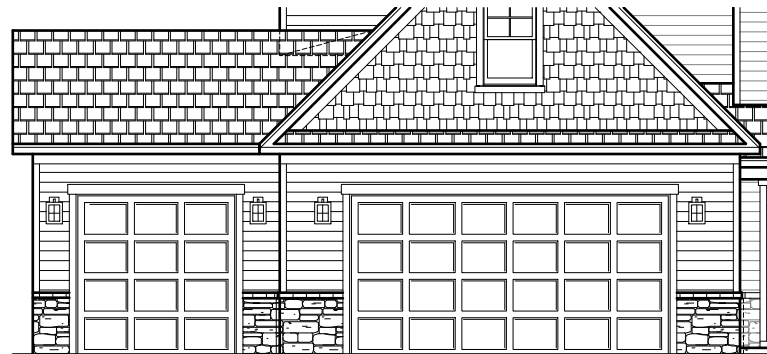


Lot 304 - Oakmont Estates



OPT. 3RD CAR GARAGE  
ELEVATION CLASSIC (SHOWN)



ELEVATION - CLASSIC



Scales UNO:  
22X34: 1/4"=1'-0"  
11X17: 1/8"=1'-0"

OWNER / CONTRACTOR NOTES:

- THE SEALING OF THIS PLAN FOR A LOT SPECIFIC ISSUE, AUTHORIZES THE CONSTRUCTION FROM THESE PLANS FOR ONE HOUSE ON ONE LOT FOR THE LOT SPECIFIC REFERENCED IN TITLEBLOCK. UNSEALED PLANS MUST NOT BE USED FOR CONSTRUCTION. CONSTRUCTION FROM THESE PLANS MUST BE FROM THE LATEST APPROVED DATE PLANS, INCLUDING REVISIONS AND ADDENDA.
- THE SEALING OF THIS PLAN FOR A MASTER PLAN SET ISSUE, AUTHORIZES THE CONSTRUCTION FROM THESE PLANS FOR MULTIPLE HOUSES ON MULTIPLE LOTS PER BUILDER WITH DESIGNERS' KNOWLEDGE OF CONSTRUCTION PER LOT. UNSEALED PLANS MUST NOT BE USED FOR CONSTRUCTION. CONSTRUCTION FROM THESE PLANS MUST BE FROM THE LATEST APPROVED DATE PLANS, INCLUDING REVISIONS AND ADDENDA.
- CONSTRUCTION DEVIATING FROM THESE PLANS WILL INVALIDATE THEIR PLANS REVIEW PERMITTED USE. THE DESIGNER MUST BE NOTIFIED IMMEDIATELY OF CONSTRUCTION DEVIATING FROM DEPICTED OR IMPLIED INFORMATION HEREIN. LETTER FROM THE DESIGNER MAY BE OBTAINED FOR A FEE TO VERIFY THE FEASIBILITY AND COMPLIABILITY OF ANY CHANGES. HOWEVER, THE OWNER/CONTRACTOR ASSUMES ALL RISK FROM DEVIATING FROM THESE PLANS.
- DO NOT SCALE DRAWINGS, BUT RATHER INQUIRE INFORMATION FROM DESIGNER. REPRODUCTION OF THESE DRAWINGS ARE PROHIBITED UNLESS GRANTED WRITTEN CONSENT FROM DESIGNER.
- THE OWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE FOLLOWING INFORMATION (NON-EXHAUSTIVE): BUILDING PERMITS, SITE ENGINEERING INCLUDING SURVEYING, TOPOGRAPHIC STUDIES, GEOTECHNICAL REPORTS, AND SEPTIC PERMITS; INTERIOR CASEWORK DESIGN; PLUMBING, MECHANICAL, AND ELECTRICAL DESIGN.

BUILDING CODE NOTES

THIS PLAN HAS BEEN DESIGNED UNDER THE 2018 NORTH CAROLINA RESIDENTIAL CODE.

- APPLICABLE CODES:  
N.C. FIRE CODE, 2018  
N.C. MECHANICAL CODE, 2018  
N.C. PLUMBING CODE, 2018  
N.C. ENERGY CODE, 2018  
N.C. ELECTRICAL CODE, 2017  
N.C. GAS CODE 2018

BUILDING DATA:

Construction Type:	V-2B
Use Group:	R-3
Number of Stories:	[ 2 ]
Building Ridge Height: (Elevation A) +	(4'-) 35'-0"
Building Ridge Height: (Elevation B) +	(4'-) 35'-0"
Building Ridge Height: (Elevation C) +	(N/A)
Building Ridge Height: (Elevation D) +	(4'-) 35'-0"
Building Ridge Height: (Elevation E) +	(4'-) 35'-0"
Mean Roof Height: (Elevation A) +	(4'-) 27'-1"
Mean Roof Height: (Elevation B) +	(4'-) 27'-1"
Mean Roof Height: (Elevation C) +	(N/A)
Mean Roof Height: (Elevation D) +	(4'-) 27'-1"
Mean Roof Height: (Elevation E) +	(4'-) 27'-1"

NOTE: HEIGHTS LISTED ABOVE ARE BASED ON MONO SLAB GRADE LINES PROVIDED ON EXTERIOR ELEVATIONS SHEETS. BUILDER / INSPECTORS OFFICIAL TO VERIFY FINAL GRADE HEIGHT IN FIELD AS REQUIRED.

CONSTRUCTION NOTES:

- THE FOLLOWING IS A NON-EXHAUSTIVE LIST OF SOME COMMONLY MISSED CODE REQUIREMENTS AND ARE ENFORCEABLE IN THE CONSTRUCTION FROM THESE PLANS. SEE THE N.C. RESIDENTIAL CODE BOOK FOR MORE INFO.
- (R308.4) ALL GLAZING WITHIN 24" OF EITHER SIDE OF A DOOR IN A CLOSED POSITION, AND ON THE SAME WALL PLANE SHALL BE TEMPERED. ALL WINDOWS THAT MEET ALL OF THE FOLLOWING CONDITIONS SHALL BE TEMPERED: A) INDIVIDUAL PANES OF MIN. 9 SF. B) BOTTOM EDGE IS WITHIN 18" OF FLOOR. C) TOP EDGE IS AT LEAST 36" ABOVE FLOOR. AND D) GLAZING IS WITHIN 36" HORIZ. OF WALKING SURFACE. TEMPERED GLAZING IS ALSO REQUIRED WITHIN 60" OF HOT TUBS OR STAIR LEADING AND FINISH EDGES. TEMPERED WINDOWS ALSO REQUIRED PER REMAINDER OF THIS CODE SECTION.
  - (R310.1) ALL SLEEPING ROOMS AND BASEMENTS WITH HABITABLE SPACE SHALL HAVE AT LEAST ONE EGRESS WINDOW CONFORMING TO THE FOLLOWING: A) MIN. 4.0 SF. CLEAR OPENING; B) MIN. TOTAL GLASS AREA OF 5.0 SQ. (GROUND FLOOR WINDOW) AND 5.7 SF. (UPPER STORY WINDOW). IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE THE PROPER CONFORMING WINDOW AND HAVE EGRESS WINDOWS PROPERLY DISTRIBUTED AND INSTALLED AS REQUIRED.
  - (R311.2) ALL INTERIOR EGRESS DOORS AND A MINIMUM OF ONE EXTERIOR EGRESS DOOR SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE.
  - (R311.15) MAXIMUM STAIR RISER HEIGHT SHALL BE 8-1/4", AND MINIMUM TREAD SHALL BE 9".
  - (R314.3) SMOKE ALARMS SHALL BE INSTALLED AND INTERCONNECTED, WITH BATTERY BACK-UP IN THE FOLLOWING AREAS: EACH SLEEPING ROOM; IN THE AREA (HALLWAY) RIGHT OUTSIDE THE SLEEPING ROOMS; AND EACH STORY. THE ONE OUTSIDE THE SLEEPING ROOMS WILL SATISFY THAT STORY.
  - (R402.12) ALL LUMBER SHALL BE PRESSURE TREATED AND DRIED AFTER TREATMENT IN ACCORDANCE WITH AWWA U1 AND SHALL BEAR THE LABEL OF AN ACCREDITED AGENCY.
  - (R406.1) BITUMINOUS DAMPROOFING SHALL BE APPLIED TO EXTERIOR FOUNDATIONS OF ALL HABITABLE AND USABLE (STORAGE, ETC.) SPACES.
  - (R408.12) INSTALL ONE FOUNDATION VENT WITHIN 3' OF EACH CORNER (NOT ONE EACH SIDE OF EACH CORNER).
  - (R109.4) FLASH ALL VALLEYS AND WALL/ROOF INTERSECTIONS, AND CHIMNEY AND OTHER ROOF PENETRATIONS. USE ICE AND WATER SHIELD ON ALL ROOFS LESS THAN 4:12 SLOPE. FLASHING TO BE NON-CORROSIVE.
  - (R801.1) BUILDER TO LOCATE 22"x30" ATTIC ACCESS IN ALL ATTICS WITHOUT STAIR ACCESS. LOCATE ACCESS TO PROVIDE A 30" CLEAR SPACE ABOVE ACCESS DOOR-TYP.
  - (R100.1) MASONRY FIREPLACE WALLS TO BE MIN. 8" THICK AND MIN. 2" TO FRAMING. FOURED HEARTH TO HAVE MIN. 4#12 O.C. EACH WAY. HEARTH TO BE MIN. 20" FROM FIREBOX AND HAVE MIN. 12" WIDER THAN FIREBOX ON EACH SIDE.
  - (R403.1.6) ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER & SHALL EXTEND A MINIMUM 1" INTO MASONRY OR CONCRETE. ANCHOR BOLTS TO BE NO MORE THAN 6" O.C. AND WITHIN 2' OF THE CORNER.
  - (R315) INSTALL APPROVED CARBON MONOXIDE ALARM OUTSIDE EACH BEDROOM AND IN IMMEDIATE VICINITY OF EACH SEPARATE SLEEPING AREA.
  - ALL WINDOWS SHALL BE LABELED TO CONFORM WITH AAMNWLDA 101.8.2 BUILDER TO VERIFY MIN. DP CLASSIFICATION FOR ALL WINDOWS BASED ON LOCATION. SINGLE HOMES ARE BUILT BASED ON REQUIREMENTS FOR THAT WIND ZONE AREA.
  - IF CRAWL SPACE FOUNDATION OPTION IS USED BUILDER TO LOCATE ACCESS PER CURRENT CODE REQ. WITH 36"x24" (MIN) CLEAR OPENING IF NO HVAC LOCATED IN CRAWL OR 36"x36" (MIN) WITH HVAC LOCATED IN CRAWL SPACE AREA.

CLIMATIC AND GEOGRAPHIC NOTES:

TABLE N10212 (R402.12)									
CLIMATE ZONE	FENESTRATION U-FACTOR	FENEST. SHGC	CEILING R-VALUE	FRAME WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE	CRAWL WALL R-VALUE	CRAWL WALL R-VALUE
3	0.35	0.30	30 OR 30 CONT.	15, 13-2.5	15	5/13	0	5/13	
4	0.35	0.30	30 OR 30 CONT.	15, 13-2.5	15	10/15	10	10/15	
5	0.35	NR	30 OR 30 CONT.	15, 13-3	30	10/15	10	10/15	

STRUCTURAL DESIGN FIRM DATA:

STRUCTURAL DESIGNER	FIRM NAME	TELEPHONE NUMBER
Engineering Tech Associates	Engineering Tech Associates	919-844-1661
ENGINEER NAME	LICENSE NUMBER	
..	C-3810	

NOTE: PLANS ARE TO BE COORDINATED WITH STRUCTURAL DESIGNS AND TRUSS PLANS BY BUILDER. THE COORDINATION AND/OR VERIFICATION OF ANY STRUCTURAL MEMBERS, TRUSS PLANS AND/OR INFORMATION FROM OTHERS IS NOT THE RESPONSIBILITY OF PLAN DESIGNER. IF ANY DISCREPANCIES WITH FLOOR PLANS, ELEVATIONS OR DETAILS ARE DISCOVERED THE BUILDER SHALL NOTIFY PLANWORK PRIOR TO SUBMITTING PLANS FOR PERMIT OR BEFORE CONSTRUCTION BEGINS TO ADJUST PLANS AS NEEDED TO MEET NEEDS.

PROJECT SQUARE FOOTAGES

CLARK II - CLASSIC	
Heated Square Footage	
First Floor Htd.	1716
Second Floor Htd.	1641
TOTAL HTD. *	3357
Unheated Square Footage	
Covered Porch - Front	155
Garage - Two Car	501
Rear Patio	144
Unfin. Attic Storage	353

OPT. CRAWL SPACE VENTILATION INFO.

Crawlspace Vent Calculations - Clark II - Classic		
A	Crawlspace Area	1,716
B	Ventable Area Required by Code (without vapor barrier)	11.44
C	Ventable Area Required by Code (with vapor barrier)	1.1
D	Number of vents required (without vapor barrier)	25.0
E	Number of vents required (with vapor barrier). (See notes)	3.0
Formulas:		
B = A / 150		
C = A / 1500		
D = B / 0.47 (sqft of net venting area per vent)		
E = C / 0.47 (sqft of net venting area per vent)		
Notes:		
1. Builder must adjust ventilation calculations if using vents with a net area that is different than 0.47 sqft per vent.		
2. One foundation vent must be placed within 3 feet of each major corner in the building.		
3. Foundation vents must be placed to allow for cross ventilation.		

NOTE: BUILDER TO SIZE AND LOCATE FOUNDATION VENTS IS USED PER THE 2018 N.C. RESIDENTIAL BUILDING CODE BASED ON SITE CONDITIONS.  
**OR OPT. CLOSED CRAWL SPACE**

NOT APPLICABLE ON THIS ARCHITECTURAL BASE MASTER PLAN SET - SEE STRUCTURAL FILES

NOTE: IF SEALED CRAWLSPACE SYSTEM IS USED AREA MUST BE CONSTRUCTED PER THE 2018 N.C. RESIDENTIAL BUILDING CODE.

ROOF VENTILATION INFO.

Roof Ventilation - Clark II - Classic		
A	Ceiling area (square footage)	2,372
B	Sqft. of ventilation required	15.8
Formulas: B = A / 150		
Notes:		
Builder to calculate quantities and types of vents to make up the minimum requirement. Attic ventilation shall be approximately 50% soffit, and 50% high (gable end or ridge vents).		

INDEX OF DRAWINGS:

SHEET	SHEET NAME - Clark II - Master Plan
CS-1	Cover Sheet
A-1-0	Elevations - Front and Left - <b>Classic</b>
A-2-0	Elevations - Rear and Right - <b>Classic</b>
A-3-0	Roof Plate Details
A-4-0	First Floor Plan
A-5-0	Second Floor Plan
A-6-0	Attic Floor Plan
AE-1-0	First Floor Lighting
AE-2-0	Second Floor Lighting
O-1-0	Optional Sunroom - Elevs-Floors-Lights
O-2-0	Optional Covered Patio - Archs
O-3-0	Optional Master Sitting - Archs
O-4-0	Optional Master Sitting Deluxe - Archs
OA-1-0	Optional 3 Car Garage - Elevs-Floors-Lights
OA-2-0	Optional Flush Porch - Elevs-Floors-Lights
OB-1-0	<b>Exterior Elevations - Coastal</b>
OB-2-0	Wall Section Details
OB-3-0	Floors and Lighting
OB-8-0	Opt. 3rd Bay Garage - Elevs-Floors-Lights
OB-9-0	Opt. Sideload Garage - Elevs-Floors-Lights
OB-10-0	Opt. Flush Porch - Elevs-Floors-Lights
OD-1-0	<b>Exterior Elevations - Craftsman</b>
OD-2-0	Wall Section Details
OD-3-0	Floors and Lighting
OD-8-0	Opt. 3rd Bay Garage - Elevs-Floors-Lights
OD-9-0	Opt. Sideload Garage - Elevs-Floors-Lights
OD-10-0	Opt. Flush Porch - Elevs-Floors-Lights
OD-11-0	Opt. Extended Porch - Elevs-Floors-Lights
OD-12-0	Opt. 2 Garage Doors - Elevs-Floors-Lights
OE-1-0	<b>Exterior Elevations - Euro</b>
OE-2-0	Wall Section Details
OE-3-0	Floors and Lighting
OE-8-0	Opt. 3rd Bay Garage - Elevs-Floors-Lights
OE-9-0	Opt. Sideload Garage - Elevs-Floors-Lights
OE-10-0	Opt. Flush Porch - Elevs-Floors-Lights
AD-1	Standard Details
AD-2	Standard Details
<b>Structural Plans</b>	
Sheet	See Structural Plans (Done by Others)

GENERAL NOTES: 1. THIS PLAN IS TO BE COORDINATED WITH ALL SITE INFORMATION BY OWNER AND CONTRACTOR. 2. CONTRACTOR IS TO VERIFY ALL APPLICABLE PERMITS, REGULATIONS, OR LOCAL ORDINANCES FOR CONSTRUCTION. 3. THESE NOTES ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INFORMATION.

PROGRESS DATE:	--	
ISSUE DATE:	7/10/13	
DRAWN BY:	ASH/BB	
CHECKED BY:	ASH/BB	
REVISIONS		
DATE	BY	DESCRPT.
8-21-17	BB	Master Plan Set - Archs
5-25-18	BB	Master Plan Set - Archs
7-23-18	BB	Master Plan Set - Archs (Logo)
2-14-19	BB	2018 Codes - Plan mods

Cover Sheet  
SHEET NO.  
**CS-1-0**  
PLAN NO.  
**039211**

**ARCHITECTURAL PLANS  
EXTERIOR MATERIALS**

	SHINGLE ROOF PER BUILDER
	METAL ROOF PER BUILDER
	HORIZONTAL SIDING PER BUILDER
	SHAKE SIDING PER BUILDER
	BOARD-N-BATTEN PER BUILDER
	BRICK PER BUILDER
	STONE PER BUILDER
	STUCCO PER BUILDER
	SCREEN PER BUILDER
	BRICK ROWLOCK/SOLDIER PER BUILDER
	STONE ROWLOCK/SOLDIER PER BUILDER

**GENERAL NOTES**

\* USE ICE AND WATER SHIELD AT ALL ROOF PLANES SLOPED BELOW 4:12.

SEE FLOOR PLANS, ROOF PLAN, AND/OR ROOF FRAMING DETAIL SHEET FOR PLATE HEIGHTS AT RAFTER AND/OR TRUSS BEARING LOCATIONS.

SEE ROOF PLANS FOR ATTIC VENTILATION CALCULATIONS.

SEE SHEET D-2 FOR FLASHING DETAILS AND REQUIRED LOCATIONS.

**REQUIRED FLASHING LOCATIONS**

1) ALL MATERIAL CHANGE INTERSECTIONS.  
2) ALL WINDOW / DOOR OPENINGS.  
3) ALL ROOF VALLEYS.

