESCRIPTIVE WALL BRACING FOUND IN THE NCRC. THESE WALLS HAVE BEEN ENGINEERED BASED ON DESIGN GUIDELINES ESTABLISHED IN ASCE-07 AND THE NDS: WIND & SEISMIC PROVISIONS SUPPLEMENT.

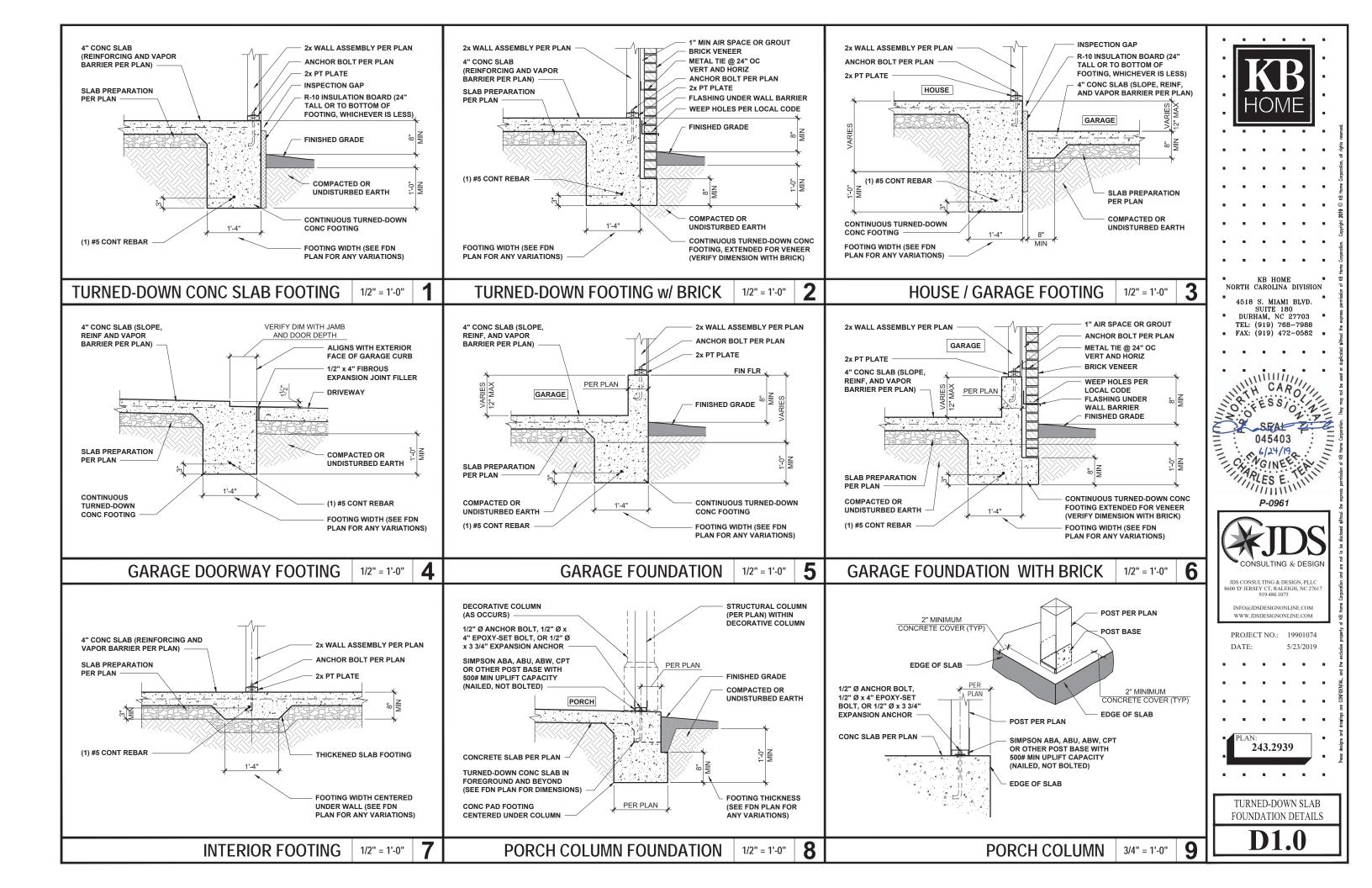
WALL BRACING: RECTANGLE 1					
SIDE	REQUIRED LENGTH	PROVIDED LENGTH			
FRONT	4.5 FT. 12.0 F				
RIGHT	5.5 FT.	9.66 FT.			
REAR	4.5 FT.	12.0 FT.			
LEFT	5.5 FT.	12.0 FT.			

