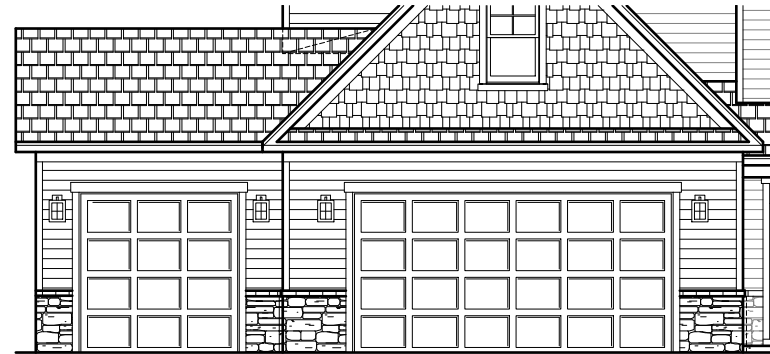




Approved

button 05/15/2019

Lot 304 - Oakmont Estates



OPT. 3RD CAR GARAGE ELEVATION CLASSIC (SHOWN)



ELEVATION - CLASSIC



Scales UNO: 22X34: 1/4"=1'-0" 11X17: 1/8"=1'-0"

OWNER / CONTRACTOR NOTES:

- 1. THE SEALING OF THIS PLAN FOR A LOT SPECIFIC ISSUE... 2. THE SEALING OF THIS PLAN FOR A MASTER PLAN SET ISSUE... 3. CONSTRUCTION DEVIATING FROM THESE PLANS WILL INVALIDATE THEIR PLANS REVIEW PERMITTED USE... 4. DO NOT SCALE DRAWINGS, BUT RATHER INQUIRE INFORMATION FROM DESIGNER... 5. THE OWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE FOLLOWING INFORMATION (NON-EXHAUSTIVE): BUILDING PERMITS, SITE ENGINEERING INCLUDING SURVEYING, TOPOGRAPHIC STUDIES, GEOTECHNICAL REPORTS, AND SEPTIC PERMITS...

BUILDING CODE NOTES

THIS PLAN HAS BEEN DESIGNED UNDER THE 2018 NORTH CAROLINA RESIDENTIAL CODE.

- APPLICABLE CODES: N.C. FIRE CODE, 2018 N.C. MECHANICAL CODE, 2018 N.C. PLUMBING CODE, 2018 N.C. ENERGY CODE, 2018 N.C. ELECTRICAL CODE, 2017 N.C. GAS CODE 2018

BUILDING DATA:

Table with 2 columns: Field Name and Value. Includes Construction Type (V2B), Use Group (R-3), Number of Stories (2), Building Ridge Height (Elevation A-E), Mean Roof Height (Elevation A-E), and a note about height listings.

CONSTRUCTION NOTES:

- THE FOLLOWING IS A NON-EXHAUSTIVE LIST OF SOME COMMONLY MISSED CODE REQUIREMENTS AND ARE ENFORCEABLE IN THE CONSTRUCTION FROM THESE PLANS. SEE THE N.C. RESIDENTIAL CODE BOOK FOR MORE INFO. 1. (R308.4) ALL GLAZING WITHIN 24" OF EITHER SIDE OF A DOOR IN A CLOSED POSITION, AND ON THE SAME WALL PLANE SHALL BE TEMPERED... 2. (R310.1) ALL SLEEPING ROOMS AND BASEMENTS WITH HABITABLE SPACE SHALL HAVE AT LEAST ONE EGRESS WINDOW CONFORMING TO THE FOLLOWING... 3. (R312) ALL INTERIOR EGRESS DOORS AND A MINIMUM OF ONE EXTERIOR EGRESS DOOR SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE... 4. (R311.5) MAXIMUM STAIR RISER HEIGHT SHALL BE 8-1/4", AND MINIMUM TREAD SHALL BE 9"... 5. (R314.3) SMOKE ALARMS SHALL BE INSTALLED AND INTERCONNECTED, WITH BATTERY BACK-UP IN THE FOLLOWING AREAS... 6. (R402.12) ALL LUMBER SHALL BE PRESSURE TREATED AND DRIED AFTER TREATMENT IN ACCORDANCE WITH AIA/FA U1 AND SHALL BEAR THE LABEL OF AN ACCREDITED AGENCY... 7. (R406.1) BITUMINOUS DAMPROOFING SHALL BE APPLIED TO EXTERIOR FOUNDATIONS OF ALL HABITABLE AND USABLE (STORAGE, ETC.) SPACES... 8. (R408.12) INSTALL ONE FOUNDATION VENT WITHIN 3' OF EACH CORNER (NOT ONE EACH SIDE OF EACH CORNER)... 9. (R103.4) FLASH ALL VALLEYS AND WALL/ROOF INTERSECTIONS, AND CHIMNEY AND OTHER ROOF PENETRATIONS. USE ICE AND WATER SHIELD ON ALL ROOFS LESS THAN 4:12 SLOPE. FLASHING TO BE NON-CORROSIVE... 10. (R801.1) BUILDER TO LOCATE 22"x30" ATTIC ACCESS IN ALL ATTICS WITHOUT STAIR ACCESS. LOCATE ACCESS TO PROVIDE A 30" CLEAR SPACE ABOVE ACCESS DOOR-TYP... 11. (R100.1) MASONRY FIREPLACE WALLS TO BE MIN. 8" THICK AND MIN. 2" TO FRAMING. FURRED HEARTH TO HAVE MIN. 4"x2" O.C. EACH WAY. HEARTHS TO BE MIN. 20" FROM FIREBOX AND HAVE MIN. 12" WIDER THAN FIREBOX ON EACH SIDE... 12. (R403.1.6) ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER & SHALL EXTEND A MINIMUM 1" INTO MASONRY OR CONCRETE. ANCHOR BOLTS TO BE NO MORE THAN 6" O.C. AND WITHIN 2' OF THE CORNER... 13. (R315) INSTALL APPROVED CARBON MONOXIDE ALARM OUTSIDE EACH BEDROOM AND IN IMMEDIATE VICINITY OF EACH SEPARATE SLEEPING AREA... 14. ALL WINDOWS SHALL BE LABELED TO CONFORM WITH AAMA/NWDA 1018.2 BUILDER TO VERIFY MIN. DP CLASSIFICATION FOR ALL WINDOWS BASED ON LOCATION. SINGLE HOMES ARE BUILT BASED ON REQUIREMENTS FOR THAT WIND ZONE AREA... 15. IF CRAWL SPACE FOUNDATION OPTION IS USED BUILDER TO LOCATE ACCESS PER CURRENT CODE REQ. WITH 36"x24" (MIN) CLEAR OPENING IF NO HVAC LOCATED IN CRAWL OR 36"x36" (MIN) WITH HVAC LOCATED IN CRAWL SPACE AREA.

CLIMATIC AND GEOGRAPHIC NOTES:

TABLE N10212 (R402.12) CLIMATE PENETRATION FENESTRATION U-FACTOR, FENEST. SHGC, CEILING R-VALUE, FRAME R-VALUE, FLOOR R-VALUE, BASEMENT WALL R-VALUE, SLAB R-VALUE, CRAWL WALL R-VALUE

STRUCTURAL DESIGN FIRM DATA:

Table with 2 columns: Field Name and Value. Includes Structural Designer (Engineering Tech Associates), Firm Name, Telephone Number (919-844-1661), Engineer Name, and License Number (C-3810).

NOTE: PLANS ARE TO BE COORDINATED WITH STRUCTURAL DESIGN AND TRUSS PLANS BY BUILDER. THE COORDINATION AND/OR VERIFICATION OF ANY STRUCTURAL MEMBERS, TRUSS PLANS AND/OR INFORMATION FROM OTHERS IS NOT THE RESPONSIBILITY OF PLAN DESIGNER FIRM. IF ANY DISCREPANCIES WITH FLOOR PLANS, ELEVATIONS OR DETAILS ARE DISCOVERED THE BUILDER SHALL NOTIFY PLANWORK PRIOR TO SUBMITTING PLANS FOR PERMIT OR BEFORE CONSTRUCTION BEGINS TO ADJUST PLANS AS NEEDED TO MEET NEEDS.

PROJECT SQUARE FOOTAGES

CLARK II - CLASSIC table with 2 columns: Item and Square Footage. Includes Heated Square Footage (First Floor Htd. 1716, Second Floor Htd. 1641, TOTAL HTD. 3357) and Unheated Square Footage (Covered Porch - Front 155, Garage - Two Car 501, Rear Patio 144, Utility, Attic Storage 353).

OPT. CRAWL SPACE VENTILATION INFO.

Crawlspace Vent Calculations - Clark II - Classic table with 2 columns: Item and Value. Includes A (Crawlspace Area 1,716), B (Ventable Area Required by Code 11.44), C (Ventable Area Required by Code with vapor barrier 1.1), D (Number of vents required 25.0), E (Number of vents required with vapor barrier 9.0). Includes formulas B = A / 150, C = A / 1500, D = B / 0.47, E = C / 0.47. Notes: 1. Builder must adjust ventilation calculations if using vents with a net area that is different than 0.47 sq ft per vent. 2. One foundation vent must be placed within 3 feet of each major corner in the building. 3. Foundation vents must be placed to allow for cross ventilation.

NOTE: BUILDER TO SIZE AND LOCATE FOUNDATION VENTS IS USED PER THE 2018 N.C. RESIDENTIAL BUILDING CODE BASED ON SITE CONDITIONS. OR OPT. CLOSED CRAWL SPACE

NOT APPLICABLE ON THIS ARCHITECTURAL BASE MASTER PLAN SET - SEE STRUCTURAL FILES

NOTE: IF SEALED CRAWLSPACE SYSTEM IS USED AREA MUST BE CONSTRUCTED PER THE 2018 N.C. RESIDENTIAL BUILDING CODE.

ROOF VENTILATION INFO.

Roof Ventilation - Clark II - Classic table with 2 columns: Item and Value. Includes A (Ceiling area (square footage) 2,372), B (Soft. of ventilation required 15.8). Includes formula B = A / 150. Notes: Builder to calculate quantities and types of vents to make up the minimum requirement. Attic ventilation shall be approximately 50% soffit, and 50% high (gable end or ridge vents).

INDEX OF DRAWINGS:

Table with 2 columns: SHEET and SHEET NAME - Clark II - Master Plan. Lists sheets CS-1 through AD-2 with their corresponding sheet names.

McKee Homes, LLC Clark II - Base - Classic Base Plan - Elev. A (LHG) Architectural Master Plan Set (2-19-19)

Table with 2 columns: Field Name and Value. Includes Progress Date (7/10/13), Issue Date (7/10/13), Drawn By (ASH/BB), Checked By (ASH/BB), and Revisions table.

Cover Sheet SHEET NO. CS-1-0 PLAN NO. 039211

4. THESE SHEETS WILL ASSUME ANY AND ALL LIABILITY FOR EXPENSES ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN. 5. THESE SHEETS ARE NOT TO BE REPRODUCED FOR ANY PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECTURAL FIRM.

GENERAL NOTES: 1. THESE PLANS ARE TO BE COORDINATED WITH ALL SET REQUIREMENTS BY OWNER AND CONTRACTOR AND PER LOCAL CODES. 2. CONTRACTOR IS TO VERIFY ANCHOR BOLT PRESENCE, LOCATION OR OTHER VENTING FROM DESIGNER INFORMATION. 3. THESE NOTES ARE RESPONSIBLE FOR CONSTRUCTION VARIATIONS FROM THE INFORMATION PROVIDED.

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**ARCHITECTURAL PLANS
EXTERIOR MATERIALS**

	SHINGLE ROOF PER BUILDER
	METAL ROOF PER BUILDER
	HORIZONTAL SIDING PER BUILDER
	SHAKE SIDING PER BUILDER
	BOARD-N-BATTEN PER BUILDER
	BRICK PER BUILDER
	STONE PER BUILDER
	STUCCO PER BUILDER
	SCREEN PER BUILDER
	BRICK ROWLOCK/SOLDIER PER BUILDER
	STONE ROWLOCK/SOLDIER PER BUILDER

GENERAL NOTES

* USE ICE AND WATER SHIELD AT ALL ROOF PLANES SLOPED BELOW 4:12.

SEE FLOOR PLANS, ROOF PLAN, AND/OR ROOF FRAMING DETAIL SHEET FOR PLATE HEIGHTS AT RAFTER AND/OR TRUSS BEARING LOCATIONS.

SEE ROOF PLANS FOR ATTIC VENTILATION CALCULATIONS.

SEE SHEET D-2 FOR FLASHING DETAILS AND REQUIRED LOCATIONS.

REQUIRED FLASHING LOCATIONS

1) ALL MATERIAL CHANGE INTERSECTIONS.
2) ALL WINDOW / DOOR OPENINGS.
3) ALL ROOF VALLEYS.

BUILDER TO VERIFY ON SITE FLASHING IS INSTALLED TO MEET CODE REQUIREMENTS.

1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC, AS A BASE PLAN MASTER SET.

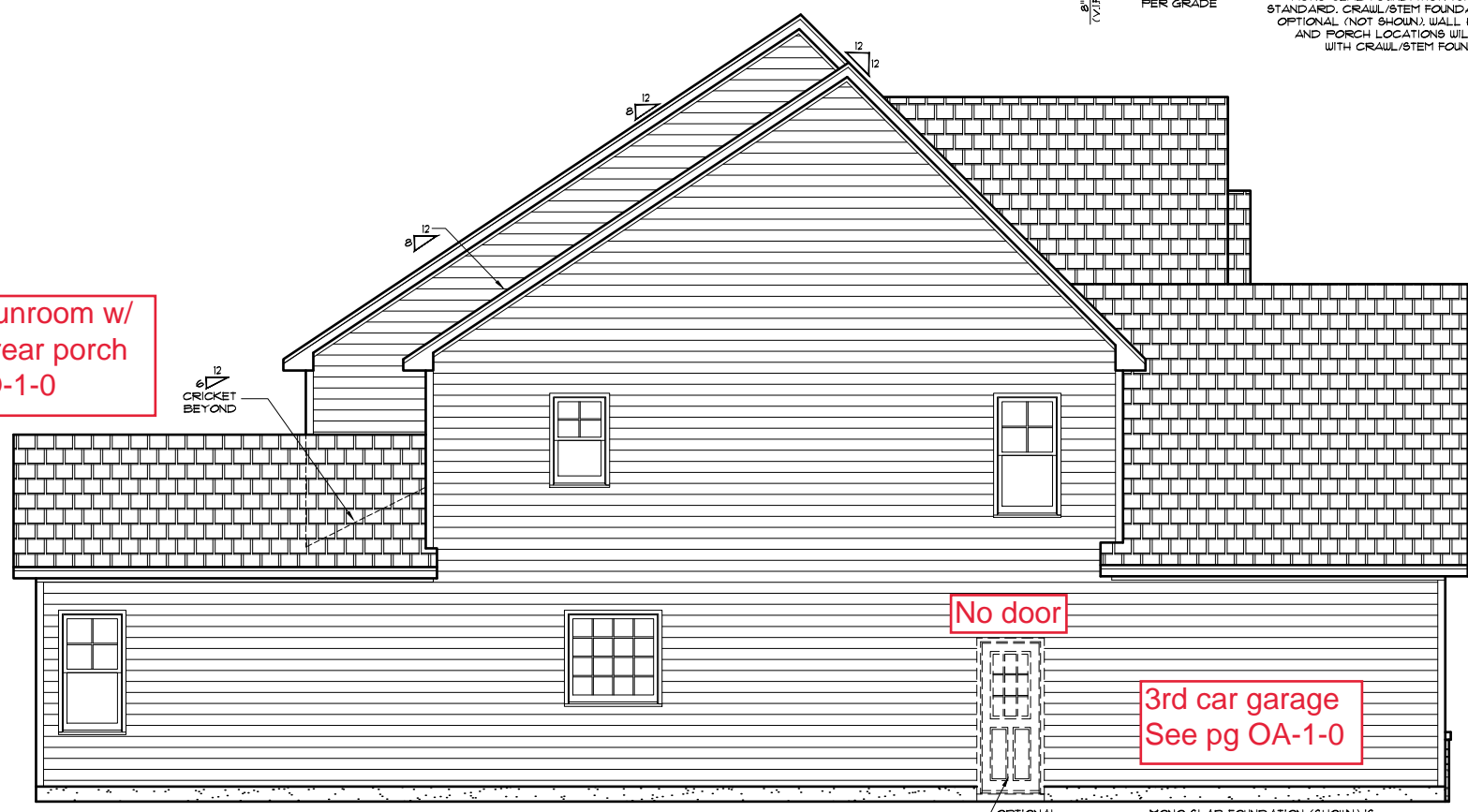
2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGNS.

3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.



FRONT ELEVATION - CLASSIC
22x34 PRINTS SCALE: 1/4"=1'-0"
11x17 PRINTS SCALE: 1/8"=1'-0"

Deluxe sunroom w/
covered rear porch
See pg O-1-0



LEFT ELEVATION
22x34 PRINTS SCALE: 1/4"=1'-0"
11x17 PRINTS SCALE: 1/8"=1'-0"

GENERAL NOTES:
1. THESE WORKS WILL REMAIN ANY AND ALL LIABILITY FOR ERRORS ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN.
2. CONTRACTOR IS TO NOTIFY ARCHITECT IMMEDIATELY OF ANY CONDITIONS OR ITEMS VARYING FROM DESIGNED INFORMATION.
3. THESE WORKS IS RESPONSIBLE FOR CONTRIBUTED VARIATIONS FROM THE INFORMATION SUPPLIED.

McKee Homes, LLC
Clark II - Base - Classic
Base Plan - Elev. A (LHG)
Architectural Master Plan Set (2-19-19)

PROGRESS DATE:	--	
ISSUE DATE:	7/10/13	
DRAWN BY:	A.S.H./B.B.	
CHECKED BY:	A.S.H./B.B.	
REVISIONS		
DATE	BY	DESCRPT.
8-21-17	BB	Master Plan Set - Archs
5-25-18	BB	Master Plan Set - Archs
7-23-18	BB	Master Plan Set - Archs (Logo)
2-14-19	BB	2018 Codes - Plan mods

Front & Left Elevations

SHEET NO.
A-1-0

PLAN NO.
039211



Scales UNO:
22X34: 1/4"=1'-0"
11X17: 1/8"=1'-0"

**ARCHITECTURAL PLANS
EXTERIOR MATERIALS**

	SHINGLE ROOF PER BUILDER
	METAL ROOF PER BUILDER
	HORIZONTAL SIDING PER BUILDER
	SHAKE SIDING PER BUILDER
	BOARD-N-BATTEN PER BUILDER
	BRICK PER BUILDER
	STONE PER BUILDER
	STUCCO PER BUILDER
	SCREEN PER BUILDER
	BRICK ROWLOCK/SOLDIER PER BUILDER
	STONE ROWLOCK/SOLDIER PER BUILDER

GENERAL NOTES

* USE ICE AND WATER SHIELD AT ALL ROOF PLANES SLOPED BELOW 4:12.

SEE FLOOR PLANS, ROOF PLAN, AND/OR ROOF FRAMING DETAIL SHEET FOR PLATE HEIGHTS AT RAFTER AND/OR TRUSS BEARING LOCATIONS.

SEE ROOF PLANS FOR ATTIC VENTILATION CALCULATIONS.

SEE SHEET D-2 FOR FLASHING DETAILS AND REQUIRED LOCATIONS.

REQUIRED FLASHING LOCATIONS

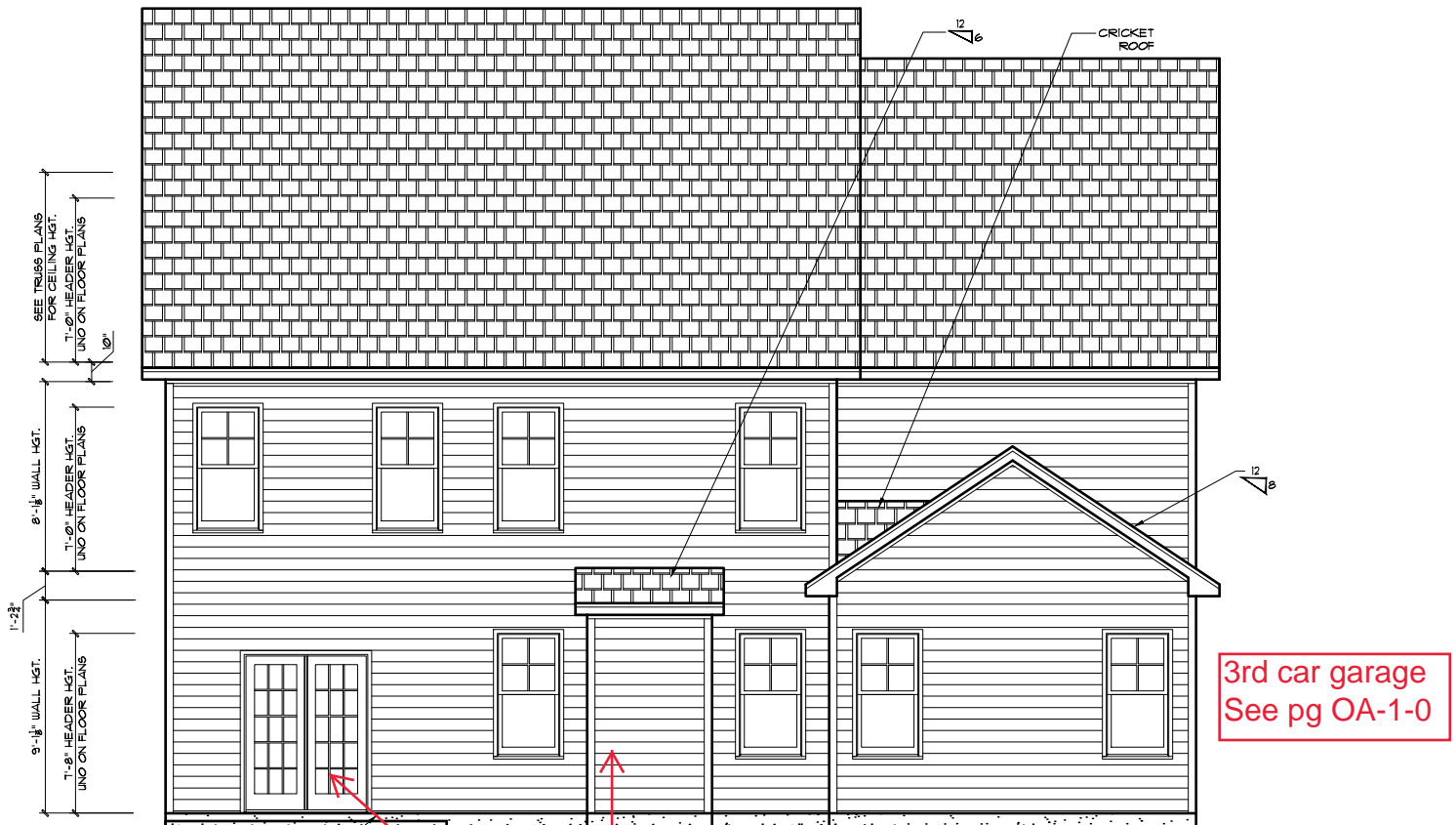
1) ALL MATERIAL CHANGE INTERSECTIONS.
2) ALL WINDOW / DOOR OPENINGS.
3) ALL ROOF VALLEYS.

BUILDER TO VERIFY ON SITE FLASHING IS INSTALLED TO MEET CODE REQUIREMENTS.

1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC, AS A BASE PLAN MASTER SET.

2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGNS.

3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.



REAR ELEVATION
22x34 PRINTS SCALE: 1/4"=1'-0"
11x17 PRINTS SCALE: 1/8"=1'-0"

3rd car garage
See pg OA-1-0

Deluxe sunroom w/
covered rear porch
See pg O-1-0



RIGHT ELEVATION
22x34 PRINTS SCALE: 1/4"=1'-0"
11x17 PRINTS SCALE: 1/8"=1'-0"

No stone return

Deluxe sunroom w/
covered rear porch
See pg O-1-0

4. MCKEE HOMES WILL ASSUME ANY AND ALL LIABILITY FOR EXPENSES ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN.
5. THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION WITHOUT THE SIGNATURE OF A LICENSED ARCHITECT OR ENGINEER. MCKEE HOMES LLC IS NOT RESPONSIBLE FOR ANY CHANGES OR VARIATIONS FROM THESE PLANS.

GENERAL NOTES:
1. THESE PLANS ARE TO BE CONSIDERED WITH ALL THE INFORMATION OF OWNER AND CONTRACTOR AND ANY LOCAL CODES.
2. CONTRACTOR IS TO NOTIFY ARCHITECT IMMEDIATELY OF ANY CONDITIONS OR ITEMS VARYING FROM DESIGNED INFORMATION.
3. MCKEE HOMES LLC IS NOT RESPONSIBLE FOR ANY CHANGES OR VARIATIONS FROM THESE PLANS.



Scales UNO:
22X34: 1/4"=1'-0"
11X17: 1/8"=1'-0"

McKee Homes, LLC
Clark II - Base - Classic
Base Plan - Elev. A (LHG)
Architectural Master Plan Set (2-19-19)

PROGRESS DATE:	--	
ISSUE DATE:	7/10/13	
DRAWN BY:	A.S.H./B.B.	
CHECKED BY:	A.S.H./B.B.	
REVISIONS		
DATE:	BY:	DESCRIP.
8-21-17	BB	Master Plan Set - Archs
5-25-18	BB	Master Plan Set - Archs
7-23-18	BB	Master Plan Set - Archs (Logo)
2-19-19	BB	2018 Codes - Plan mods

Rear & Right Elevations
SHEET NO. A-2-0
PLAN NO. 039211

GENERAL NOTES

* USE ICE AND WATER SHIELD AT ALL ROOF PLANES SLOPED BELOW 4:12.

SEE FLOOR PLANS, ROOF PLAN, AND/OR ROOF FRAMING DETAIL SHEET FOR PLATE HEIGHTS AT RAFTER AND/OR TRUSS BEARING LOCATIONS.

SEE ROOF PLANS FOR ATTIC VENTILATION CALCULATIONS.

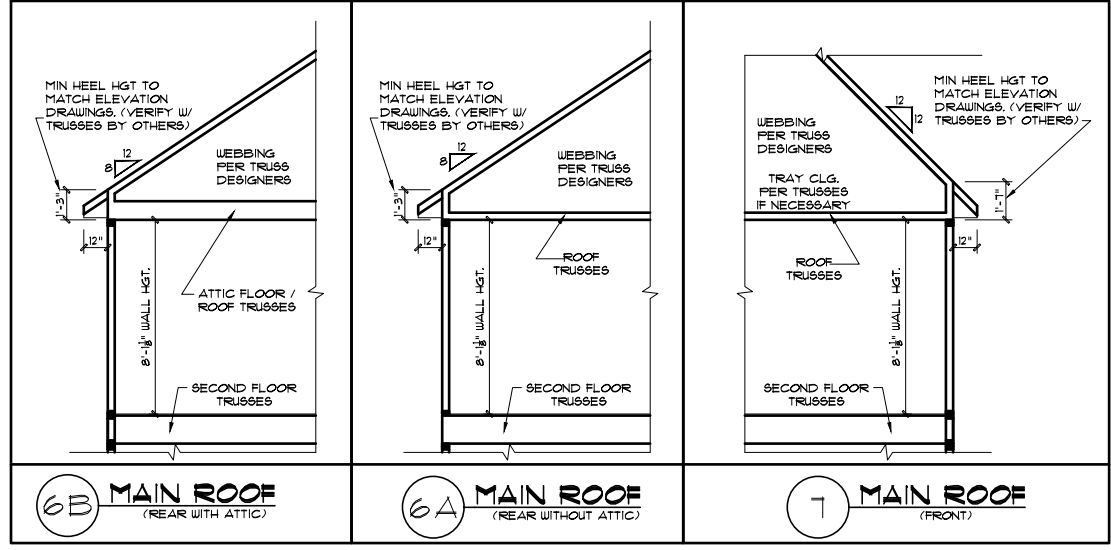
SEE SHEET D-2 FOR FLASHING DETAILS AND REQUIRED LOCATIONS.

REQUIRED FLASHING LOCATIONS

- 1) ALL MATERIAL CHANGE INTERSECTIONS.
- 2) ALL WINDOW / DOOR OPENINGS.
- 3) ALL ROOF VALLEYS.

BUILDER TO VERIFY ON SITE FLASHING IS INSTALLED TO MEET CODE REQUIREMENTS.