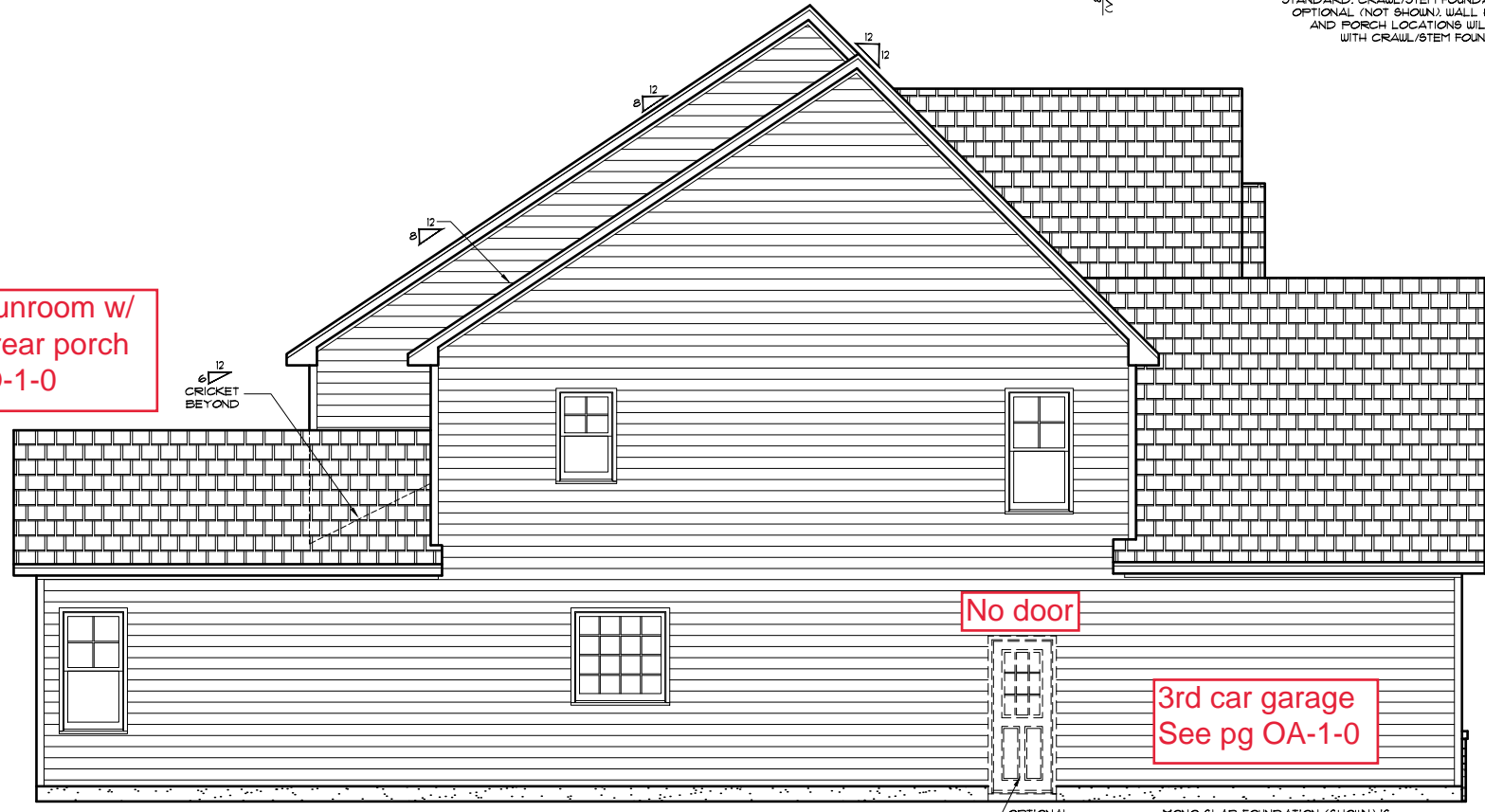
BUILDER TO VERIFY ON SITE FLASHING IS INSTALLED TO MEET CODE REQUIREMENTS.

1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC. AS A BASE PLAN MASTER SET.  
2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGNS.  
3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.



**FRONT ELEVATION - CLASSIC**  
22x34 PRINTS SCALE: 1/4"=1'-0"  
11x17 PRINTS SCALE: 1/8"=1'-0"

Deluxe sunroom w/  
covered rear porch  
See pg O-1-0



**LEFT ELEVATION**  
22x34 PRINTS SCALE: 1/4"=1'-0"  
11x17 PRINTS SCALE: 1/8"=1'-0"

GENERAL NOTES:  
1. THESE WORKS WILL REMAIN ANY AND ALL LIABILITY FOR ERRORS ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HERE.  
2. CONTRACTOR IS TO NOTIFY ARCHITECT IMMEDIATELY OF ANY CONDITIONS OR ITEMS VARYING FROM DESIGNED INFORMATION.  
3. THESE WORKS IS RESPONSIBLE FOR CONTRIBUTED VARIATIONS FROM THE INFORMATION SPECIFIED.

McKee Homes, LLC  
Clark II - Base - Classic  
Base Plan - Elev. A (LHG)  
Architectural Master Plan Set (2-19-19)

PROGRESS DATE:	--	
ISSUE DATE:	7/10/13	
DRAWN BY:	A.S.H./B.B.	
CHECKED BY:	A.S.H./B.B.	
REVISIONS		
DATE	BY	DESCRPT.
8-21-17	BB	Master Plan Set - Archs
5-25-18	BB	Master Plan Set - Archs
7-23-18	BB	Master Plan Set - Archs (Logo)
2-14-19	BB	2018 Codes - Plan mods

Front & Left Elevations

SHEET NO.  
**A-1-0**

PLAN NO.  
**039211**



Scales UNO:  
22X34: 1/4"=1'-0"  
11X17: 1/8"=1'-0"

**ARCHITECTURAL PLANS  
EXTERIOR MATERIALS**

	SHINGLE ROOF PER BUILDER
	METAL ROOF PER BUILDER
	HORIZONTAL SIDING PER BUILDER
	SHAKE SIDING PER BUILDER
	BOARD-N-BATTEN PER BUILDER
	BRICK PER BUILDER
	STONE PER BUILDER
	STUCCO PER BUILDER
	SCREEN PER BUILDER
	BRICK ROWLOCK/SOLDIER PER BUILDER
	STONE ROWLOCK/SOLDIER PER BUILDER

**GENERAL NOTES**

\* USE ICE AND WATER SHIELD AT ALL ROOF PLANES SLOPED BELOW 4:12.

SEE FLOOR PLANS, ROOF PLAN, AND/OR ROOF FRAMING DETAIL SHEET FOR PLATE HEIGHTS AT RAFTER AND/OR TRUSS BEARING LOCATIONS.

SEE ROOF PLANS FOR ATTIC VENTILATION CALCULATIONS.

SEE SHEET D-2 FOR FLASHING DETAILS AND REQUIRED LOCATIONS.

**REQUIRED FLASHING LOCATIONS**

1) ALL MATERIAL CHANGE INTERSECTIONS.  
2) ALL WINDOW / DOOR OPENINGS.  
3) ALL ROOF VALLEYS.

BUILDER TO VERIFY ON SITE FLASHING IS INSTALLED TO MEET CODE REQUIREMENTS.

1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC. AS A BASE PLAN MASTER SET.

2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGNS.

3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.



**REAR ELEVATION**  
22x34 PRINTS SCALE: 1/4"=1'-0"  
11x17 PRINTS SCALE: 1/8"=1'-0"

Deluxe sunroom w/  
covered rear porch  
See pg O-1-0



**RIGHT ELEVATION**  
22x34 PRINTS SCALE: 1/4"=1'-0"  
11x17 PRINTS SCALE: 1/8"=1'-0"

Deluxe sunroom w/  
covered rear porch  
See pg O-1-0

4. MCKEE HOMES WILL ASSUME ANY AND ALL LIABILITY FOR ERRORS ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN.  
5. THESE PLANS ARE NOT TO BE USED FOR ESTIMATING, PERMITTING, OR OBTAINING CONTRACTS WITHOUT THE CONSULTATION OF THE ARCHITECT.

GENERAL NOTES:  
1. THESE PLANS ARE TO BE CONSIDERED WITH ALL THE INFORMATION OF OWNER AND CONTRACTOR AND ANY LOCAL CODES.  
2. CONTRACTOR IS TO NOTIFY ARCHITECT IMMEDIATELY OF ANY CONDITIONS OR ITEMS VARYING FROM DESIGNED INFORMATION.  
3. MCKEE HOMES IS RESPONSIBLE FOR CONTRIBUTED VARIATIONS FROM THE INFORMATION PROVIDED.



Scales UNO:  
22X34: 1/4"=1'-0"  
11X17: 1/8"=1'-0"

McKee Homes, LLC  
Clark II - Base - Classic  
Base Plan - Elev. A (LHG)  
Architectural Master Plan Set (2-19-19)

PROGRESS DATE:	--	
ISSUE DATE:	7/10/13	
DRAWN BY:	A.S.H./B.B.	
CHECKED BY:	A.S.H./B.B.	
REVISIONS		
DATE	BY	DESCRPT.
8-21-17	BB	Master Plan Set - Archs
5-25-18	BB	Master Plan Set - Archs
7-23-18	BB	Master Plan Set - Archs (Logo)
2-19-19	BB	2018 Codes - Plan mods

Rear & Right Elevations  
SHEET NO. A-2-0  
PLAN NO. 039211

**GENERAL NOTES**

\* USE ICE AND WATER SHIELD AT ALL ROOF PLANES SLOPED BELOW 4:12.

SEE FLOOR PLANS, ROOF PLAN, AND/OR ROOF FRAMING DETAIL SHEET FOR PLATE HEIGHTS AT RAFTER AND/OR TRUSS BEARING LOCATIONS.

SEE ROOF PLANS FOR ATTIC VENTILATION CALCULATIONS.

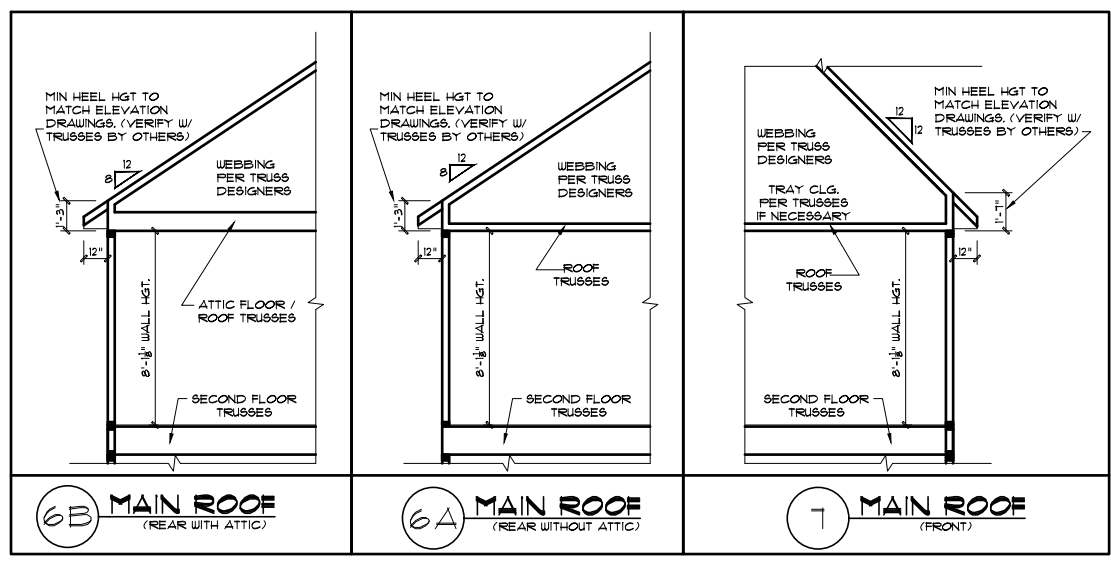
SEE SHEET D-2 FOR FLASHING DETAILS AND REQUIRED LOCATIONS.

**REQUIRED FLASHING LOCATIONS**

1) ALL MATERIAL CHANGE INTERSECTIONS.  
 2) ALL WINDOW / DOOR OPENINGS.  
 3) ALL ROOF VALLEYS.

BUILDER TO VERIFY ON SITE FLASHING IS INSTALLED TO MEET CODE REQUIREMENTS.

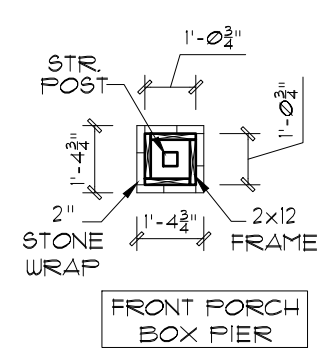
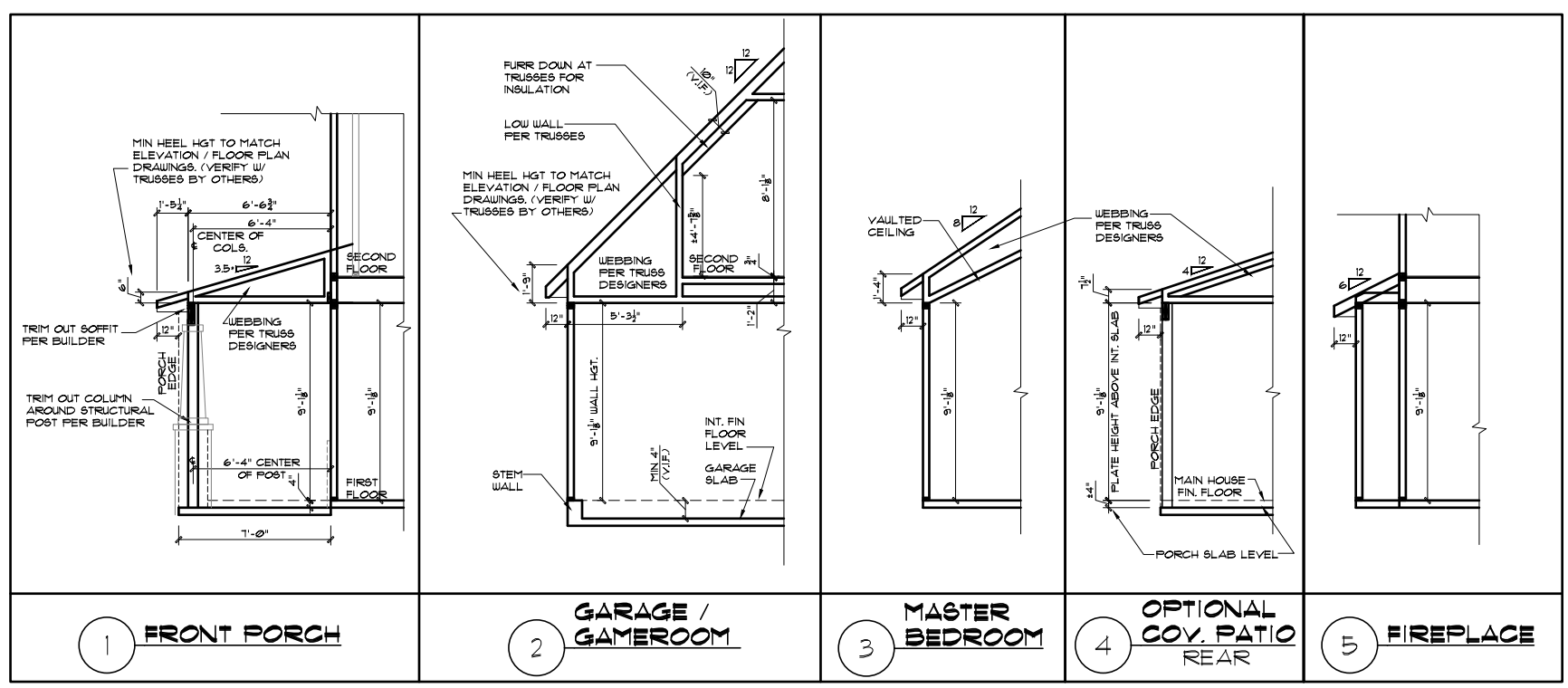
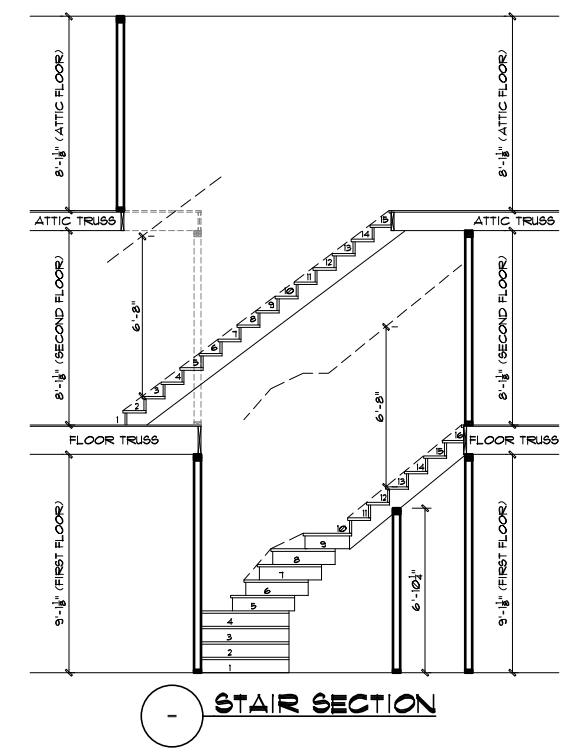
\*NOTE: DETAILS PROVIDED ARE FOR PLATE DETAILS ONLY. REFER TO STRUCTURAL SHEETS & TRUSS LAYOUT PLANS TO CONFIRM FLOOR MEMBER SIZE & DIRECTIONS, RAFTER / TRUSS SIZES & DIRECTIONS, TRUSS WEBBING AND ROOF OVERHANGS.



1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC. AS A BASE PLAN MASTER SET.

2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGNS.

3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.



4. NEEDED WHERE SHOWN ANY AND ALL LIABILITY FOR ERRORS ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HERE.  
 5. THESE NOTES IS RESPONSIBLE FOR ESTABLISHING, MAINTAINING, OR RE-EVALUATING CONSTRUCTION COSTS ASSOCIATED WITH THESE PLANS.

GENERAL NOTES:  
 1. THESE NOTES ARE TO BE COORDINATED WITH ALL THE INFORMATION BY OWNER AND CONTRACTOR AND PER LOCAL CODES.  
 2. CONTRACTOR IS TO VERIFY ALL THE PRESENTED CONDITIONS OR ITEMS VARYING FROM DESIGNED INFORMATION.  
 3. NEEDED WHERE SHOWN ANY AND ALL LIABILITY FOR ERRORS ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HERE.