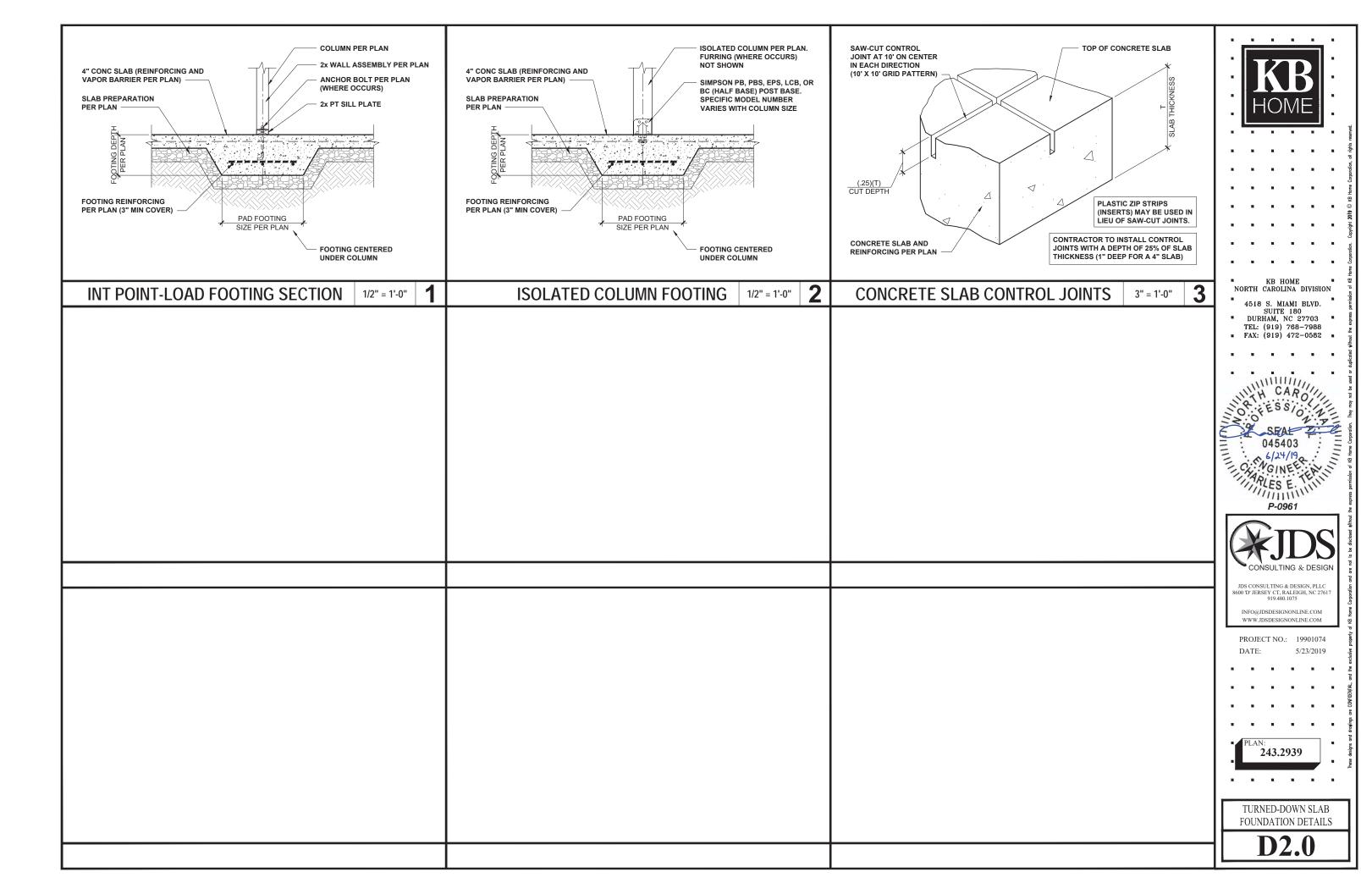


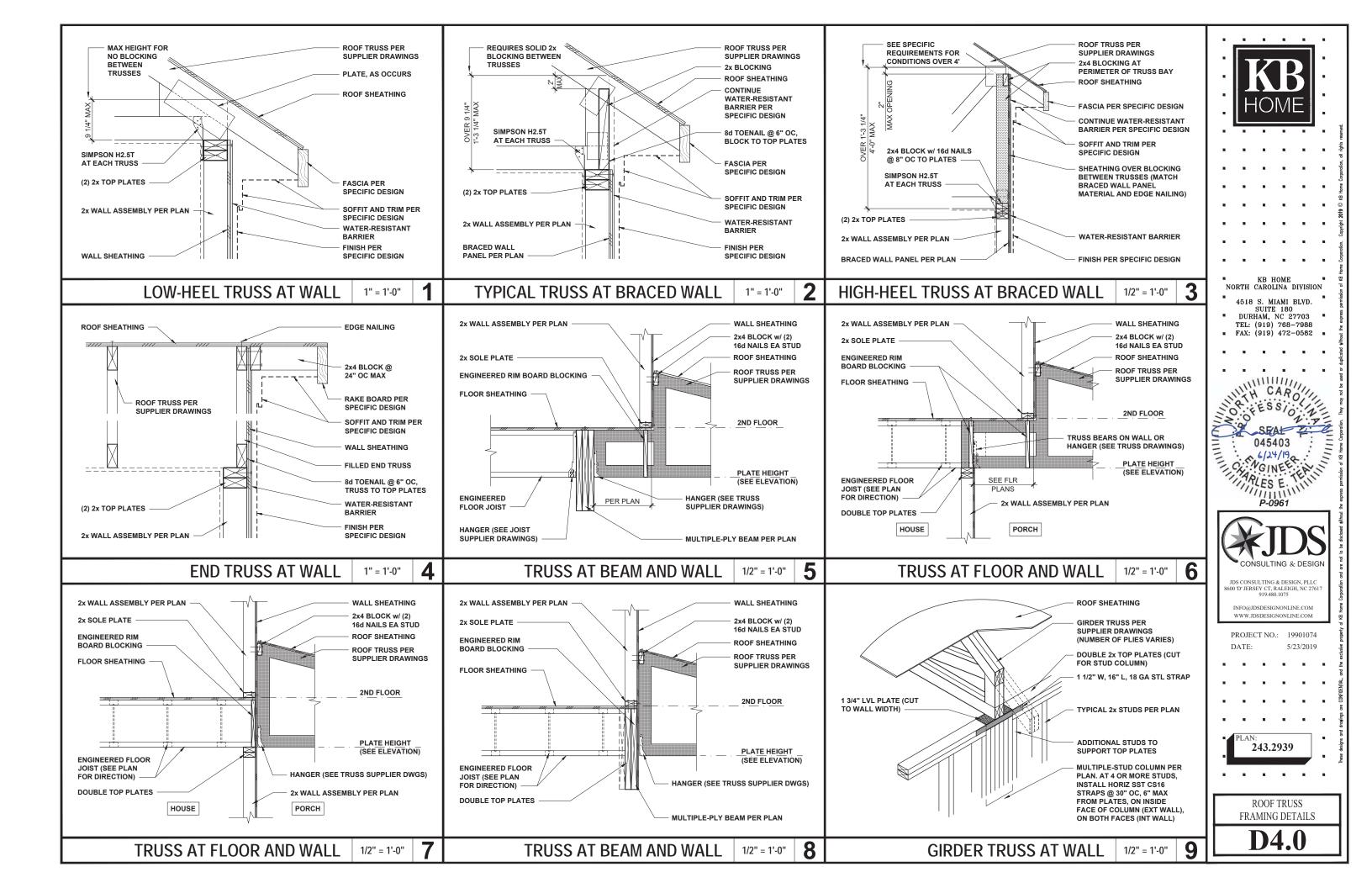


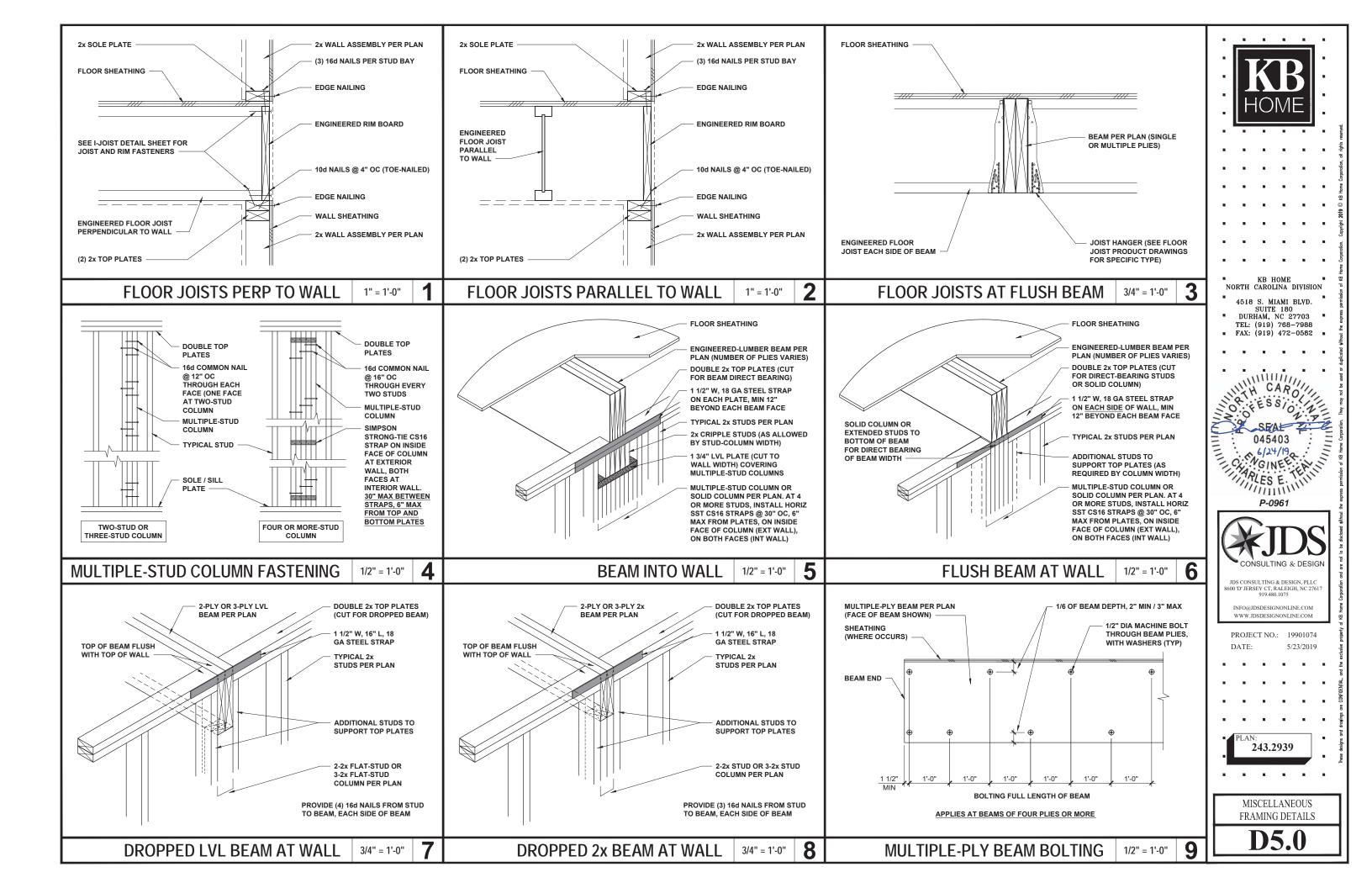
BEAM & POINT LOAD LEGEND INTERIOR LOAD BEARING WALL ROOF RAFTER / TRUSS SUPPORT DOUBLE RAFTER / DOUBLE JOIST STRUCTURAL BEAM / GIRDER WINDOW / DOOR HEADER POINT LOAD TRANSFER POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER	
 STRUCTURE FOR ALL POINT LOADS. DENOTES OVER-FRAMED AREA MINIMUM 7/16" OSB ROOF SHEATHING TRUSS LAYOUT AND PLACEMENT BY MANUFACTURER TO COINCIDE WITH THE SUPPORT LOCATIONS SHOWN. TRUSS PROFILES SHALL BE SEALED BY THE TRUSS MANUFACTURER. TRUSS PLANS TO BE COORDINATED WITH THE SEALED STRUCTURAL DRAWINGS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. MANUFACTURER TO PROVIDE REQUIRED