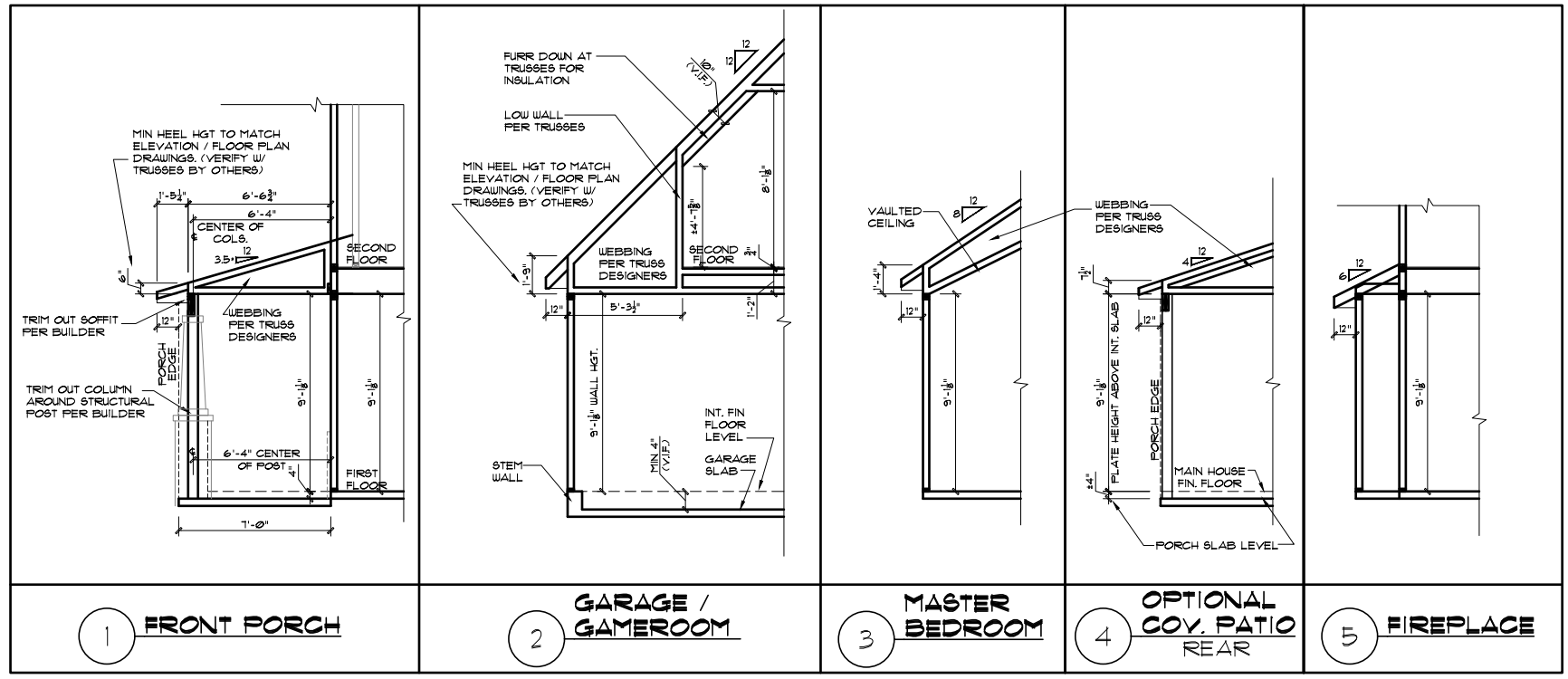
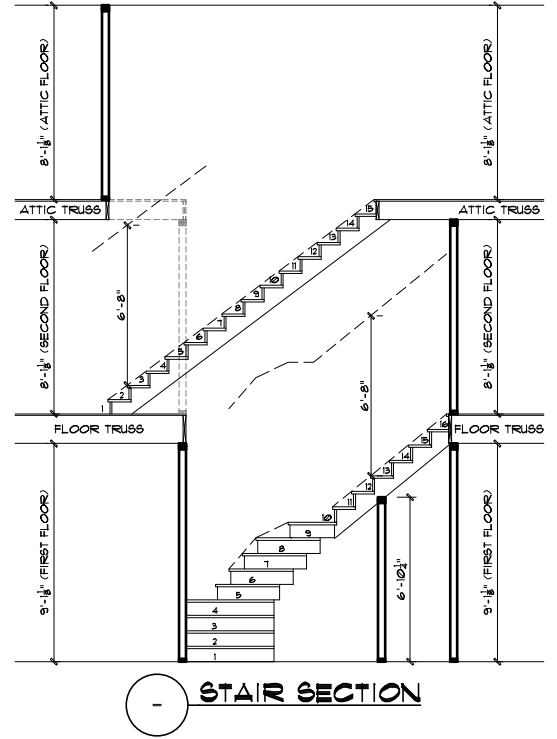
*NOTE: DETAILS PROVIDED ARE FOR PLATE DETAILS ONLY. REFER TO STRUCTURAL SHEETS & TRUSS LAYOUT PLANS TO CONFIRM FLOOR MEMBER SIZE & DIRECTIONS, RAFTER / TRUSS SIZES & DIRECTIONS, TRUSS WEBBING AND ROOF OVERHANGS.



1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC. AS A BASE PLAN MASTER SET.

2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGNS.

3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.



Scales UNO:
22X34: 1/4"=1'-0"
11X17: 1/8"=1'-0"

GENERAL NOTES: 1. THESE DETAILS ARE TO BE COORDINATED WITH ALL SITE INFORMATION BY OWNER AND CONTRACTOR AND PER LOCAL CODES. 2. CONTRACTOR IS TO VERIFY APPLICABLE PRESENTED CONDITIONS OR OTHER VARIATIONS FROM DESIGNED INFORMATION. 3. MCKEE HOMES IS RESPONSIBLE FOR CONTRIBUTED VARIATIONS FROM THE INFORMATION PROVIDED.

4. MCKEE HOMES WILL ASSUME ANY AND ALL LIABILITY FOR ERRORS ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN. 5. THESE DETAILS ARE FOR GENERAL INFORMATION AND NOT TO BE USED FOR CONSTRUCTION WITHOUT CONSULTATION WITH THE DESIGNER.

6. MCKEE HOMES, LLC IS NOT RESPONSIBLE FOR ANY AND ALL LIABILITY FOR ERRORS ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN.

McKee Homes, LLC
Clark II - Base - Classic
Base Plan - Elev. A (LHG)
Architectural Master Plan Set (2-19-19)

PROGRESS DATE:	--
ISSUE DATE:	7/10/13
DRAWN BY:	A.S.H./B.B.
CHECKED BY:	A.S.H./B.B.
REVISIONS	
DATE:	BY:
8-21-17	BB
5-25-18	BB
7-23-18	BB
2-14-19	BB
2018 Codes - Plan mods	
Roof Plate Details	
SHEET NO. A-3-0	
PLAN NO. 039211	

EXTERIOR DOORS/WINDOWS (DP RATING)
 - ALL EXTERIOR DOORS TO BE DP41 WHEN BUILT IN HIGH WIND ZONE.
 - ALL EXTERIOR WINDOWS TO BE DP50 WHEN BUILT IN HIGH WIND ZONE.

CLARK II - CLASSIC	
Heated Square Footage	
First Floor Htd.	1716
Second Floor Htd.	1241
TOTAL HTD.	3357
Unheated Square Footage	
Covered Porch - Front	155
Garage - Two Car	520
Rear Patio	144
Unfin. Attic Storage	353

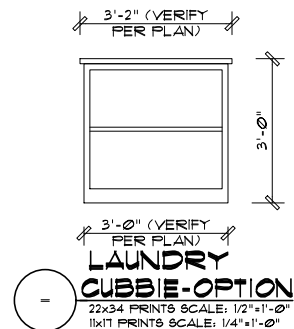
GENERAL NOTES
WALL THICKNESS / ANGLES
 ALL EXTERIOR STUD WALLS ARE DRAWN 4" THICK UNO. ALL INTERIOR STUD WALLS ARE DRAWN 4" THICK UNO. ANGLED WALLS ARE DRAWN @ 45° UNO.
EGRESS
 ALL BEDROOMS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO EGRESS REQUIREMENTS FOR CLEAR OPENING HEIGHT AND WIDTH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EGRESS SIZING PER CODE BASED ON CHOSEN MANUFACTURER, AS PRODUCT SIZES MAY VARY.
WALL/CEILING HEIGHTS
 WALL AND CEILING HEIGHTS NOTES ARE BASED ON NOMINAL WALL SIZE (IE. A 9'-1 1/8" ACTUAL WALL HEIGHT IS LABELED 9/0 ON THE PLANS).
 ALL VAULTED OR SLOPED CEILINGS ARE TO BE FURRED DOWN TO ACCOMMODATE REQUIRED CEILING INSULATION AND 1" AIRSPACE. VERIFY CODES FOR INFORMATION ON INSULATION REQUIREMENTS.
STAIRS
 STAIR TREADS ARE MEASURED FROM NOSING TO NOSING (N/N). MAXIMUM STAIR RISE HEIGHT TO BE NO GREATER THAN 8-1/4"

ARCHITECTURAL PLANS WALL LEGEND

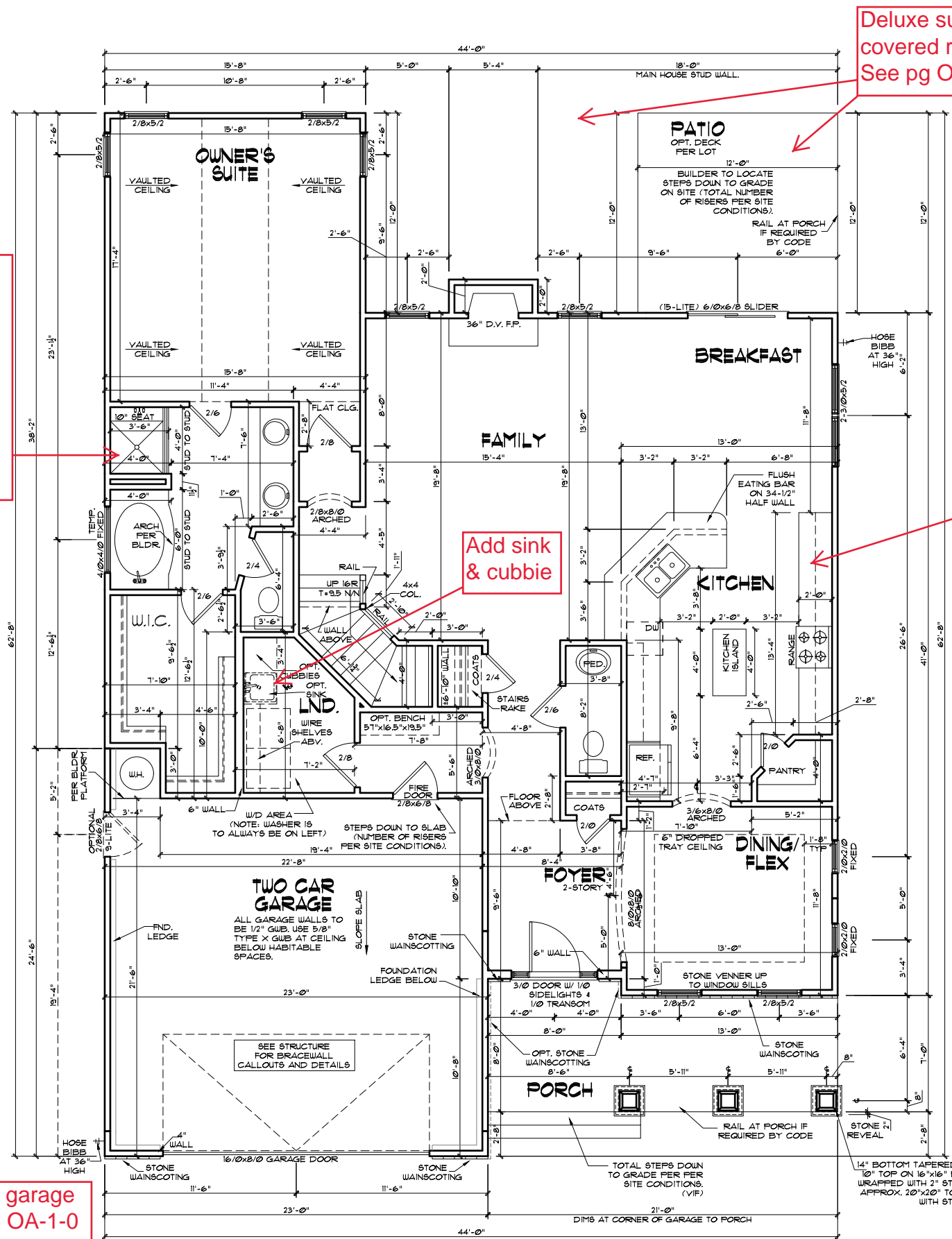
- STANDARD STUD WALL INT OR EXT IF EXT SEE ELEVATIONS FOR SIDING STYLE THICKNESS OF WALL NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH 5" BRICK VENEER FOUNDATION WALL LEDGE STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH STACKED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE: BUILDER TO VERIFY STONE THICKNESS 4 NOTIFY PLAN DESIGNER IF THICKNESS IS MORE THAN 5" BEFORE FOOTINGS ARE POURED)
- STANDARD STUD WALL WITH APPLIED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE: NO FOUNDATION SUPPORT IS REPRESENTED ON STRUCTURAL PLANS) IF STACKED STONE IS TO BE USED BUILDER MUST NOTIFY PLAN DESIGNER BEFORE FOOTINGS ARE POURED
- STANDARD STUD WALL WITH LOW APPLIED STONE WAINSCOTING. SEE ELEVATIONS FOR HEIGHT & FINISH MATERIAL AT EXT STUD WALL ABOVE. STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH 5" FOUNDATION LEDGE FOR LOW BRICK OR STACKED STONE WAINSCOTING. SEE ELEVATIONS FOR HEIGHT & FINISH MATERIAL AT EXT STUD WALL ABOVE. STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- HALF WALL WITH 1/2" CAP (42" HEIGHT UNLESS NOTED OTHERWISE ON PLANS)

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 3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.

WINDOW FALL PREVENTION PROTECTION
 IF ANY PART OF THE CLEAR OPENING OF THE OPERABLE PORTION OF A WINDOW IS LOCATED MORE THAN 12" ABOVE THE EXTERIOR GRADE THEN THE LOWEST PART OF THE CLEAR OPENING MUST BE AT LEAST 24" ABOVE THE FLOOR OF THE ROOM IN WHICH IT IS LOCATED.
 EXCEPTIONS:
 1. THE WINDOW IS A FIXED UNIT
 2. THE OPENING DOES NOT ALLOW THE PASSAGE OF A 4- INCH DIAMETER SPHERE.
 3. THE WINDOW IS EQUIPPED WITH A WINDOW FALL PREVENTION DEVICE MEETING ASTM F2090.
 4. THE WINDOW IS EQUIPPED WITH AN APPROVED WINDOW OPENING LIMITING DEVICE.
 NOTE: WHEN USED WITH AN EMERGENCY ESCAPE AND RESCUE WINDOW, OPENING LIMITING DEVICES AND FALL PREVENTION DEVICES MUST BE APPROVED FOR EMERGENCY ESCAPE AND RESCUE PROVISIONS.



FIRST FLOOR PLAN - CLASSIC
 22x34 PRINTS SCALE: 1/4"=1'-0"
 11x17 PRINTS SCALE: 1/8"=1'-0"



Deluxe sunroom w/ covered rear porch See pg O-1-0

Tile shower - half wall w/ glass panel return
 Install bench

Add sink & cubbie

Add deluxe kitchen

3rd car garage See pg OA-1-0

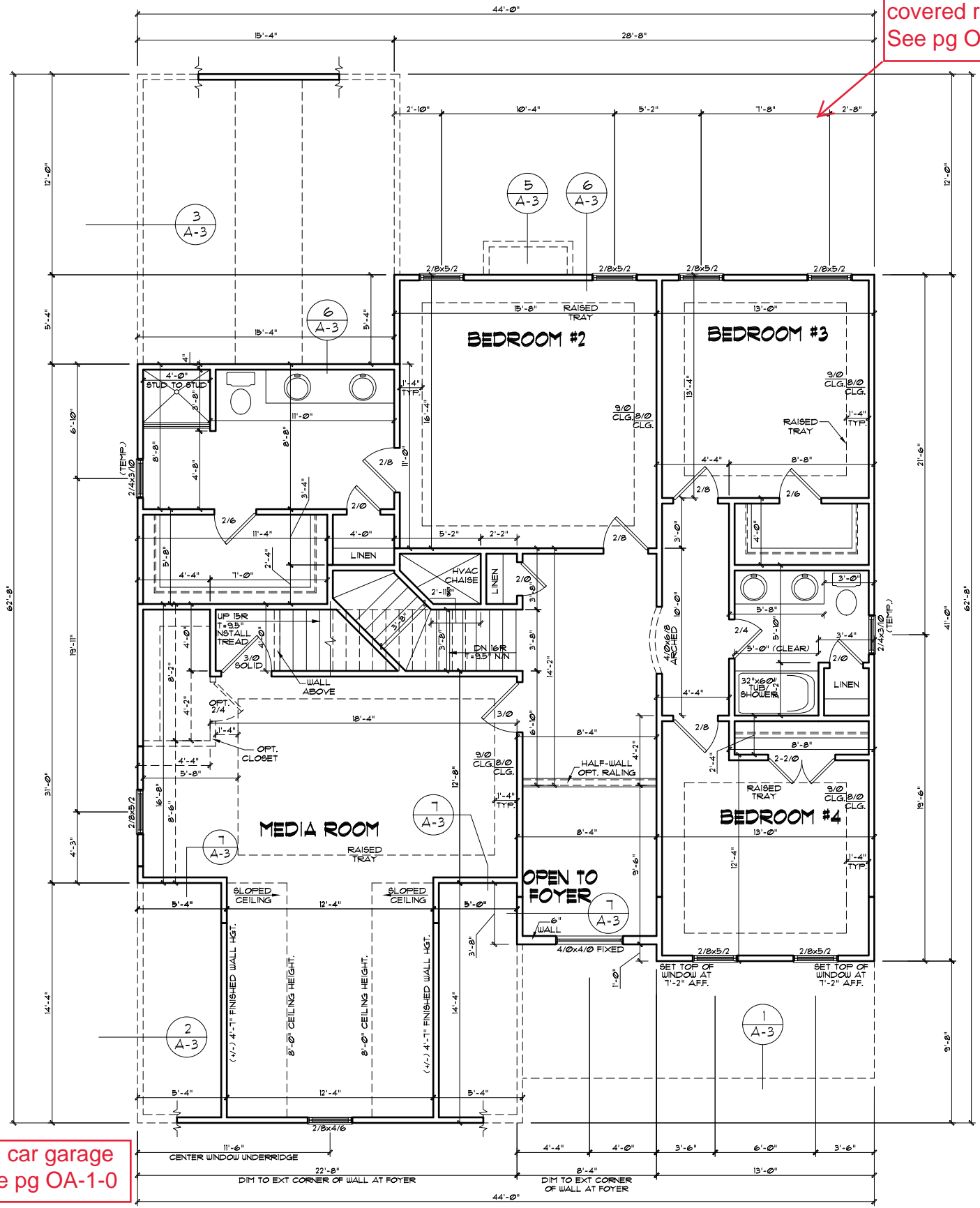
GENERAL NOTES: 1. THESE PLANS SHALL BE CONSIDERED AS A MASTER PLAN. 2. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION. 3. THESE PLANS ARE TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL MASTER PLAN SET. 4. MCKEE HOMES WILL ASSUME ANY AND ALL LIABILITY FOR ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN. 5. THESE PLANS ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MCKEE HOMES, LLC.

McKee Homes, LLC
 Clark II - Base - Classic
 Base Plan - Elev. A (LHG)
 Architectural Master Plan Set (2-19-19)

PROGRESS DATE:	---	
ISSUE DATE:	7/10/13	
DRAWN BY:	ASH/BB	
CHECKED BY:	ASH/BB	
REVISIONS		
DATE:	BY:	DESCRPT.
8-21-17	BB	Master Plan Set - Archs
5-25-18	BB	Master Plan Set - Archs
7-23-18	BB	Master Plan Set - Archs (Logo)
2-14-19	BB	2018 Codes - Plan mods

First Floor Plan
 SHEET NO.
A-4-0
 PLAN NO.
039211

Deluxe sunroom w/
covered rear porch
See pg O-1-0



EXTERIOR DOORS/WINDOWS (DP RATING)
- ALL EXTERIOR DOORS TO BE DP41 WHEN BUILT IN HIGH WIND ZONE.
- ALL EXTERIOR WINDOWS TO BE DP50 WHEN BUILT IN HIGH WIND ZONE.

GENERAL NOTES
WALL THICKNESS / ANGLES
ALL EXTERIOR STUD WALLS ARE DRAWN 4" THICK UNO. ALL INTERIOR STUD WALLS ARE DRAWN 4" THICK UNO. ANGLED WALLS ARE DRAWN @ 45° UNO.
EGRESS
ALL BEDROOMS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO EGRESS REQUIREMENTS FOR CLEAR OPENING HEIGHT AND WIDTH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EGRESS SIZING PER CODE BASED ON CHOSEN MANUFACTURER, AS PRODUCT SIZES MAY VARY.
WALL/CEILING HEIGHTS
WALL AND CEILING HEIGHTS NOTED ARE BASED ON NOMINAL WALL SIZE (IE. A 9'-1 1/8" ACTUAL WALL HEIGHT IS LABELED 9/0 ON THE PLANS).
ALL VAULTED OR SLOPED CEILINGS ARE TO BE FURRED IN TO ACCOMMODATE REQUIRED CEILING INSULATION AND 1" AIRSPACE. VERIFY CODES FOR INFORMATION ON INSULATION REQUIREMENTS.
STAIRS
STAIR TREADS ARE MEASURED FROM NOSING TO NOSING (N/N).
MAXIMUM STAIR RISE HEIGHT TO BE NO GREATER THAN 8-1/4"

ARCHITECTURAL PLANS WALL LEGEND

- STANDARD STUD WALL INT OR EXT IF EXT SEE ELEVATIONS FOR SIDING STYLE THICKNESS OF WALL NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH 5" BRICK VENEER FOUNDATION WALL LEDGE STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH STACKED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE BUILDER TO VERIFY STONE THICKNESS 4 NOTIFY PLAN DESIGNER IF THICKNESS IS MORE THAN 5" BEFORE FOOTINGS ARE POURED)
- STANDARD STUD WALL WITH APPLIED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE: NO FOUNDATION SUPPORT IS REPRESENTED ON STRUCTURAL PLANS) IF STACKED STONE IS TO BE USED BUILDER MUST NOTIFY PLAN DESIGNER BEFORE FOOTINGS ARE POURED
- STANDARD STUD WALL WITH LOW APPLIED STONE WAJNSCOTING. SEE ELEVATIONS FOR HEIGHT 4 FINISH MATERIAL AT EXT STUD WALL ABOVE. STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH 5" FOUNDATION LEDGE FOR LOW BRICK OR STACKED STONE WAJNSCOTING. SEE ELEVATIONS FOR HEIGHT 4 FINISH MATERIAL AT EXT STUD WALL ABOVE. STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- HALF WALL WITH 1x CAP (42" HEIGHT UNLESS NOTED OTHERWISE ON PLANS)

1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC, AS A BASE PLAN MASTER SET.
2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGNS.
3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.

WINDOW FALL PREVENTION PROTECTION
IF ANY PART OF THE CLEAR OPENING OF THE OPERABLE PORTION OF A WINDOW IS LOCATED MORE THAN 72" ABOVE THE EXTERIOR GRADE THEN THE LOWEST PART OF THE CLEAR OPENING MUST BE AT LEAST 24" ABOVE THE FLOOR OF THE ROOM IN WHICH IT IS LOCATED.
EXCEPTIONS:
1. THE WINDOW IS A FIXED UNIT
2. THE OPENING DOES NOT ALLOW THE PASSAGE OF A 4- INCH DIAMETER SPHERE.
3. THE WINDOW IS EQUIPPED WITH A WINDOW FALL PREVENTION DEVICE MEETING ASTM F2090.
4. THE WINDOW IS EQUIPPED WITH AN APPROVED WINDOW OPENING LIMITING DEVICE.
NOTE: WHEN USED WITH AN EMERGENCY ESCAPE AND RESCUE WINDOW, OPENING LIMITING DEVICES AND FALL PREVENTION DEVICES MUST BE APPROVED FOR EMERGENCY ESCAPE AND RESCUE PROVISIONS.

3rd car garage
See pg OA-1-0

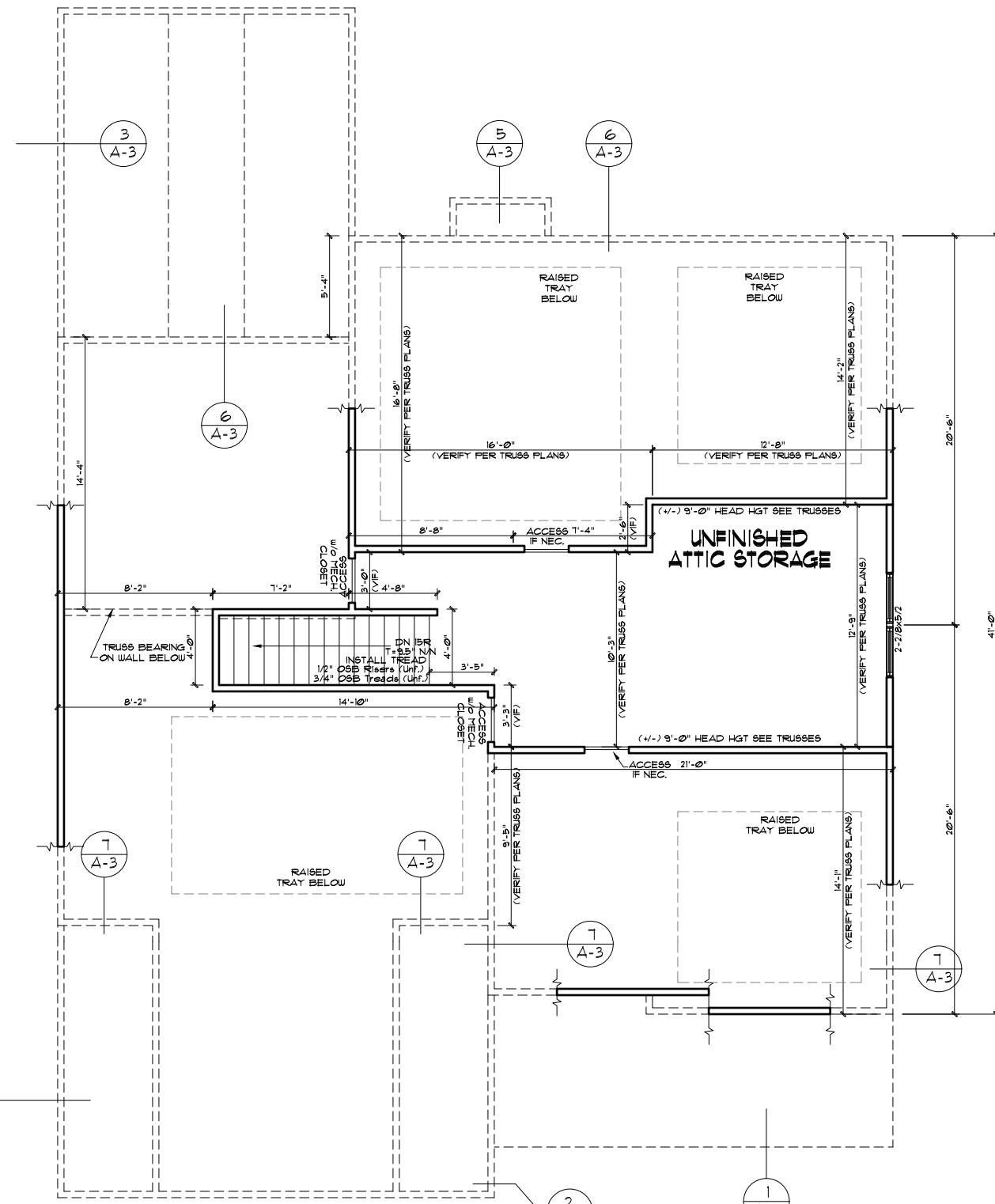
SECOND FLOOR PLAN - CLASSIC
22x34 PRINTS SCALE: 1/4"=1'-0"
11x17 PRINTS SCALE: 1/8"=1'-0"

GENERAL NOTES: 1. THESE PLANS ARE TO BE COORDINATED WITH ALL PERMITS AND LOCAL CODES. 2. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION. 3. THESE PLANS ARE FOR INFORMATION ONLY. 4. MCKEE HOMES WILL ASSUME ANY AND ALL LIABILITY FOR ERRORS ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN. 5. THESE PLANS ARE FOR INFORMATION ONLY. 6. THESE PLANS ARE FOR INFORMATION ONLY. 7. THESE PLANS ARE FOR INFORMATION ONLY.

McKee Homes, LLC
Clark II - Base - Classic
Base Plan - Elev. A (LHG)
Architectural Master Plan Set (2-19-19)

PROGRESS DATE:		
ISSUE DATE:	7/10/13	
DRAWN BY:	ASH/BB	
CHECKED BY:	ASH/BB	
DATE:		
BY:	DESCRPT.	
8-21-17	BB	Master Plan Set - Archs
5-25-18	BB	Master Plan Set - Archs
7-23-18	BB	Master Plan Set - Archs (Logo)
2-14-19	BB	2018 Codes - Plan mods

Second Floor Plan
SHEET NO.
A-5-0
PLAN NO.
039211



ATTIC FLOOR PLAN - CLASSIC

22x34 PRINTS SCALE: 1/4"=1'-0"
11x17 PRINTS SCALE: 1/8"=1'-0"

EXTERIOR DOORS/WINDOWS (DP RATING)
- ALL EXTERIOR DOORS TO BE DP41 WHEN BUILT IN HIGH WIND ZONE.
- ALL EXTERIOR WINDOWS TO BE DP50 WHEN BUILT IN HIGH WIND ZONE.

1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC, AS A BASE PLAN MASTER SET.
2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGNS.
3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.

ATTIC NOTES
1. KNEEWALLS IN UNFINISHED ATTIC ARE OPTIONAL, UNLESS USED TO SUPPORT RAFTERS (SEE STRUCTURAL SHEETS). KNEEWALL LOCATION/HEIGHT MAY BE ADJUSTED IN THE FIELD IF THESE WALLS ARE NOT LOAD BEARING.
2. CEILING LINES SHOWN IN UNFINISHED ATTIC MAY BE JUST FOR REPRESENTATION OF FUTURE FLAT CEILING. IF A FLAT CEILING IS DESIRED, THIS WILL HAVE TO BE COORDINATED WITH THE STRUCTURAL PLANS.