Scales UNO:  
 22X34: 1/4"=1'-0"  
 11X17: 1/8"=1'-0"

McKee Homes, LLC  
 Clark II - Base - Classic  
 Base Plan - Elev. A (LHG)  
 Architectural Master Plan Set (2-19-19)

PROGRESS DATE:	--
ISSUE DATE:	7/10/13
DRAWN BY:	A.S.H./B.B.
CHECKED BY:	A.S.H./B.B.
REVISIONS	
DATE:	BY: DESCRPT.
8-21-17	BB Master Plan Set - Archs
5-25-18	BB Master Plan Set - Archs
7-23-18	BB Master Plan Set-Archs (Logo)
2-19-19	BB 2018 Codes - Plan mods

Roof Plate Details

SHEET NO. **A-3-0**

PLAN NO. **039211**



**EXTERIOR DOORS/WINDOWS (DP RATING)**  
 - ALL EXTERIOR DOORS TO BE DP41 WHEN BUILT IN HIGH WIND ZONE.  
 - ALL EXTERIOR WINDOWS TO BE DP50 WHEN BUILT IN HIGH WIND ZONE.

CLARK II - CLASSIC	
Heated Square Footage	
First Floor Htd.	1716
Second Floor Htd.	1241
TOTAL HTD.	3357
Unheated Square Footage	
Covered Porch - Front	155
Garage - Two Car	520
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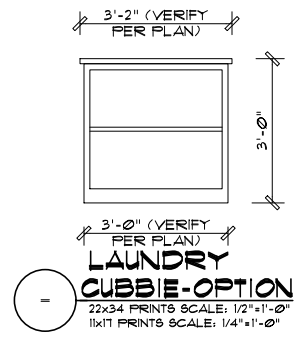
**GENERAL NOTES**  
**WALL THICKNESS / ANGLES**  
 ALL EXTERIOR STUD WALLS ARE DRAWN 4" THICK UNO. ALL INTERIOR STUD WALLS ARE DRAWN 4" THICK UNO. ANGLED WALLS ARE DRAWN @ 45° UNO.  
**EGRESS**  
 ALL BEDROOMS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO EGRESS REQUIREMENTS FOR CLEAR OPENING HEIGHT AND WIDTH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EGRESS SIZING PER CODE BASED ON CHOSEN MANUFACTURER, AS PRODUCT SIZES MAY VARY.  
**WALL/CEILING HEIGHTS**  
 WALL AND CEILING HEIGHTS NOTES ARE BASED ON NOMINAL WALL SIZE (I.E. A 9'-1 1/8" ACTUAL WALL HEIGHT IS LABELED 9/0 ON THE PLANS).  
 ALL VAULTED OR SLOPED CEILINGS ARE TO BE FURRED DOWN TO ACCOMMODATE REQUIRED CEILING INSULATION AND 1" AIRSPACE. VERIFY CODES FOR INFORMATION ON INSULATION REQUIREMENTS.  
**STAIRS**  
 STAIR TREADS ARE MEASURED FROM NOSING TO NOSING (N/N). MAXIMUM STAIR RISE HEIGHT TO BE NO GREATER THAN 8-1/4"

**ARCHITECTURAL PLANS WALL LEGEND**

- STANDARD STUD WALL INT OR EXT IF EXT SEE ELEVATIONS FOR SIDING STYLE THICKNESS OF WALL NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH 5" BRICK VENEER FOUNDATION WALL LEDGE STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH STACKED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE: BUILDER TO VERIFY STONE THICKNESS 4 NOTIFY PLAN DESIGNER IF THICKNESS IS MORE THAN 5" BEFORE FOOTINGS ARE POURED)
- STANDARD STUD WALL WITH APPLIED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE: NO FOUNDATION SUPPORT IS REPRESENTED ON STRUCTURAL PLANS) IF STACKED STONE IS TO BE USED BUILDER MUST NOTIFY PLAN DESIGNER BEFORE FOOTINGS ARE POURED
- STANDARD STUD WALL WITH LOW APPLIED STONE WAINSCOTING. SEE ELEVATIONS FOR HEIGHT & FINISH MATERIAL AT EXT STUD WALL ABOVE. STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH 5" FOUNDATION LEDGE FOR LOW BRICK OR STACKED STONE WAINSCOTING. SEE ELEVATIONS FOR HEIGHT & FINISH MATERIAL AT EXT STUD WALL ABOVE. STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- HALF WALL WITH 1/2" CAP (42" HEIGHT UNLESS NOTED OTHERWISE ON PLANS)

1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC. AS A BASE PLAN MASTER SET.  
 2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGNS.  
 3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.

**WINDOW FALL PREVENTION PROTECTION**  
 IF ANY PART OF THE CLEAR OPENING OF THE OPERABLE PORTION OF A WINDOW IS LOCATED MORE THAN 12" ABOVE THE EXTERIOR GRADE THEN THE LOWEST PART OF THE CLEAR OPENING MUST BE AT LEAST 24" ABOVE THE FLOOR OF THE ROOM IN WHICH IT IS LOCATED.  
 EXCEPTIONS:  
 1. THE WINDOW IS A FIXED UNIT  
 2. THE OPENING DOES NOT ALLOW THE PASSAGE OF A 4- INCH DIAMETER SPHERE.  
 3. THE WINDOW IS EQUIPPED WITH A WINDOW FALL PREVENTION DEVICE MEETING ASTM F2090.  
 4. THE WINDOW IS EQUIPPED WITH AN APPROVED WINDOW OPENING LIMITING DEVICE.  
 NOTE: WHEN USED WITH AN EMERGENCY ESCAPE AND RESCUE WINDOW, OPENING LIMITING DEVICES AND FALL PREVENTION DEVICES MUST BE APPROVED FOR EMERGENCY ESCAPE AND RESCUE PROVISIONS.



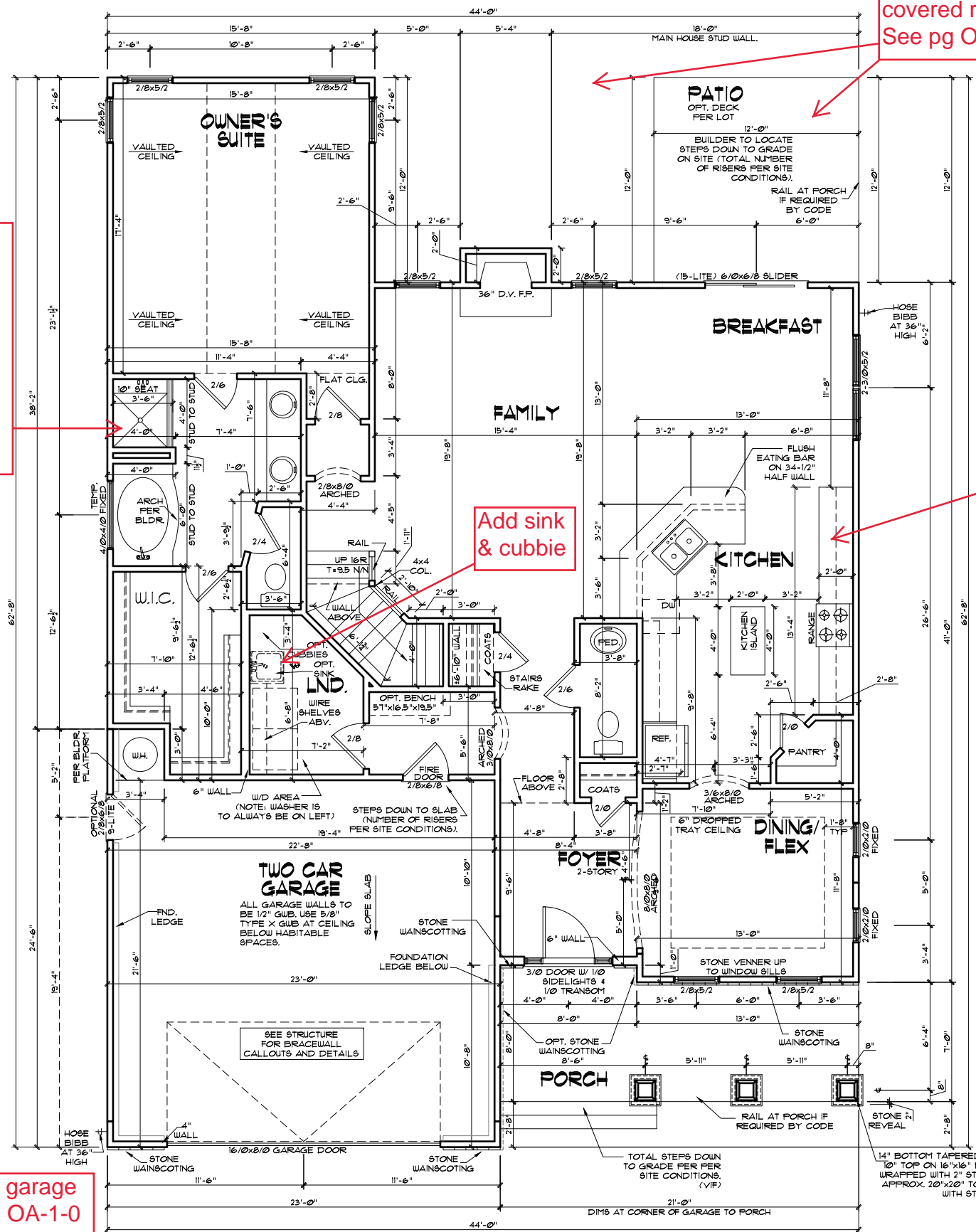
Deluxe sunroom w/ covered rear porch  
See pg O-1-0

Add deluxe kitchen

Add sink & cubbie

Tile shower - half wall w/ glass panel return  
Install bench

3rd car garage  
See pg OA-1-0



**FIRST FLOOR PLAN - CLASSIC**

22x34 PRINTS SCALE: 1/4"=1'-0"  
 11x17 PRINTS SCALE: 1/8"=1'-0"

1. THESE PLANS ARE TO BE CONSIDERED WITH ALL THE INFORMATION ON THE MASTER PLAN SET.  
 2. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION.  
 3. THESE PLANS ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.  
 4. MCKEE HOMES WILL ASSUME NO LIABILITY FOR DAMAGES ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN.  
 5. THESE PLANS ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MCKEE HOMES, LLC.

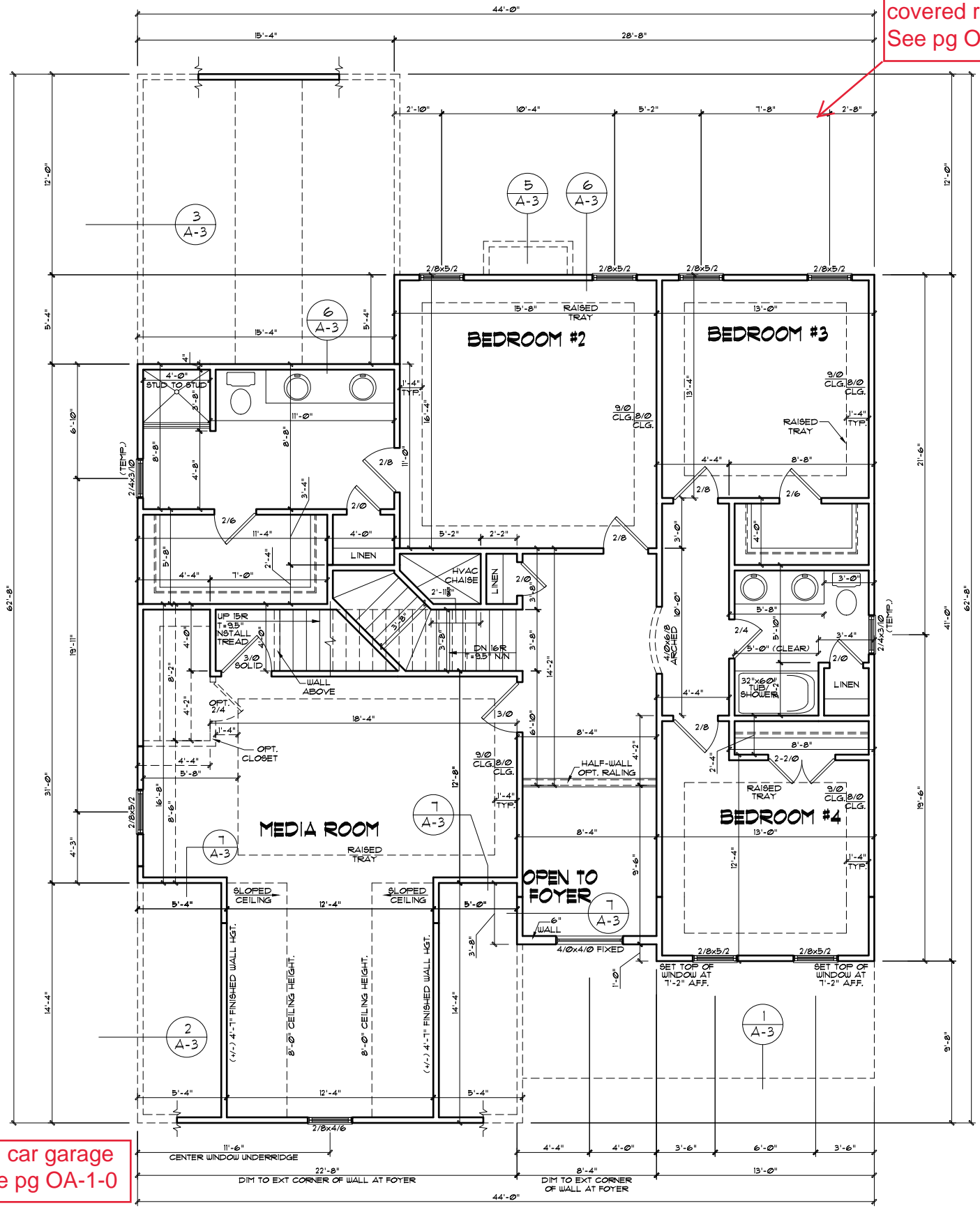
McKee Homes, LLC  
 Clark II - Base - Classic  
 Base Plan - Elev. A (LHG)  
 Architectural Master Plan Set (2-19-19)

DATE	BY	DESCRPT.
7/10/13	ASH/BB	ISSUE DATE
8-21-17	BB	Master Plan Set - Archs
5-25-18	BB	Master Plan Set - Archs
7-23-18	BB	Master Plan Set - Archs (Logo)
2-14-19	BB	2018 Codes - Plan mods

First Floor Plan  
 SHEET NO. A-4-0  
 PLAN NO. 039211

PROGRESS DATE:	7/10/13	
ISSUE DATE:	ASH/BB	
DRAWN BY:	ASH/BB	
CHECKED BY:	ASH/BB	
REVISIONS		
DATE:	BY:	DESCRPT.
8-21-17	BB	Master Plan Set - Arch
5-25-18	BB	Master Plan Set - Arch
7-23-18	BB	Master Plan Set - Arch (Logo)
2-14-19	BB	2018 Codes - Plan mods

Deluxe sunroom w/  
covered rear porch  
See pg O-1-0



**EXTERIOR DOORS/WINDOWS (DP RATING)**  
- ALL EXTERIOR DOORS TO BE DP41 WHEN BUILT IN HIGH WIND ZONE.  
- ALL EXTERIOR WINDOWS TO BE DP50 WHEN BUILT IN HIGH WIND ZONE.

**GENERAL NOTES**  
**WALL THICKNESS / ANGLES**  
ALL EXTERIOR STUD WALLS ARE DRAWN 4" THICK UNO. ALL INTERIOR STUD WALLS ARE DRAWN 4" THICK UNO. ANGLED WALLS ARE DRAWN @ 45° UNO.  
**EGRESS**  
ALL BEDROOMS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO EGRESS REQUIREMENTS FOR CLEAR OPENING HEIGHT AND WIDTH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EGRESS SIZING PER CODE BASED ON CHOSEN MANUFACTURER, AS PRODUCT SIZES MAY VARY.  
**WALL/CEILING HEIGHTS**  
WALL AND CEILING HEIGHTS NOTED ARE BASED ON NOMINAL WALL SIZE (IE. A 9'-1 1/8" ACTUAL WALL HEIGHT IS LABELED 9/0 ON THE PLANS).  
ALL VAULTED OR SLOPED CEILINGS ARE TO BE FURRED DOWN TO ACCOMMODATE REQUIRED CEILING INSULATION AND 1" AIRSPACE. VERIFY CODES FOR INFORMATION ON INSULATION REQUIREMENTS.  
**STAIRS**  
STAIR TREADS ARE MEASURED FROM NOSING TO NOSING (N/N).  
MAXIMUM STAIR RISE HEIGHT TO BE NO GREATER THAN 8-1/4"

**ARCHITECTURAL PLANS WALL LEGEND**

- STANDARD STUD WALL INT OR EXT IF EXT SEE ELEVATIONS FOR SIDING STYLE THICKNESS OF WALL NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH 5" BRICK VENEER FOUNDATION WALL LEDGE STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH STACKED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE BUILDER TO VERIFY STONE THICKNESS 4 NOTIFY PLAN DESIGNER IF THICKNESS IS MORE THAN 5" BEFORE FOOTINGS ARE POURED)
- STANDARD STUD WALL WITH APPLIED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE: NO FOUNDATION SUPPORT IS REPRESENTED ON STRUCTURAL PLANS) IF STACKED STONE IS TO BE USED BUILDER MUST NOTIFY PLAN DESIGNER BEFORE FOOTINGS ARE POURED
- STANDARD STUD WALL WITH LOW APPLIED STONE WAINSCOTING. SEE ELEVATIONS FOR HEIGHT 4 FINISH MATERIAL AT EXT STUD WALL ABOVE. STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH 5" FOUNDATION LEDGE FOR LOW BRICK OR STACKED STONE WAINSCOTING. SEE ELEVATIONS FOR HEIGHT 4 FINISH MATERIAL AT EXT STUD WALL ABOVE. STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- HALF WALL WITH 1x CAP (42" HEIGHT UNLESS NOTED OTHERWISE ON PLANS)