UPLIFT CONNECTION. PROVIDE H2.5A (MINIMUM) OR EQUIVALENT AT EACH TRUSS-TO-TOP PLATE CONNECTION AT OVER-FRAMED AREAS, UNLESS NOTED OTHERWISE. UPLIFT CONNECTION TO BE CARRIED THROUGH TO FLOOR SYSTEM. 	KB HOME NORTH CAROLINA DIVISION 4518 S. MIAMI BLYD. SUITE 180 DURHAM, NC 27703 TEL: (919) 768-7988 FAX: (919) 472-0582
ATTIC VENTILATION THE TOTAL NET-FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE ATTIC SPACE TO BE VENTILATED. THE TOTAL VENTILATION MAY BE REDUCED TO 1/300 PROVIDED AT LEAST 50% BUT NOT MORE THAN 80% OF THE REQUIRED VENTILATION BE LOCATED IN THE UPPER PORTION OF THE AREA TO BE VENTILATED, OR AT LEAST 3' ABOVE THE SOFFIT VENTILATION INTAKE.	045403 0,54
TRUSS UPLIFT CONNECTORS: EXPOSURE B, 115 MPH, ANY PITCH, 24" O.C. MAX ROOF TRUSS SPACING TRUSSES SHALL BE ATTACHED TO SUPPORT WALL FOR UPLIFT RESISTANCE. CONTINUOUS OB WALL SHEATHING BELOW PROVIDES CONTINUOUS UPLIFT RESISTANCE TO FOUNDATION. ALL TRUSSES SUPPORTED BY INTERMEDIATE SUPPORT WALLS, KNEEWALLS, OR BEAMS SHALL BE ATTACHED TO SUPPORTING MEMBER PER SCHEDULE: ROOF SPAN IS MEASURED HORIZONTALLY BETWEEN FURTHEST SUPPORT POINTS. ROOF PLAN UP TO 28' CONNECTOR NAILING PER TABLE 602.3(1) NCRBC 2018 EDITION OVER 28' (1) SIMPSON H2.5A HURRICANE CLIP TO DBL TOP PLATE OR BEAM OR (1) SIMPSON H3 CLIP TO SINGLE 2X4 PLATE	CONSULTING & DESIGN JDS CONSULTING & DESIGN, PILC 8600 DJ JERSEY CT, RALEIGH, NC 27617 919.480.1075 INFO@JDSDESIGNONLINE.COM WW.JDSDESIGNONLINE.COM PROJECT NO.: 19901074 DATE: 5/23/2019
	ROOF FRAMING PLAN