GENERAL NOTES
WALL THICKNESS / ANGLES
ALL EXTERIOR STUD WALLS ARE DRAWN 4" THICK UNO. ALL INTERIOR STUD WALLS ARE DRAWN 4" THICK UNO. ANGLED WALLS ARE DRAWN @ 45° UNO.
EGRESS
ALL BEDROOMS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO EGRESS REQUIREMENTS FOR CLEAR OPENING HEIGHT AND WIDTH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EGRESS SIZING PER CODE BASED ON CHOSEN MANUFACTURER, AS PRODUCT SIZES MAY VARY.
WALL/CEILING HEIGHTS
WALL AND CEILING HEIGHTS NOTES ARE BASED ON NOMINAL WALL SIZE (I.E. A 9'-1 1/8" ACTUAL WALL HEIGHT IS LABELED 9/0 ON THE PLANS).
ALL VAULTED OR SLOPED CEILINGS ARE TO BE FURRED DOWN TO ACCOMMODATE REQUIRED CEILING INSULATION AND 1" AIRSPACE. VERIFY CODES FOR INFORMATION ON INSULATION REQUIREMENTS.
STAIRS
STAIR TREADS ARE MEASURED FROM NOSING TO NOSING (N.N).
MAXIMUM STAIR RISE HEIGHT TO BE NO GREATER THAN 8-1/4"

ARCHITECTURAL PLANS WALL LEGEND

- STANDARD STUD WALL INT OR EXT IF EXT SEE ELEVATIONS FOR SIDING STYLE THICKNESS OF WALL NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH 5" BRICK VENEER FOUNDATION WALL LEDGE STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH STACKED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE BUILDER TO VERIFY STONE THICKNESS 4 NOTIFY PLAN DESIGNER IF THICKNESS IS MORE THAN 5" BEFORE FOOTINGS ARE POURED)
- STANDARD STUD WALL WITH APPLIED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE: NO FOUNDATION SUPPORT IS REPRESENTED ON STRUCTURAL PLANS) IF STACKED STONE IS TO BE USED BUILDER MUST NOTIFY PLAN DESIGNER BEFORE FOOTINGS ARE POURED
- STANDARD STUD WALL WITH LOW APPLIED STONE WAINSCOTING. SEE ELEVATIONS FOR HEIGHT 4 FINISH MATERIAL AT EXT STUD WALL ABOVE. STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH 5" FOUNDATION LEDGE FOR LOW BRICK OR STACKED STONE WAINSCOTING. SEE ELEVATIONS FOR HEIGHT 4 FINISH MATERIAL AT EXT STUD WALL ABOVE. STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- HALF WALL WITH 1/2" CAP (42" HEIGHT UNLESS NOTED OTHERWISE ON PLANS)

WINDOW FALL PREVENTION PROTECTION
IF ANY PART OF THE CLEAR OPENING OF THE OPERABLE PORTION OF A WINDOW IS LOCATED MORE THAN 72" ABOVE THE EXTERIOR GRADE THEN THE LOWEST PART OF THE CLEAR OPENING MUST BE AT LEAST 24" ABOVE THE FLOOR OF THE ROOM IN WHICH IT IS LOCATED.
EXCEPTIONS:
1. THE WINDOW IS A FIXED UNIT
2. THE OPENING DOES NOT ALLOW THE PASSAGE OF A 4- INCH DIAMETER SPHERE.
3. THE WINDOW IS EQUIPPED WITH A WINDOW FALL PREVENTION DEVICE MEETING ASTM F2090.
4. THE WINDOW IS EQUIPPED WITH AN APPROVED WINDOW OPENING LIMITING DEVICE.
NOTE: WHEN USED WITH AN EMERGENCY ESCAPE AND RESCUE WINDOW OPENING LIMITING DEVICES AND FALL PREVENTION DEVICES MUST BE APPROVED FOR EMERGENCY ESCAPE AND RESCUE PROVISIONS.

4. MCKEE HOMES WILL ASSUME ANY AND ALL LIABILITY FOR ERRORS ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN.
5. THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION OF ANY STRUCTURE WITHOUT THE CONSULTATION OF A LICENSED PROFESSIONAL ENGINEER.

GENERAL NOTES:
1. THESE PLANS ARE TO BE COORDINATED WITH ALL OTHER MEMBERSHIPS BY OWNER AND CONTRACTOR AND PER LOCAL CODES.
2. CONTRACTOR IS TO NOTIFY ARCHITECT IMMEDIATELY OF ANY CONDITIONS OR ITEMS VARYING FROM DESIGNED INFORMATION.
3. MCKEE HOMES IS RESPONSIBLE FOR CONTRIBUTED VARIATIONS FROM THE INFORMATION SUPPLIED.

McKee Homes, LLC
Clark II - Base - Classic
Base Plan - Elev. A (LHG)
Architectural Master Plan Set (2-19-19)

PROGRESS DATE:	--	
ISSUE DATE:	7/10/13	
DRAWN BY:	A.S.H./B.B.	
CHECKED BY:	A.S.H./B.B.	
REVISIONS		
DATE	BY	DESCRPT.
8-21-17	BB	Master Plan Set - Arch
5-25-18	BB	Master Plan Set - Arch
7-23-18	BB	Master Plan Set - Arch (Logo)
2-14-19	BB	2018 Codes - Plan mods

Attic Floor Plan
SHEET NO.
A-6-0
PLAN NO.
039211

ELECTRICAL SYMBOLS LEGEND

	WALL MOUNTED FIXTURE		DUPLEX OUTLET		SINGLE POLE SWITCH
	CEILING FIXTURE		SWITCHED OUTLET		3-WAY SWITCH
	HANGING FIXTURE		GROUND FAULT CIRCUIT-INTERRUPTER		4-WAY SWITCH
	PULL CHAIN FIXTURE		WATER PROOF OUTLET		DIMMER SWITCH
	RECESSED LIGHT		220 VOLT OUTLET		BATH FAN
	EYE BALL		FLOOR OUTLET		CEILING FAN
	FLOOD LIGHT		GARAGE DOOR OPENER		SMOKE DETECTOR
	KEYLESS FIXTURE		PHONE		FAN
	24x48 FLUORESCENT FIXTURE		CABLE TV		LIGHT / FAN COMBO
	12x48 FLUORESCENT FIXTURE		GARBAGE DISPOSAL		WATER SHUTOFF
	FLUORESCENT STRIP FIXTURE		JUNCTION BOX		
			COMPUTER DATA OUTLET		

ELECTRICAL:

- 1) ALL ELECTRICAL DESIGN AND INSTALLATION IS TO CONFORM TO THE NATIONAL ELECTRICAL CODE, LATEST EDITION. ALL EQUIPMENT SHALL BE UL, LABELED.
- 2) ALL SWITCHES TO BE MOUNTED 5'-0" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
- 3) INSTALL CONVENIENCE OUTLETS AT 18" ABOVE FINISHED FLOOR. MAXIMUM SPACING 12'-0" O.C. INSTALL AT ALL WALLS OF 24" OR GREATER WIDTH.
- 4) UL SMOKE DETECTORS SHALL BE LOCATED IN ALL BEDROOMS AND ONE EACH ADDITIONALLY AT EACH LEVEL. OTHER LOCATIONS SHOWN ON DRAWINGS. HARDWIRE ALL DETECTORS TOGETHER, AND PROVIDE BATTERY BACK-UP.
- 5) INSTALL GROUND FAULT RECEPTACLES IN BATHROOMS, KITCHENS, AND OTHER WET LOCATIONS AS REQUIRED BY N.E.C. 210-8.

ELECTRICAL NOTES

1. ELECTRICAL CONTRACTOR MUST CONFIRM ELECTRICAL LAYOUT WITH BUILDER AND/OR HOMEOWNER. BUILDER/HOMEOWNER SPECIFICATIONS WILL OVERRIDE THESE DOCUMENTS.
2. VERIFY LOCATION OF 240V. RECEPTACLES, AS GAS APPLIANCES MAY BE SUBSTITUTED FOR ELECTRICAL IN SOME CASES.

UPGRADED LIGHTING PACKAGE

1. ALL CEILING MOUNTS TO BE REPLACED WITH RECESSED CAN LIGHTS IN MAIN LIVING AREAS INCLUDING:
 - FAMILY
 - KITCHEN
 - HALLWAYS

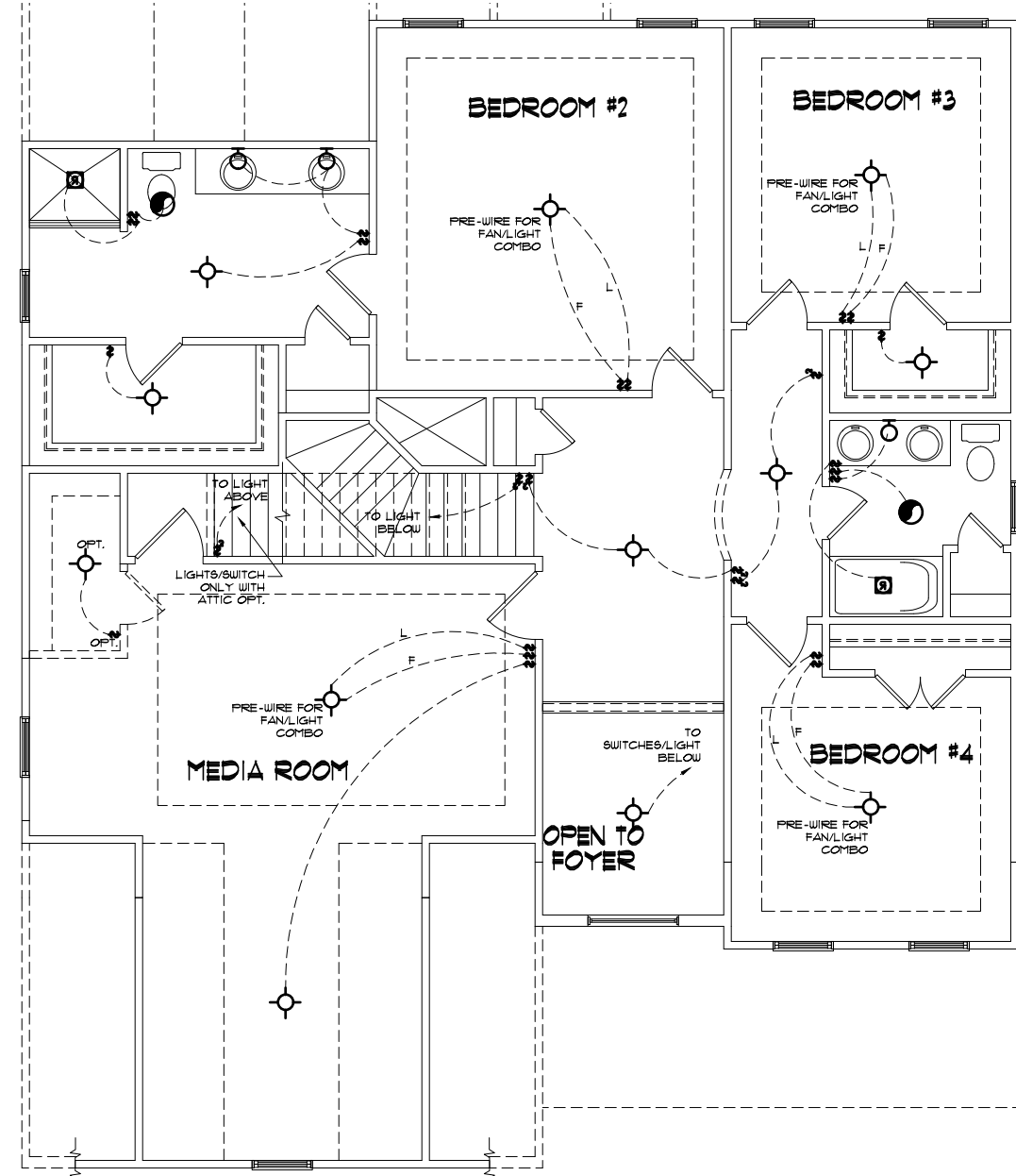
ELECTRICAL NOTES

- ONLY ONE PHONE LINE IS INCLUDED IN BASE HOUSE
- ALL OTHER PHONE LINES ARE OPTIONAL
- UNDER-CABINET LIGHTING IS OPTIONAL
- RECEPTACLES ARE TO BE INSTALLED AS STANDARD PER LATEST CODE REQUIREMENTS

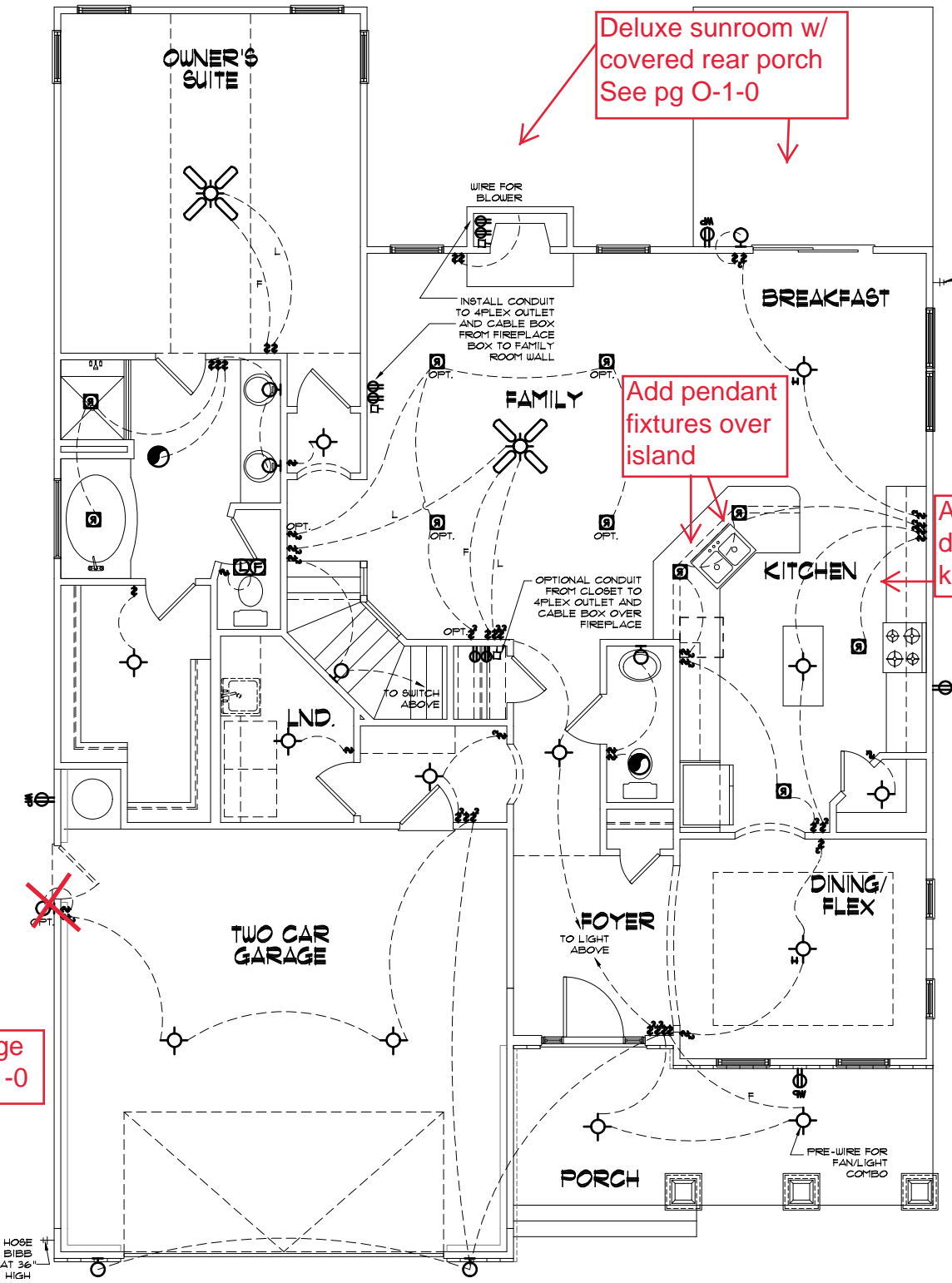
1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC. AS A BASE PLAN MASTER SET.

2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGNS.

3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.



SECOND FLOOR LIGHTING - CLASSIC
 22x34 PRINTS SCALE: 1/4"=1'-0"
 11x17 PRINTS SCALE: 1/8"=1'-0"



FIRST FLOOR LIGHTING - CLASSIC
 22x34 PRINTS SCALE: 1/4"=1'-0"
 11x17 PRINTS SCALE: 1/8"=1'-0"



Scales UNO:
 22X34: 1/4"=1'-0"
 11X17: 1/8"=1'-0"

McKee Homes, LLC
 Clark II - Base - Classic
 Base Plan - Elev. A (LHG)
 Architectural Master Plan Set (2-19-19)

PROGRESS DATE:	--	
ISSUE DATE:	7/10/13	
DRAWN BY:	A.S.H./B.B.	
CHECKED BY:	A.S.H./B.B.	
REVISIONS		
DATE:	BY:	DESCRPT.
8-21-17	BB	Master Plan Set - Archs
5-25-18	BB	Master Plan Set - Archs
7-23-18	BB	Master Plan Set - Archs (Logo)
2-14-19	BB	2018 Codes - Plan mods

First & Second Floor
 Lighting
 SHEET NO.
AE-1-0
 PLAN NO.
039211

GENERAL NOTES: 1. THESE PLANS SHALL BE COORDINATED WITH ALL SITE INFORMATION BY OWNER AND CONTRACTOR. 2. CONTRACTOR IS TO NOTIFY ARCHITECT IMMEDIATELY OF CONDITIONS OR ITEMS VARYING FROM SPECIFIED INFORMATION. 3. MCKEE HOMES IS RESPONSIBLE FOR CONTRIBUTED VARIATIONS FROM THE INFORMATION SHOWN.

ELECTRICAL SYMBOLS LEGEND

	WALL MOUNTED FIXTURE		DUPLEX OUTLET		SINGLE POLE SWITCH
	CEILING FIXTURE		SWITCHED OUTLET		3-WAY SWITCH
	HANGING FIXTURE		GROUND FAULT CIRCUIT-INTERRUPTER		4-WAY SWITCH
	PULL CHAIN FIXTURE		WATER PROOF OUTLET		DIMMER SWITCH
	RECESSED LIGHT		220 VOLT OUTLET		BATH FAN
	EYE BALL		FLOOR OUTLET		CEILING FAN
	FLOOD LIGHT		GARAGE DOOR OPENER		SMOKE DETECTOR
	KEYLESS FIXTURE		PHONE		FAN
	24x48 FLUORESCENT FIXTURE		CABLE TV		LIGHT / FAN COMBO
	12x48 FLUORESCENT FIXTURE		GARBAGE DISPOSAL		WATER SHUTOFF
	FLUORESCENT STRIP FIXTURE		JUNCTION BOX		
			COMPUTER DATA OUTLET		

ELECTRICAL:

- 1) ALL ELECTRICAL DESIGN AND INSTALLATION IS TO CONFORM TO THE NATIONAL ELECTRICAL CODE, LATEST EDITION. ALL EQUIPMENT SHALL BE UL LABELLED.
- 2) ALL SWITCHES TO BE MOUNTED 8'-10" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
- 3) INSTALL CONVENIENCE OUTLETS AT 18" ABOVE FINISHED FLOOR, MAXIMUM SPACING 12'-0" O.C. INSTALL AT ALL WALLS OF 24" OR GREATER WIDTH.
- 4) U.L. SMOKE DETECTORS SHALL BE LOCATED IN ALL BEDROOMS, AND ONE EACH ADDITIONALLY AT EACH LEVEL. OTHER LOCATIONS SHOWN ON DRAWINGS. HARDWIRE ALL DETECTORS TOGETHER, AND PROVIDE BATTERY BACK-UP.
- 5) INSTALL GROUND FAULT RECEPTACLES IN BATHROOMS, KITCHENS, AND OTHER WET LOCATIONS AS REQUIRED BY N.E.C. 210-8.

ELECTRICAL NOTES

1. ELECTRICAL CONTRACTOR MUST CONFIRM ELECTRICAL LAYOUT WITH BUILDER AND/OR HOMEOWNER. BUILDER/HOMEOWNER SPECIFICATIONS WILL OVERRIDE THESE DOCUMENTS.
2. VERIFY LOCATION OF 240V. RECEPTACLES, AS GAS APPLIANCES MAY BE SUBSTITUTED FOR ELECTRICAL IN SOME CASES.

UPGRADED LIGHTING PACKAGE

1. ALL CEILING MOUNTS TO BE REPLACED WITH RECESSED CAN LIGHTS IN MAIN LIVING AREAS INCLUDING:
 - FAMILY
 - KITCHEN
 - HALLWAYS

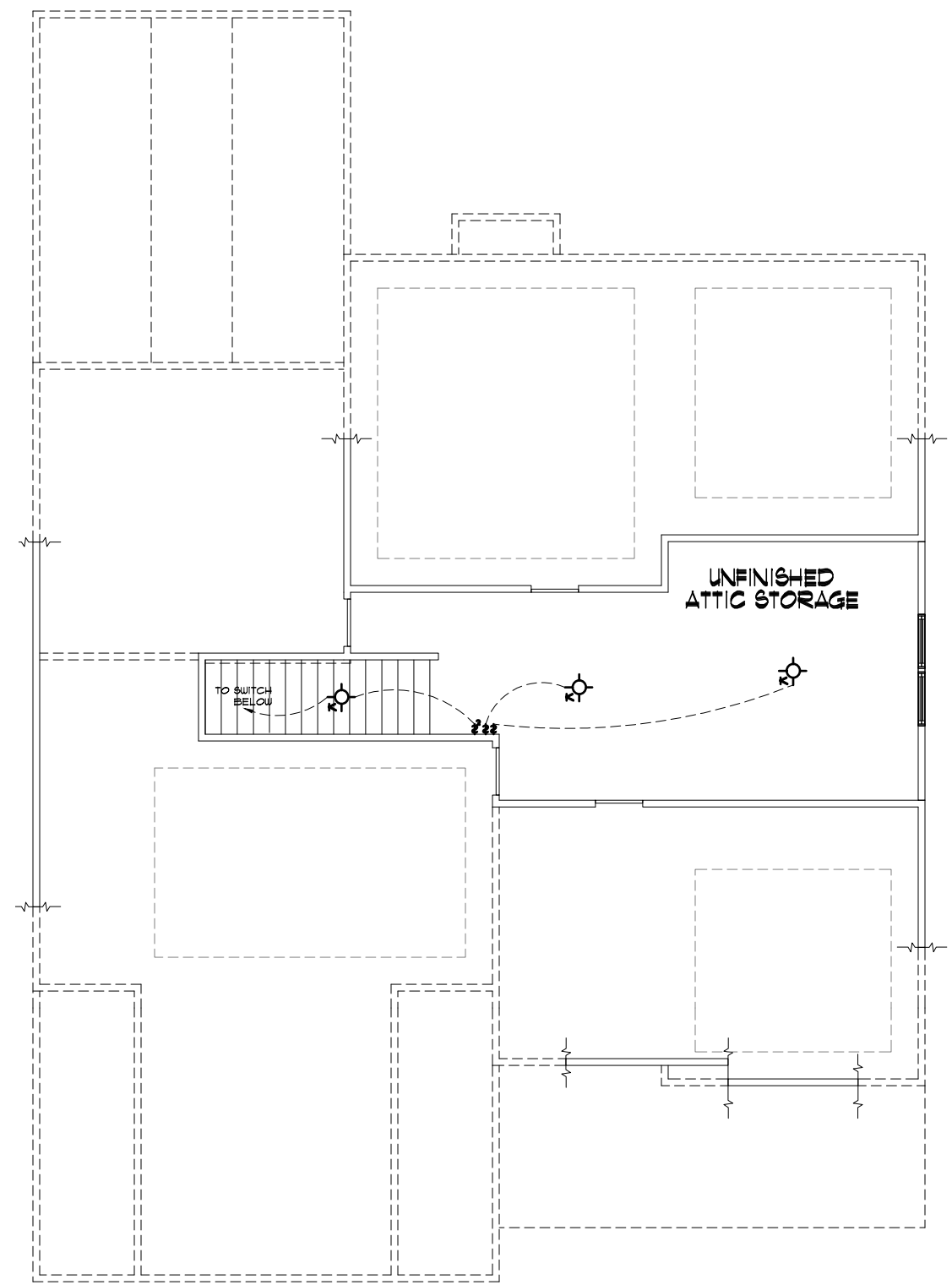
ELECTRICAL NOTES

- ONLY ONE PHONE LINE IS INCLUDED IN BASE HOUSE
- ALL OTHER PHONE LINES ARE OPTIONAL
- UNDER-CABINET LIGHTING IS OPTIONAL
- RECEPTACLES ARE TO BE INSTALLED AS STANDARD PER LATEST CODE REQUIREMENTS

1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC. AS A BASE PLAN MASTER SET.

2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGNS.

3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.



CLASSIC ATTIC FLOOR LIGHTING
 22x34 PRINTS SCALE: 1/4"=1'-0"
 11x17 PRINTS SCALE: 1/8"=1'-0"

GENERAL NOTES: 1. THESE NOTES SHALL APPLY TO ALL WORK UNDER THIS CONTRACT. 2. CONTRACTOR IS TO NOTIFY ARCHITECT IMMEDIATELY OF CONDITIONS OR ITEMS VARYING FROM SPECIFICATIONS. 3. MCKEE HOMES IS RESPONSIBLE FOR CONTRIBUTING VARIATIONS FROM THE INFORMATION SUPPLIED.

4. MCKEE HOMES WILL ASSUME ANY AND ALL LIABILITY FOR ERRORS ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN.

5. THESE NOTES IS RESPONSIBLE FOR ESTIMATING, MANAGING, OR INSTALLING CONTRACTOR COSTS ASSOCIATED WITH THESE ITEMS.

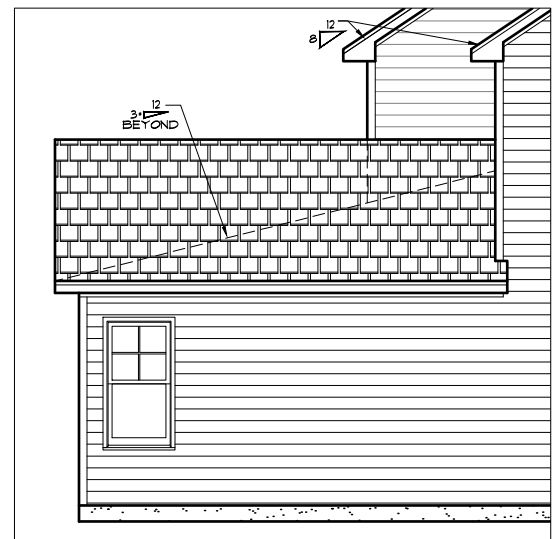


Scales UNO:
 22X34: 1/4"=1'-0"
 11X17: 1/8"=1'-0"

McKee Homes, LLC
 Clark II - Base - Classic
 Base Plan - Elev. A (LHG)
 Architectural Master Plan Set (2-19-19)

PROGRESS DATE:	--	
ISSUE DATE:	7/10/13	
DRAWN BY:	A.S.H./B.B.	
CHECKED BY:	A.S.H./B.B.	
REVISIONS		
DATE	BY	DESCRPT.
8-21-17	BB	Master Plan Set - Archs
5-25-18	BB	Master Plan Set - Archs
7-23-18	BB	Master Plan Set - Archs (Logo)
2-19-19	BB	2018 Codes - Plan mods

Attic Floor Lighting
 SHEET NO. AE-2-0
 PLAN NO. 039211



LEFT ELEVATION

22X34 PRINTS SCALE: 1/4"=1'-0"
11X17 PRINTS SCALE: 1/8"=1'-0"



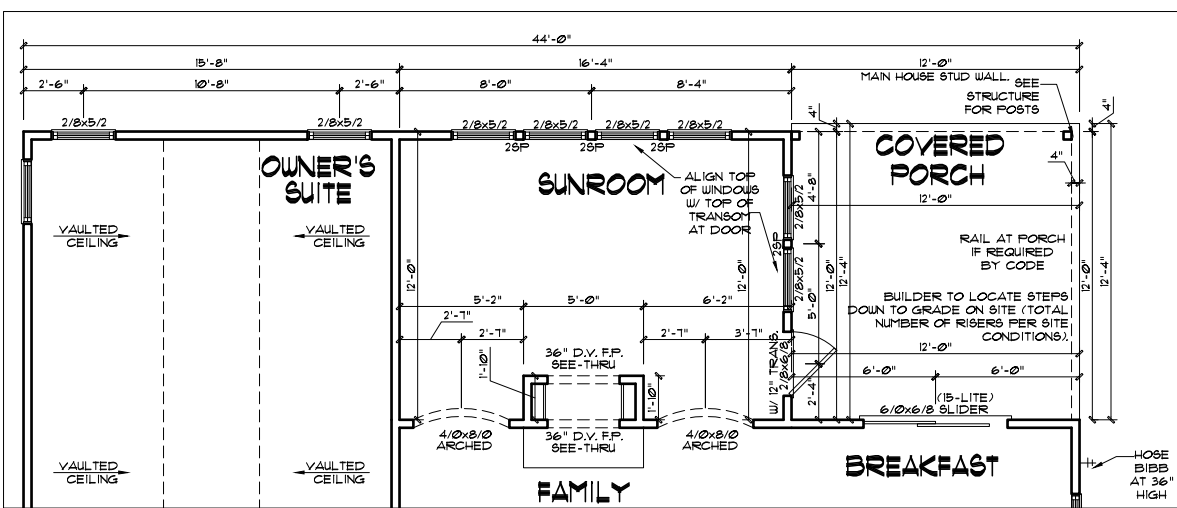
REAR ELEVATION

22X34 PRINTS SCALE: 1/4"=1'-0"
11X17 PRINTS SCALE: 1/8"=1'-0"



RIGHT ELEVATION

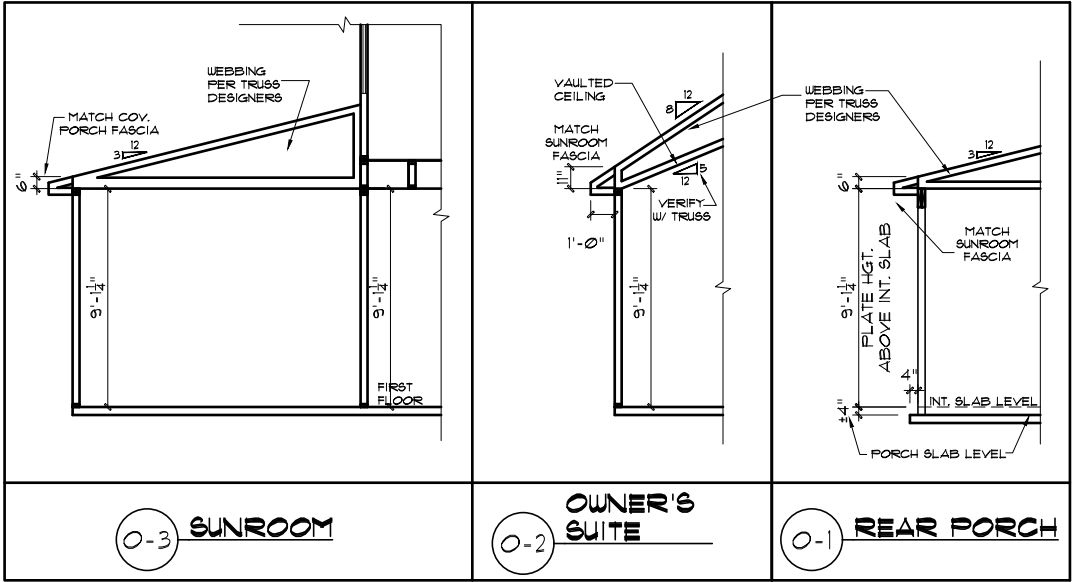
22X34 PRINTS SCALE: 1/4"=1'-0"
11X17 PRINTS SCALE: 1/8"=1'-0"



OPT. SUNROOM DELUXE FIRST FLOOR PLAN

22X34 PRINTS SCALE: 1/4"=1'-0"
11X17 PRINTS SCALE: 1/8"=1'-0"

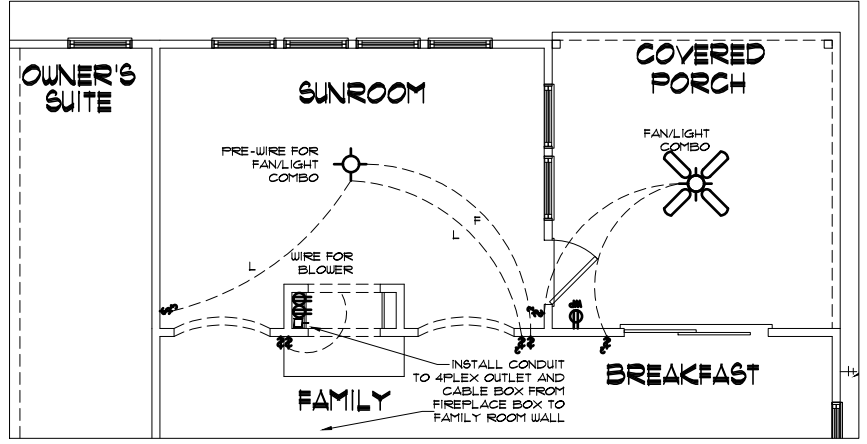
CLARK II - OPTIONAL SUNROOM DELUXE	
Heated Square Footage	
Sunroom Htd.	187
TOTAL HTD.	187
Unheated Square Footage	
Covered Porch - Rear	148



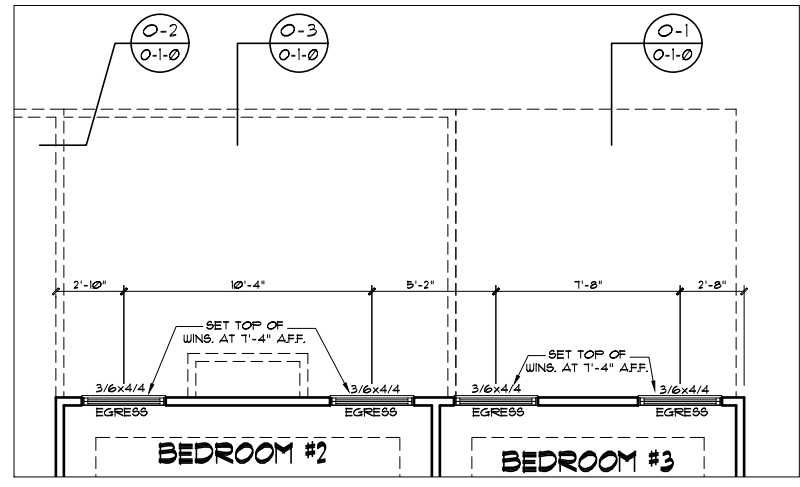
- 1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC. AS A BASE PLAN MASTER SET.
- 2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGNS.
3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.