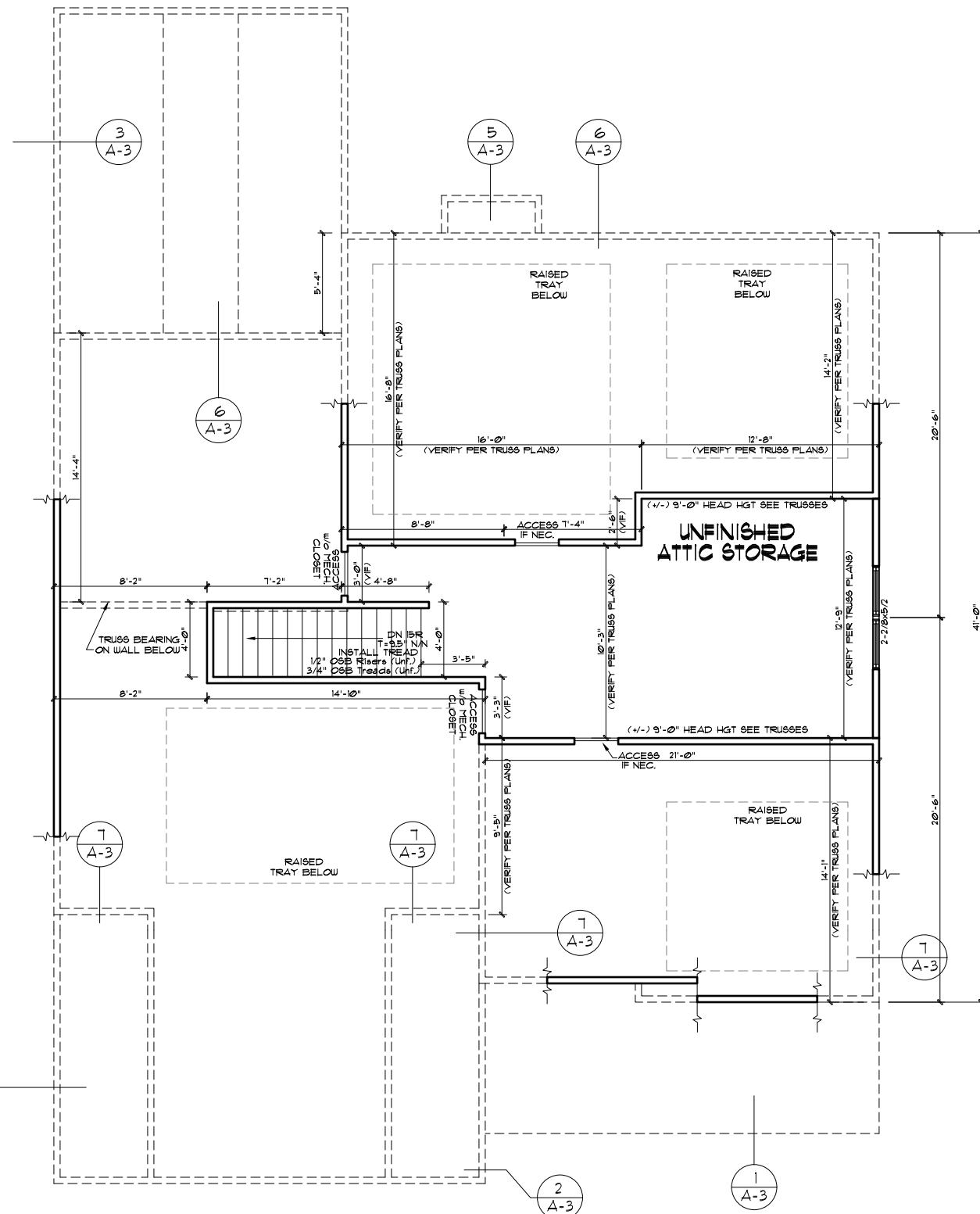
1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC, AS A BASE PLAN MASTER SET.  
2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGNS.  
3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.

**WINDOW FALL PREVENTION PROTECTION**  
IF ANY PART OF THE CLEAR OPENING OF THE OPERABLE PORTION OF A WINDOW IS LOCATED MORE THAN 72" ABOVE THE EXTERIOR GRADE THEN THE LOWEST PART OF THE CLEAR OPENING MUST BE AT LEAST 24" ABOVE THE FLOOR OF THE ROOM IN WHICH IT IS LOCATED.  
**EXCEPTIONS:**  
1. THE WINDOW IS A FIXED UNIT  
2. THE OPENING DOES NOT ALLOW THE PASSAGE OF A 4- INCH DIAMETER SPHERE.  
3. THE WINDOW IS EQUIPPED WITH A WINDOW FALL PREVENTION DEVICE MEETING ASTM F2090.  
4. THE WINDOW IS EQUIPPED WITH AN APPROVED WINDOW OPENING LIMITING DEVICE.  
**NOTE:** WHEN USED WITH AN EMERGENCY ESCAPE AND RESCUE WINDOW, OPENING LIMITING DEVICES AND FALL PREVENTION DEVICES MUST BE APPROVED FOR EMERGENCY ESCAPE AND RESCUE PROVISIONS.

3rd car garage  
See pg OA-1-0

**SECOND FLOOR PLAN - CLASSIC**  
22x34 PRINTS SCALE: 1/4"=1'-0"  
11x17 PRINTS SCALE: 1/8"=1'-0"

GENERAL NOTES: 1. THESE PLANS ARE TO BE COORDINATED WITH ALL PERMITS AND LOCAL CODES. 2. CONTRACTOR IS TO NOTIFY ARCHITECT IMMEDIATELY OF ANY CONDITIONS OR ITEMS VARYING FROM DESIGNED INFORMATION. 3. MCKEE HOMES IS RESPONSIBLE FOR CORRECTED VARIATIONS FROM THE INFORMATION SUPPLIED. 4. MCKEE HOMES WILL ASSUME ANY AND ALL LIABILITY FOR ERRORS ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN. 5. THESE PLANS ARE SUBJECT TO CHANGE WITHOUT NOTICE. 6. MCKEE HOMES WILL ASSUME ANY AND ALL LIABILITY FOR ERRORS ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN.



### ATTIC FLOOR PLAN - CLASSIC

22x34 PRINTS SCALE: 1/4"=1'-0"  
11x17 PRINTS SCALE: 1/8"=1'-0"

**EXTERIOR DOORS/WINDOWS (DP RATING)**  
- ALL EXTERIOR DOORS TO BE DP41 WHEN BUILT IN HIGH WIND ZONE.  
- ALL EXTERIOR WINDOWS TO BE DP50 WHEN BUILT IN HIGH WIND ZONE.

1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC, AS A BASE PLAN MASTER SET.  
2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGNS.  
3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.

**WINDOW FALL PREVENTION PROTECTION**  
IF ANY PART OF THE CLEAR OPENING OF THE OPERABLE PORTION OF A WINDOW IS LOCATED MORE THAN 72" ABOVE THE EXTERIOR GRADE THEN THE LOWEST PART OF THE CLEAR OPENING MUST BE AT LEAST 24" ABOVE THE FLOOR OF THE ROOM IN WHICH IT IS LOCATED.  
EXCEPTIONS:  
1. THE WINDOW IS A FIXED UNIT  
2. THE OPENING DOES NOT ALLOW THE PASSAGE OF A 4- INCH DIAMETER SPHERE.  
3. THE WINDOW IS EQUIPPED WITH A WINDOW FALL PREVENTION DEVICE MEETING ASTM F2090.  
4. THE WINDOW IS EQUIPPED WITH AN APPROVED WINDOW OPENING LIMITING DEVICE.  
NOTE: WHEN USED WITH AN EMERGENCY ESCAPE AND RESCUE WINDOW OPENING LIMITING DEVICES AND FALL PREVENTION DEVICES MUST BE APPROVED FOR EMERGENCY ESCAPE AND RESCUE PROVISIONS.

**ATTIC NOTES**  
1. KNEEWALLS IN UNFINISHED ATTIC ARE OPTIONAL, UNLESS USED TO SUPPORT RAFTERS (SEE STRUCTURAL SHEETS). KNEEWALL LOCATION/HEIGHT MAY BE ADJUSTED IN THE FIELD IF THESE WALLS ARE NOT LOAD BEARING.  
2. CEILING LINES SHOWN IN UNFINISHED ATTIC MAY BE JUST FOR REPRESENTATION OF FUTURE FLAT CEILING. IF A FLAT CEILING IS DESIRED, THIS WILL HAVE TO BE COORDINATED WITH THE STRUCTURAL PLANS.

**GENERAL NOTES**  
**WALL THICKNESS / ANGLES**  
ALL EXTERIOR STUD WALLS ARE DRAWN 4" THICK UNO. ALL INTERIOR STUD WALLS ARE DRAWN 4" THICK UNO. ANGLED WALLS ARE DRAWN @ 45° UNO.  
**EGRESS**  
ALL BEDROOMS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO EGRESS REQUIREMENTS FOR CLEAR OPENING HEIGHT AND WIDTH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EGRESS SIZING PER CODE BASED ON CHOSEN MANUFACTURER, AS PRODUCT SIZES MAY VARY.  
**WALL/CEILING HEIGHTS**  
WALL AND CEILING HEIGHTS NOTES ARE BASED ON NOMINAL WALL SIZE (IE. A 9'-1 1/8" ACTUAL WALL HEIGHT IS LABELED 9/0 ON THE PLANS).  
ALL VAULTED OR SLOPED CEILINGS ARE TO BE FURRED DOWN TO ACCOMMODATE REQUIRED CEILING INSULATION AND 1" AIRSPACE. VERIFY CODES FOR INFORMATION ON INSULATION REQUIREMENTS.  
**STAIRS**  
STAIR TREADS ARE MEASURED FROM NOSING TO NOSING (N.N).  
MAXIMUM STAIR RISE HEIGHT TO BE NO GREATER THAN 8-1/4"

**ARCHITECTURAL PLANS WALL LEGEND**

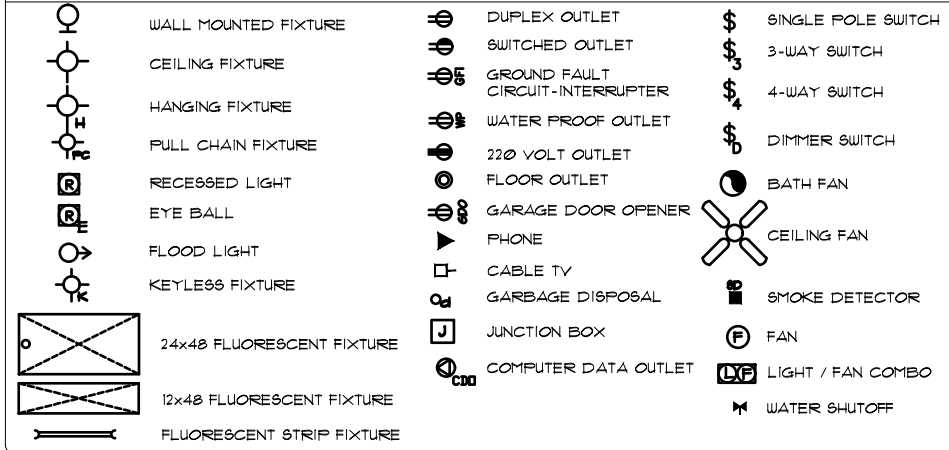
- STANDARD STUD WALL INT OR EXT IF EXT SEE ELEVATIONS FOR SIDING STYLE THICKNESS OF WALL NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH 5" BRICK VENEER FOUNDATION WALL LEDGE STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH STACKED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE BUILDER TO VERIFY STONE THICKNESS 4 NOTIFY PLAN DESIGNER IF THICKNESS IS MORE THAN 5" BEFORE FOOTINGS ARE POURED)
- STANDARD STUD WALL WITH APPLIED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE: NO FOUNDATION SUPPORT IS REPRESENTED ON STRUCTURAL PLANS) IF STACKED STONE IS TO BE USED BUILDER MUST NOTIFY PLAN DESIGNER BEFORE FOOTINGS ARE POURED
- STANDARD STUD WALL WITH LOW APPLIED STONE WAINSCOTING. SEE ELEVATIONS FOR HEIGHT 4 FINISH MATERIAL AT EXT STUD WALL ABOVE. STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH 5" FOUNDATION LEDGE FOR LOW BRICK OR STACKED STONE WAINSCOTING. SEE ELEVATIONS FOR HEIGHT 4 FINISH MATERIAL AT EXT STUD WALL ABOVE. STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- HALF WALL WITH 1/2" CAP (42" HEIGHT UNLESS NOTED OTHERWISE ON PLANS)

GENERAL NOTES: 1. THESE PLANS ARE TO BE COORDINATED WITH ALL SET WORKSHEETS BY OWNER AND CONTRACTOR AND PER LOCAL CODES. 2. CONTRACTOR IS TO NOTIFY ARCHITECT IMMEDIATELY OF CONDITIONS OR ITEMS VARYING FROM DESIGNED INFORMATION. 3. USER WORKS IS RESPONSIBLE FOR CONTRIBUTED VARIATIONS FROM THE INFORMATION SUPPLIED.  
4. USER WORKS WILL ASSUME ANY AND ALL LIABILITY FOR ERRORS ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN. 5. THESE PLANS ARE NOT TO BE REPRODUCED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF MCKEE HOMES, LLC.

PROGRESS DATE:	--	
ISSUE DATE:	7/10/13	
DRAWN BY:	A.S.H./B.B.	
CHECKED BY:	A.S.H./B.B.	
<b>REVISIONS</b>		
DATE:	BY:	DESCRPT.
8-21-17	BB	Master Plan Set - Arch
5-25-18	BB	Master Plan Set - Arch
7-23-18	BB	Master Plan Set - Arch (Logo)
2-14-19	BB	2018 Codes - Plan mods

Attic Floor Plan  
SHEET NO. **A-6-0**  
PLAN NO. **039211**

# ELECTRICAL SYMBOLS LEGEND



**ELECTRICAL:**

- 1) ALL ELECTRICAL DESIGN AND INSTALLATION IS TO CONFORM TO THE NATIONAL ELECTRICAL CODE, LATEST EDITION. ALL EQUIPMENT SHALL BE UL, LABELED.
- 2) ALL SWITCHES TO BE MOUNTED 5'-0" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
- 3) INSTALL CONVENIENCE OUTLETS AT 18" ABOVE FINISHED FLOOR. MAXIMUM SPACING 12'-0" O.C. INSTALL AT ALL WALLS OF 24" OR GREATER WIDTH.
- 4) UL SMOKE DETECTORS SHALL BE LOCATED IN ALL BEDROOMS AND ONE EACH ADDITIONALLY AT EACH LEVEL. OTHER LOCATIONS SHOWN ON DRAWINGS. HARDWIRE ALL DETECTORS TOGETHER, AND PROVIDE BATTERY BACK-UP.
- 5) INSTALL GROUND FAULT RECEPTACLES IN BATHROOMS, KITCHENS, AND OTHER WET LOCATIONS AS REQUIRED BY N.E.C. 210-8.

**ELECTRICAL NOTES**

1. ELECTRICAL CONTRACTOR MUST CONFIRM ELECTRICAL LAYOUT WITH BUILDER AND/OR HOMEOWNER. BUILDER/HOMEOWNER SPECIFICATIONS WILL OVERRIDE THESE DOCUMENTS.
2. VERIFY LOCATION OF 240V. RECEPTACLES, AS GAS APPLIANCES MAY BE SUBSTITUTED FOR ELECTRICAL IN SOME CASES.

**UPGRADED LIGHTING PACKAGE**

1. ALL CEILING MOUNTS TO BE REPLACED WITH RECESSED CAN LIGHTS IN MAIN LIVING AREAS INCLUDING:
  - FAMILY
  - KITCHEN
  - HALLWAYS