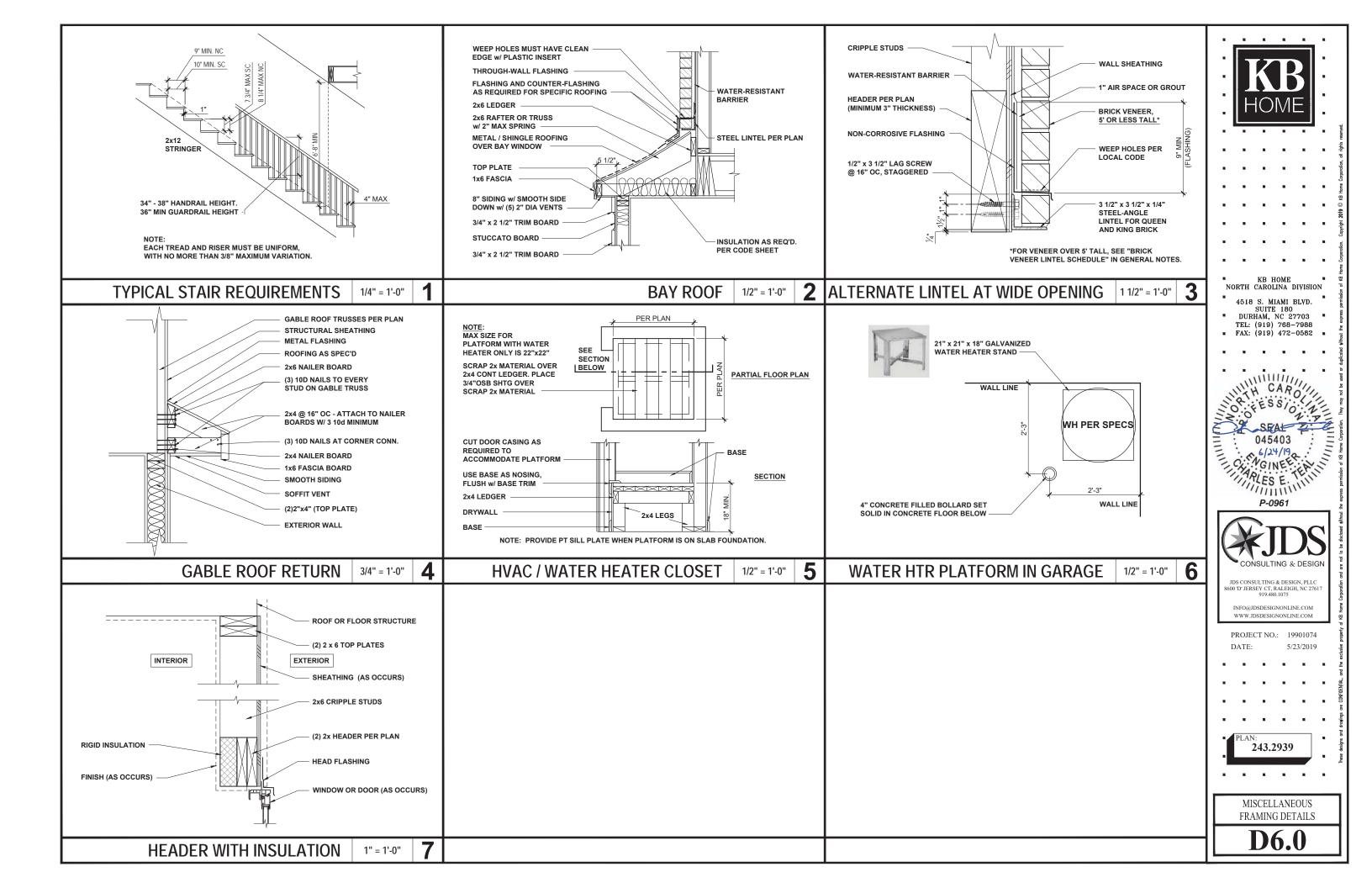
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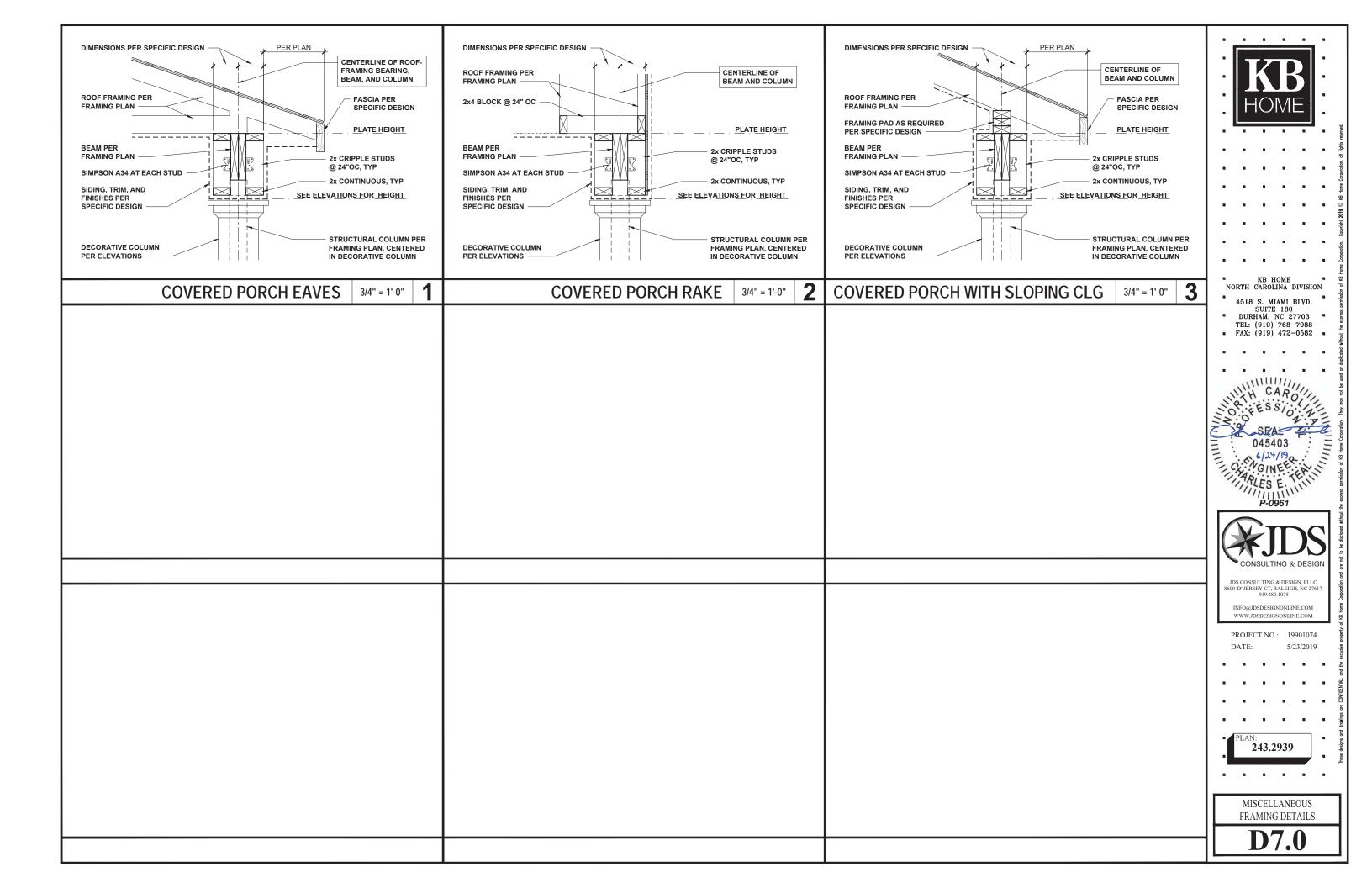