OPT. SUNROOM DELUXE FIRST FLOOR LIGHTING

22X34 PRINTS SCALE: 1/4"=1'-0"
11X17 PRINTS SCALE: 1/8"=1'-0"



- GENERAL NOTES**
- WALL THICKNESS / ANGLES**
ALL EXTERIOR STUD WALLS ARE DRAWN 4" THICK UNO.
ALL INTERIOR STUD WALLS ARE DRAWN 4" THICK UNO.
ANGLED WALLS ARE DRAWN @ 45° UNO.
- EGRESS**
ALL BEDROOMS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO EGRESS REQUIREMENTS FOR CLEAR OPENING HEIGHT AND WIDTH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EGRESS SIZING PER CODE BASED ON CHOSEN MANUFACTURER, AS PRODUCT SIZES MAY VARY.
- WALL/CEILING HEIGHTS**
WALL AND CEILING HEIGHTS NOTES ARE BASED ON NOMINAL WALL SIZE (IE. A 9'-1/8" ACTUAL WALL HEIGHT IS LABELED 9/0 ON THE PLANS).
- ALL VAULTED OR SLOPED CEILINGS ARE TO BE FURRED DOWN TO ACCOMMODATE REQUIRED CEILING INSULATION AND 1" AIRSPACE. VERIFY CODES FOR INFORMATION ON INSULATION REQUIREMENTS.
- STAIRS**
STAIR TREADS ARE MEASURED FROM NOSING TO NOSING (N/N).
MAXIMUM STAIR RISE HEIGHT TO BE NO GREATER THAN 8-1/4"



OPT. SUNROOM DELUXE SECOND FLOOR PLAN

22X34 PRINTS SCALE: 1/4"=1'-0"
11X17 PRINTS SCALE: 1/8"=1'-0"

EXTERIOR DOORS/WINDOWS (DP RATING)
- ALL EXTERIOR DOORS TO BE DP41 WHEN BUILT IN HIGH WIND ZONE.
- ALL EXTERIOR WINDOWS TO BE DP50 WHEN BUILT IN HIGH WIND ZONE.

THIS IS MEANT TO BE AN OPTION SHEET. SEE BASE PLAN FOR MORE INFORMATION

- WINDOW FALL PREVENTION PROTECTION**
IF ANY PART OF THE CLEAR OPENING OF THE OPERABLE PORTION OF A WINDOW IS LOCATED MORE THAN 12" ABOVE THE EXTERIOR GRADE THEN THE LOWEST PART OF THE CLEAR OPENING MUST BE AT LEAST 24" ABOVE THE FLOOR OF THE ROOM IN WHICH IT IS LOCATED.
- EXCEPTIONS:**
1. THE WINDOW IS A FIXED UNIT
 2. THE OPENING DOES NOT ALLOW THE PASSAGE OF A 4- INCH DIAMETER SPHERE.
 3. THE WINDOW IS EQUIPPED WITH A WINDOW FALL PREVENTION DEVICE MEETING ASTM F2090.
 4. THE WINDOW IS EQUIPPED WITH AN APPROVED WINDOW OPENING LIMITING DEVICE.
- NOTE:** WHEN USED WITH AN EMERGENCY ESCAPE AND RESCUE WINDOW, OPENING LIMITING DEVICES AND FALL PREVENTION DEVICES MUST BE APPROVED FOR EMERGENCY ESCAPE AND RESCUE PROVISIONS.

GENERAL NOTES: 1. THIS SHEET IS TO BE COORDINATED WITH ALL SET WORKSHEETS BY OWNER AND CONTRACTOR. 2. CONTRACTOR IS TO VERIFY ALL ARCHITECT PRESENTED CONDITIONS OR ITEMS VARYING FROM SPECIFIED INFORMATION. 3. MAKE WORKER RESPONSIBLE FOR CORRECTING VARIATIONS FROM THE INFORMATION PROVIDED.
 CONTRACTOR SHALL ASSUME ANY AND ALL LIABILITY FOR ERRORS ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN.
 THESE PLANS ARE THE PROPERTY OF MCKEE HOMES, LLC. NO PART OF THESE PLANS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCKEE HOMES, LLC.

McKee Homes, LLC
Clark II - Base - Options
Base Plan - Left Hand Garage
Architectural Master Plan Set (2-19-19)

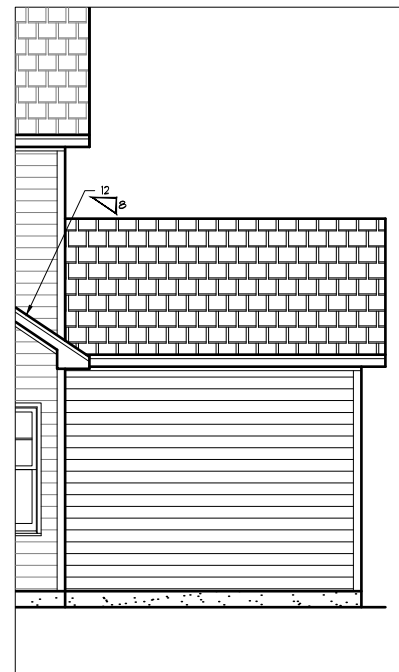
PROGRESS DATE:		
ISSUE DATE:	7/10/13	
DRAWN BY:	ASH/BB	
CHECKED BY:	ASH/BB	
REVISIONS:		
DATE:	BY:	DESCRPT.
8-31-15	BB	(11) Plan Updates
4-30-18	BB	Master Plan Set - Arch
7-23-18	BB	Master Plan Set - Arch (Logo)
2-14-19	BB	2018 Codes - Plan mods

Opt Sunroom Deluxe
-Elevs-Floors-Lights
SHEET NO. **0-1-0**
PLAN NO. **039211**



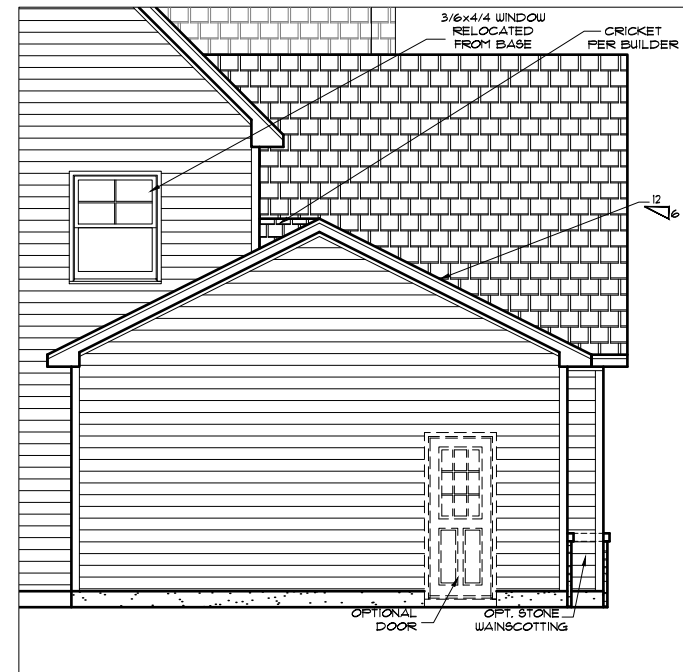
CLASSIC- 3RD BAY GARAGE FRONT ELEVATION

22x34 PRINTS SCALE: 1/4"=1'-0"
11x17 PRINTS SCALE: 1/8"=1'-0"



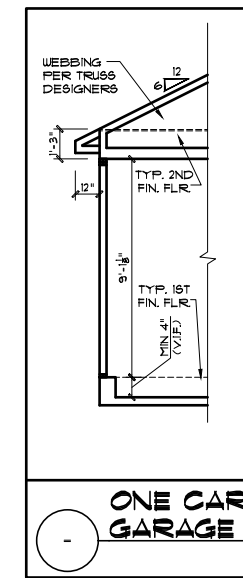
REAR ELEVATION

22x34 PRINTS SCALE: 1/4"=1'-0"
11x17 PRINTS SCALE: 1/8"=1'-0"



SIDE ELEVATION

22x34 PRINTS SCALE: 1/4"=1'-0"
11x17 PRINTS SCALE: 1/8"=1'-0"

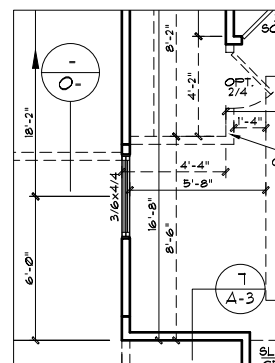


ONE CAR GARAGE

CLARK II - Opt. 3rd Car Bay Garage	
Unheated Square Footage	
Garage - 3rd Car Bay	255

3RD BAY GARAGE SECOND FLOOR PLAN

22x34 PRINTS SCALE: 1/4"=1'-0"
11x17 PRINTS SCALE: 1/8"=1'-0"



ELECTRICAL:

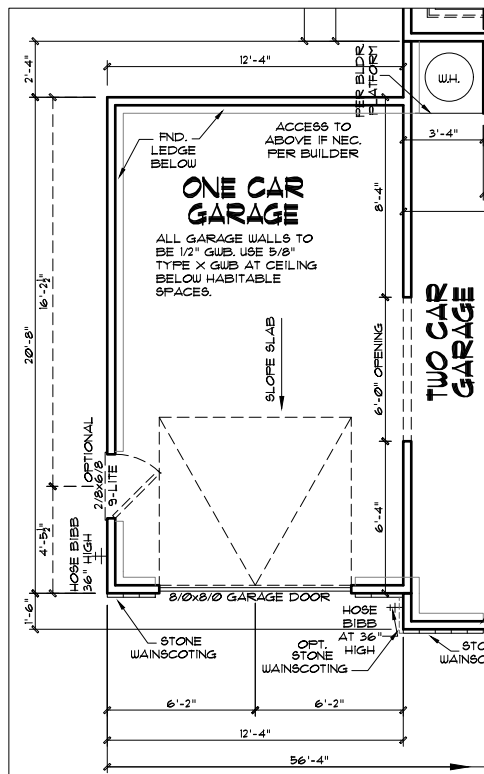
- 1) ALL ELECTRICAL DESIGN AND INSTALLATION IS TO CONFORM TO THE NATIONAL ELECTRICAL CODE, LATEST EDITION. ALL EQUIPMENT SHALL BE UL LABELED.
- 2) ALL SWITCHES TO BE MOUNTED 5'-0" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
- 3) INSTALL CONVENIENCE OUTLETS AT 18" ABOVE FINISHED FLOOR; MAXIMUM SPACING 12'-0" O.C. INSTALL AT ALL WALLS OF 24" OR GREATER WIDTH.
- 4) UL SMOKE DETECTORS SHALL BE LOCATED IN ALL BEDROOMS, AND ONE EACH ADDITIONALLY AT EACH LEVEL. OTHER LOCATIONS SHOWN ON DRAWINGS. HARDWIRE ALL DETECTORS TOGETHER, AND PROVIDE BATTERY BACK-UP.
- 5) INSTALL GROUND FAULT RECEPTACLES IN BATHROOMS, KITCHENS, AND OTHER WET LOCATIONS AS REQUIRED BY N.E.C. 210-8.

ELECTRICAL NOTES

1. ELECTRICAL CONTRACTOR MUST CONFIRM ELECTRICAL LAYOUT WITH BUILDER AND/OR HOMEOWNER. BUILDER/HOMEOWNER SPECIFICATIONS WILL OVERRIDE THESE DOCUMENTS.
2. VERIFY LOCATION OF 240V. RECEPTACLES, AS GAS APPLIANCES MAY BE SUBSTITUTED FOR ELECTRICAL IN SOME CASES.

THIS IS MEANT TO BE AN OPTION SHEET. SEE BASE PLAN FOR MORE INFORMATION

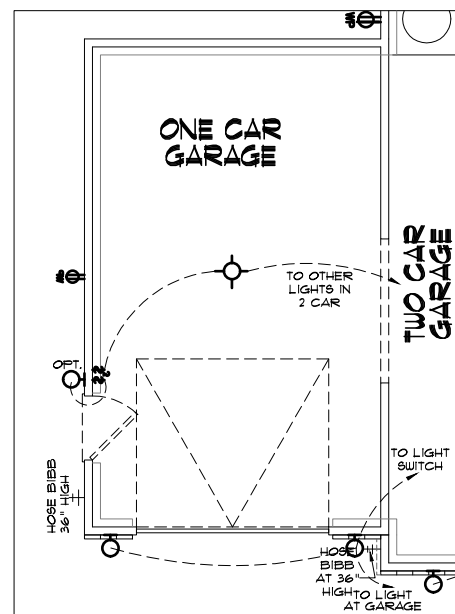
- 1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC, AS A BASE PLAN MASTER SET.
- 2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGNS.
3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.



3RD BAY GARAGE FIRST FLOOR PLAN

22x34 PRINTS SCALE: 1/4"=1'-0"
11x17 PRINTS SCALE: 1/8"=1'-0"

EXTERIOR DOORS/WINDOWS (DP RATING)
- ALL EXTERIOR DOORS TO BE DP41 WHEN BUILT IN HIGH WIND ZONE.
- ALL EXTERIOR WINDOWS TO BE DP50 WHEN BUILT IN HIGH WIND ZONE.



FIRST FLOOR LIGHTING

22x34 PRINTS SCALE: 1/4"=1'-0"
11x17 PRINTS SCALE: 1/8"=1'-0"

GENERAL NOTES

- WALL THICKNESS / ANGLES**
ALL EXTERIOR STUD WALLS ARE DRAWN 4" THICK UNO. ALL INTERIOR STUD WALLS ARE DRAWN 4" THICK UNO. ANGLED WALLS ARE DRAWN @ 45° UNO.
- EGRESS**
ALL BEDROOMS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO EGRESS REQUIREMENTS FOR CLEAR OPENING HEIGHT AND WIDTH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EGRESS SIZING PER CODE BASED ON CHOSEN MANUFACTURER, AS PRODUCT SIZES MAY VARY.
- WALL/CEILING HEIGHTS**
WALL AND CEILING HEIGHTS NOTES ARE BASED ON NOMINAL WALL SIZE (I.E. A 9'-1 1/8" ACTUAL WALL HEIGHT IS LABELED 9'0" ON THE PLANS).
- ALL VAULTED OR SLOPED CEILINGS ARE TO BE FURRED DOWN TO ACCOMMODATE REQUIRED CEILING INSULATION AND 1" AIRSPACE. VERIFY CODES FOR INFORMATION ON INSULATION REQUIREMENTS.
- STAIRS**
STAIR TREADS ARE MEASURED FROM NOSING TO NOSING (N.N). MAXIMUM STAIR RISE HEIGHT TO BE NO GREATER THAN 8'-1/4"

WINDOW FALL PREVENTION PROTECTION

IF ANY PART OF THE CLEAR OPENING OF THE OPERABLE PORTION OF A WINDOW IS LOCATED MORE THAN 12" ABOVE THE EXTERIOR GRADE THEN THE LOWEST PART OF THE CLEAR OPENING MUST BE AT LEAST 24" ABOVE THE FLOOR OF THE ROOM IN WHICH IT IS LOCATED.

EXCEPTIONS:

1. THE WINDOW IS A FIXED UNIT.
2. THE OPENING DOES NOT ALLOW THE PASSAGE OF A 4- INCH DIAMETER SPHERE.
3. THE WINDOW IS EQUIPPED WITH A WINDOW FALL PREVENTION DEVICE MEETING ASTM F2090.
4. THE WINDOW IS EQUIPPED WITH AN APPROVED WINDOW OPENING LIMITING DEVICE.

NOTE: WHEN USED WITH AN EMERGENCY ESCAPE AND RESCUE WINDOW, OPENING LIMITING DEVICES AND FALL PREVENTION DEVICES MUST BE APPROVED FOR EMERGENCY ESCAPE AND RESCUE PROVISIONS.

ARCHITECTURAL PLANS WALL LEGEND

- STANDARD STUD WALL INT OR EXT IF EXT SEE ELEVATIONS FOR SIDING STYLE THICKNESS OF WALL NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH 5" BRICK VENEER FOUNDATION WALL LEDGE STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH STACKED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE: BUILDER TO VERIFY STONE THICKNESS & NOTIFY PLAN DESIGNER IF THICKNESS IS MORE THAN 5" BEFORE FOOTINGS ARE POURED)
- STANDARD STUD WALL WITH APPLIED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE: NO FOUNDATION SUPPORT IS REPRESENTED ON STRUCTURAL PLANS) IF STACKED STONE IS TO BE USED BUILDER MUST NOTIFY PLAN DESIGNER BEFORE FOOTINGS ARE POURED
- STANDARD STUD WALL WITH LOW APPLIED STONE WANSCOTING. SEE ELEVATIONS FOR HEIGHT & FINISH MATERIAL AT EXT STUD WALL ABOVE. STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH 5" FOUNDATION LEDGE FOR LOW BRICK OR STACKED STONE WANSCOTING. SEE ELEVATIONS FOR HEIGHT & FINISH MATERIAL AT EXT STUD WALL ABOVE. STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- HALF WALL WITH 1x CAP (42" HEIGHT UNLESS NOTED OTHERWISE ON PLANS)

4. MCKEE HOMES WILL ASSUME ANY AND ALL LIABILITY FOR ERRORS ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN.
5. THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION OF ANY STRUCTURE WITHOUT THE APPROVAL OF THE LOCAL BUILDING DEPARTMENT.

GENERAL NOTES:
1. THESE PLANS ARE TO BE COORDINATED WITH ALL SITE INFORMATION BY OWNER AND CONTRACTOR. ANY AND ALL LIABILITY FOR ERRORS ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN.
2. CONTRACTOR IS TO VERIFY ALL DIMENSIONS OF CONDITIONS OR ITEMS VARYING FROM DESIGNED INFORMATION.
3. MCKEE HOMES IS RESPONSIBLE FOR CONSTRUCTION VARIATIONS FROM THE INFORMATION PROVIDED.

PROGRESS DATE:	---	
ISSUE DATE:	7/10/13	
DRAWN BY:	ASH/BB	
CHECKED BY:	ASH/BB	
REVISIONS		
DATE	BY	DESCRPT.
8-21-17	BB	Master Plan Set - Archs
5-25-18	BB	Master Plan Set - Archs
7-23-18	BB	Master Plan Set - Archs (Logo)
2-14-19	BB	2018 Codes - Plan mods

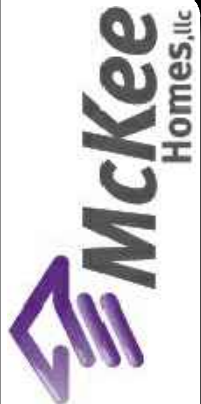
Opt 3 Car Garage - Archs

SHEET NO.

OA-1-0

PLAN NO.

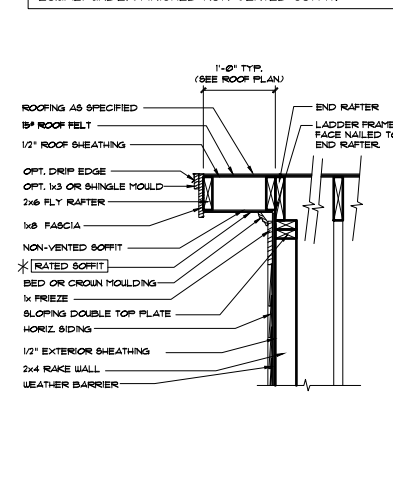
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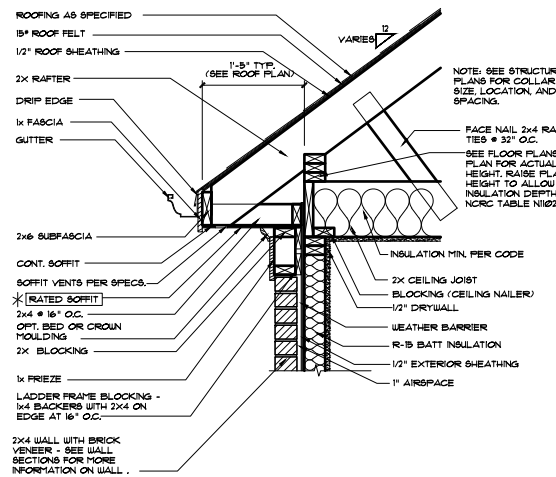
Scales UNO:
22X34: 1/4"=1'-0"
11X17: 1/8"=1'-0"

McKee Homes, LLC
Clark II - Base - Classic
Base Plan - Elev. A (LHG)
Architectural Master Plan Set (2-19-19)

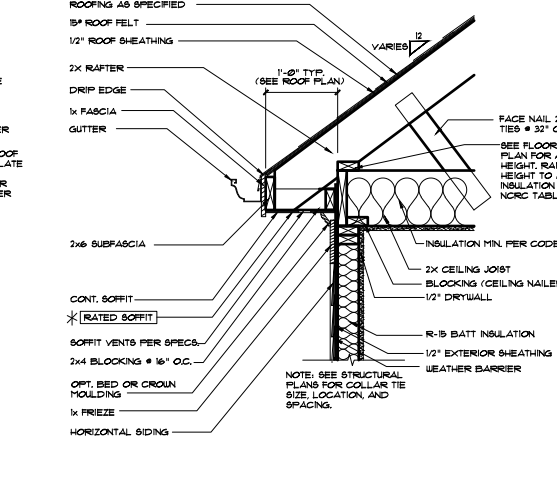
* 1 HOUR RATED (PRESCRIPTIVE 133 HR) W/ (2) LAYERS 5/8" TYPE X GYP BD. AT UNDERSIDE OF SOFFIT/RAKE AS REQUIRED. SEE PLANS FOR LOCATIONS. USE EXTERIOR GRADE (G-P FIREGUARD EXTERIOR OR EQUAL) UNDER FINISHED NON-VENTED SOFFIT.



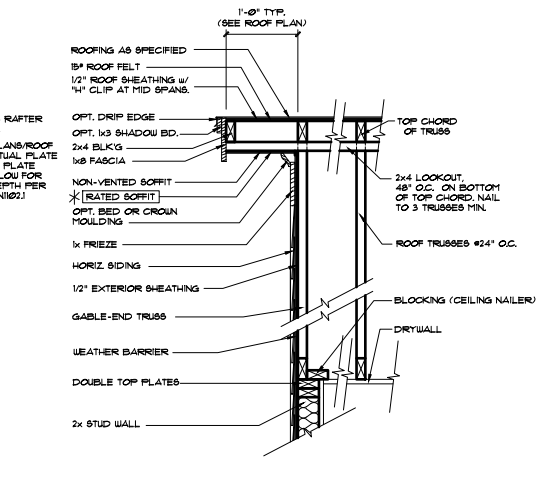
9 RAKE OVERHANG - STICK
1/4"=1'-0"
DT0039



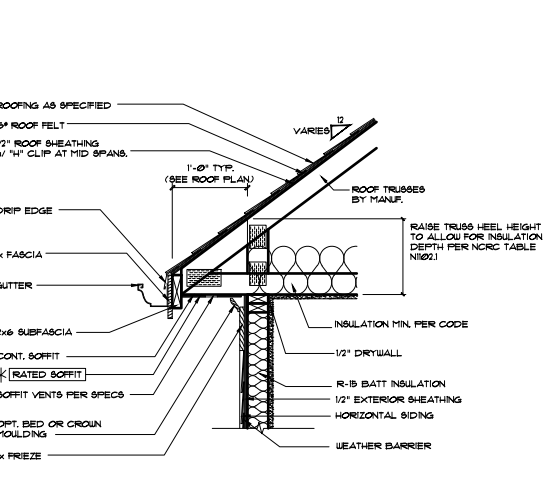
8 CORNICE AT BRICK STICK
1/4"=1'-0"
DT0051



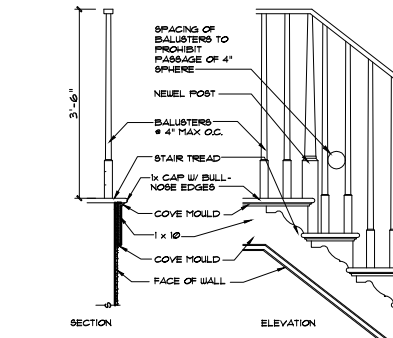
7 CORNICE AT SIDING (STICK)
1/4"=1'-0"
DT0064



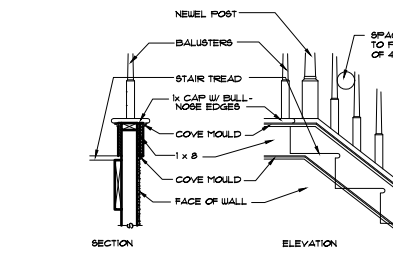
6 RAKE OVERHANG - (TRUSSES)
1/4"=1'-0"
DT0046



5 CORNICE AT SIDING (TRUSSES)
1/4"=1'-0"

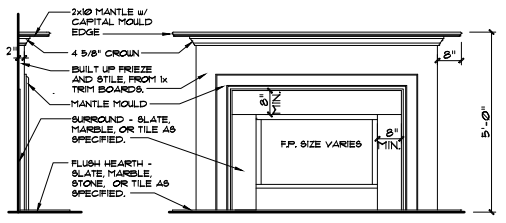


4 STAIR TRIM - OPEN RISERS
3/4"=1'-0"
DT0043



3 STAIR TRIM - CLOSED RISERS
3/4"=1'-0"
DT0042

* SEE STRUCTURAL SHEETS, NOTES AND DETAILS FOR MORE INFORMATION. ALL STRUCTURAL INFORMATION OVER-RIDES THESE ARCHITECTURAL DETAILS



2 FIREPLACE TRIM
1/2"=1'-0"
DT0062

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3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.

ACCEPTABLE MANUFACTURER: G-P DENSE GLASS GOLD FIREGUARD EXTERIOR GUARD OR EQUAL.