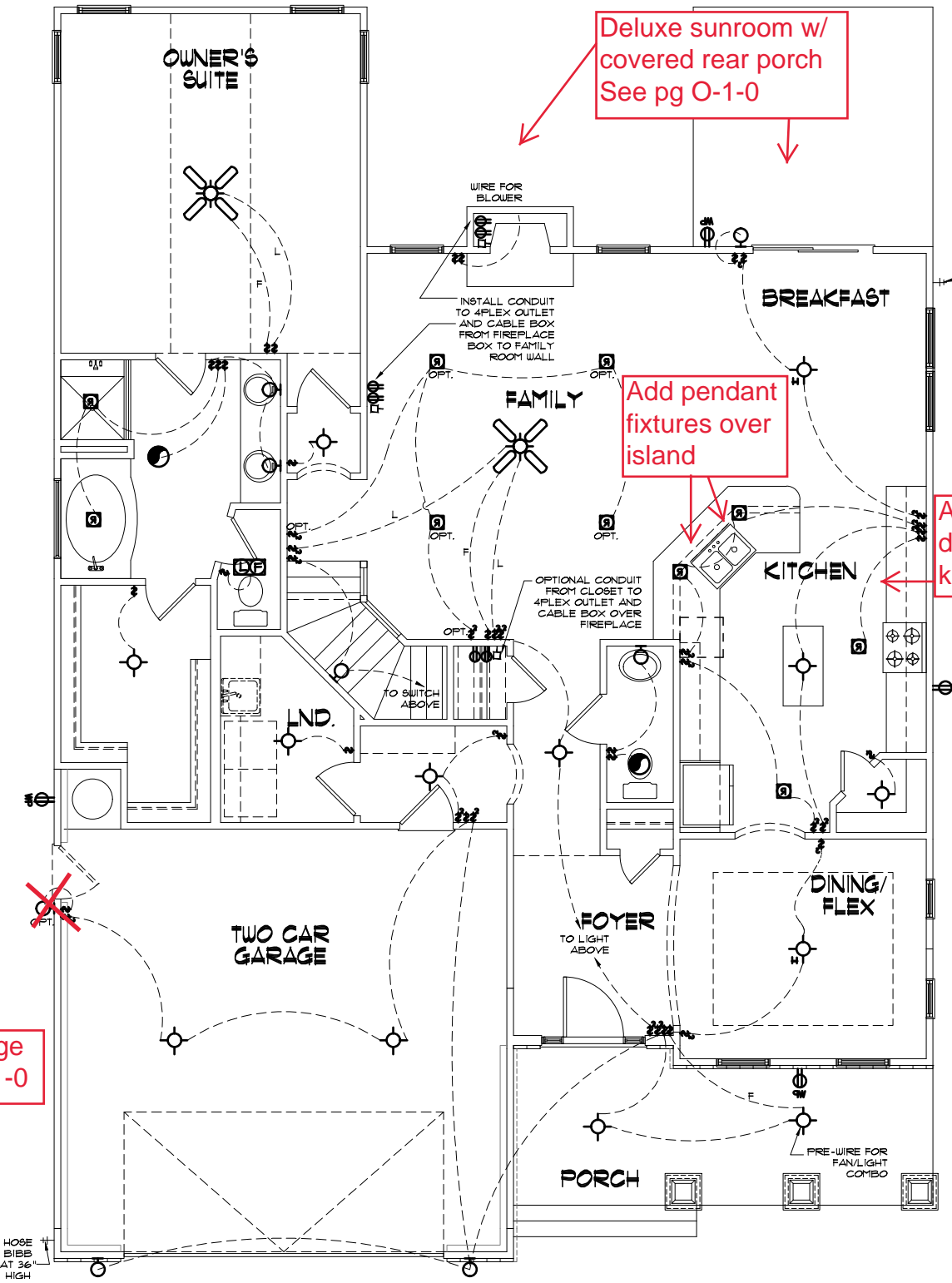
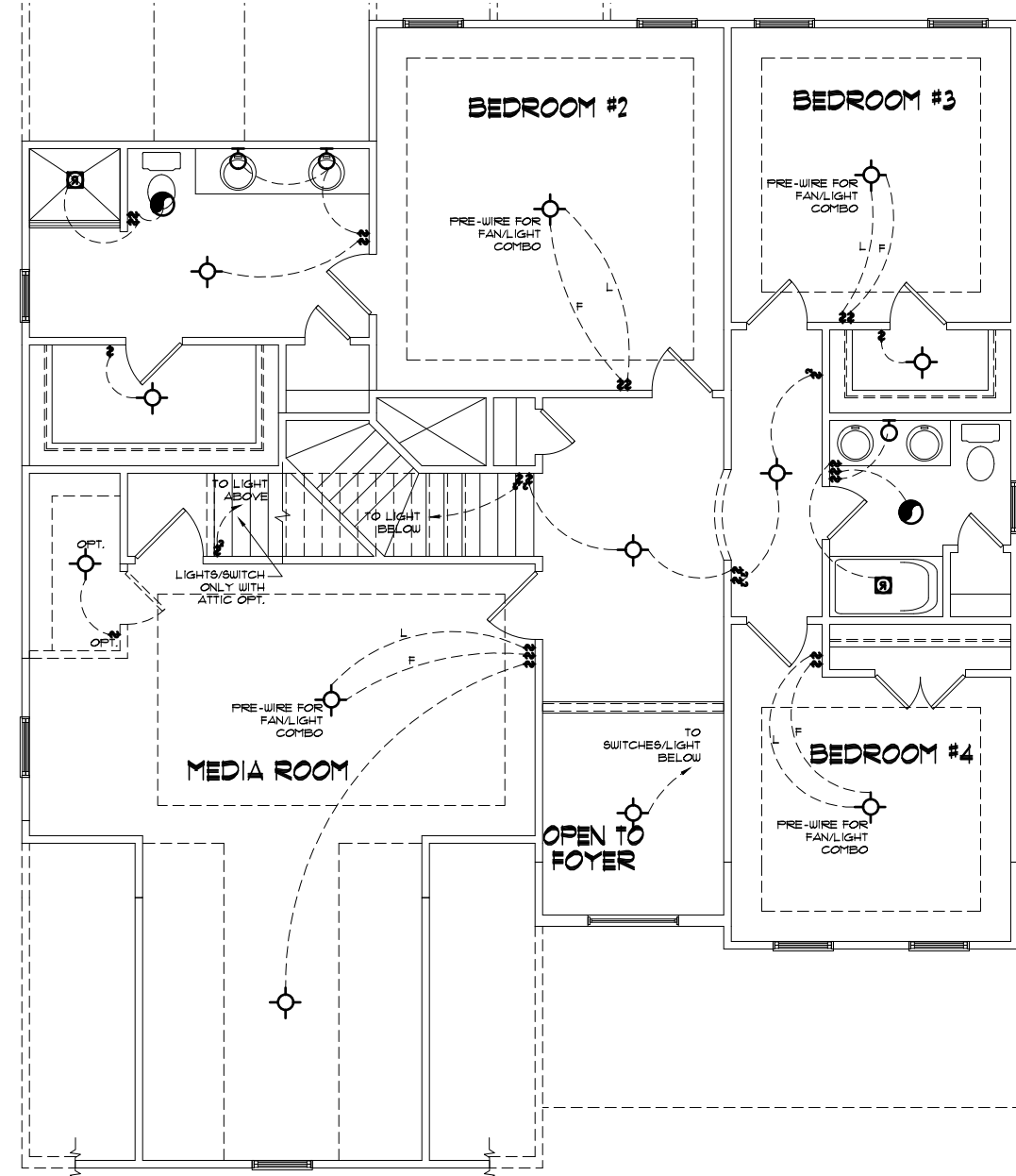
**ELECTRICAL NOTES**

- ONLY ONE PHONE LINE IS INCLUDED IN BASE HOUSE
- ALL OTHER PHONE LINES ARE OPTIONAL
- UNDER-CABINET LIGHTING IS OPTIONAL
- RECEPTACLES ARE TO BE INSTALLED AS STANDARD PER LATEST CODE REQUIREMENTS

1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC. AS A BASE PLAN MASTER SET.

2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGNS.

3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.



3rd car garage  
See pg OA-1-0

Deluxe sunroom w/  
covered rear porch  
See pg O-1-0

Add pendant  
fixtures over  
island

Add deluxe  
kitchen



Scales UNO:  
22X34: 1/4"=1'-0"  
11X17: 1/8"=1'-0"

McKee Homes, LLC  
Clark II - Base - Classic  
Base Plan - Elev. A (LHG)  
Architectural Master Plan Set (2-19-19)

PROGRESS DATE:	--	
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8-21-17	BB	Master Plan Set - Archs
5-25-18	BB	Master Plan Set - Archs
7-23-18	BB	Master Plan Set - Archs (Logo)
2-14-19	BB	2018 Codes - Plan mods

First & Second Floor  
Lighting

SHEET NO.  
**AE-1-0**

PLAN NO.  
**039211**

GENERAL NOTES: 1. THESE PLANS ARE TO BE COORDINATED WITH ALL SITE INFORMATION BY OWNER AND CONTRACTOR. 2. CONTRACTOR IS TO VERIFY ALL CONDITIONS OF CONTRACT OR ITEMS VARYING FROM SPECIFIC INFORMATION. 3. MCKEE HOMES IS RESPONSIBLE FOR CONSTRUCTION VARIATIONS FROM THE INFORMATION SHOWN.



# ELECTRICAL SYMBOLS LEGEND

	WALL MOUNTED FIXTURE		DUPLEX OUTLET		SINGLE POLE SWITCH
	CEILING FIXTURE		SWITCHED OUTLET		3-WAY SWITCH
	HANGING FIXTURE		GROUND FAULT CIRCUIT-INTERRUPTER		4-WAY SWITCH
	PULL CHAIN FIXTURE		WATER PROOF OUTLET		DIMMER SWITCH
	RECESSED LIGHT		220 VOLT OUTLET		BATH FAN
	EYE BALL		FLOOR OUTLET		CEILING FAN
	FLOOD LIGHT		GARAGE DOOR OPENER		SMOKE DETECTOR
	KEYLESS FIXTURE		PHONE		FAN
	24x48 FLUORESCENT FIXTURE		CABLE TV		LIGHT / FAN COMBO
	12x48 FLUORESCENT FIXTURE		GARBAGE DISPOSAL		WATER SHUTOFF
	FLUORESCENT STRIP FIXTURE		JUNCTION BOX		
			COMPUTER DATA OUTLET		

**ELECTRICAL:**

- 1) ALL ELECTRICAL DESIGN AND INSTALLATION IS TO CONFORM TO THE NATIONAL ELECTRICAL CODE, LATEST EDITION. ALL EQUIPMENT SHALL BE UL LABELED.
- 2) ALL SWITCHES TO BE MOUNTED 8'-10" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
- 3) INSTALL CONVENIENCE OUTLETS AT 18" ABOVE FINISHED FLOOR, MAXIMUM SPACING 12'-0" O.C. INSTALL AT ALL WALLS OF 24" OR GREATER WIDTH.
- 4) U.L. SMOKE DETECTORS SHALL BE LOCATED IN ALL BEDROOMS, AND ONE EACH ADDITIONALLY AT EACH LEVEL. OTHER LOCATIONS SHOWN ON DRAWINGS. HARDWIRE ALL DETECTORS TOGETHER, AND PROVIDE BATTERY BACK-UP.
- 5) INSTALL GROUND FAULT RECEPTACLES IN BATHROOMS, KITCHENS, AND OTHER WET LOCATIONS AS REQUIRED BY N.E.C. 210-8.

**ELECTRICAL NOTES**

1. ELECTRICAL CONTRACTOR MUST CONFIRM ELECTRICAL LAYOUT WITH BUILDER AND/OR HOMEOWNER. BUILDER/HOMEOWNER SPECIFICATIONS WILL OVERRIDE THESE DOCUMENTS.
2. VERIFY LOCATION OF 240V. RECEPTACLES, AS GAS APPLIANCES MAY BE SUBSTITUTED FOR ELECTRICAL IN SOME CASES.

**UPGRADED LIGHTING PACKAGE**

1. ALL CEILING MOUNTS TO BE REPLACED WITH RECESSED CAN LIGHTS IN MAIN LIVING AREAS INCLUDING:
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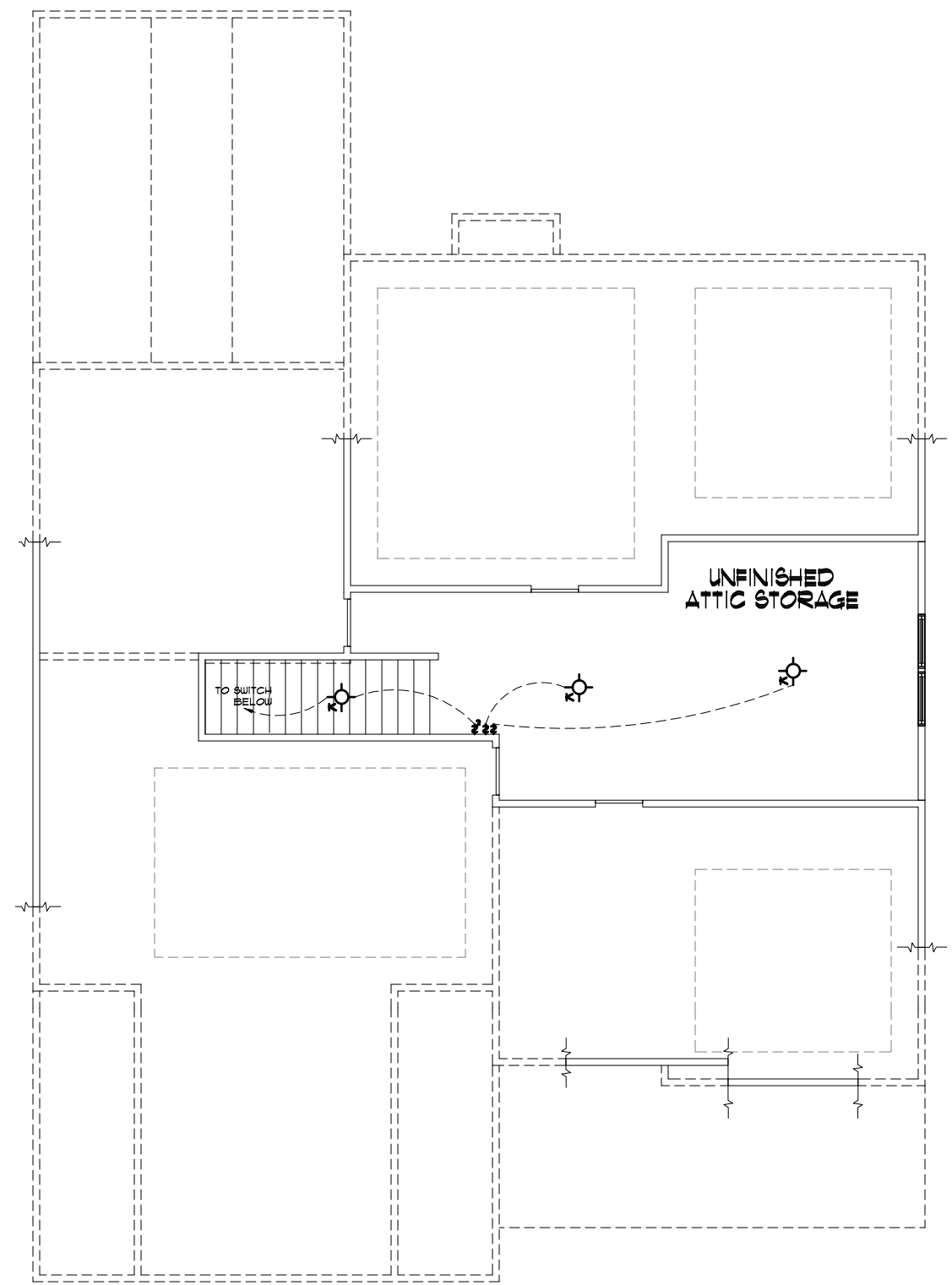
**ELECTRICAL NOTES**

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3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.



**CLASSIC ATTIC FLOOR LIGHTING**  
 22x34 PRINTS SCALE: 1/4"=1'-0"  
 11x17 PRINTS SCALE: 1/8"=1'-0"

GENERAL NOTES: 1. THESE PLANS SHALL BE COORDINATED WITH ALL PERMITS AND REGULATIONS BY OWNER AND CONTRACTOR. 2. CONTRACTOR IS TO NOTIFY ARCHITECT IMMEDIATELY OF CONDITIONS OR ITEMS VARYING FROM DESIGNED INFORMATION. 3. MCKEE HOMES IS RESPONSIBLE FOR CONTRIBUTED VARIATIONS FROM THE INFORMATION SUPPLIED. 4. MCKEE HOMES WILL ASSUME ANY AND ALL LIABILITY FOR ERRORS ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN. 5. THESE PLANS ARE NOT TO BE USED FOR ESTIMATING, PERMITTING, OR OBTAINING CONTRACTOR COSTS ASSOCIATED WITH THESE PLANS.

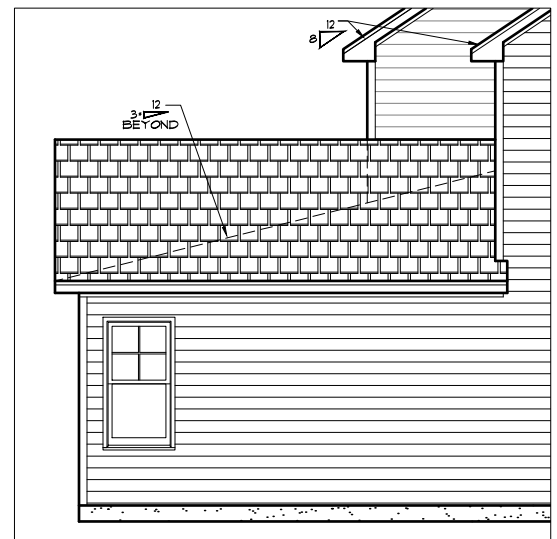


Scales UNO:  
 22X34: 1/4"=1'-0"  
 11X17: 1/8"=1'-0"

**McKee Homes, LLC**  
 Clark II - Base - Classic  
 Base Plan - Elev. A (LHG)  
 Architectural Master Plan Set (2-19-19)

PROGRESS DATE:	--	
ISSUE DATE:	7/10/13	
DRAWN BY:	A.S.H./B.B.	
CHECKED BY:	A.S.H./B.B.	
REVISIONS		
DATE	BY	DESCRPT.
8-21-17	BB	Master Plan Set - Archs
5-25-18	BB	Master Plan Set - Archs
7-23-18	BB	Master Plan Set - Archs (Logo)
2-19-19	BB	2018 Codes - Plan mods

Attic Floor Lighting  
 SHEET NO. **AE-2-0**  
 PLAN NO. **039211**



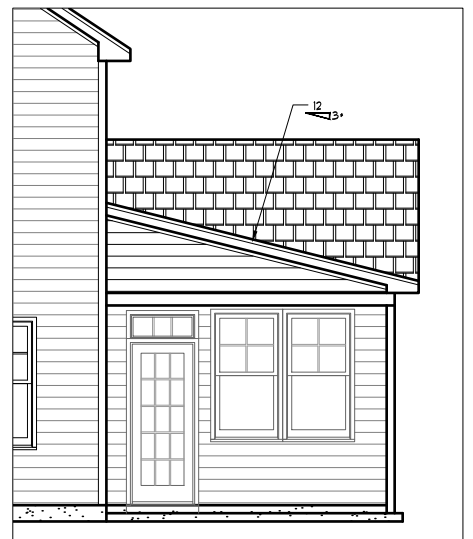
**LEFT ELEVATION**

22X34 PRINTS SCALE: 1/4"=1'-0"  
11X17 PRINTS SCALE: 1/8"=1'-0"



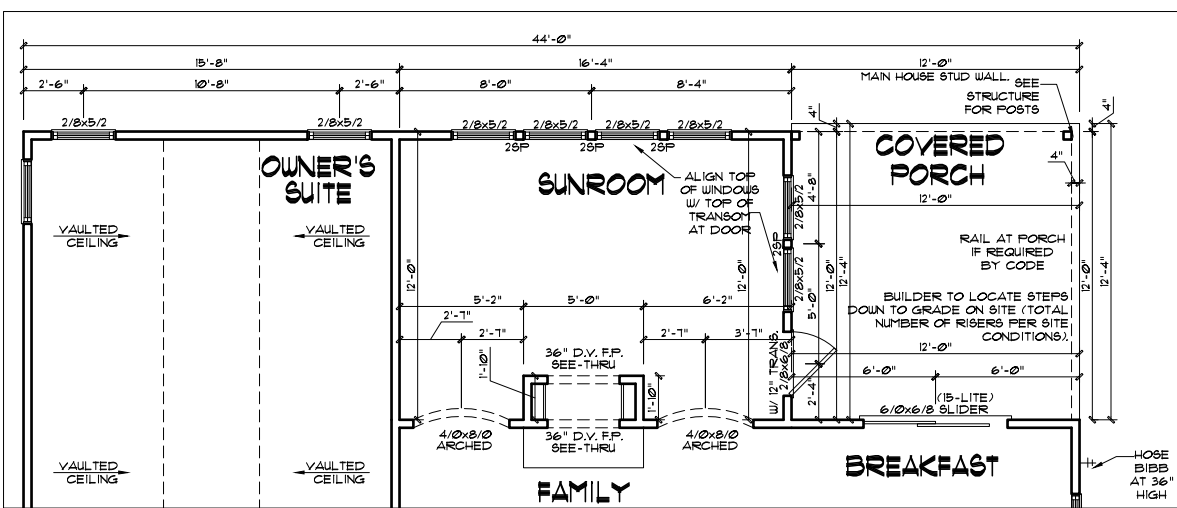
**REAR ELEVATION**

22X34 PRINTS SCALE: 1/4"=1'-0"  
11X17 PRINTS SCALE: 1/8"=1'-0"