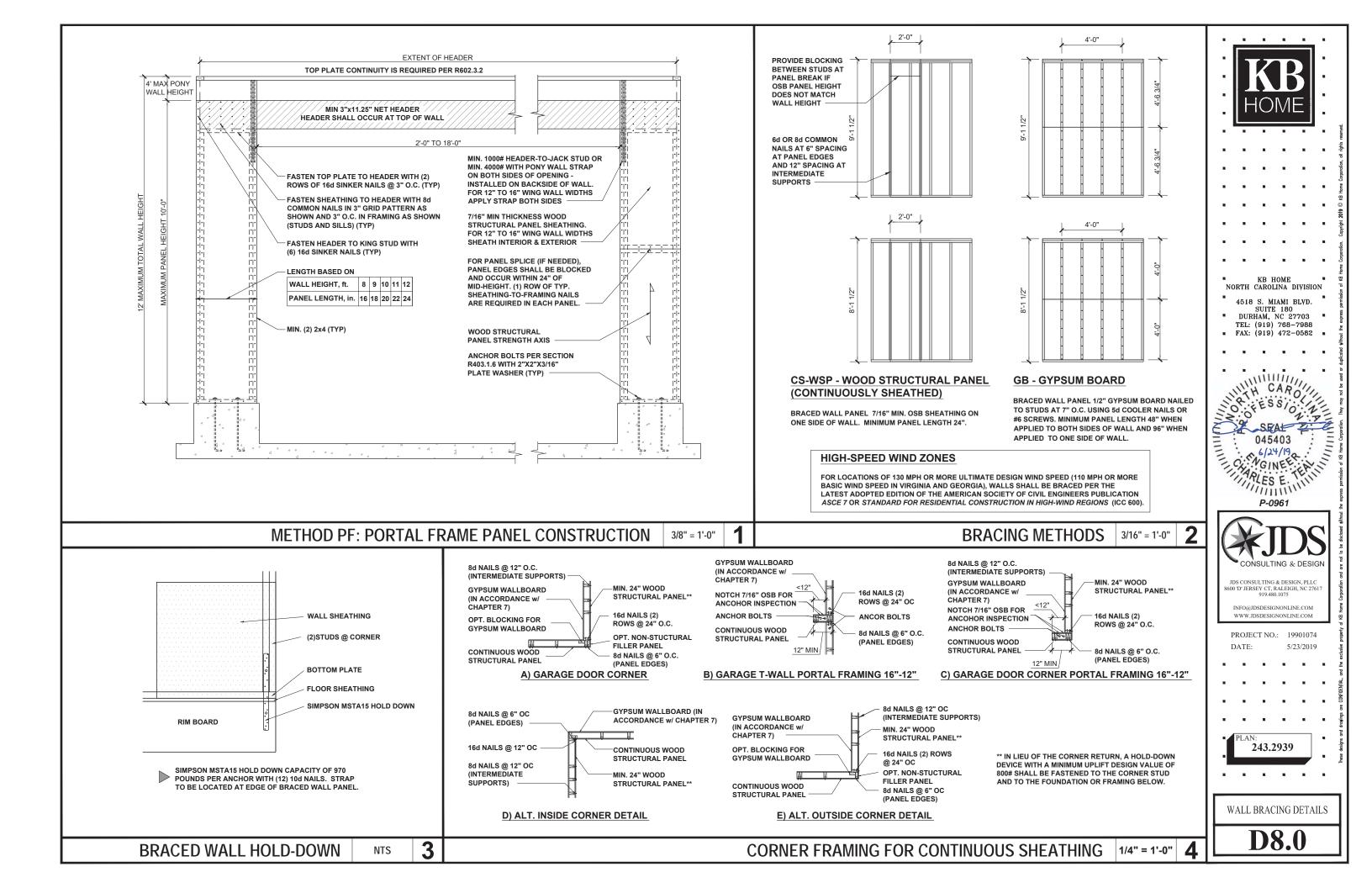


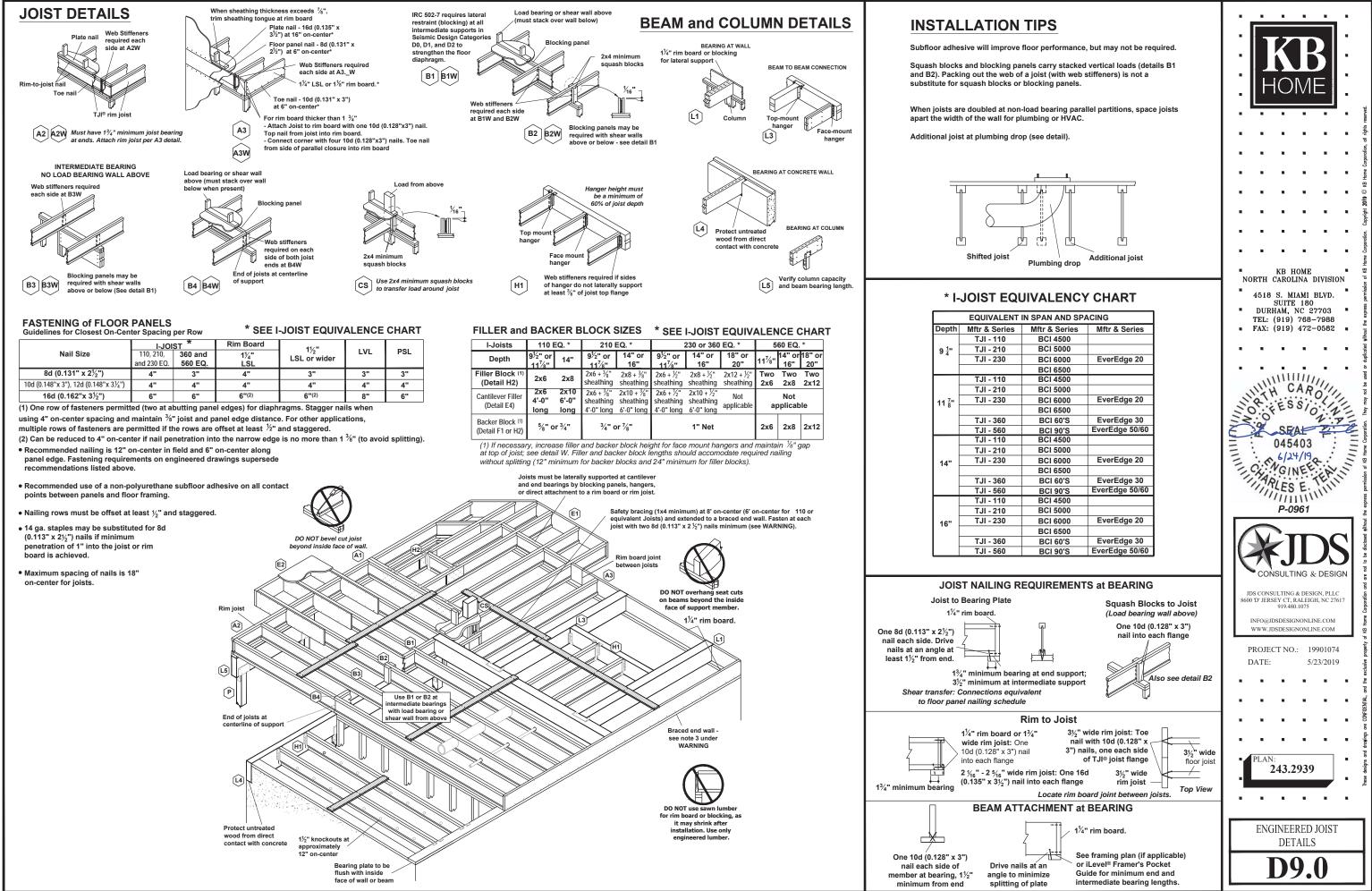






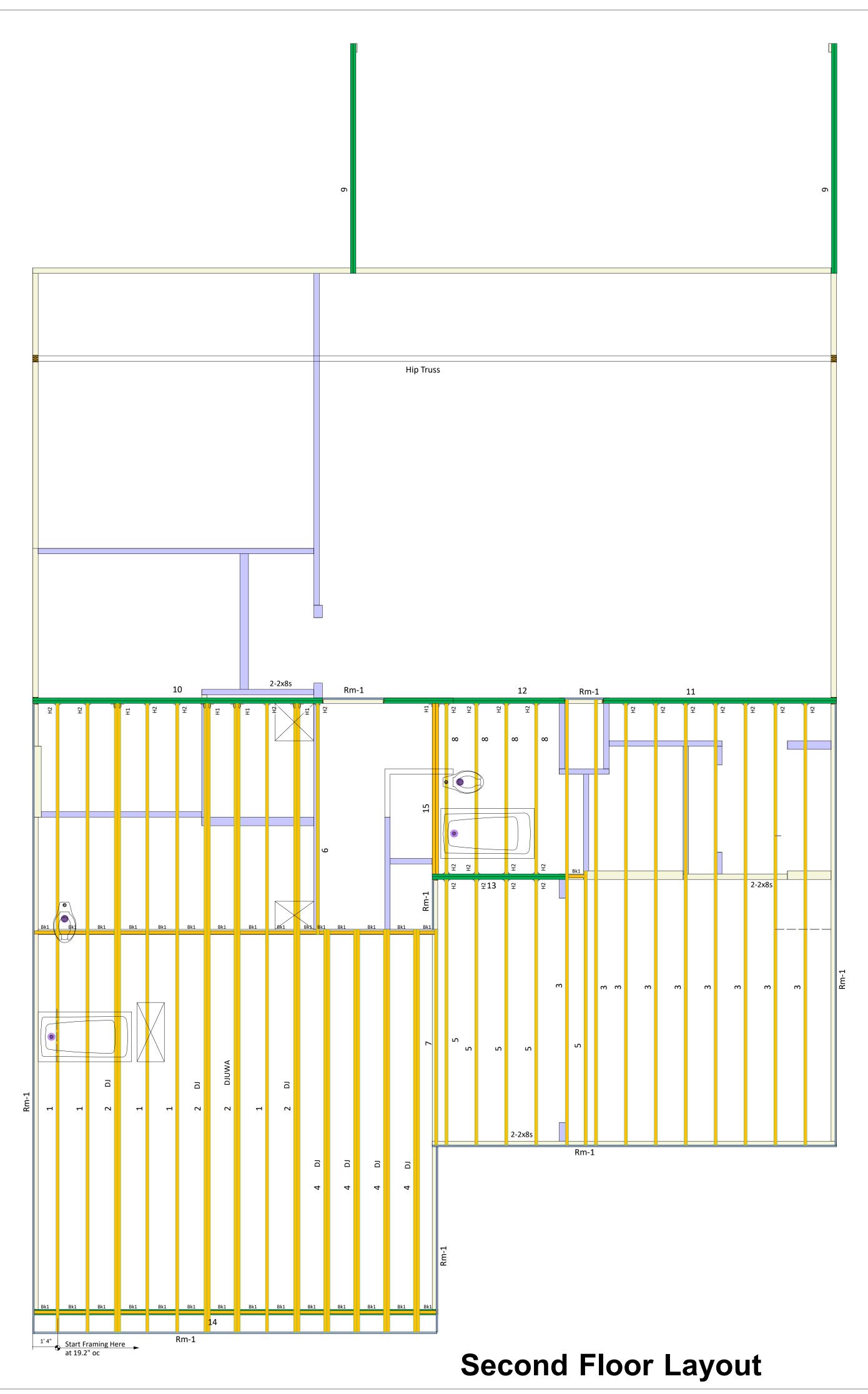






NT IN SPAN AND SPACING					
s	Mftr & Series	Mftr & Series			
	BCI 4500				
	BCI 5000				
	BCI 6000	EverEdge 20			
	BCI 6500				
	BCI 4500				
	BCI 5000				
	BCI 6000	EverEdge 20			
	BCI 6500				
	BCI 60'S	EverEdge 30			
	BCI 90'S	EverEdge 50/60			
	BCI 4500				
	BCI 5000				
	BCI 6000	EverEdge 20			
	BCI 6500				
	BCI 60'S	EverEdge 30			
	BCI 90'S	EverEdge 50/60			
	BCI 4500				
	BCI 5000				
	BCI 6000	EverEdge 20			
	BCI 6500				
	BCI 60'S	EverEdge 30			
	BCI 90'S	EverEdge 50/60			

All I-Joist and Versa-Lam Beams Must be Installed per The Boise Cascade Installation Guide!



Squash Blocks Required Under The Ends Of All LVL And Point Loads For Load Transfer - See Details

PlotID	Net Qty	Product	Length	Plies
1	5	14" BCI® 5000s-1.8	34' 0"	1
2	8	14" BCI® 5000s-1.8	34' 0"	2
3	9	14" BCI® 5000s-1.8	24' 0"	1
4	8	14" BCI® 5000s-1.8	22' 0"	2
5	5	14" BCI® 5000s-1.8	15' 0"	1
6	1	14" BCI® 5000s-1.8	13' 0"	1
7	1	14" BCI® 5000s-1.8	12' 0"	1
8	4	14" BCI® 5000s-1.8	10' 0"	1
9	4	1-3/4" x 11-7/8" VERSA-LAM® 2.0 3100 SP	14' 0"	2
10	2	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	16' 0"	2
11	2	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	14' 0"	2
12	2	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	10' 0"	2
13	2	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	8' 0"	2
14	2	1-3/4" x 18" VERSA-LAM® 2.0 3100 SP	22' 0"	2
15	2	14" BCI® 5000s-1.8	10' 0"	2
Rm-1	10	1" x 14" BC RIM BOARD OSB	12' 0"	1
Bk1	19	14" BCI [®] 5000s-1.8	2' 0"	1