GA FILE NO. WP 8105	GENERIC	1 HOUR FIRE
GYPSUM WALLBOARD, GYPSUM SHEATHING, WOOD STUDS		
EXTERIOR SIDE: One layer 48" wide 5/8" type X gypsum sheathing applied parallel to 2 x 4 wood studs with 1 1/2" galvanized roofing nails, 0.120" shank, 7/16" or 1/2" heads, 4" o.c. at vertical joints and 7" o.c. at intermediate studs and top and bottom plates. Joints of gypsum sheathing may be left untreated. Exterior cladding to be attached through sheathing to studs.		
INTERIOR SIDE: One layer 5/8" type X gypsum wallboard, water-resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails, 1 1/4" long, 0.0915" shank, 1/2" heads, 7" o.c. (LOAD-BEARING)		
Thickness:	Varies	
Approx. Weight:	7 pcf	
Fire Test:	See WP 3510 (UL R3501-47, -48, 9-17-65, UL Design U309, UL 11919-129, 7-22-70, UL Design U314)	

WALL SECTION DETAILS				
MASTER DETAIL	DETAIL VARIATIONS			
<p>2x4 or 2x6 STUDS @ 12" OR 16" O.C. (SEE PLANS FOR SIZE AND SPACING.)</p> <p>WEATHER BARRIER</p> <p>1/16" EXTERIOR OSB</p> <p>BATT INSULATION (R-15)</p> <p>1/2" GYP. WALLBOARD</p>	<p>A EXTERIOR WALL HORIZONTAL SIDING</p>	<p>B EXTERIOR WALL BRICK VENEER</p>	<p>C EXTERIOR WALL STONE VENEER (APPLIED)</p>	
	<p>D EXTERIOR WALL STUCCO FINISH</p>	<p>A EXTERIOR WALL HORIZONTAL SIDING WITH METAL LATH</p>		
			<p>B EXTERIOR WALL BRICK VENEER WITH GALV. METAL WALL TIES</p>	<p>C EXTERIOR WALL STONE VENEER (APPLIED) WITH MORTAR SETTING BED</p>
				<p>C EXTERIOR WALL STONE VENEER (APPLIED) WITH MORTAR JOINT</p>

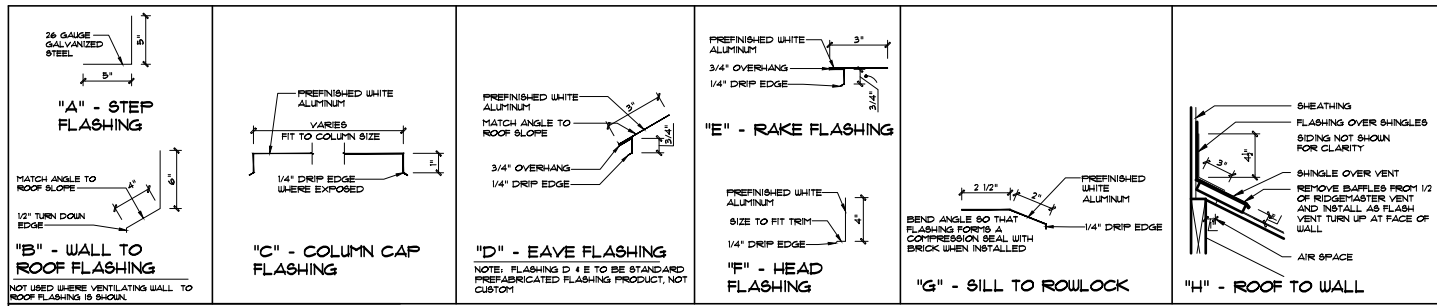
FLOOR SECTION DETAILS				
MASTER DETAIL	DETAIL VARIATIONS			
<p>SEE FLOOR PLANS AND ELEVATIONS FOR WALL FINISH MATERIALS. SEE WALL SECTIONS FOR MORE INFO.</p> <p>SEE FOUNDATION DETAILS FOR FOUNDATION WALL TYPE AND MORE INFO.</p> <p>JOISTS AT FOUNDATION</p> <p>3/4" TAG SUBFLOOR</p> <p>R-15 INSULATION AT CRAWL OR W/ UNFINISHED BASEMENT BELOW</p> <p>FINISH FLOOR (SEE SPECS)</p> <p>P.T. GILL PLATE, SEE FOUNDATION DETAILS FOR MORE INFO.</p> <p>JOISTS AT STUD WALL</p> <p>3/4" TAG SUBFLOOR</p> <p>DOUBLE TOP PLATE</p>	<p>A FLOOR SYSTEM AT STUD WALL CONVENTIONAL LUMBER</p>	<p>B FLOOR SYSTEM AT STUD WALL JOISTS</p>	<p>C FLOOR SYSTEM AT STUD WALL FLOOR TRUSSES</p>	
		<p>A FLOOR SYSTEM AT STUD WALL 2x LUMBER FLOOR SYSTEM</p>	<p>B FLOOR SYSTEM AT STUD WALL 1 JOIST FLOOR SYSTEM</p>	<p>C FLOOR SYSTEM AT STUD WALL WOOD FLOOR TRUSSES</p>
			<p>B FLOOR SYSTEM AT STUD WALL MANUFACTURER SPECIFIED LSL RIM BOARD</p>	
				<p>C FLOOR SYSTEM AT STUD WALL WOOD FLOOR TRUSSES BY MANUF.</p>

GENERAL NOTES: 1. THIS SET OF DRAWINGS IS TO BE USED IN CONJUNCTION WITH ALL OTHER INFORMATION PROVIDED BY OWNER AND CONTRACTOR. 2. CONTRACTOR IS TO VERIFY ALL ARCHITECT PREPARED CONDITIONS OR CONDITIONS VARYING FROM SPECIFIED INFORMATION. 3. USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND REGULATORY CODES ASSOCIATED WITH THESE ITEMS. 4. MCKEE HOMES WILL ASSUME ANY AND ALL LIABILITY FOR DAMAGES ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN. 5. THESE NOTES ARE INTENDED TO CLARIFY AND SUPPLEMENT THE INFORMATION PROVIDED IN THESE DRAWINGS.

McKee Homes, LLC
Clark II - Base - Options
Base Plan - Left Hand Garage
Architectural Master Plan Set (2-19-19)

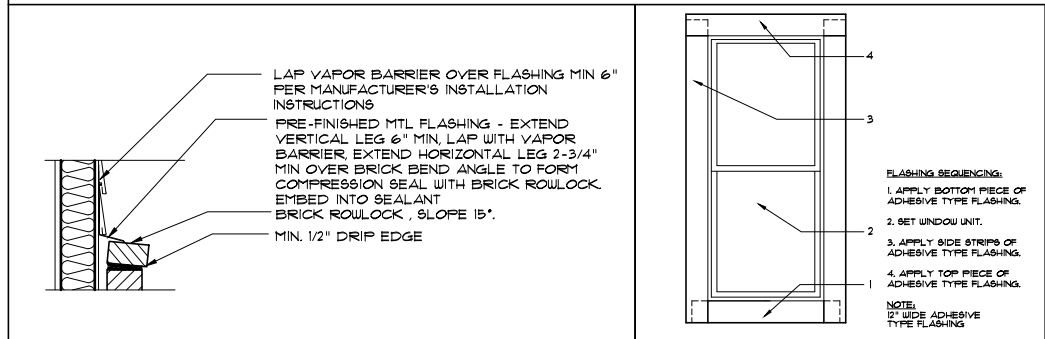
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ISSUE DATE:	7/10/13
DRAWN BY:	A.S.H./B.B.
CHECKED BY:	A.S.H./B.B.
REVISIONS	
DATE:	BY: DESCRPT.
8-31-15	BB (11) Plan Updates
4-30-18	BB Master Plan Set - Archs
7-23-18	BB Master Plan Set - Archs (Logo)
2-14-19	BB 2018 Codes - Plan mods

Architectural Details
SHEET NO. AD-1
PLAN NO. 039211



FLASHING DETAILS

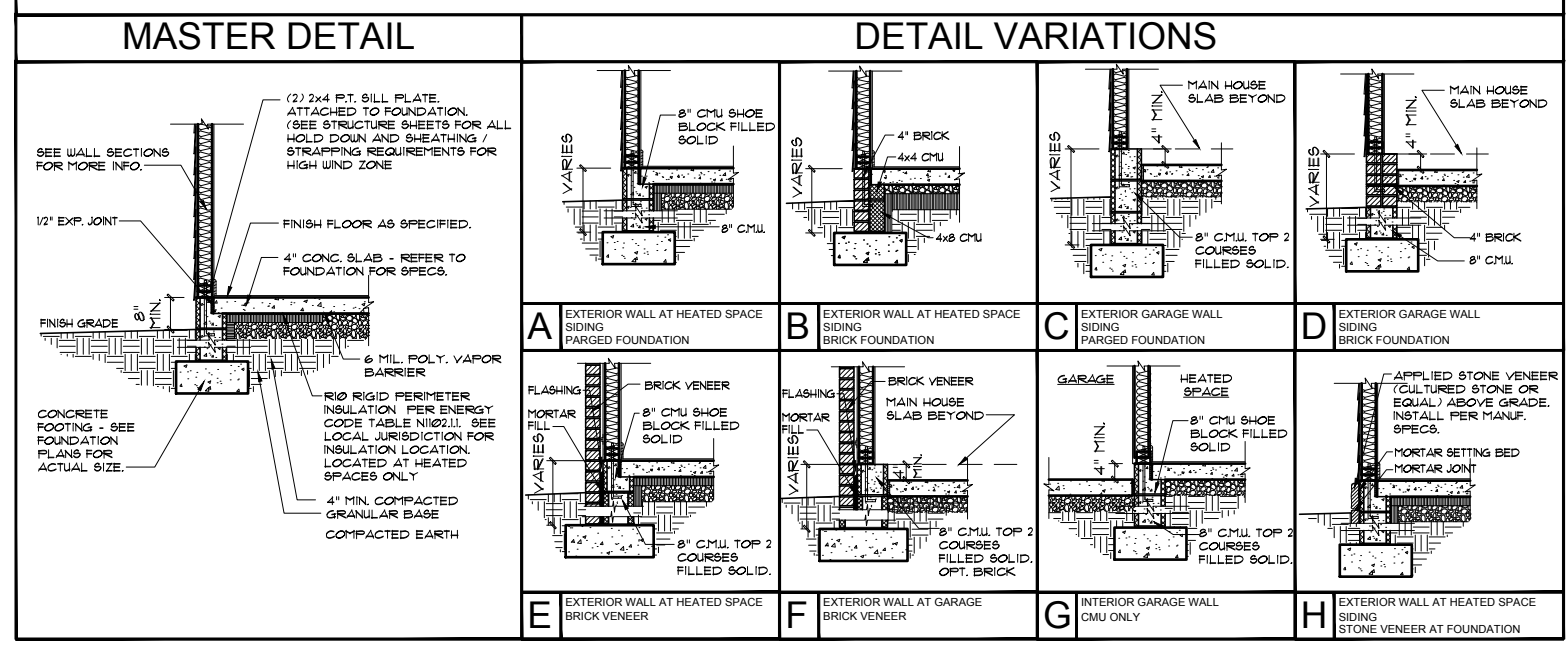
NOT TO SCALE



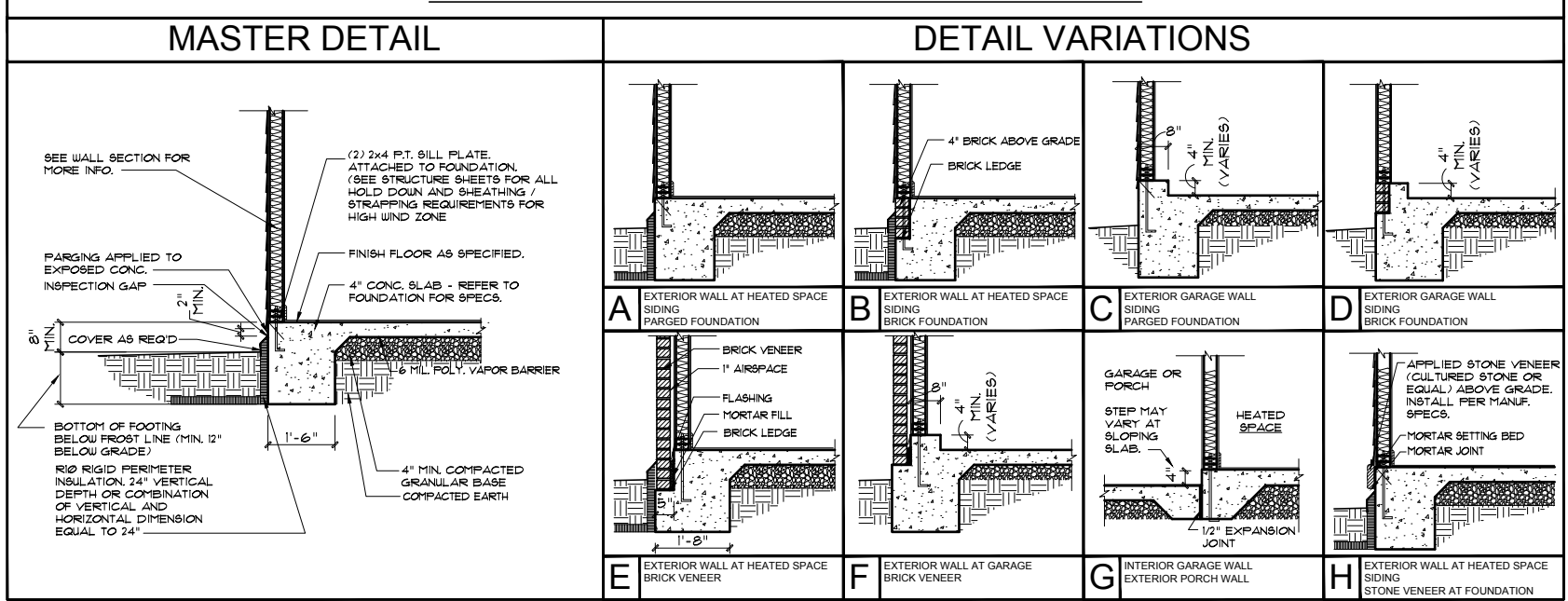
* SEE STRUCTURAL SHEETS, NOTES AND DETAILS FOR MORE INFORMATION. ALL STRUCTURAL INFORMATION OVER-RIDES THESE ARCHITECTURAL DETAILS

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STEM WALL SLAB FOUNDATION DETAILS



MONO SLAB FOUNDATION DETAILS

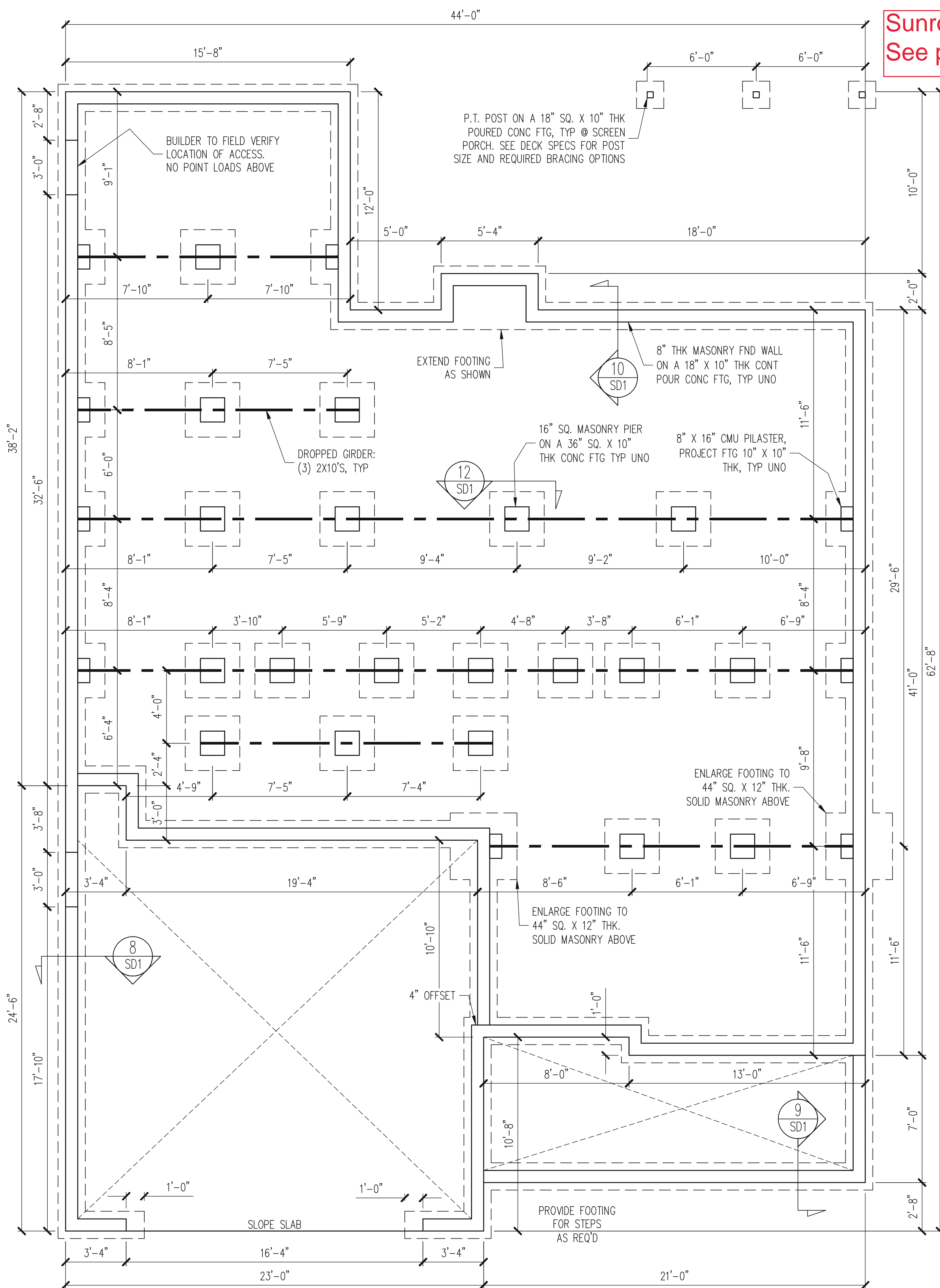


Scales UNO:
22X34: 1/4"=1'-0"
11x17: 1/8"=1'-0"

GENERAL NOTES: 1. THESE SHEETS SHALL BE COORDINATED WITH ALL SITE INFORMATION BY OWNER AND CONTRACTOR. 2. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING OR OTHER WORKING FROM EXISTING INFORMATION. 3. THESE SHEETS ARE FOR INFORMATION ONLY. 4. MCKEE HOMES, LLC ASSUMES NO LIABILITY FOR ERRORS ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN. 5. THESE SHEETS ARE NOT TO BE USED FOR CONSTRUCTION OF ANY STRUCTURE WITHOUT THE WRITTEN PERMISSION OF MCKEE HOMES, LLC. 6. MCKEE HOMES, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION VARIATIONS FROM THE INFORMATION PROVIDED.

McKee Homes, LLC
Clark II - Base - Options
Base Plan - Left Hand Garage
Architectural Master Plan Set (2-19-19)

PROGRESS DATE:	7/10/13	
ISSUE DATE:	7/10/13	
DRAWN BY:	A.S.H./B.B.	
CHECKED BY:	A.S.H./B.B.	
REVISIONS:		
DATE:	BY:	DESCRIP.
8-31-15	BB	(11) Plan Updates
4-30-18	BB	Master Plan Set - Arch
7-23-18	BB	Master Plan Set - Arch (Logo)
2-14-19	BB	2018 Codes - Plan mods
Architectural Details		
SHEET NO.		
AD-2		
PLAN NO.		
039211		



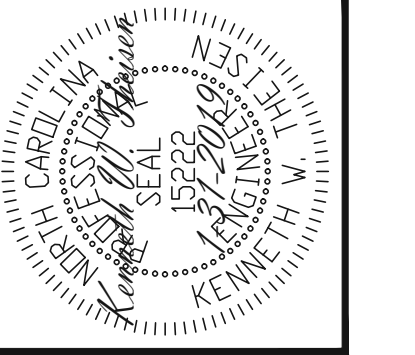
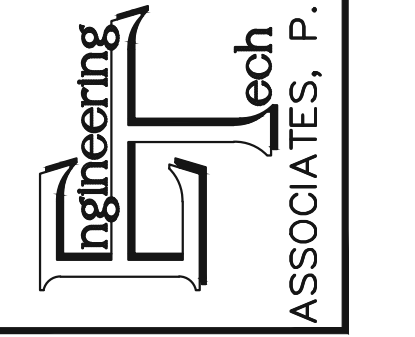
Sunroom w/ covered rear porch
See pg S32

3rd car garage
See pg S21

FOUNDATION PLAN
CRAWLSPACE OPTION
CLASSIC ELEVATION
1/4" = 1'-0"

NOTES:
- HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION.
- FIBER MESH REINFORCED CONCRETE MAY BE USED IN LIEU OF WELDED WIRE FABRIC. SEE SECTION 6.01 OF THE CONSTRUCTION SPECIFICATIONS FOR ALLOWABLE SUBSTITUTION DETAILS.

STRUCTURAL ENGINEERS
License No. C-3870
183 Wind Chime Court, Suite 100
Raleigh, North Carolina 27615
(919) 844-1661 Fax (919) 844-1665



ENGINEERING SEAL VALID FOR 1-YEAR ONLY.
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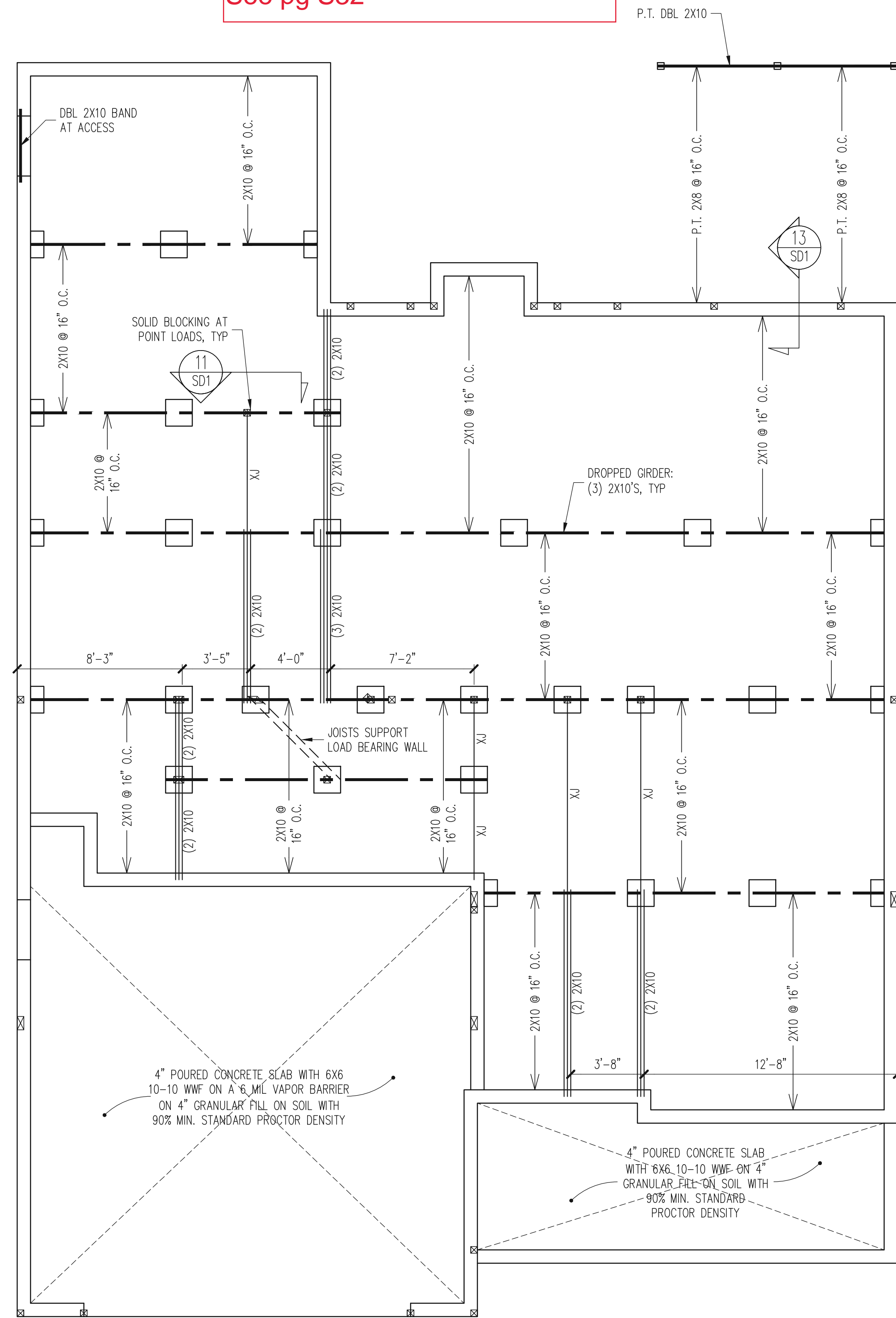
CLIENT:	MCKEE HOMES
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	ENG: KWT/DIN
REV:	REV:
DATE:	1312019

PLAN NO.
CLARK LH

PROJECT NO.
19-29-005L

SHEET NO.
S5

Sunroom w/ covered rear porch
See pg S32



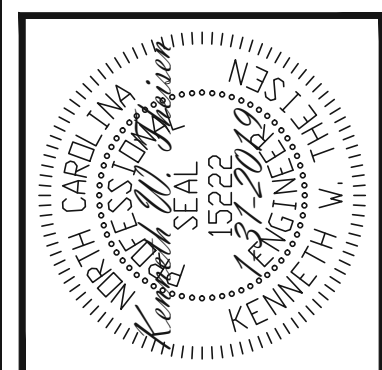
3rd car garage
See pg S21

CRAWL SPACE FRAMING PLAN
CLASSIC ELEVATION

1/4" = 1'-0"

NOTES:
- HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION.
- FIBER MESH REINFORCED CONCRETE MAY BE USED IN LIEU OF WELDED WIRE FABRIC. SEE SECTION 6.01 OF THE CONSTRUCTION SPECIFICATIONS FOR ALLOWABLE SUBSTITUTION DETAILS.

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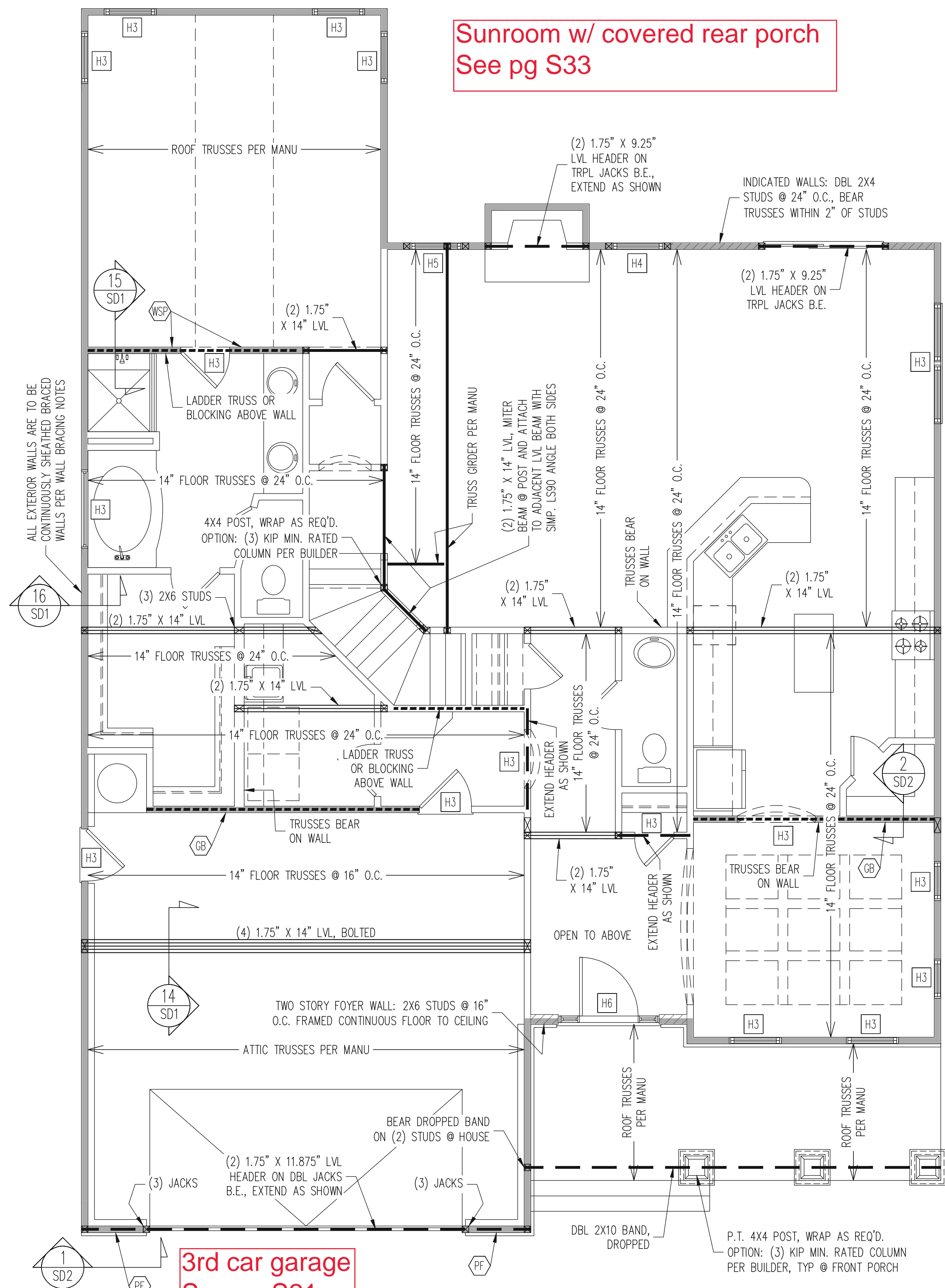
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CLIENT:	MCKEE HOMES
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LOT #:	ENG: KWT/DTN REV: 1312019 DATE: 1312019

PLAN NO.
CLARK LH

PROJECT NO.
19-29-005L

SHEET NO.
S7



Sunroom w/ covered rear porch
See pg S33

3rd car garage
See pg S21

1ST FLOOR FRAMING PLAN
CLASSIC ELEVATION

WALLS AND CEILING
1/4" = 1'-0"

WALL BRACING

ALL EXTERIOR STUD WALLS ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

TRUSS OR 2X6 BLOCKING IS REQUIRED ABOVE ALL BRACED WALLS. NAIL BLOCKING ABOVE WALL TO DBL TOP PLATE WITH 16d TOE NAILS @ 6" O.C. ATTACH SOLE PLATE TO FRAMING / FND BELOW PER TYPICAL BRACED WALL DETAILS. BLOCKING AT HORIZONTAL JOINTS IN BRACED WALL LINES ONLY REQUIRED AT SHADED WALLS, UNO.