**RIGHT ELEVATION**

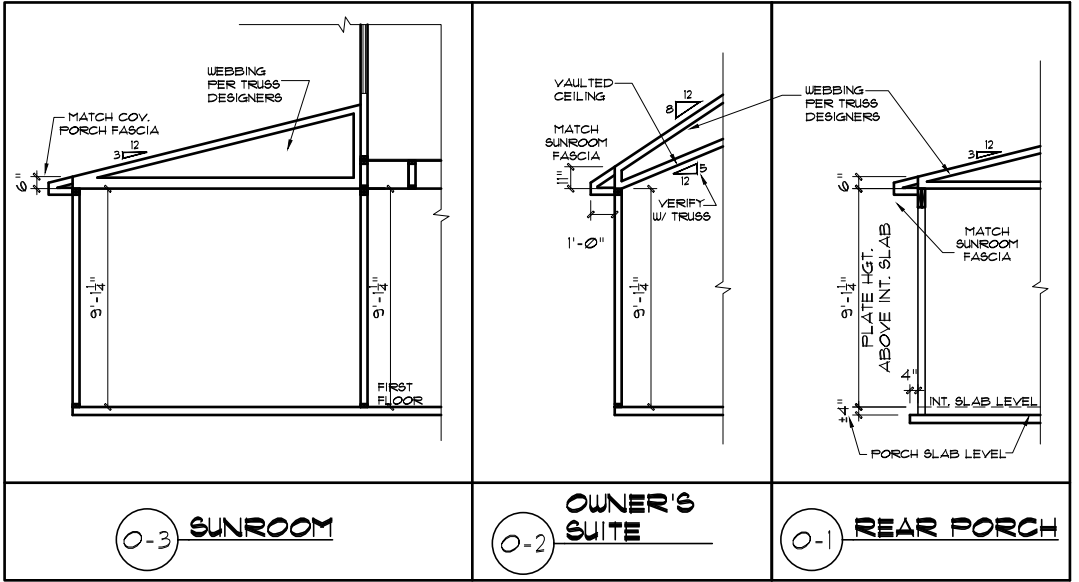
22X34 PRINTS SCALE: 1/4"=1'-0"  
11X17 PRINTS SCALE: 1/8"=1'-0"



**OPT. SUNROOM DELUXE FIRST FLOOR PLAN**

22X34 PRINTS SCALE: 1/4"=1'-0"  
11X17 PRINTS SCALE: 1/8"=1'-0"

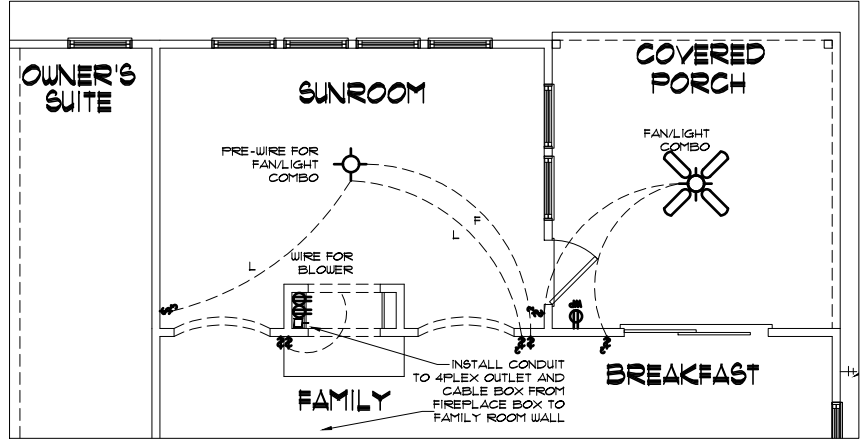
CLARK II - OPTIONAL SUNROOM DELUXE	
Heated Square Footage	
Sunroom Htd.	187
TOTAL HTD.	187
Unheated Square Footage	
Covered Porch - Rear	148



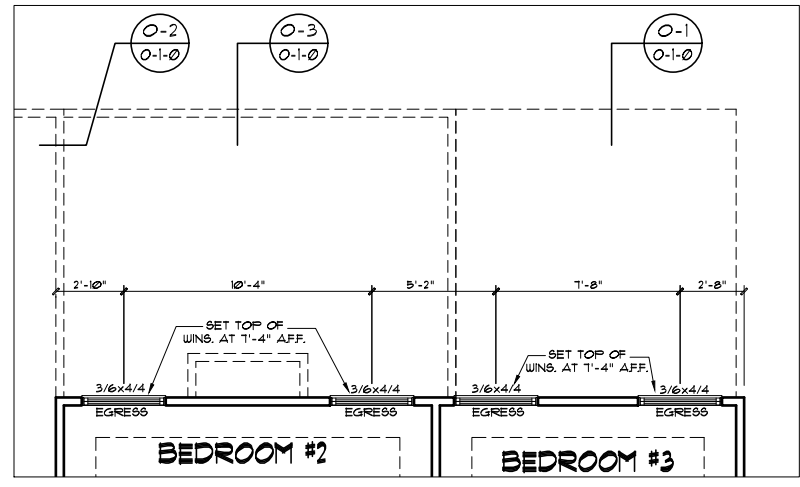
- 1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC. AS A BASE PLAN MASTER SET.
- 2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGNS.
3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.

**OPT. SUNROOM DELUXE FIRST FLOOR LIGHTING**

22X34 PRINTS SCALE: 1/4"=1'-0"  
11X17 PRINTS SCALE: 1/8"=1'-0"



- GENERAL NOTES**
- WALL THICKNESS / ANGLES**  
ALL EXTERIOR STUD WALLS ARE DRAWN 4" THICK UNO.  
ALL INTERIOR STUD WALLS ARE DRAWN 4" THICK UNO.  
ANGLED WALLS ARE DRAWN @ 45° UNO.
- EGRESS**  
ALL BEDROOMS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO EGRESS REQUIREMENTS FOR CLEAR OPENING HEIGHT AND WIDTH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EGRESS SIZING PER CODE BASED ON CHOSEN MANUFACTURER, AS PRODUCT SIZES MAY VARY.
- WALL/CEILING HEIGHTS**  
WALL AND CEILING HEIGHTS NOTES ARE BASED ON NOMINAL WALL SIZE (IE. A 9'-1/8" ACTUAL WALL HEIGHT IS LABELED 9/0 ON THE PLANS).
- ALL VAULTED OR SLOPED CEILINGS ARE TO BE FURRED DOWN TO ACCOMMODATE REQUIRED CEILING INSULATION AND 1" AIRSPACE. VERIFY CODES FOR INFORMATION ON INSULATION REQUIREMENTS.
- STAIRS**  
STAIR TREADS ARE MEASURED FROM NOSING TO NOSING (N/N).  
MAXIMUM STAIR RISE HEIGHT TO BE NO GREATER THAN 8-1/4"



**OPT. SUNROOM DELUXE SECOND FLOOR PLAN**

22X34 PRINTS SCALE: 1/4"=1'-0"  
11X17 PRINTS SCALE: 1/8"=1'-0"

**EXTERIOR DOORS/WINDOWS (DP RATING)**  
- ALL EXTERIOR DOORS TO BE DP41 WHEN BUILT IN HIGH WIND ZONE.  
- ALL EXTERIOR WINDOWS TO BE DP50 WHEN BUILT IN HIGH WIND ZONE.

THIS IS MEANT TO BE AN OPTION SHEET. SEE BASE PLAN FOR MORE INFORMATION

- WINDOW FALL PREVENTION PROTECTION**  
IF ANY PART OF THE CLEAR OPENING OF THE OPERABLE PORTION OF A WINDOW IS LOCATED MORE THAN 12" ABOVE THE EXTERIOR GRADE THEN THE LOWEST PART OF THE CLEAR OPENING MUST BE AT LEAST 24" ABOVE THE FLOOR OF THE ROOM IN WHICH IT IS LOCATED.
- EXCEPTIONS:**
1. THE WINDOW IS A FIXED UNIT
  2. THE OPENING DOES NOT ALLOW THE PASSAGE OF A 4- INCH DIAMETER SPHERE.
  3. THE WINDOW IS EQUIPPED WITH A WINDOW FALL PREVENTION DEVICE MEETING ASTM F2090.
  4. THE WINDOW IS EQUIPPED WITH AN APPROVED WINDOW OPENING LIMITING DEVICE.
- NOTE:** WHEN USED WITH AN EMERGENCY ESCAPE AND RESCUE WINDOW, OPENING LIMITING DEVICES AND FALL PREVENTION DEVICES MUST BE APPROVED FOR EMERGENCY ESCAPE AND RESCUE PROVISIONS.

GENERAL NOTES: 1. THESE PLANS ARE TO BE COORDINATED WITH ALL SITE INFORMATION BY OWNER AND CONTRACTOR. 2. CONTRACTOR IS TO VERIFY ALL ARCHITECT PRESENTED CONDITIONS OR ITEMS VARYING FROM DEPICTED INFORMATION. 3. MAKE WORK IS RESPONSIBLE FOR CORRECTING VARIATIONS FROM THE INFORMATION DEPICTED. 4. MCKEE HOMES WILL ASSUME ANY AND ALL LIABILITY FOR ERRORS ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN. 5. THESE PLANS ARE NOT TO BE REPRODUCED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF MCKEE HOMES, LLC.

McKee Homes, LLC  
Clark II - Base - Options  
Base Plan - Left Hand Garage  
Architectural Master Plan Set (2-19-19)

PROGRESS DATE:		
ISSUE DATE:	7/10/13	
DRAWN BY:	ASH/BB	
CHECKED BY:	ASH/BB	
REVISIONS		
DATE	BY	DESCRPT.
8-31-15	BB	(11) Plan Updates
4-30-18	BB	Master Plan Set - Arch
7-23-18	BB	Master Plan Set - Arch (Logo)
2-14-19	BB	2018 Codes - Plan mods

Opt Sunroom Deluxe  
-Elevs-Floors-Lights

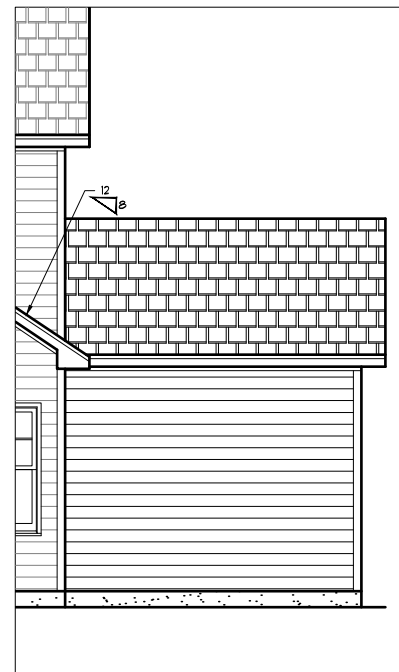
SHEET NO.  
**0-1-0**

PLAN NO.  
**039211**



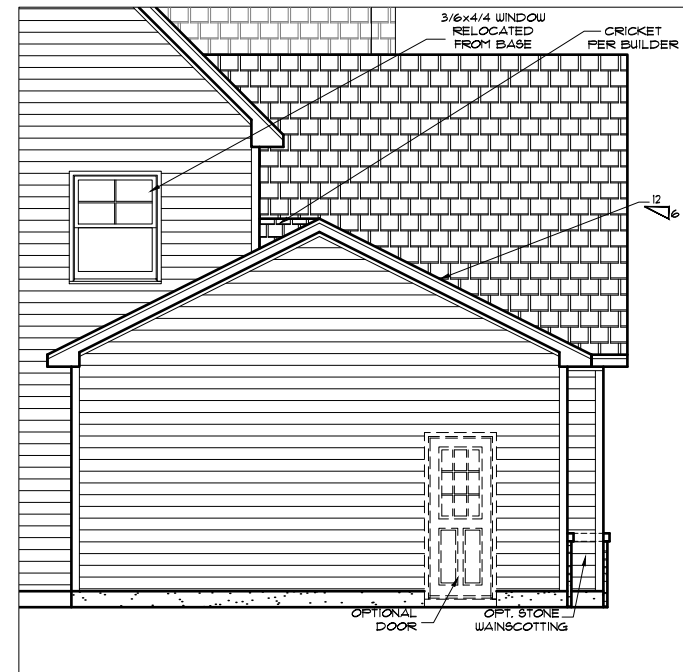
### CLASSIC- 3RD BAY GARAGE FRONT ELEVATION

22x34 PRINTS SCALE: 1/4"=1'-0"  
11x17 PRINTS SCALE: 1/8"=1'-0"



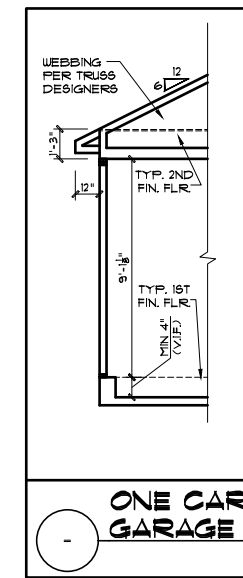
### REAR ELEVATION

22x34 PRINTS SCALE: 1/4"=1'-0"  
11x17 PRINTS SCALE: 1/8"=1'-0"



### SIDE ELEVATION

22x34 PRINTS SCALE: 1/4"=1'-0"  
11x17 PRINTS SCALE: 1/8"=1'-0"

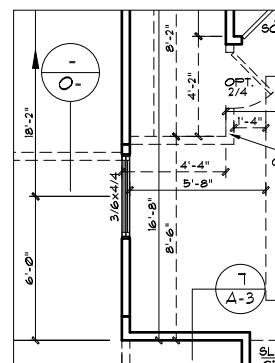


### ONE CAR GARAGE

CLARK II - Opt. 3rd Car Bay Garage	
Unheated Square Footage	
Garage - 3rd Car Bay	255

### 3RD BAY GARAGE SECOND FLOOR PLAN

22x34 PRINTS SCALE: 1/4"=1'-0"  
11x17 PRINTS SCALE: 1/8"=1'-0"



#### ELECTRICAL:

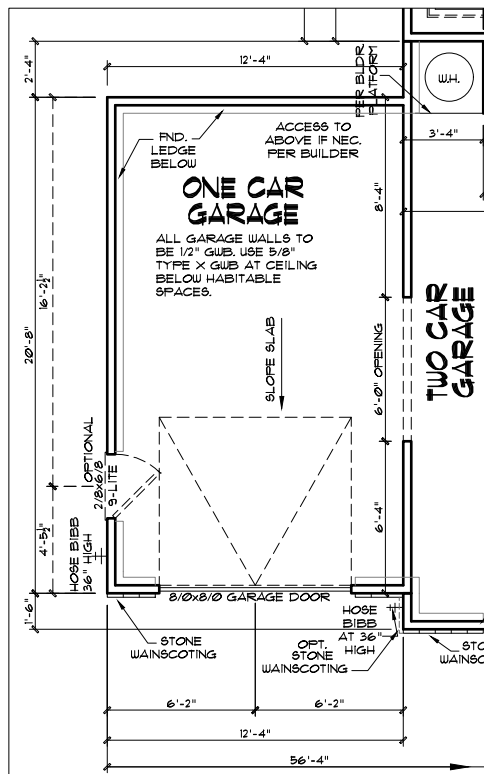
- 1) ALL ELECTRICAL DESIGN AND INSTALLATION IS TO CONFORM TO THE NATIONAL ELECTRICAL CODE, LATEST EDITION. ALL EQUIPMENT SHALL BE UL LABELED.
- 2) ALL SWITCHES TO BE MOUNTED 5'-0" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
- 3) INSTALL CONVENIENCE OUTLETS AT 18" ABOVE FINISHED FLOOR; MAXIMUM SPACING 12'-0" O.C. INSTALL AT ALL WALLS OF 24" OR GREATER WIDTH.
- 4) UL SMOKE DETECTORS SHALL BE LOCATED IN ALL BEDROOMS, AND ONE EACH ADDITIONALLY AT EACH LEVEL. OTHER LOCATIONS SHOWN ON DRAWINGS. HARDWIRE ALL DETECTORS TOGETHER, AND PROVIDE BATTERY BACK-UP.
- 5) INSTALL GROUND FAULT RECEPTACLES IN BATHROOMS, KITCHENS, AND OTHER NET LOCATIONS AS REQUIRED BY NEC, 210-8.

#### ELECTRICAL NOTES

1. ELECTRICAL CONTRACTOR MUST CONFIRM ELECTRICAL LAYOUT WITH BUILDER AND/OR HOMEOWNER. BUILDER/HOMEOWNER SPECIFICATIONS WILL OVERRIDE THESE DOCUMENTS.
2. VERIFY LOCATION OF 240V, RECEPTACLES, AS GAS APPLIANCES MAY BE SUBSTITUTED FOR ELECTRICAL IN SOME CASES.

THIS IS MEANT TO BE AN OPTION SHEET. SEE BASE PLAN FOR MORE INFORMATION

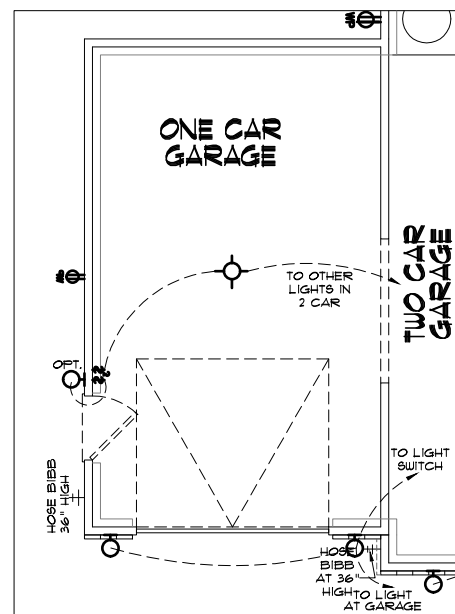
- 1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC, AS A BASE PLAN MASTER SET.
- 2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGN.
3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.



### 3RD BAY GARAGE FIRST FLOOR PLAN

22x34 PRINTS SCALE: 1/4"=1'-0"  
11x17 PRINTS SCALE: 1/8"=1'-0"

**EXTERIOR DOORS/WINDOWS (DP RATING)**  
- ALL EXTERIOR DOORS TO BE DP41 WHEN BUILT IN HIGH WIND ZONE.  
- ALL EXTERIOR WINDOWS TO BE DP50 WHEN BUILT IN HIGH WIND ZONE.