PlotID	Net Qty	Product	Length	Plies
1	5	14" BCI® 5000s-1.8	34' 0"	1
2	8	14" BCI® 5000s-1.8	34' 0"	2
3	9	14" BCI® 5000s-1.8	24' 0"	1
4	8	14" BCI® 5000s-1.8	22' 0"	2
5	5	14" BCI® 5000s-1.8	15' 0"	1
6	1	14" BCI® 5000s-1.8	13' 0"	1
7	1	14" BCI® 5000s-1.8	12' 0"	1
8	4	14" BCI® 5000s-1.8	10' 0"	1
9	4	1-3/4" x 11-7/8" VERSA-LAM® 2.0 3100 SP	14' 0"	2
10	2	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	16' 0"	2
11	2	1-3/4" x 14" VERSA-LAM [®] 2.0 3100 SP	14' 0"	2
12	2	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	10' 0"	2
13	2	1-3/4" x 14" VERSA-LAM [®] 2.0 3100 SP	8' 0"	2
14	2	1-3/4" x 18" VERSA-LAM [®] 2.0 3100 SP	22' 0"	2
15	2	14" BCI® 5000s-1.8	10' 0"	2
Rm-1	10	1" x 14" BC RIM BOARD OSB	12' 0"	1
Bk1	19	14" BCI® 5000s-1.8	2' 0"	1

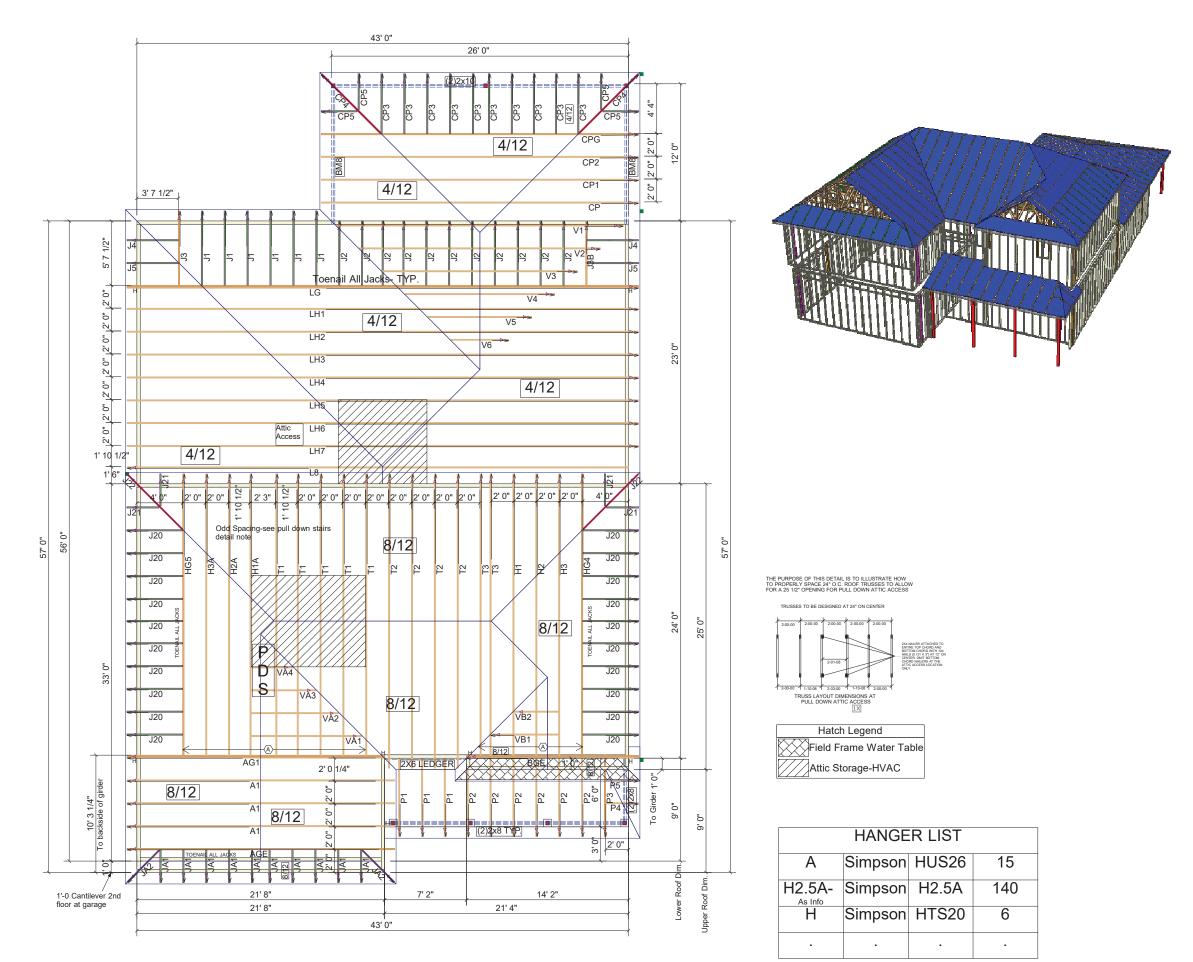
	-	1 3/4	
15	2	14" B(CI® 5000s-1.8
Rm-1	10	1" x 14	4" BC RIM BOAR
Bk1	19	14" B0	CI® 5000s-1.8
Connector Summary			ary
PlotID	Qty	Manuf	Product
H1	5	Simpson	HU4.12/11
H2	25	Simpson	IUS 2.06/14



KB Homes 2939 64 Mason Pointe

ALL DIMENSIONS AND CONDITIONS TO BE REVIEWED AND APPROVED BY BOTH THE CONTRACTOR AND THE ENGINEER OF RECORD PRIOR TO INSTALLATION







DEDICATED TO QUALITY AND EXCELLENCE 200 EMMETT ROAD DUNN, NORTH CAROLINA 28334 PHONE: 910-892-8400 FAX: 910-892-8384