SHADED WALLS:

GB INTERIOR BRACED WALL WITH GYPSUM BOARD. 1/2" GB BOTH SIDES OF WALL ATTACHED TO PANEL EDGES, INCLUDING TOP AND BOTTOM PLATES, AT 7" O.C. BUILDER PERMITTED TO USE WSP IN LIEU OF GB UNO.

WSP INTERIOR BRACED WALL WITH 5/8" MIN. THICKNESS WOOD STRUCTURAL PANELING, (1) SIDE. ATTACH WSP TO STUD WALL WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD. BLOCK AT ALL PANEL EDGES.

PF PORTAL FRAME PER TYPICAL DETAIL.

BUILDER PERMITTED TO SUBSTITUTE INTERIOR OSB SHEATHING WITH THERMO-PLY BLUE PROTECTIVE SHEATHING, REFERENCE TECHNICAL EVALUATION REPORT COL#-1038 PROVIDED BY DRJ ENGINEERING, LLC AND SEALED BY RYAN DEXTER, P.E.

PROVIDED CONTINUOUS SHEATHING = 219' MIN. -WALL BRACING IS BY ENGINEERED DESIGN AND NOT PRESCRIPTIVE PER SECTION 602.10 OF THE 2018 NCR. CONTINUOUS SHEATHING HAS BEEN PROVIDED, ALONG WITH ALTERNATIVE METHODS TO INSURE THE MINIMUM INTENT OF SECTION 602.10 OF THE 2018 NCR HAS BEEN MET AND EXCEEDED.

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REQUIRED STUDS FOR BEAM SUPPORT

REFER TO SECTIONS 5.02 - 5.06 OF THE CONSTRUCTION SPECIFICATIONS FOR REQUIRED NUMBER OF STUDS FOR BEAM SUPPORT, TYP UNO.

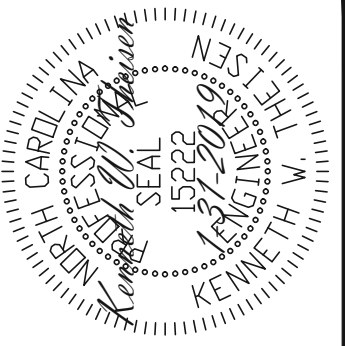
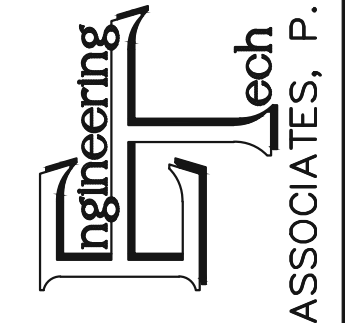
HEADER SCHEDULE

- H1 SINGLE 2X4 TURNED FLAT (A)
- H2 (2) 2X4'S ON SINGLE JACKS (B)
- H3 (2) 2X10'S ON SINGLE JACKS (C)
- H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS
- H5 (2) 2X10'S ON DBL JACKS
- H6 (3) 2X10'S ON SINGLE 2X6 JACKS

- (A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.
- (B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.
- (C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.
-KING STUDS EXTERIOR WALLS:
SINGLE KING STUDS FOR 6' MAX OPENINGS.
DBL KING STUDS FOR 10' MAX OPENINGS.
TRPL KING STUDS FOR 14' MAX OPENINGS.
QUAD KING STUDS FOR 18' MAX OPENINGS.
FOR 2X6 WALLS, ONE HALF THE AMOUNT OF KING STUDS REQUIRED (ROUND UP) UNO

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CLIENT:	MCKEE HOMES
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	
ENG:	KW7/DTN
REV:	
DATE:	1312019

PLAN NO.
CLARK LH

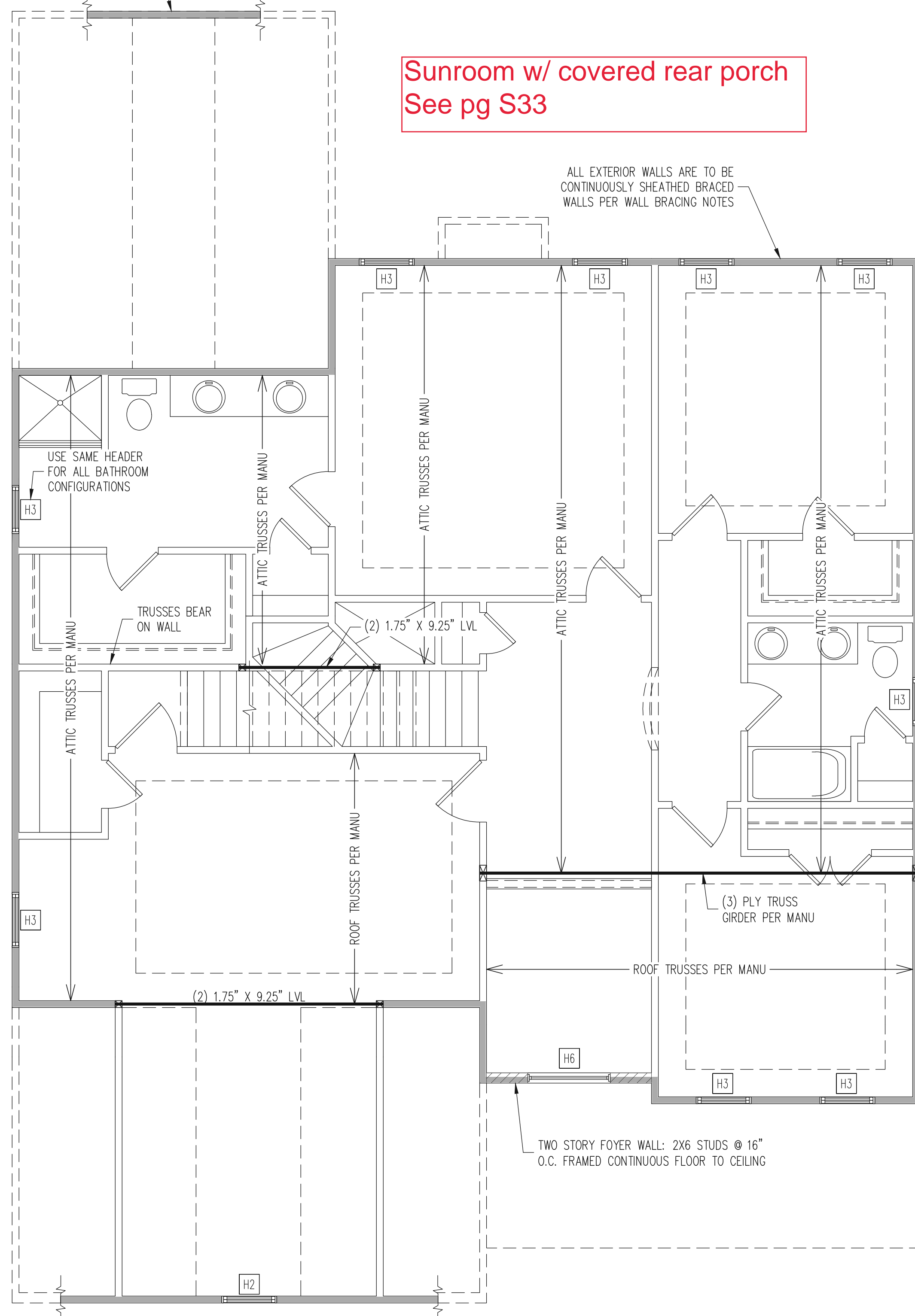
PROJECT NO.
19-29-005L

SHEET NO.
S9

ALL EXTERIOR GABLE END WALLS ARE TO BE CONTINUOUSLY SHEATHED BRACED WALLS PER WALL BRACING NOTES

Sunroom w/ covered rear porch
See pg S33

ALL EXTERIOR WALLS ARE TO BE CONTINUOUSLY SHEATHED BRACED WALLS PER WALL BRACING NOTES



3rd car garage
See pg S21

2ND FLOOR FRAMING PLAN
CLASSIC ELEVATION

WALLS AND CEILING
1/4" = 1'-0"

WALL BRACING

ALL EXTERIOR STUD WALLS ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

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SHADED WALLS:

PROVIDED CONTINUOUS SHEATHING = 183' MIN.
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REQUIRED STUDS FOR BEAM SUPPORT

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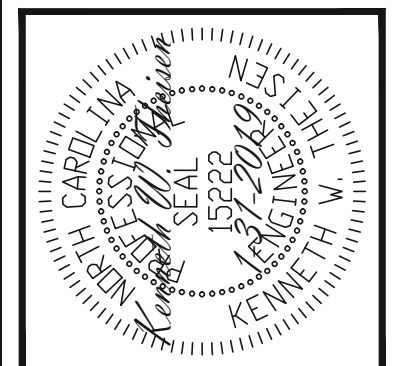
HEADER SCHEDULE

- H1 SINGLE 2X4 TURNED FLAT (A)
 - H2 (2) 2X4'S ON SINGLE JACKS (B)
 - H3 (2) 2X10'S ON SINGLE JACKS (C)
 - H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS
 - H5 (2) 2X10'S ON DBL JACKS
 - H6 (3) 2X10'S ON SINGLE 2X6 JACKS
- (A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.
(B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.
(C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.
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FOR 2X6 WALLS, ONE HALF THE AMOUNT OF KING STUDS REQUIRED (ROUND UP) UNO

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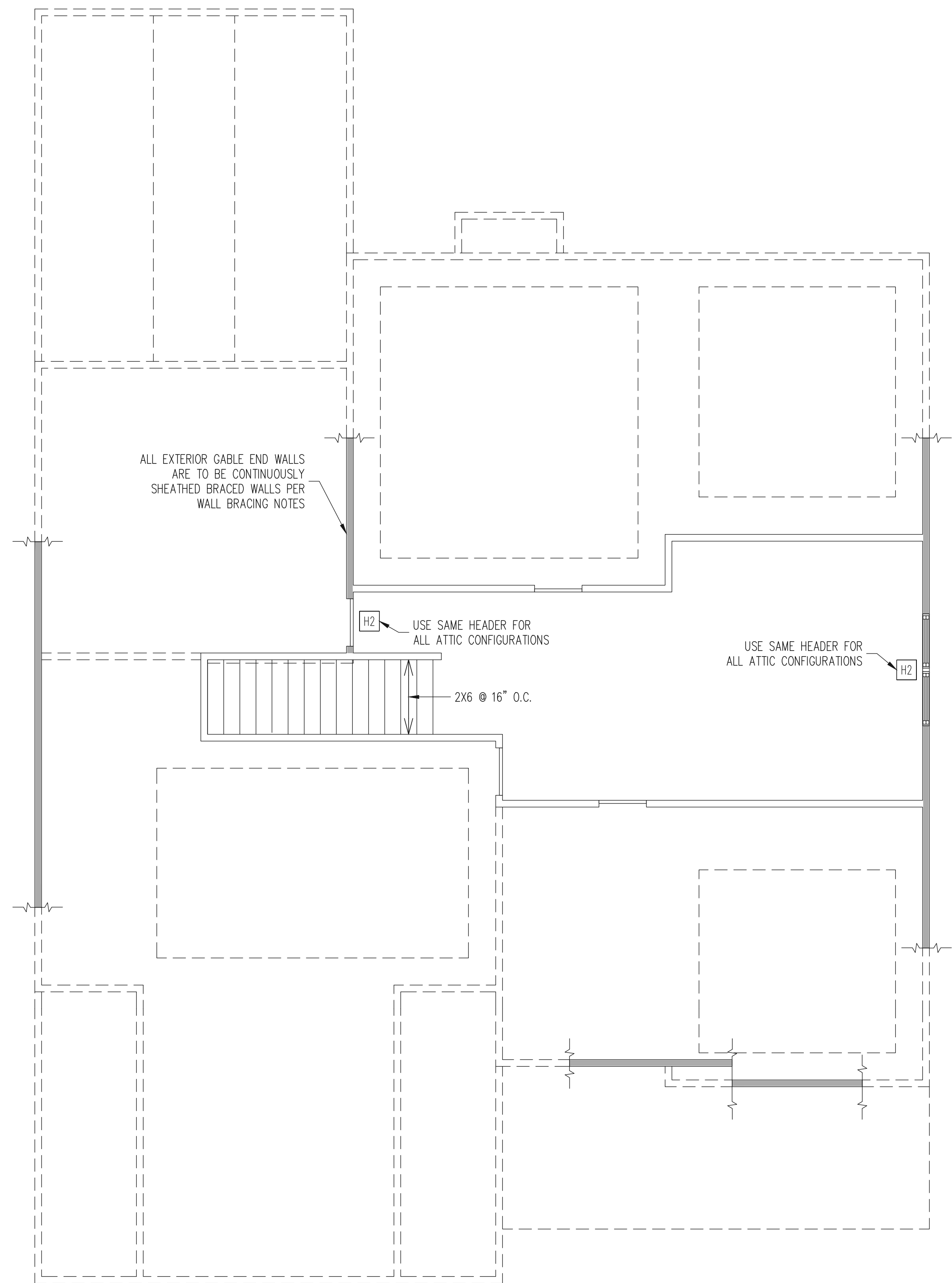
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SCOPE:	STRUCTURAL ADDENDUM
LOT #:	ENG: KWT/DTN
REV:	REV:
DATE:	1312019

PLAN NO.
CLARK LH

PROJECT NO.
19-29-005L

SHEET NO.
S11

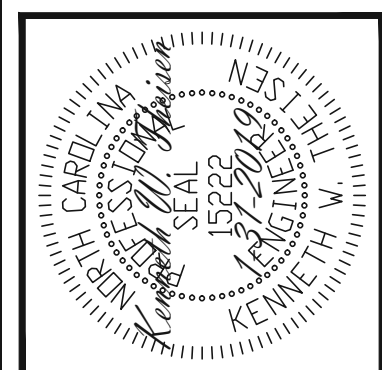


ATTIC FRAMING PLAN
CLASSIC ELEVATION

WALLS AND CEILING
1/4" = 1'-0"

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SHADED WALLS:

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REQUIRED STUDS FOR BEAM SUPPORT

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HEADER SCHEDULE

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H2	(2) 2X4'S ON SINGLE JACKS (B)
H3	(2) 2X10'S ON SINGLE JACKS (C)
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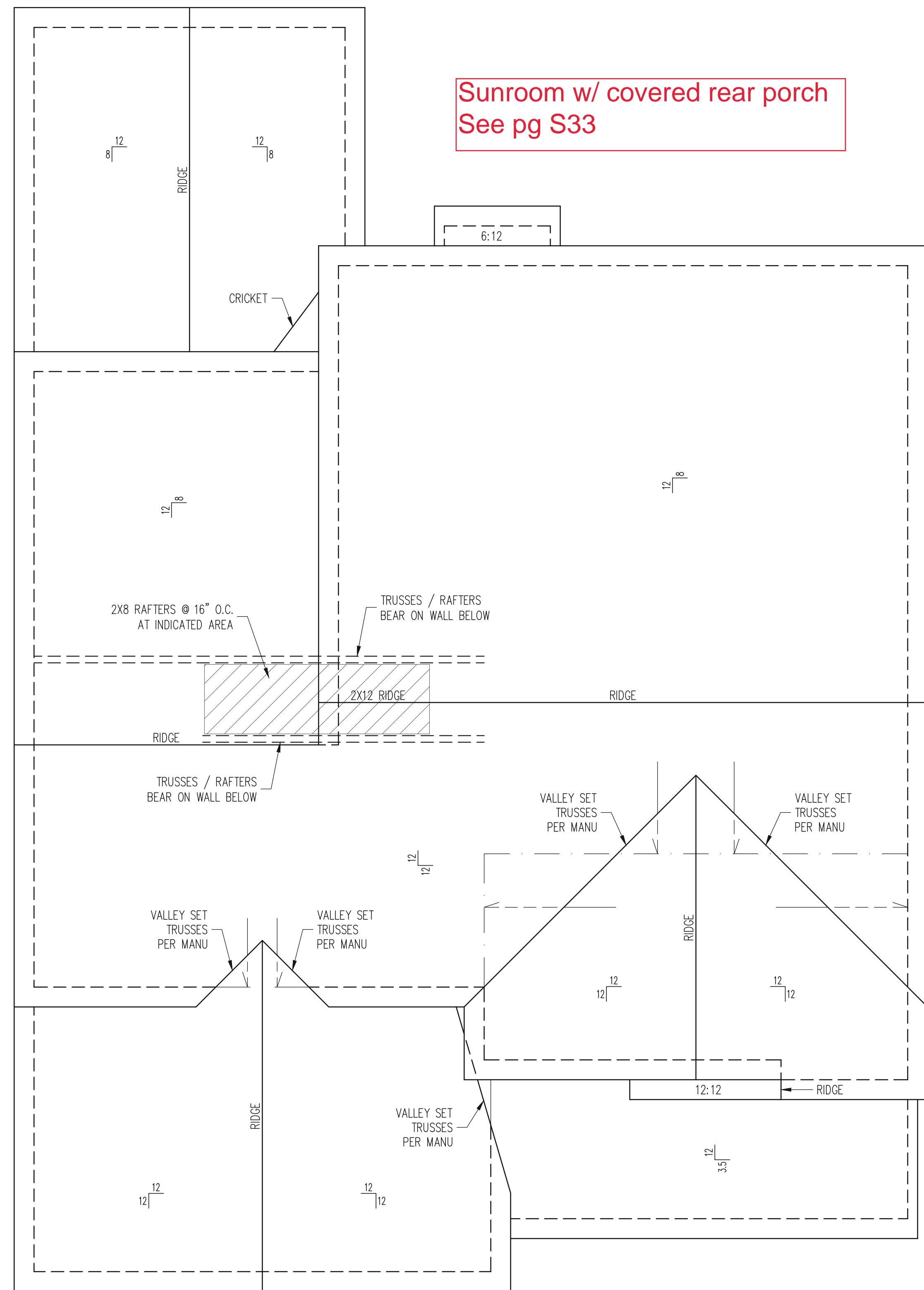
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PLAN NO.
CLARK LH

PROJECT NO.
19-29-005L

SHEET NO.
S13



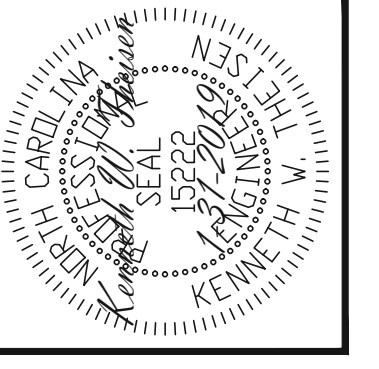
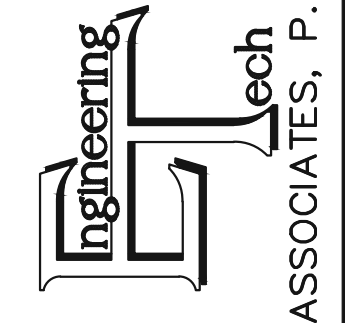
3rd car garage
See pg S21

Sunroom w/ covered rear porch
See pg S33

ROOF FRAMING PLAN
CLASSIC ELEVATION
1/4" = 1'-0"

FRAMING NOTES
ROOF ONLY
-ROOF TRUSSES PER MANU TYPICAL UNO
-ATTACH ROOF TRUSSES TO DBL TOP PLATE
WITH SIMP. H10A HURRICANE TIES TYP UNO
-VERIFY ALL ARCHITECTURAL OVERHANGS, ROOF
PITCHES, AND KNEEWALL HEIGHTS PRIOR TO
CONSTRUCTION

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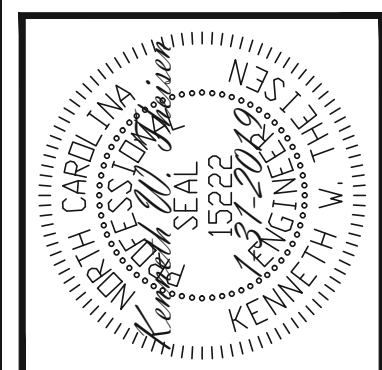
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PLAN NO.
CLARK LH

PROJECT NO.
19-29-005L

SHEET NO.
S15

15 of 37



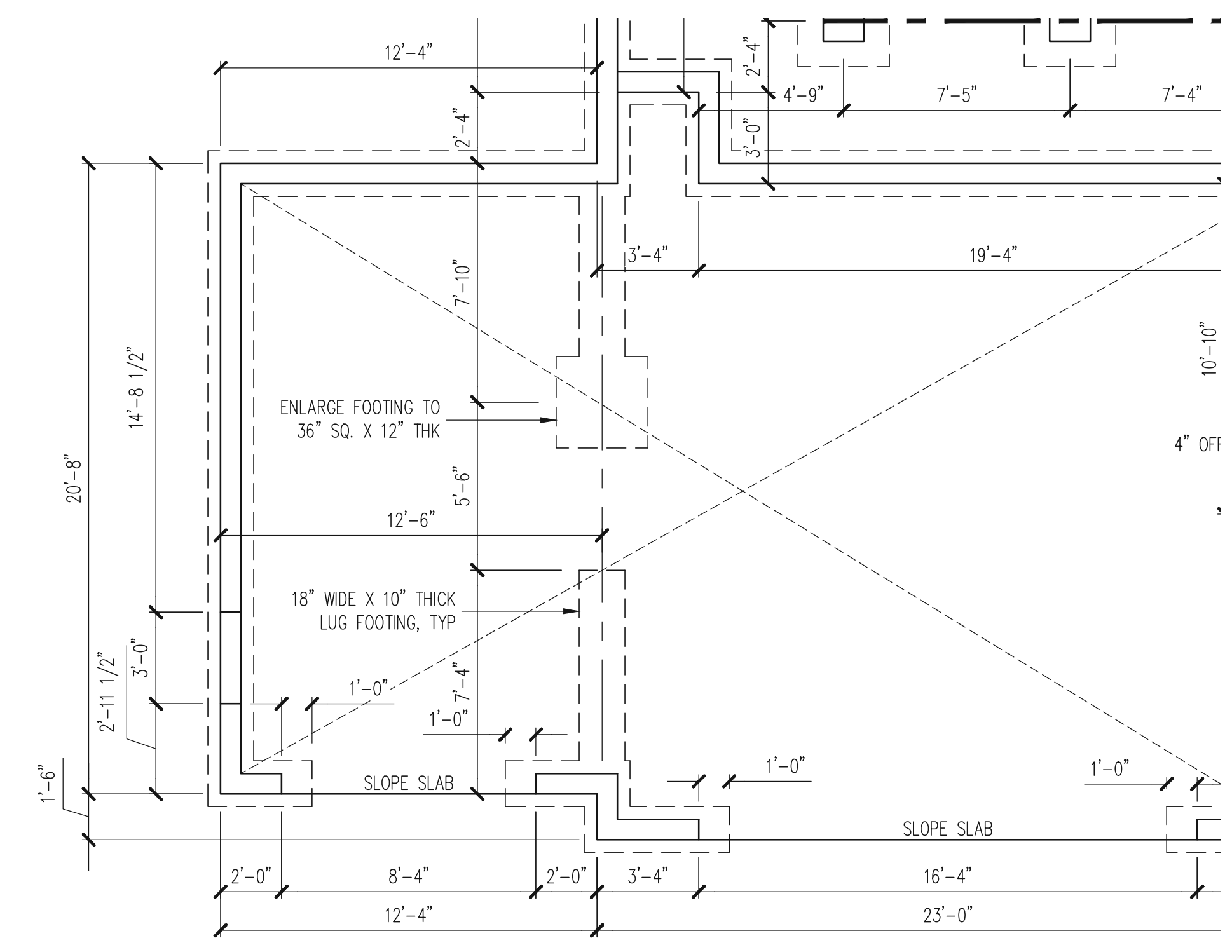
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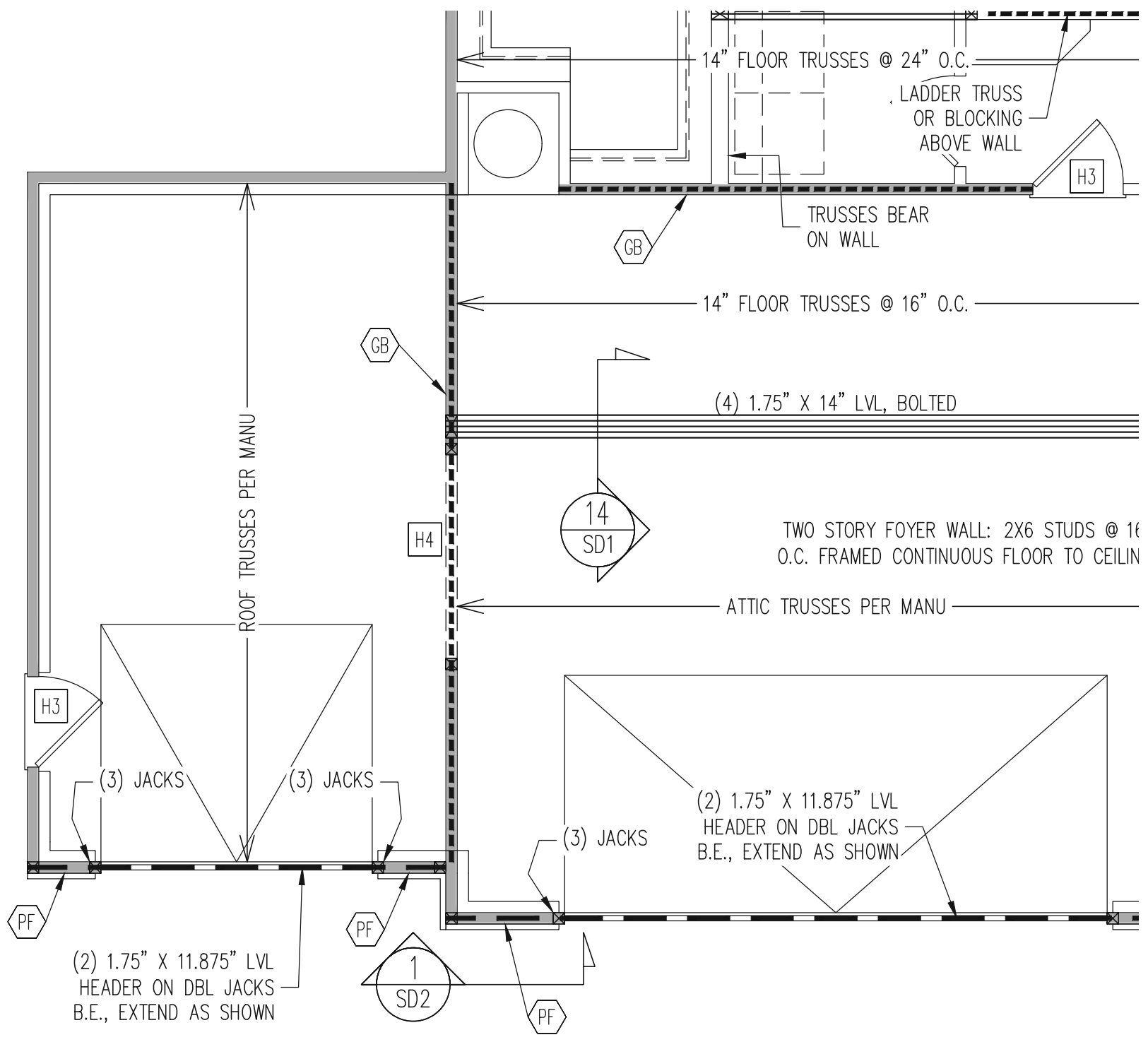
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19-29-005L