### FIRST FLOOR LIGHTING

22x34 PRINTS SCALE: 1/4"=1'-0"  
11x17 PRINTS SCALE: 1/8"=1'-0"

#### GENERAL NOTES

- WALL THICKNESS / ANGLES**  
ALL EXTERIOR STUD WALLS ARE DRAWN 4" THICK UNO. ALL INTERIOR STUD WALLS ARE DRAWN 4" THICK UNO. ANGLED WALLS ARE DRAWN @ 45° UNO.
- EGRESS**  
ALL BEDROOMS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO EGRESS REQUIREMENTS FOR CLEAR OPENING HEIGHT AND WIDTH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EGRESS SIZING PER CODE BASED ON CHOSEN MANUFACTURER, AS PRODUCT SIZES MAY VARY.
- WALL/CEILING HEIGHTS**  
WALL AND CEILING HEIGHTS NOTES ARE BASED ON NOMINAL WALL SIZE (I.E. A 9'-1 1/8" ACTUAL WALL HEIGHT IS LABELED 9'0" ON THE PLANS).
- ALL VAULTED OR SLOPED CEILINGS ARE TO BE FURRED DOWN TO ACCOMMODATE REQUIRED CEILING INSULATION AND 1" AIRSPACE. VERIFY CODES FOR INFORMATION ON INSULATION REQUIREMENTS.
- STAIRS**  
STAIR TREADS ARE MEASURED FROM NOSING TO NOSING (N.N). MAXIMUM STAIR RISE HEIGHT TO BE NO GREATER THAN 8'-1/4"

#### ARCHITECTURAL PLANS WALL LEGEND

- STANDARD STUD WALL INT OR EXT IF EXT SEE ELEVATIONS FOR SIDING STYLE THICKNESS OF WALL NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH 5" BRICK VENEER FOUNDATION WALL LEDGE STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH STACKED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE: BUILDER TO VERIFY STONE THICKNESS & NOTIFY PLAN DESIGNER IF THICKNESS IS MORE THAN 5" BEFORE FOOTINGS ARE POURED)
- STANDARD STUD WALL WITH APPLIED STONE VENEER STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS (NOTE: NO FOUNDATION SUPPORT IS REPRESENTED ON STRUCTURAL PLANS) IF STACKED STONE IS TO BE USED BUILDER MUST NOTIFY PLAN DESIGNER BEFORE FOOTINGS ARE POURED
- STANDARD STUD WALL WITH LOW APPLIED STONE WAINSCOTING. SEE ELEVATIONS FOR HEIGHT & FINISH MATERIAL AT EXT STUD WALL ABOVE. STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- STANDARD STUD WALL WITH 5" FOUNDATION LEDGE FOR LOW BRICK OR STACKED STONE WAINSCOTING. SEE ELEVATIONS FOR HEIGHT & FINISH MATERIAL AT EXT STUD WALL ABOVE. STUD THICKNESS AS NOTED IN PLAN NOTES OR AT WALL LOCATIONS
- HALF WALL WITH 1x CAP (42" HEIGHT UNLESS NOTED OTHERWISE ON PLANS)

#### WINDOW FALL PREVENTION PROTECTION

- IF ANY PART OF THE CLEAR OPENING OF THE OPERABLE PORTION OF A WINDOW IS LOCATED MORE THAN 12" ABOVE THE EXTERIOR GRADE THEN THE LOWEST PART OF THE CLEAR OPENING MUST BE AT LEAST 24" ABOVE THE FLOOR OF THE ROOM IN WHICH IT IS LOCATED.
- EXCEPTIONS:  
1. THE WINDOW IS A FIXED UNIT  
2. THE OPENING DOES NOT ALLOW THE PASSAGE OF A 4- INCH DIAMETER SPHERE.  
3. THE WINDOW IS EQUIPPED WITH A WINDOW FALL PREVENTION DEVICE MEETING ASTM F2090.  
4. THE WINDOW IS EQUIPPED WITH AN APPROVED WINDOW OPENING LIMITING DEVICE.
- NOTE: WHEN USED WITH AN EMERGENCY ESCAPE AND RESCUE WINDOW, OPENING LIMITING DEVICES AND FALL PREVENTION DEVICES MUST BE APPROVED FOR EMERGENCY ESCAPE AND RESCUE PROVISIONS.



Scales UNO:  
22X34: 1/4"=1'-0"  
11X17: 1/8"=1'-0"

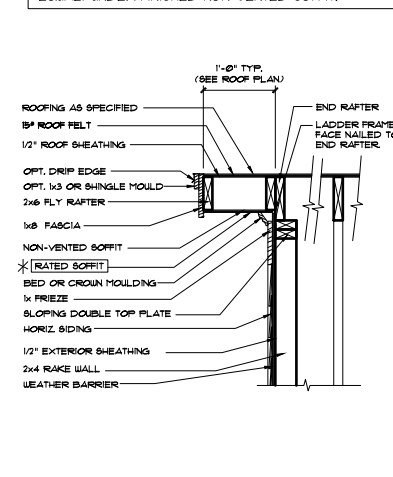
McKee Homes, LLC  
Clark II - Base - Classic  
Base Plan - Elev. A (LHG)  
Architectural Master Plan Set (2-19-19)

PROGRESS DATE:	---	
ISSUE DATE:	7/10/13	
DRAWN BY:	ASH/BB	
CHECKED BY:	ASH/BB	
REVISIONS		
DATE	BY	DESCRPT.
8-21-17	BB	Master Plan Set - Archs
5-25-18	BB	Master Plan Set - Archs
7-23-18	BB	Master Plan Set - Archs (Logo)
2-14-19	BB	2018 Codes - Plan mods

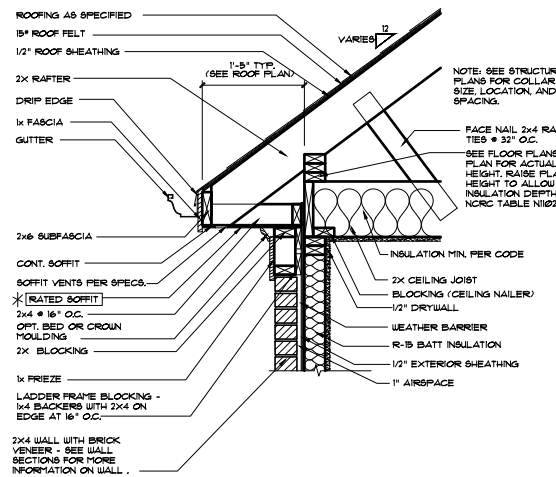
Opt 3 Car Garage - Archs  
SHEET NO.  
**OA-1-0**  
PLAN NO.  
**039211**

GENERAL NOTES: 1. THESE NOTES WILL APPLY TO ALL SHEETS UNLESS OTHERWISE NOTED. 2. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE AND UTILITIES PRIOR TO CONSTRUCTION. 3. THESE NOTES ARE FOR INFORMATION ONLY AND DO NOT CONSTITUTE A CONTRACT. 4. THESE NOTES WILL APPLY TO ALL SHEETS UNLESS OTHERWISE NOTED. 5. THESE NOTES ARE FOR INFORMATION ONLY AND DO NOT CONSTITUTE A CONTRACT.

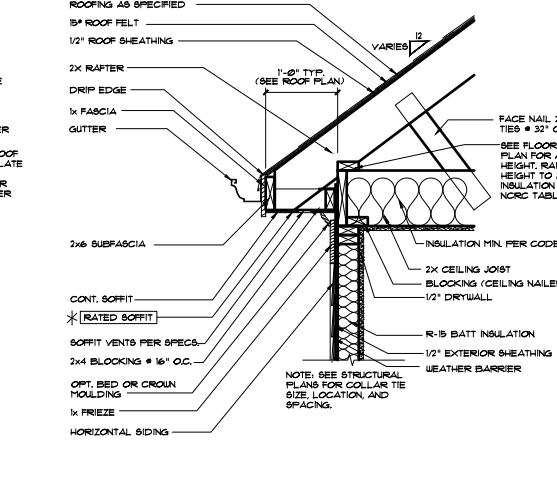
\* 1 HOUR RATED (PRESCRIPTIVE 133 HR) w/ (2) LAYERS 5/8" TYPE X GYP BD. AT UNDERSIDE OF SOFFIT/RAKE AS REQUIRED. SEE PLANS FOR LOCATIONS. USE EXTERIOR GRADE (G-P FIREGUARD EXTERIOR OR EQUAL) UNDER FINISHED NON-VENTED SOFFIT.



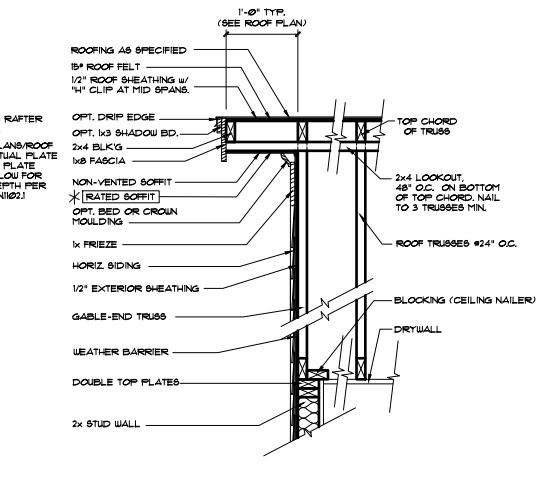
9 RAKE OVERHANG - STICK  
1/4"=1'-0"  
DT0039



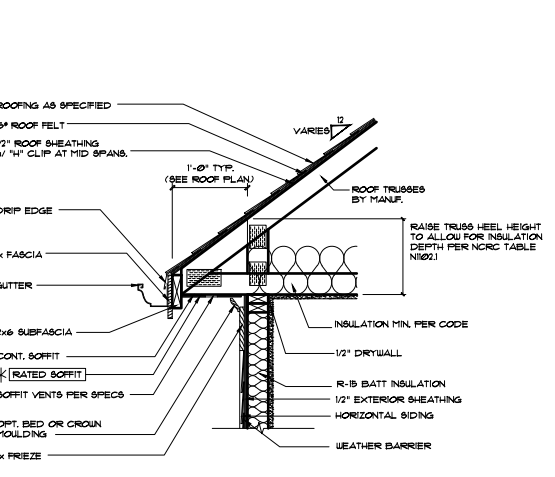
8 CORNICE AT BRICK STICK  
1/4"=1'-0"  
DT0051



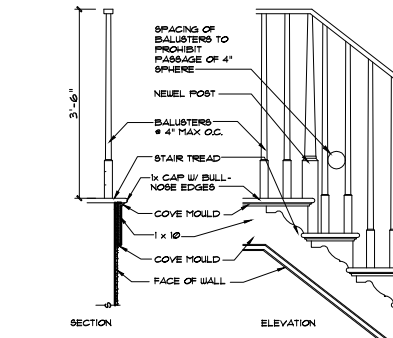
7 CORNICE AT SIDING (STICK)  
1/4"=1'-0"  
DT0064



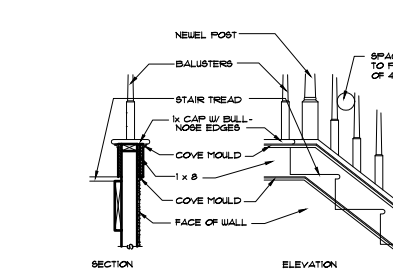
6 RAKE OVERHANG - (TRUSSES)  
1/4"=1'-0"  
DT0046



5 CORNICE AT SIDING (TRUSSES)  
1/4"=1'-0"

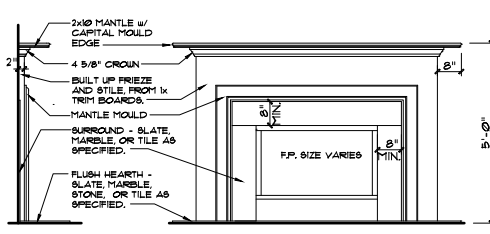


4 STAIR TRIM - OPEN RISERS  
1/4"=1'-0"  
DT0043



3 STAIR TRIM - CLOSED RISERS  
3/4"=1'-0"  
DT0042

\* SEE STRUCTURAL SHEETS, NOTES AND DETAILS FOR MORE INFORMATION. ALL STRUCTURAL INFORMATION OVER-RIDES THESE ARCHITECTURAL DETAILS



2 FIREPLACE TRIM  
1/2"=1'-0"  
DT0062

1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC. AS A BASE PLAN MASTER SET.  
2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY, AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGNS.  
3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.

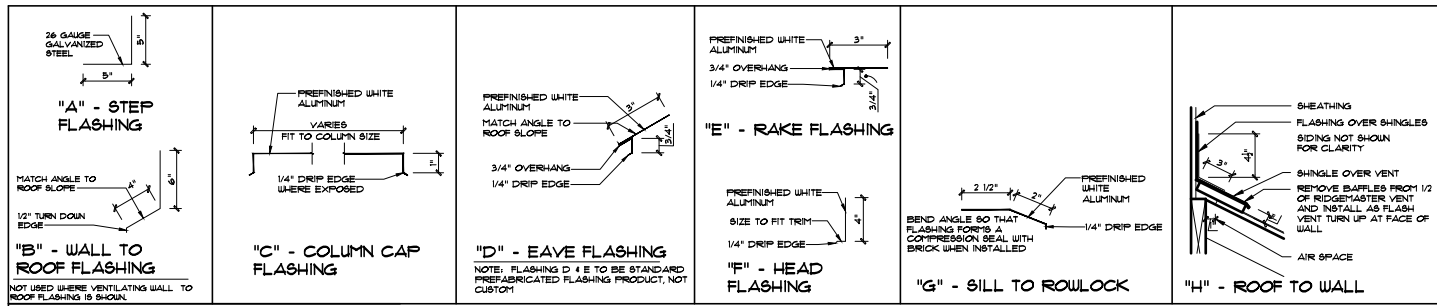
ACCEPTABLE MANUFACTURER: G-P DENSE GLASS GOLD FIREGUARD EXTERIOR GUARD OR EQUAL.

GA FILE NO. WP 8105	GENERIC	1 HOUR FIRE
GYPSUM WALLBOARD, GYPSUM SHEATHING, WOOD STUDS		
EXTERIOR SIDE: One layer 48" wide 5/8" type X gypsum sheathing applied parallel to 2 x 4 wood studs with 1 1/2" galvanized roofing nails, 0.120" shank, 7/16" or 1/2" heads, 4" o.c. at vertical joints and 7" o.c. at intermediate studs and top and bottom plates. Joints of gypsum sheathing may be left untreated. Exterior cladding to be attached through sheathing to studs.		
INTERIOR SIDE: One layer 5/8" type X gypsum wallboard, water-resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails, 1 1/4" long, 0.0915" shank, 1/2" heads, 7" o.c. (LOAD-BEARING)		
Thickness:	Varies	
Approx. Weight:	7 pcf	
Fire Test:	See WP 3510 (UL R3501-47, -48, 9-17-65, UL Design U309, UL 11919-129, 7-22-70, UL Design U314)	

WALL SECTION DETAILS				
MASTER DETAIL	DETAIL VARIATIONS			
<p>2x4 or 2x6 STUDS @ 12" OR 16" O.C. (SEE PLANS FOR SIZE AND SPACING.)</p> <p>WEATHER BARRIER</p> <p>1/16" EXTERIOR O.S.B.</p> <p>BATT INSULATION (R-15)</p> <p>1/2" GYP. WALLBOARD</p>	<p>A EXTERIOR WALL HORIZONTAL SIDING</p>	<p>B EXTERIOR WALL BRICK VENEER</p>	<p>C EXTERIOR WALL STONE VENEER (APPLIED)</p>	
	<p>D EXTERIOR WALL STUCCO FINISH</p>	<p>A EXTERIOR WALL HORIZONTAL SIDING</p>	<p>B EXTERIOR WALL BRICK VENEER</p>	<p>C EXTERIOR WALL STONE VENEER (APPLIED)</p>
	<p>A EXTERIOR WALL HORIZONTAL SIDING</p>	<p>B EXTERIOR WALL BRICK VENEER</p>	<p>C EXTERIOR WALL STONE VENEER (APPLIED)</p>	<p>D EXTERIOR WALL STUCCO FINISH</p>
	<p>A EXTERIOR WALL HORIZONTAL SIDING</p>	<p>B EXTERIOR WALL BRICK VENEER</p>	<p>C EXTERIOR WALL STONE VENEER (APPLIED)</p>	<p>D EXTERIOR WALL STUCCO FINISH</p>

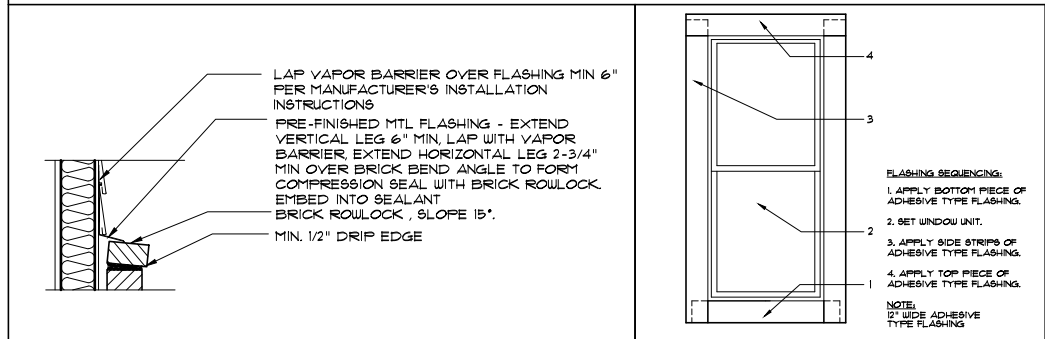
FLOOR SECTION DETAILS				
MASTER DETAIL	DETAIL VARIATIONS			
<p>SEE FLOOR PLANS AND ELEVATIONS FOR WALL FINISH MATERIALS. SEE WALL SECTIONS FOR MORE INFO.</p> <p>SEE FOUNDATION DETAILS FOR FOUNDATION WALL TYPE AND MORE INFO.</p> <p>3/4" TAG SUBFLOOR</p> <p>R-19 INSULATION AT CRAWL OR w/ UNFINISHED BASEMENT BELOW</p> <p>FINISH FLOOR (SEE SPECS)</p> <p>P.T. GILL PLATE, SEE FOUNDATION DETAILS FOR MORE INFO.</p>	<p>A FLOOR SYSTEM AT STUD WALL CONVENTIONAL LUMBER</p>	<p>B FLOOR SYSTEM AT STUD WALL I-JOISTS</p>	<p>C FLOOR SYSTEM AT STUD WALL FLOOR TRUSSES</p>	
	<p>A FLOOR SYSTEM AT STUD WALL CONVENTIONAL LUMBER</p>	<p>B FLOOR SYSTEM AT STUD WALL I-JOISTS</p>	<p>C FLOOR SYSTEM AT STUD WALL FLOOR TRUSSES</p>	<p>D FLOOR SYSTEM AT STUD WALL CONVENTIONAL LUMBER</p>
	<p>A FLOOR SYSTEM AT STUD WALL CONVENTIONAL LUMBER</p>	<p>B FLOOR SYSTEM AT STUD WALL I-JOISTS</p>	<p>C FLOOR SYSTEM AT STUD WALL FLOOR TRUSSES</p>	<p>D FLOOR SYSTEM AT STUD WALL CONVENTIONAL LUMBER</p>
	<p>A FLOOR SYSTEM AT STUD WALL CONVENTIONAL LUMBER</p>	<p>B FLOOR SYSTEM AT STUD WALL I-JOISTS</p>	<p>C FLOOR SYSTEM AT STUD WALL FLOOR TRUSSES</p>	<p>D FLOOR SYSTEM AT STUD WALL CONVENTIONAL LUMBER</p>

GENERAL NOTES: 1. THIS SET OF DRAWINGS IS TO BE CONSIDERED PART OF THE INFORMATION PROVIDED TO THE CONTRACTOR AND SHALL BE USED IN CONJUNCTION WITH THE CONTRACT DOCUMENTS AND ALL APPLICABLE CODES. 2. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE AND MATERIALS PRIOR TO CONSTRUCTION. 3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. 4. MCKEE HOMES WILL ASSUME ANY AND ALL LIABILITY FOR DAMAGES ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN. 5. THESE NOTES ARE INTENDED TO CLARIFY AND SUPPLEMENT THE INFORMATION PROVIDED IN THE DRAWINGS AND SHALL BE USED IN CONJUNCTION WITH THE CONTRACT DOCUMENTS AND ALL APPLICABLE CODES.