SHEET NO.
S21



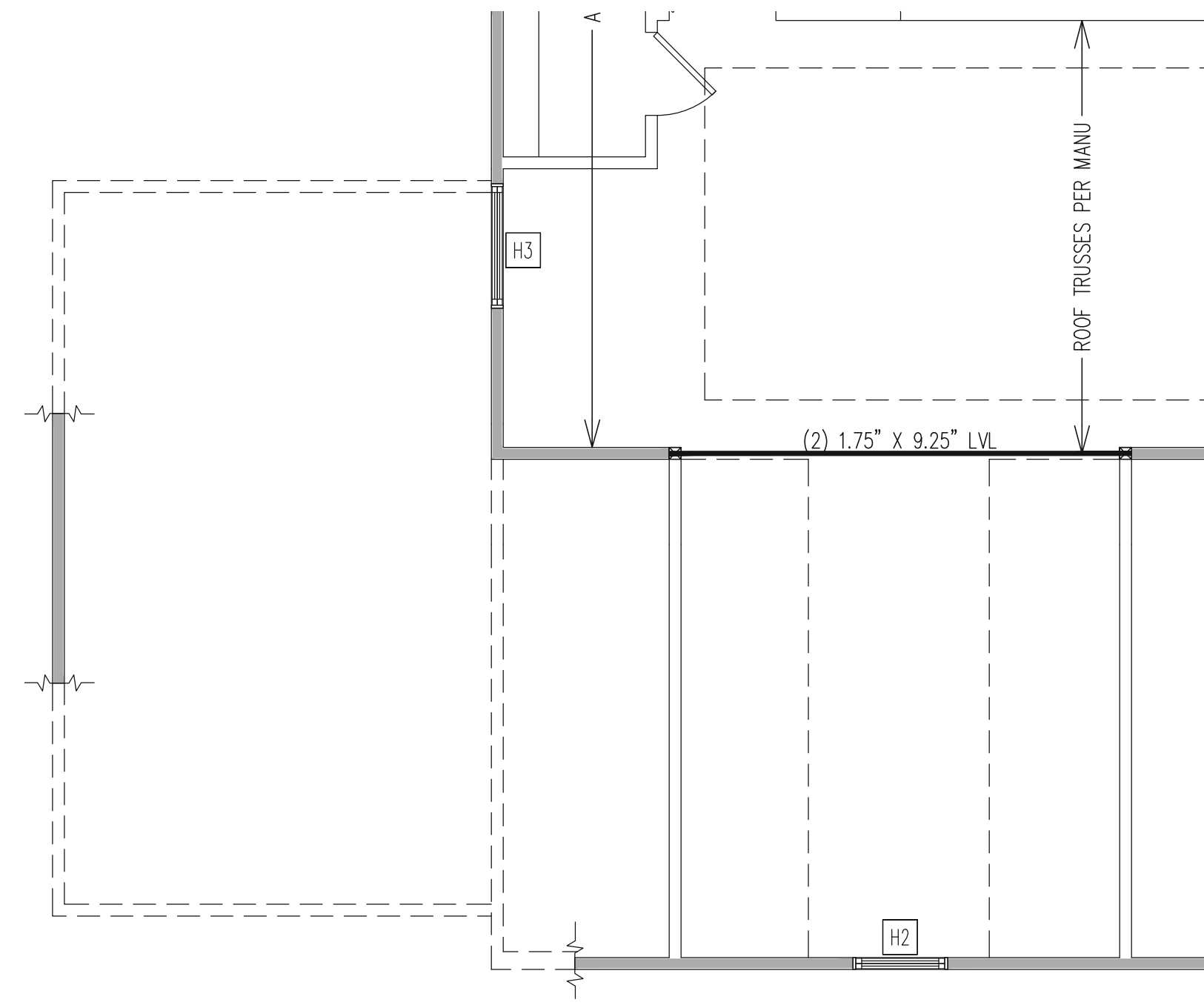
REFER TO SHEETS S1-S16
FOR ALL STRUCTURAL
NOTES AND SCHEDULES

FOUNDATION PLAN
CRAWLSPACE OPTION
3RD BAY GARAGE OPTION
CLASSIC ELEVATION
1/4" = 1'-0"



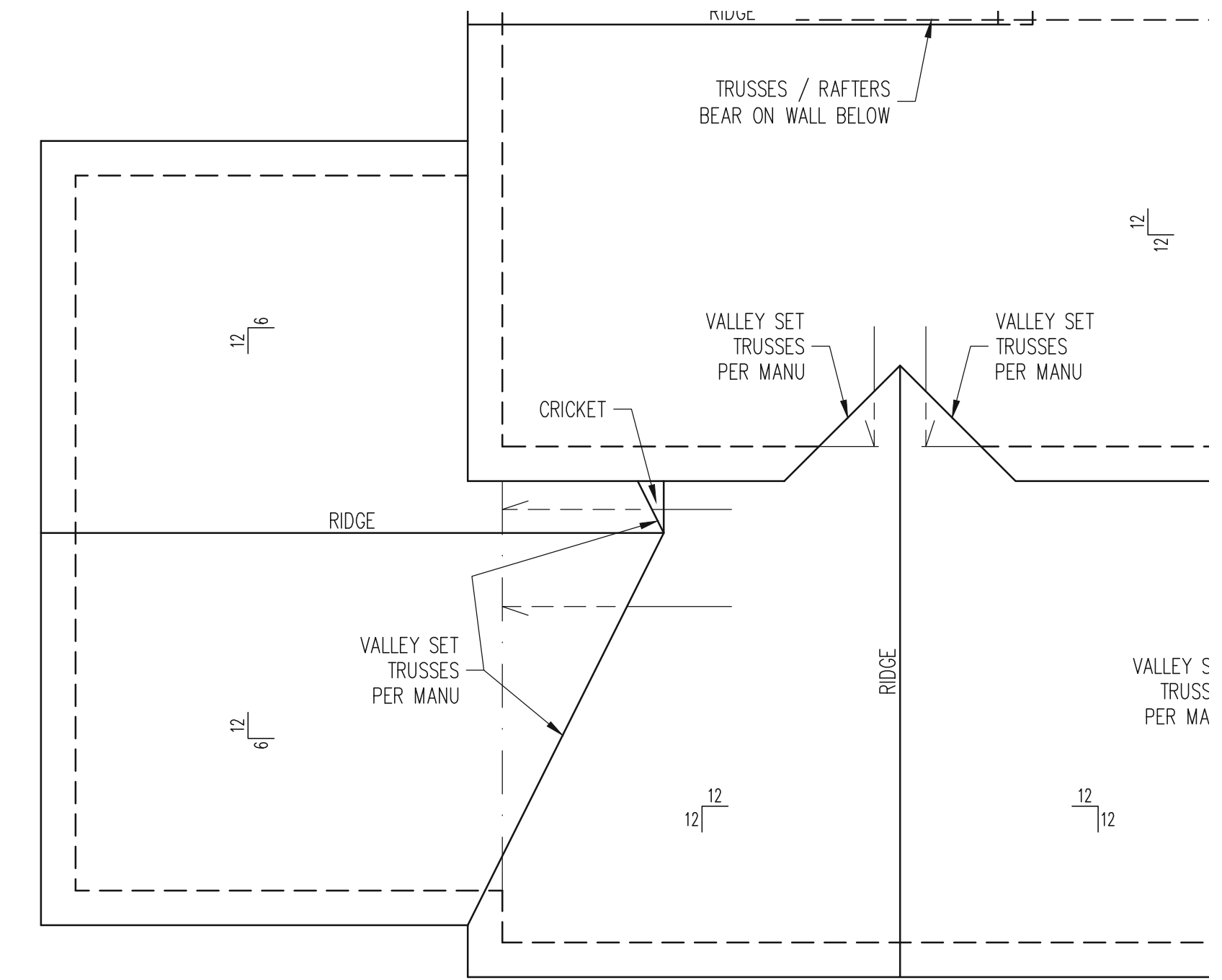
REFER TO SHEETS S1-S16
FOR ALL STRUCTURAL
NOTES AND SCHEDULES

1ST FLOOR FRAMING PLAN
3RD BAY GARAGE OPTION
CLASSIC ELEVATION
WALLS AND CEILING
1/4" = 1'-0"



REFER TO SHEETS S1-S16
FOR ALL STRUCTURAL
NOTES AND SCHEDULES

2ND FLOOR FRAMING PLAN
3RD BAY GARAGE OPTION
CLASSIC ELEVATION
WALLS AND CEILING
1/4" = 1'-0"



REFER TO SHEETS S1-S16
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NOTES AND SCHEDULES

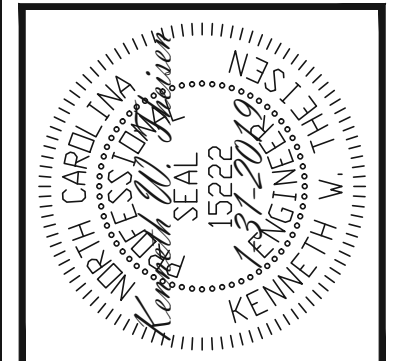
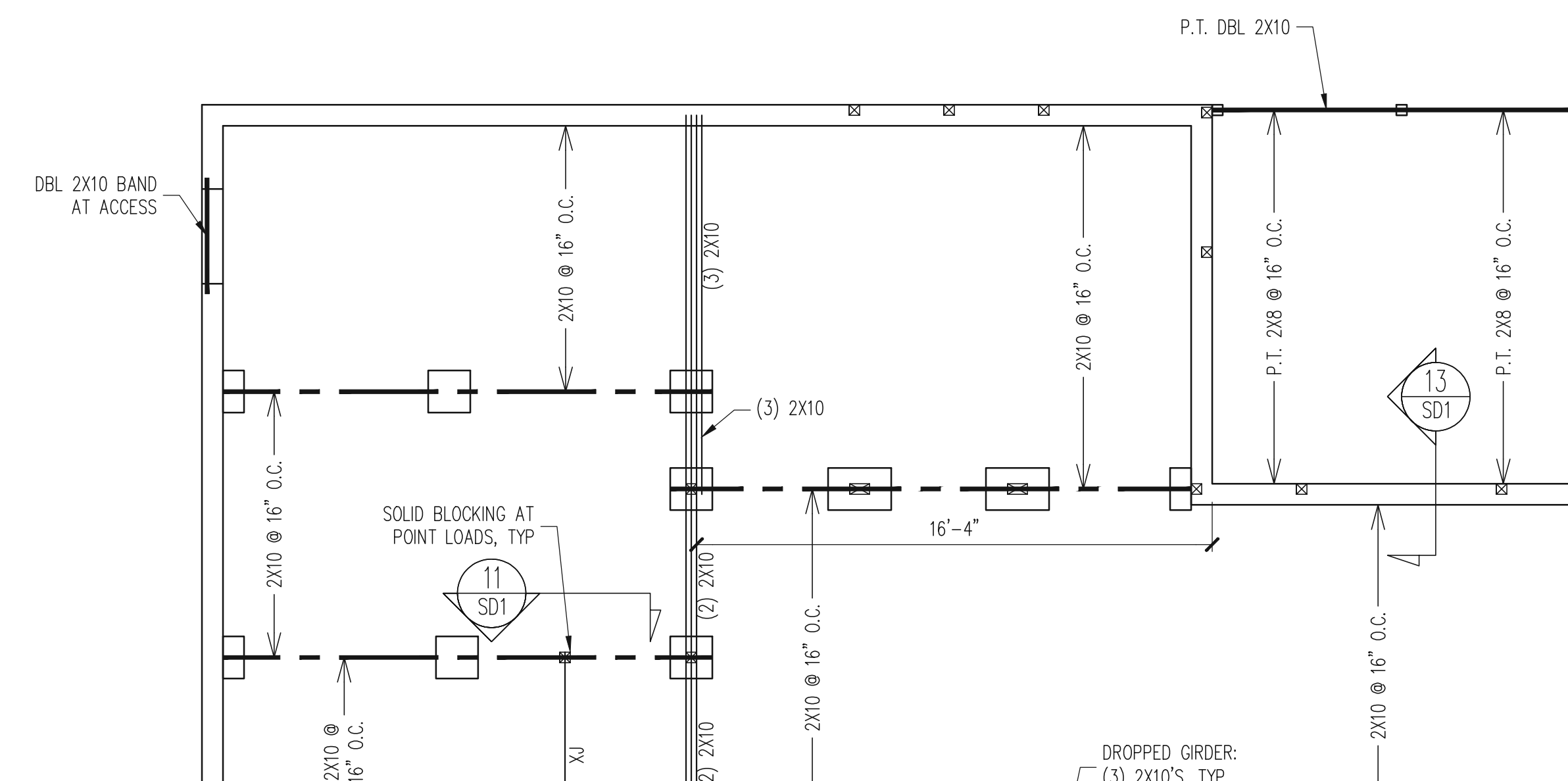
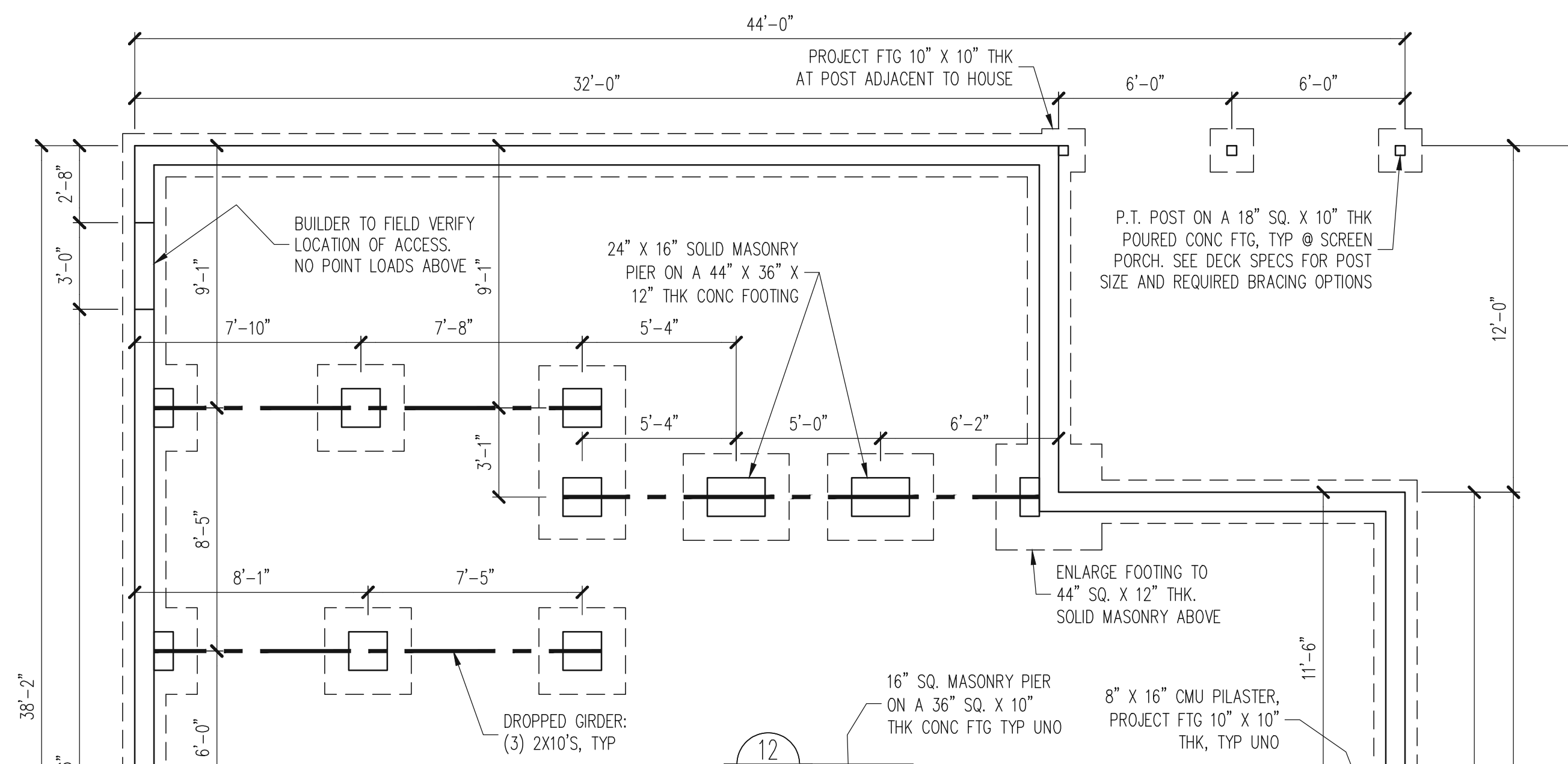
ROOF FRAMING PLAN
3RD BAY GARAGE OPTION
CLASSIC ELEVATION
1/4" = 1'-0"

REFER TO SHEETS S1-S16
FOR ALL STRUCTURAL
NOTES AND SCHEDULES

FOUNDATION PLAN
CRAWLSPACE OPTION
SUNROOM OPTION
ALL ELEVATIONS
1/4" = 1'-0"

REFER TO SHEETS S1-S16
FOR ALL STRUCTURAL
NOTES AND SCHEDULES

CRAWL SPACE FRAMING PLAN
SUNROOM OPTION
ALL ELEVATIONS
1/4" = 1'-0"



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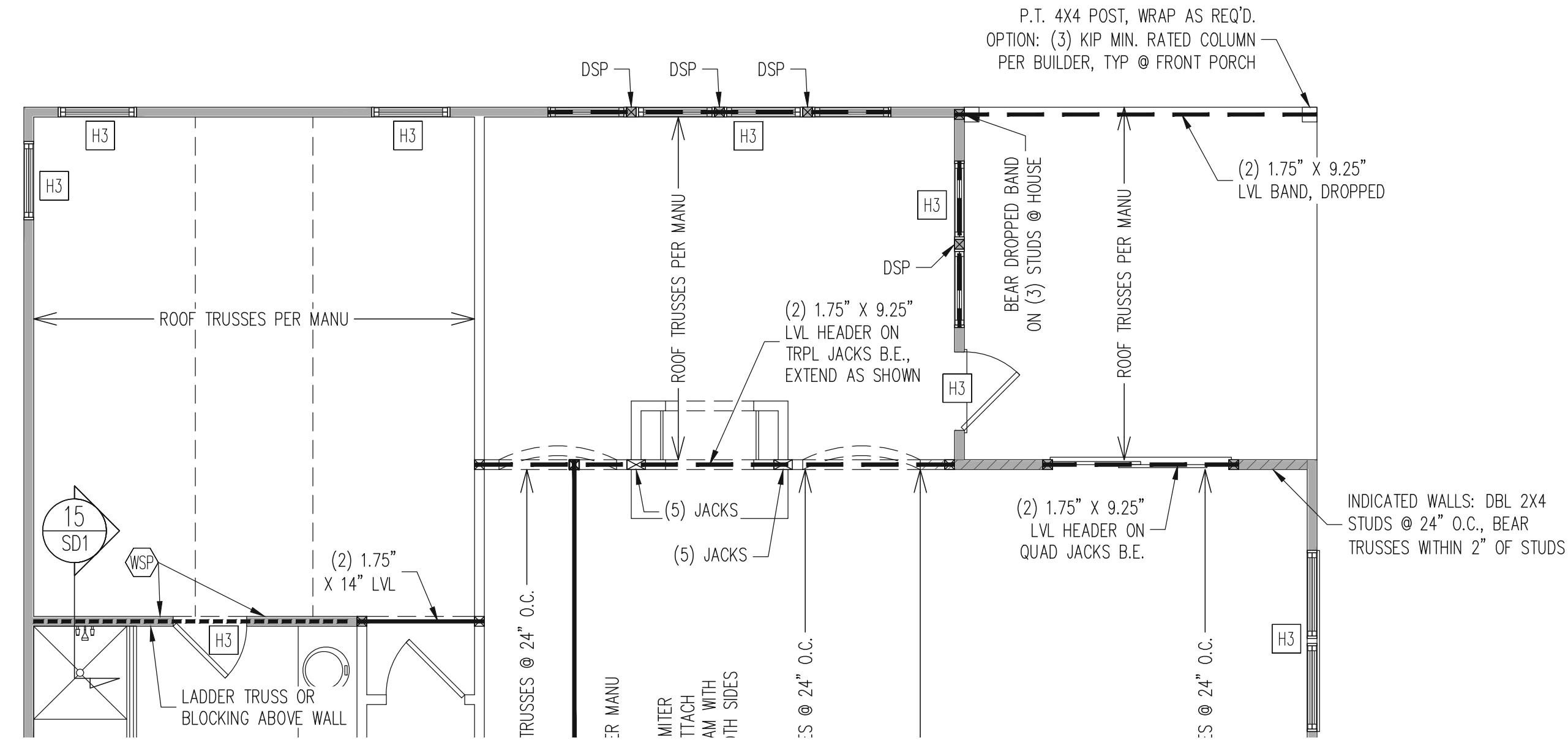
PROJECT NO.
19-29-005L

SHEET NO.
S32

REFER TO SHEETS S1-S16
FOR ALL STRUCTURAL
NOTES AND SCHEDULES

1ST FLOOR FRAMING PLAN
SUNROOM OPTION
ALL ELEVATIONS

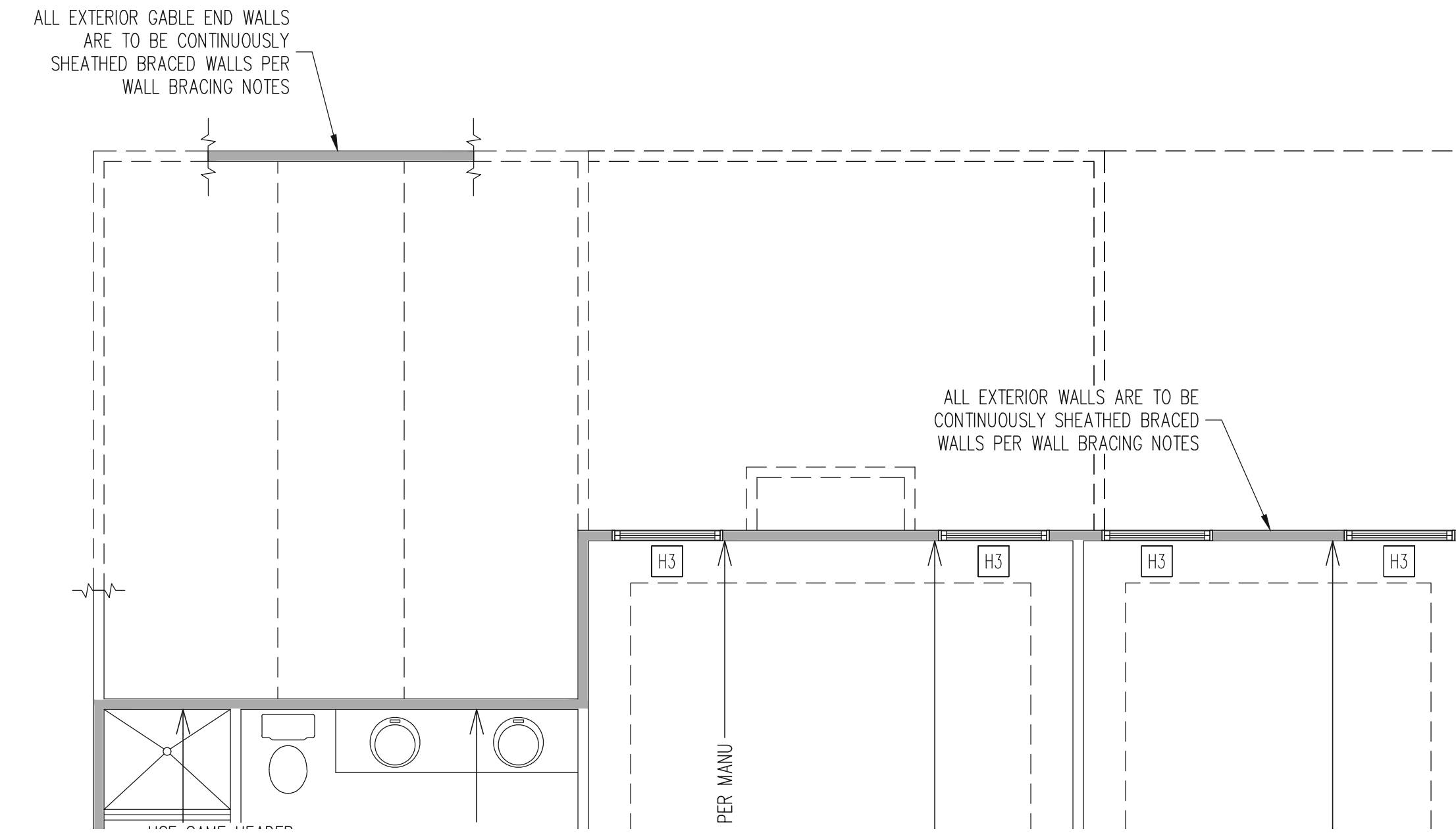
WALLS AND CEILING
1/4" = 1'-0"



REFER TO SHEETS S1-S16
FOR ALL STRUCTURAL
NOTES AND SCHEDULES

2ND FLOOR FRAMING PLAN
SUNROOM OPTION
ALL ELEVATIONS

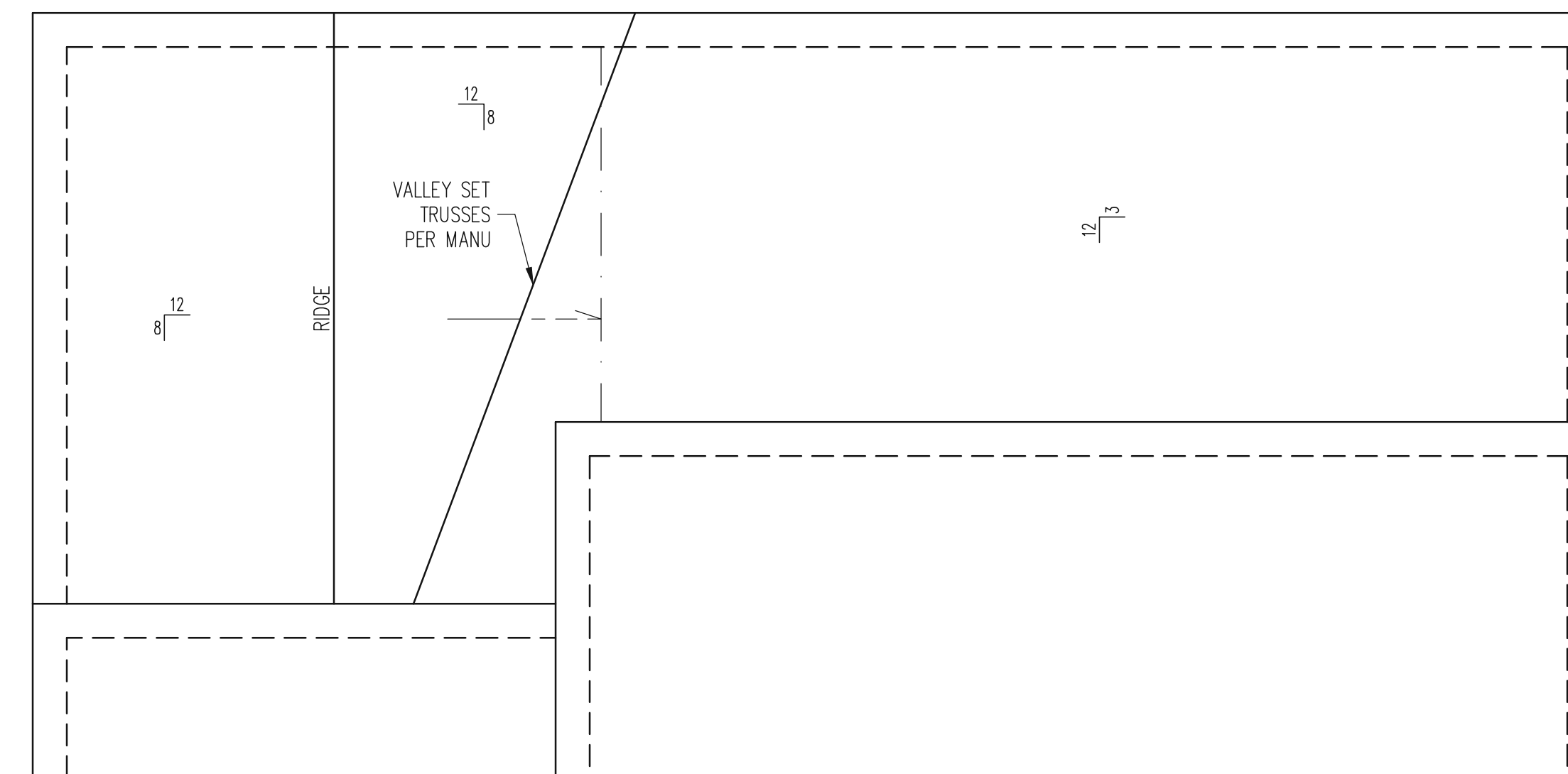
WALLS AND CEILING
1/4" = 1'-0"



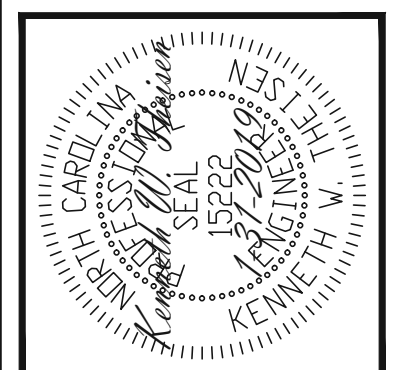
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FOR ALL STRUCTURAL
NOTES AND SCHEDULES

ROOF FRAMING PLAN
SUNROOM OPTION
ALL ELEVATIONS

1/4" = 1'-0"



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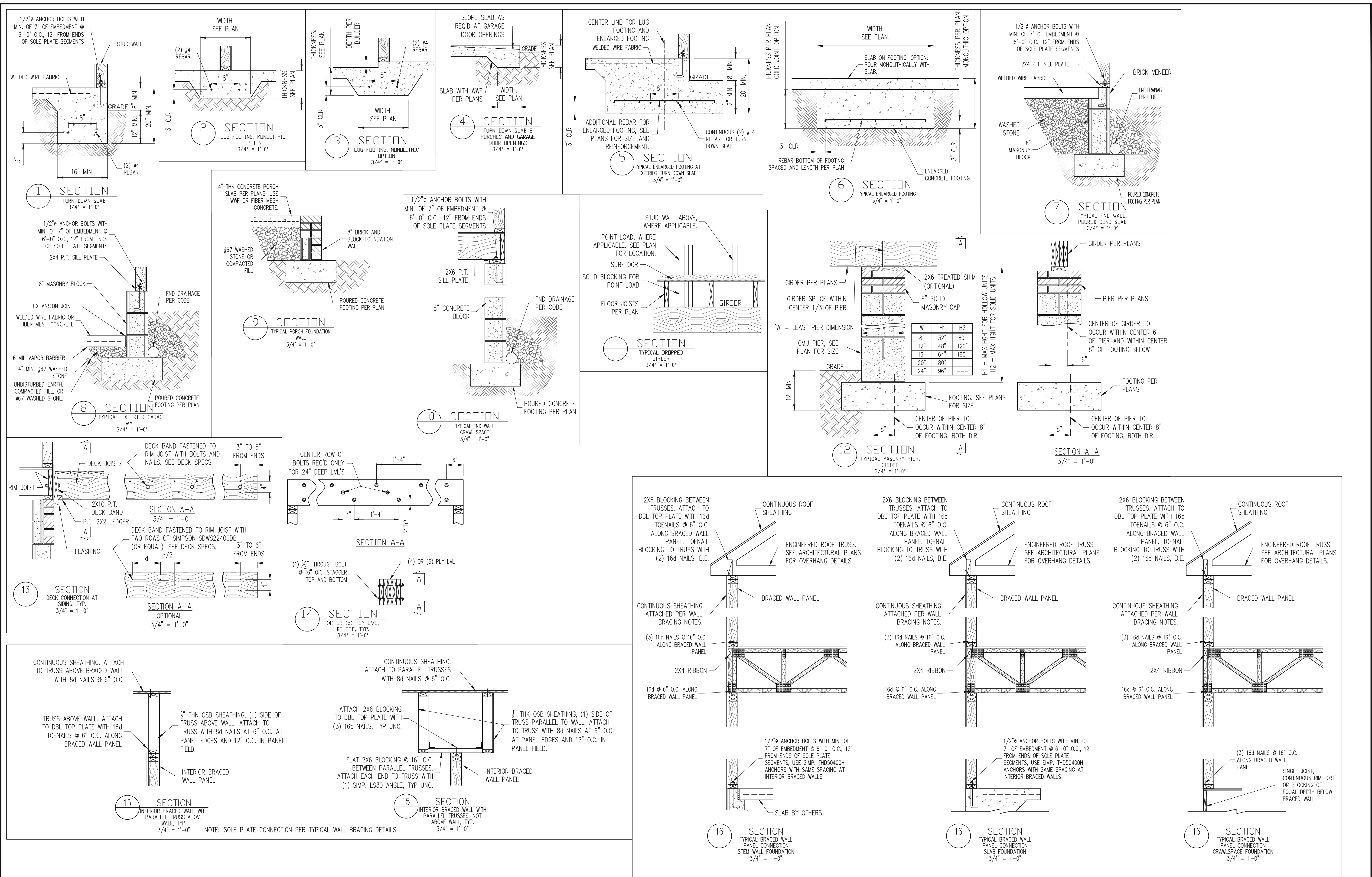
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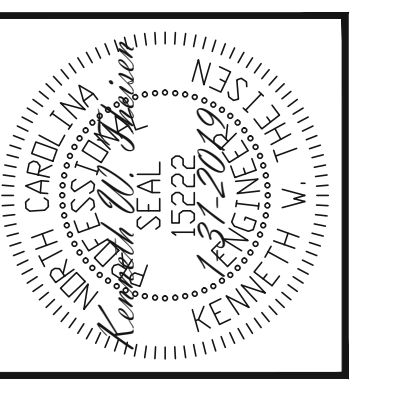
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CLIENT:	MCKEE HOMES
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	ENG. KWT/DTN
REV:	REV.
DATE:	1/31/2019

PLAN NO.
CLARK LH

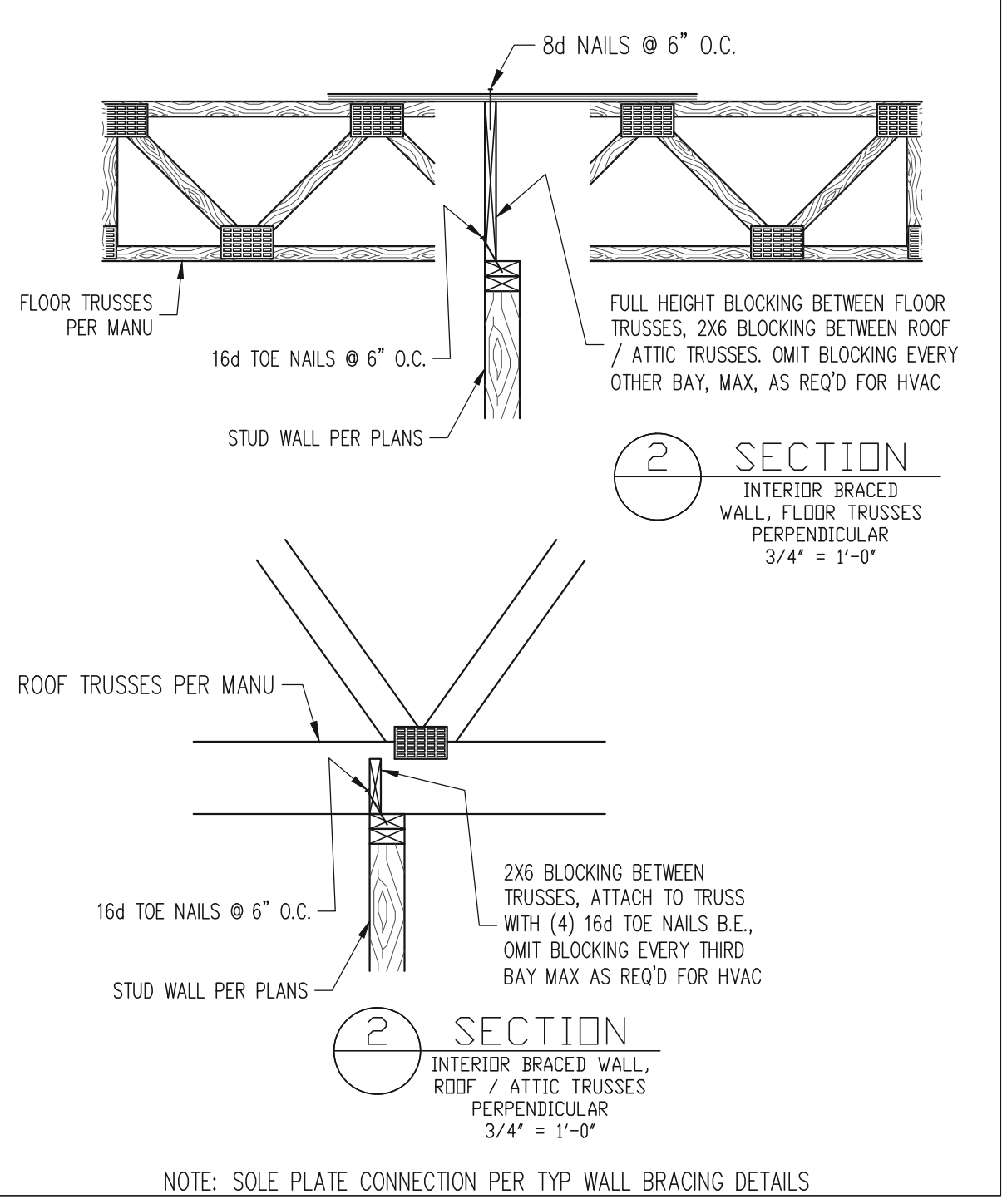
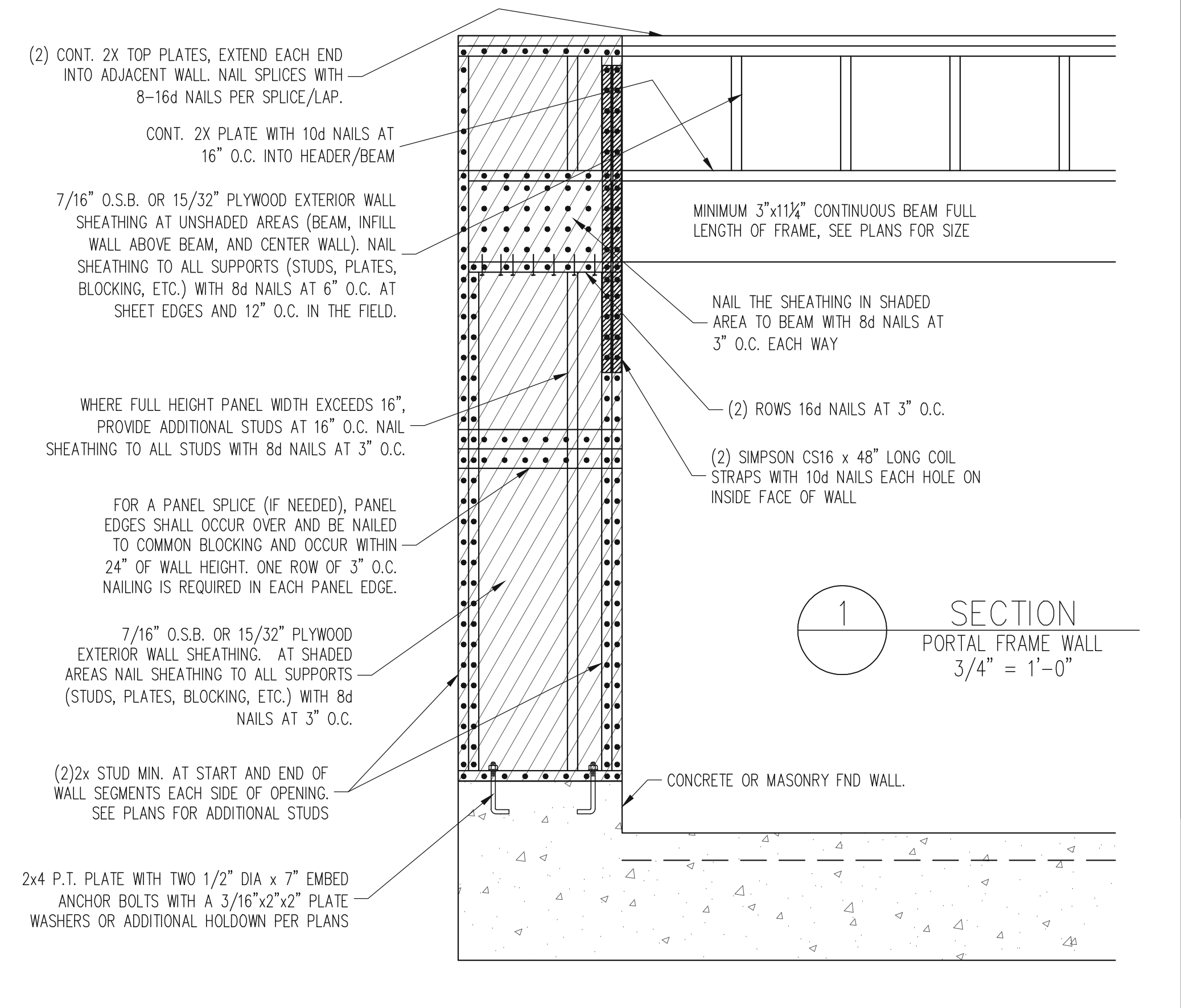
PROJECT NO.
19-29-005L

SHEET NO.
SD1

CONSTRUCTION SPECIFICATIONS

- PART 1: GENERAL**
- CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
 - STRUCTURAL STEEL SHALL MEET THE REQUIREMENTS OF THE AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
 - REINFORCED CAST IN PLACE CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF ACI 318, LATEST EDITION.
 - MASONRY CONSTRUCTION SHALL CONFORM TO THE SPECIFICATIONS OF ACI 530-95, LATEST EDITION.
 - METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND INSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.
- PART 2: DIMENSIONS**
- DIMENSIONS SHOWN SHALL GOVERN OVER SCALE ON THESE DRAWINGS.
- PART 3: DESIGN LOADS**
- DESIGN LOADS SHALL CONFORM WITH THE TABLE BELOW:
- | USE | LIVE LOAD (PSF) | DEAD LOAD (PSF) |
|---|-----------------|--------------------|
| BALCONIES, DECKS, ATTICS WITH FIXED STAIR ACCESS, DWELLING UNITS (INCLUDING SLEEPING ROOMS), ATTICS WITH FIXED STAIR ACCESS, STAIRS, FIRE ESCAPES | 40 | 10 |
| GARAGES (PASSENGER CARS ONLY) | 50 | --- |
| ATTICS (NO STORAGE, LESS THAN 5' HEADROOM) | 10 | 10 |
| ATTICS (WITH STORAGE) | 20 | 10 |
| ROOF | 20 | 10 (15 FOR VAULTS) |
- NOTES: - INDIVIDUAL STAIR TREADS ARE TO BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300 LB. CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQ. IN., WHICHEVER PRODUCES THE GREATER STRESS.
- GUARD RAILS AND HAND RAILS ARE TO BE DESIGNED FOR A SINGLE CONCENTRATED LOAD OF 200 LB. APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.
- BUILDER TO VERIFY DEAD LOAD DOES NOT EXCEED 10 PSF WHEN HEAVY FLOOR OR ROOF FINISHES SUCH AS TILE OR SLATE ARE UTILIZED.
- INTERIOR WALLS: 5 PSF LATERAL.
 - BASIC WIND DESIGN VELOCITY OF 115 MPH.
 - LOAD DURATION FACTOR FOR ROOF STRUCTURAL MEMBERS IS 1.15.
 - SOIL BEARING CAPACITY 2000 PSF (PRESUMPTIVE).
- PART 4: MATERIALS**
- STRUCTURAL STEEL SQUARE AND RECTANGULAR TUBING SHALL CONFORM TO ASTM A500 GRADE B MINIMUM GRADE. ALL OTHER STRUCTURAL STEEL SHALL CONFORM TO ASTM A992 MINIMUM GRADE TYP UNO.
 - REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615 GRADE 60 TYP UNO.
 - SOLID SAWN WOOD FRAMING DESIGN IS BASED ON NO. 2 SPRUCE PINE FIR FOR JOISTS, RAFTERS, WOOD GIRDERS/BEAMS, STUDS, ETC. ALLOWANCE HAS BEEN MADE FOR SYP #2 SUBSTITUTION TYP UNO.
 - LVL OR PSL MINIMUM ALLOWABLE DESIGN STRESSES ARE AS FOLLOWS:
E = 1.3 X 10⁶ PSI, F_b = 2600 PSI, F_v = 285 PSI, F_c = 750 PSI
 - LSL MINIMUM ALLOWABLE DESIGN STRESSES ARE AS FOLLOWS:
E = 1.3 X 10⁶ PSI, F_b = 1700 PSI, F_v = 400 PSI, F_c = 680 PSI
 - BOLTS SHALL CONFORM TO ASTM A307 MINIMUM GRADE TYP UNO.
 - WELDING ELECTRODES SHALL BE E70XX.
 - LUMBER IN CONTACT WITH THE GROUND, CONCRETE OR MASONRY SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AFWA STANDARD C-15. ALL OTHER EXPOSED LUMBER SHALL BE TREATED IN ACCORDANCE WITH AFWA STANDARD C-2 OR BY ANY METHOD GIVING EQUAL PROTECTION. THE BUILDING CODE OFFICE MAY ALSO APPROVE A NATURAL DECAY RESISTANT WOOD PER SECTION 19-6(A).

- CAST IN PLACE CONCRETE SHALL BE OF NORMAL WEIGHT AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS TYP UNO.
 - CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C 90 OR ASTM C 55.
 - MORTAR SHALL BE TYPE S CONFORMING TO ASTM C 476.
 - NAILS SHALL BE COMMON WIRE NAILS TYP UNO.
 - LAG SCREWS SHALL CONFORM TO ANSI/ASME STANDARD B18.21-1981.
- PART 5: CONSTRUCTION**
- FLUTCH PLATE BEAMS SHALL CONSIST OF A CONTINUOUS STEEL PLATE BOLTED BETWEEN TWO PLATES OF CONTINUOUS LUMBER AS SIZED ON THE PLANS. BOLT PICES TOGETHER USING 1/2" Ø BOLTS SPACED AT 24" O.C. STAGGERED TOP TO BOTTOM OF THE BEAM. MAINTAIN A 2" EDGE DISTANCE. PLACE TWO BOLTS, ONE ABOVE THE OTHER, 6" FROM EACH END OF THE BEAM.
 - STEEL, LVL AND FLUTCH PLATE BEAMS BEARING ON A STUD WALL PERPENDICULAR TO THE BEAM SHALL BEAR FULL WIDTH ON THE SUPPORTING WALL INDICATED AND SHALL BE SUPPORTED BY A MINIMUM OF THREE GANGED STUDS, OR A GANGED STUD COLUMN WITH A NUMBER OF STUDS SUCH THAT THE STUD COLUMN IS AT LEAST AS WIDE AS THE BEAM BEING SUPPORTED, WHICHEVER IS GREATER, TYP UNO.
 - STEEL, LVL AND FLUTCH PLATE BEAMS BEARING ONTO THE END OF A STUD WALL PARALLEL TO THE BEAM SHALL BEAR A MINIMUM OF 4 1/2" ONTO THE WALL AND BE SUPPORTED BY A TRIP STUD GANGED COLUMN TYP UNO.
 - SOLID SAWN LUMBER GANGED BEAMS BEARING ON A STUD WALL PERPENDICULAR TO THE BEAM SHALL BEAR FULL WIDTH ON THE SUPPORTING WALL INDICATED (LESS 1 1/2" TO ALLOW FOR A CONTINUOUS RM JOIST) AND SHALL BE SUPPORTED BY A GANGED STUD COLUMN THE SAME WIDTH AS THE BEAM TYP UNO.
 - SOLID SAWN LUMBER GANGED BEAMS BEARING ONTO THE END OF A STUD WALL PARALLEL TO THE BEAM SHALL BEAR A MINIMUM OF 4 1/2" ONTO THE WALL AND BE SUPPORTED BY A TRIP STUD GANGED COLUMN TYP UNO.
 - EXTRA JOISTS OR SINGLE LVL MEMBERS OF 1 1/2" OR LESS WIDTH, BEARING ON A STUD WALL PERPENDICULAR TO THE BEAM SHALL BEAR ON THE WALL A MINIMUM OF 2" AND SHALL BE SUPPORTED BY ONE ADDITIONAL STUD.
 - SOLID SAWN LUMBER JOISTS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM NAILED TOGETHER WITH THREE ROWS OF 10d NAILS @ 16" O.C.
 - LVL MEMBERS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM FASTENED TOGETHER PER MANUFACTURERS RECOMMENDATIONS, TYP UNO.
 - STUDS THAT ARE GANGED TO FORM A COLUMN SHALL HAVE ADJACENT STUDS WITHIN THE COLUMN NAILED TOGETHER WITH ONE ROW OF 10d NAILS AT 8" O.C. (TWO ROWS OF 10d NAILS @ 8" O.C. 3" APART, FOR 2X8 OR 2X10 STUDS) ALL COLUMNS SHALL BE CONTINUOUS DOWN TO THE FOUNDATION OR OTHER PROPERLY DESIGNED STRUCTURAL ELEMENT SUCH AS A BEAM. COLUMNS TRANSFERRING LOADS THROUGH FLOOR LEVELS SHALL BE SOLIDLY BLOCKED FOR THE FULL WIDTH OF THE STUD COLUMN WITHIN THE CAVITY FORMED BY THE FLOOR JOISTS.
 - STUD WALLS SHALL CONSIST OF 2X4 STUDS SPACED AT 16" O.C. UNO. STUDS SHALL BE CONTINUOUS FROM SOLE PLATE AT FLOOR TO DOUBLE TOP PLATE AT THE CEILING OR ROOF. NO INTERMEDIATE BANDS OR PLATES SHALL CAUSE DISCONTINUITIES IN A STUD WALL EXCEPT AS REQUIRED FOR DOOR OR WINDOW OPENINGS. THE KING STUDS FOR SUCH OPENINGS SHALL BE CONTINUOUS.
 - PILOT HOLES SHALL BE USED FOR LAG SCREW INSTALLATION AND SHALL BE BORED ACCORDING TO NDS SPECIFICATIONS.
 - ALL WELDING SHALL BE PERFORMED BY AN AWS CERTIFIED WELDER.
 - ALL CONCRETE, INCLUDING CONCRETE FOR FOOTINGS, IS TO BE CAST IN PLACE, TYP UNO.
 - BOLTS AND LAG SCREWS USED FOR BOLTING WOOD MEMBERS SHALL HAVE STANDARD WASHERS INSTALLED FOR THE NUTS AND BOLT / SCREW HEADS.
- PART 6: SUBSTITUTIONS**
- IN LIEU OF WELDED WIRE FABRIC IN SLABS, SYNTHETIC POLYPROPYLENE FIBRILLATED MICRO FIBERS, FIBER LENGTH 1 1/2", DOSAGE RATE 1 1/2 LBS/CU YD.
 - OTHER MATERIAL OR MEMBER SIZE SUBSTITUTIONS REQUIRE THE WRITTEN AUTHORIZATION OF THE DESIGNERS. UNAUTHORIZED DEVIATIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



DECK SPECIFICATIONS

- A DECK IS AN EXPOSED EXTERIOR WOOD FLOOR STRUCTURE WHICH MAY BE ATTACHED TO A STRUCTURE OR BE FREE STANDING. ROOF PORCHES, OPEN OR SCREENED IN, MAY BE CONSTRUCTED USING THESE PROVISIONS.
 - SUPPORT POSTS SHALL BE SUPPORTED BY A FOOTING.
 - WHEN ATTACHED TO A STRUCTURE, THE STRUCTURE TO WHICH ATTACHED SHALL HAVE A TREATED WOOD BAND FOR THE LENGTH OF THE DECK, OR CORROSION RESISTANT FLASHING SHALL BE USED TO PREVENT MOISTURE FROM COMING IN CONTACT WITH THE UNTREATED FRAMING OF THE STRUCTURE. THE DECK BAND AND THE STRUCTURE BAND SHALL BE CONSTRUCTED IN CONTACT WITH EACH OTHER EXCEPT AT BRICK VENEER AND WHERE FLYWOOD SHEATHING IS REQUIRED AND PROPERLY FLASHED. SPONG SHALL NOT BE INSTALLED BETWEEN THE STRUCTURE AND THE DECK BAND. IF ATTACHED TO A BRICK VENEER STRUCTURE, NEITHER FLASHING NOR A TREATED BAND FOR THE BRICK STRUCTURE IS REQUIRED. IN ADDITION, THE TREATED DECK BAND SHALL BE CONSTRUCTED IN CONTACT WITH THE BRICK VENEER.
 - WHEN THE DECK IS SUPPORTED AT THE STRUCTURE BY ATTACHING THE DECK TO THE STRUCTURE, THE FOLLOWING ATTACHMENT SCHEDULES SHALL APPLY FOR ATTACHING THE DECK BAND TO THE STRUCTURE.
- A. ALL STRUCTURES EXCEPT BRICK VENEER STRUCTURES**
- | REQUIRED FASTENERS | JOIST LENGTH | |
|--|--|----------------|
| | UP TO 8' MAX. | UP TO 16' MAX. |
| ONE - 5/8" Ø BOLT @ 42" O.C. AND (2) ROWS OF 12d NAILS @ 8" O.C. OR TWO ROWS OF SIMPSON SDWS24000B @ 6" = 32" O.C. STAGGERED | ONE - 5/8" Ø BOLT @ 20" O.C. AND (2) ROWS OF 12d NAILS @ 8" O.C. OR TWO ROWS OF SIMPSON SDWS24000B @ 6" = 16" O.C. STAGGERED | |
- A. BRICK VENEER STRUCTURES**
- | REQUIRED FASTENERS | JOIST LENGTH | |
|------------------------------|------------------------------|----------------|
| | UP TO 8' MAX. | UP TO 16' MAX. |
| ONE - 5/8" Ø BOLT @ 28" O.C. | ONE - 5/8" Ø BOLT @ 16" O.C. | |
- IF THE DECK BAND IS SUPPORTED BY A 1/2" MINIMUM MASONRY LEDGE ALONG THE FOUNDATION WALL, 5/8" Ø BOLTS SPACED @ 48" O.C. MAY BE USED FOR SUPPORT.
 - OTHER MEANS OF SUPPORT, SUCH AS JOIST HANGERS, MAY BE USED TO CONNECT DECK JOISTS TO A TREATED STRUCTURE BAND.
 - ORDERS SHALL BEAR DIRECTLY ON POSTS OR BE CONNECTED TO THE SIDES OF POSTS WITH 2 - 5/8" Ø BOLTS.
 - FLOOR DECKING SHALL BE NO. 2 GRADE TREATED SOUTHERN PINE OR EQUIVALENT. THE MINIMUM FLOOR DECKING THICKNESS SHALL BE AS FOLLOWS:

JOIST SPAN	DECKING
12" O.C.	1" S4S
16" O.C.	1" T&G
24" O.C.	1 1/4" S4S
32" O.C.	2" S4S

9. MAXIMUM HEIGHT OF DECK SUPPORT POSTS IS AS FOLLOWS:

POST SIZE	MAX POST HEIGHT
4x4	8'
6x6	20'
ENGINEERED	20' +

NOTES: 1) THIS TABLE IS BASED ON NO. 2 TREATED SOUTHERN PINE POSTS.
2) THIS TABLE IS BASED ON A MAXIMUM TRIBUTARY AREA OF 128 SQ. FT.
3) POST HEIGHT IS FROM TOP OF FOOTING TO BOTTOM OF ORDER.

10. DECKS SHALL BE BRACED TO PROVIDE LATERAL STABILITY BY ONE OF THE FOLLOWING METHODS:

A. WHEN THE DECK FLOOR HEIGHT IS LESS THAN 4'-0" AND THE DECK IS ATTACHED TO THE STRUCTURE IN ACCORDANCE WITH SECTION 4, LATERAL BRACING IS NOT REQUIRED.

B. 4x4 WOOD KNEE BRACES MAY BE PROVIDED ON EACH COLUMN IN BOTH DIRECTIONS. THE KNEE BRACES SHALL ATTACH TO EACH POST AT A POINT NOT LESS THAN 1/3 OF THE POST LENGTH FROM THE TOP OF THE POST, AND THE BRACES SHALL BE ANGLED BETWEEN 45° AND 60° FROM THE HORIZONTAL. KNEE BRACES SHALL BE ATTACHED AT THE ENDS TO THE ORDER AND THE POST WITH ONE - 5/8" Ø BOLT.

C. FOR FREE STANDING DECKS WITHOUT KNEE BRACES OR DIAGONAL BRACING, LATERAL STABILITY MAY BE PROVIDED BY EMBEDDING THE POSTS IN CONCRETE IN ACCORDANCE WITH THE FOLLOWING:

POST SIZE	TRIBUT. AREA	POST HEIGHT	EMB. DEPTH	CONC. DIAM.
4x4	48 SQ. FT.	4'-0"	2'-6"	1'-0"
6x6	120 SQ. FT.	6'-0"	3'-6"	1'-0"

D. 2X6 DIAGONAL VERTICAL CROSS BRACING SHALL BE PROVIDED IN TWO PERPENDICULAR DIRECTIONS FOR FREE STANDING DECKS OR PARALLEL TO THE STRUCTURE AT THE EXTERIOR COLUMN LINE FOR ATTACHED DECKS. THE BRACES SHALL BE ATTACHED TO THE POSTS WITH ONE - 5/8" Ø BOLT AT EACH END OF THE BRACE.

NOTES: 1) ALL NAILS AND BOLTS ARE TO BE HOT DIPPED GALVANIZED.
2) MINIMUM EDGE DISTANCE FOR BOLTS IS 2 1/2".
3) NAILS MUST PENETRATE THE SUPPORTING STRUCTURE BAND A MINIMUM OF 1 1/2".

NOTES

ALL WORK IS TO BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES. THE BUILDER IS RESPONSIBLE FOR REVIEWING PLANS PRIOR TO CONSTRUCTION. IF ENGINEERING SERVICES HAS BEEN PROVIDED THE BUILDER SHALL VERIFY THAT THE FOUNDATION AND STRUCTURAL PLANS HAVE BEEN SEALED BY AN ENGINEER REGISTERED BY THE STATE. IF THE PLANS HAVE NOT BEEN SIGNED AND SEALED, THE BUILDER SHALL IMMEDIATELY CONTACT ENGINEERING TECH BEFORE PROCEEDING FURTHER. ANY ERRORS DUE TO A FAILURE TO FOLLOW THE ABOVE PROCEDURES SHALL NOT BE THE RESPONSIBILITY OF ENGINEERING TECH. ALL FINAL SETS OF THE SAME PLAN ISSUED TO A BUILDER SHOULD BE REVIEWED FOR UNIFORMITY, ESPECIALLY IF PRIOR SETS OF PLANS HAVE BEEN ISSUED AS STUDY COPIES.

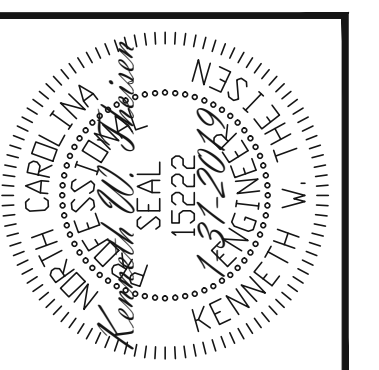
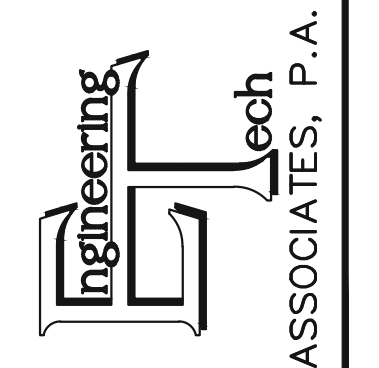
ENGINEERING TECH DOES NOT PERFORM FENESTRATION, ROOF VENT, OR ATTIC CALCULATIONS OR ANY OTHER AREA CALCULATIONS THAT ARE NOT RELATED TO STRUCTURAL ENGINEERING.

TRUSSES TO BE DESIGNED BY AN ENGINEER REGISTERED IN NORTH CAROLINA. FINAL TRUSS DRAWING SHOULD BE SUBMITTED TO ENGINEERING TECH ASSOCIATES, PA FOR REVIEW.

ABBREVIATIONS

ABV ABOVE	FND FOUNDATION	TJ TRIPLE JOIST
B BOTH	FTG FOOTING	TYP TYPICAL
B.E. BOTH ENDS	HDC HOT DIPPED	TRPL TRIPLE
BTWN BETWEEN	GALV GALVANIZED	TSP TRIPLE STUD POCKET
CONC CONCRETE	HOR HANGER	UNO UNLESS NOTED OTHERWISE
CS CONTINUOUS SHEATHING	LVL LAMINATED VENEER	XJ EXTRA JOIST
DIA DIAMETER	LUM LUMBER	
DBL DOUBLE	NTS NOT TO SCALE	
DJ DOUBLE JOIST	O.C. ON CENTER	
DSP DBL STUD POCKET	PSL PARALLEL STRAND	
EA EACH	LUM LUMBER	
FLG FLANGE	PT PRESSURE TREATED	
FL PL FLUTCH PLATE	QJ QUAD JOIST	
FLR FLOOR	SP STUD POCKET	
	SQ SQUARE	

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