**FLASHING DETAILS**

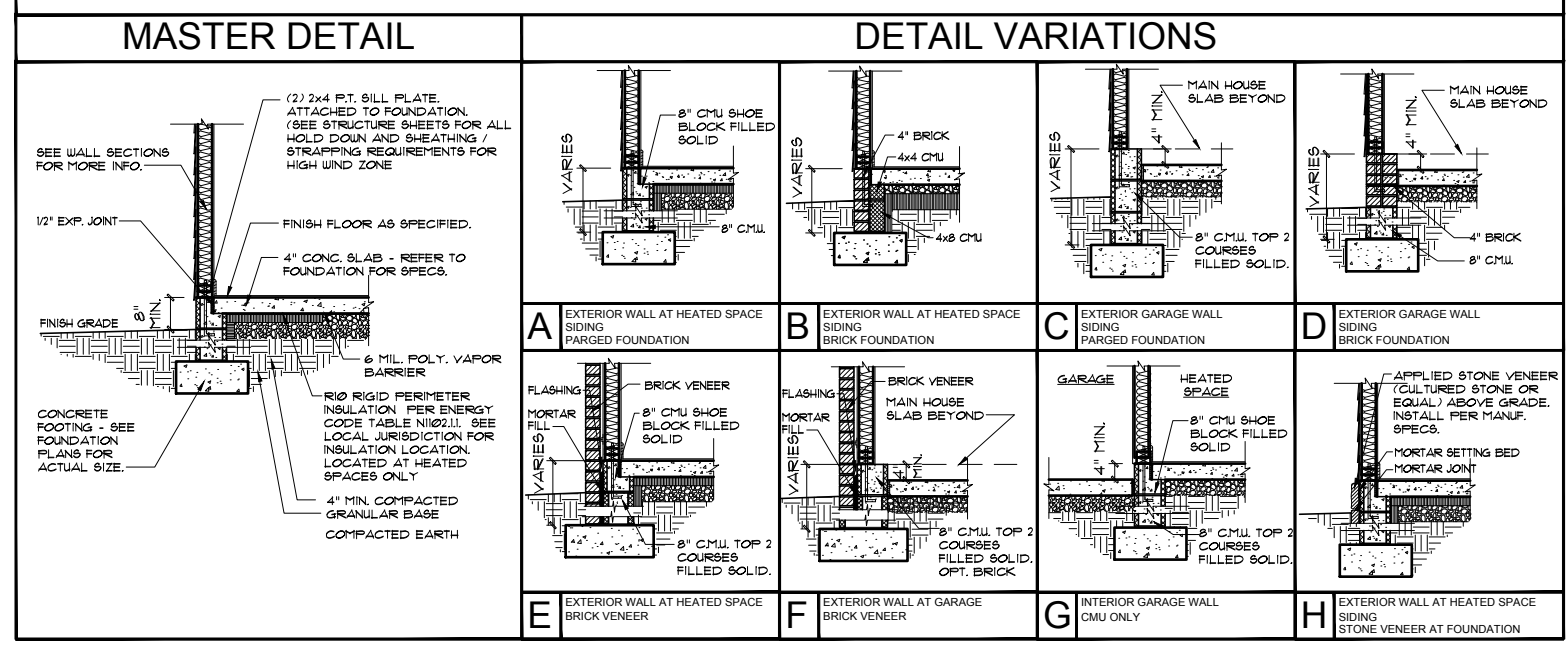
NOT TO SCALE



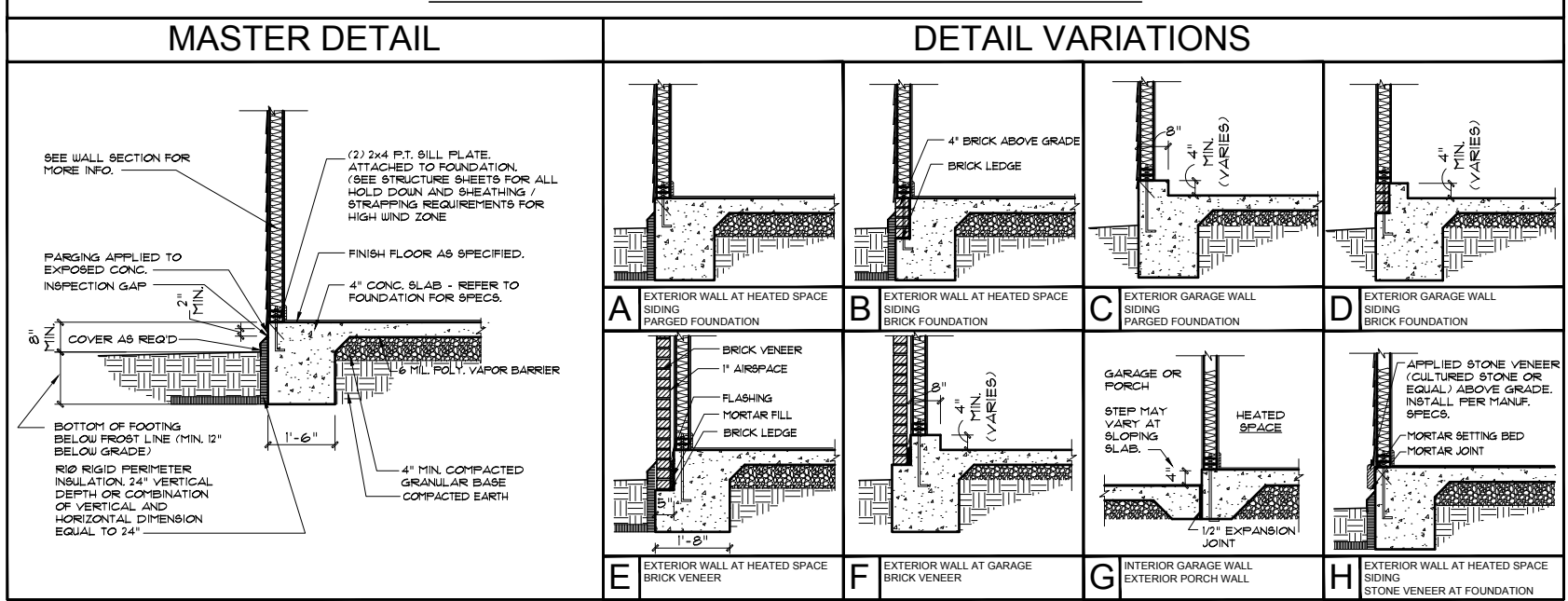
\* SEE STRUCTURAL SHEETS, NOTES AND DETAILS FOR MORE INFORMATION. ALL STRUCTURAL INFORMATION OVER-RIDES THESE ARCHITECTURAL DETAILS

- 1) PLANS HAVE BEEN ISSUED TO MCKEE HOMES LLC, AS A BASE PLAN MASTER SET.
- 2) PLANS AND OPTIONS ARE DESIGNED FOR SINGLE USE ONLY AND NOT IN COMBINATION WITH EACH OTHER. THE USE OF MULTIPLE OPTIONS TOGETHER MAY CAUSE ADDITIONAL CHANGES TO ORIGINAL STRUCTURE AND ARCHITECTURAL DESIGNS.
3. ANY ON SITE CHANGES OR VARIATIONS FROM PLANS SHOWN MUST BE VERIFIED WITH DESIGNER OR ENGINEER TO MEET LOCAL CODES, GUIDELINES, LOAD CALCULATIONS ETC.

**STEM WALL SLAB FOUNDATION DETAILS**



**MONO SLAB FOUNDATION DETAILS**

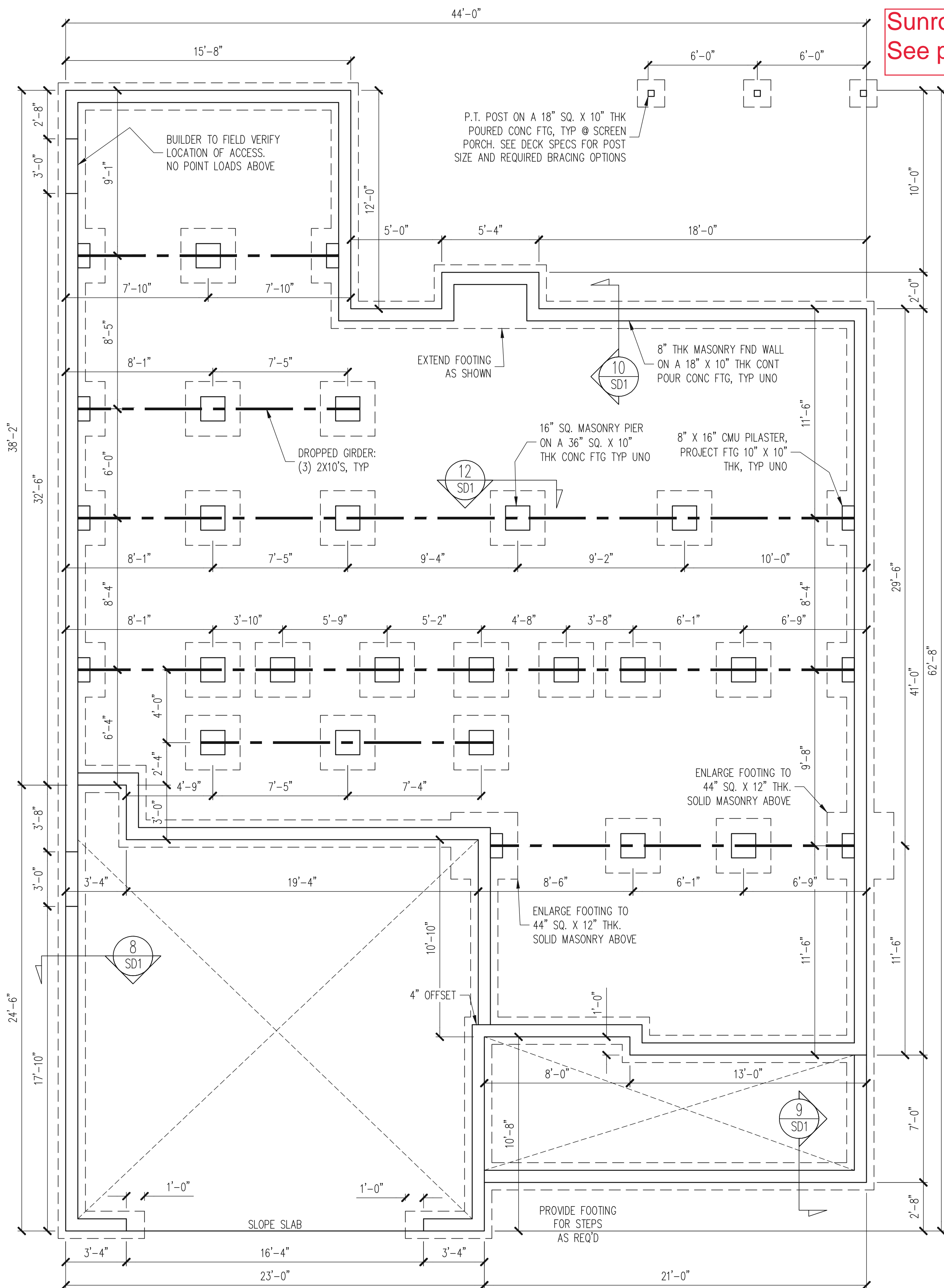


Scales UNO:  
22X34: 1/4"=1'-0"  
11X17: 1/8"=1'-0"

GENERAL NOTES: 1. THESE DETAILS ARE TO BE COORDINATED WITH ALL SITE INFORMATION BY OWNER AND CONTRACTOR. 2. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING OR OTHER VARIOUS FROM DESIGNED INFORMATION. 3. THESE NOTES ARE FOR INFORMATION ONLY. 4. MCKEE HOMES, LLC ASSUMES NO LIABILITY FOR DAMAGES ASSOCIATED WITH ERRORS AND OMISSIONS ON THESE DRAWINGS HEREIN. 5. THESE NOTES ARE FOR INFORMATION ONLY. 6. MCKEE HOMES, LLC ASSUMES NO LIABILITY FOR DAMAGES ASSOCIATED WITH THESE NOTES.

PROGRESS DATE:	7/10/13	
ISSUE DATE:	7/10/13	
DRAWN BY:	A.S.H./B.B.	
CHECKED BY:	A.S.H./B.B.	
REVISIONS:		
DATE:	BY:	DESCRIP.
8-31-15	BB	(11) Plan Updates
9-30-18	BB	Master Plan Set - Arch
7-23-18	BB	Master Plan Set - Arch (Logo)
2-14-15	BB	2018 Codes - Plan mods
<b>Architectural Details</b>		
SHEET NO.		
<b>AD-2</b>		
PLAN NO.		
<b>039211</b>		

McKee Homes, LLC  
Clark II - Base - Options  
Base Plan - Left Hand Garage  
Architectural Master Plan Set (2-19-19)



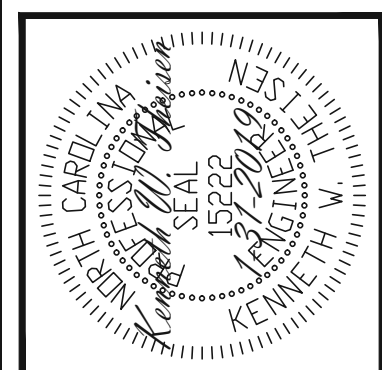
Sunroom w/ covered rear porch  
See pg S32

3rd car garage  
See pg S21

FOUNDATION PLAN  
CRAWLSPACE OPTION  
CLASSIC ELEVATION  
1/4" = 1'-0"

NOTES:  
- HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION.  
- FIBER MESH REINFORCED CONCRETE MAY BE USED IN LIEU OF WELDED WIRE FABRIC. SEE SECTION 6.01 OF THE CONSTRUCTION SPECIFICATIONS FOR ALLOWABLE SUBSTITUTION DETAILS.

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Raleigh, North Carolina 27615  
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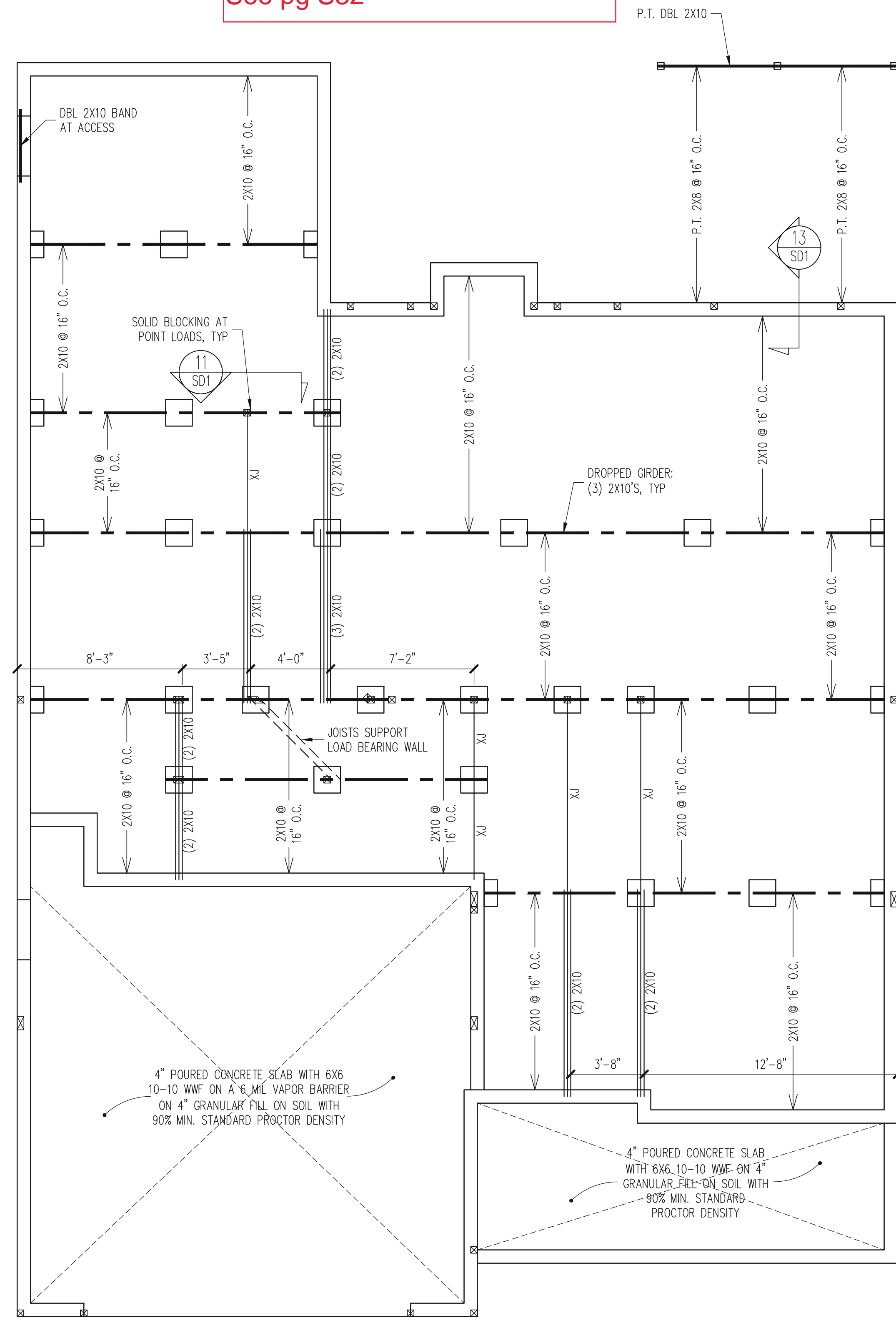
CLIENT:	MCKEE HOMES
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	ENG: KWT/DIN
REV:	REV:
DATE:	1312019

PLAN NO.  
CLARK LH

PROJECT NO.  
19-29-005L

SHEET NO.  
S5

Sunroom w/ covered rear porch  
See pg S32



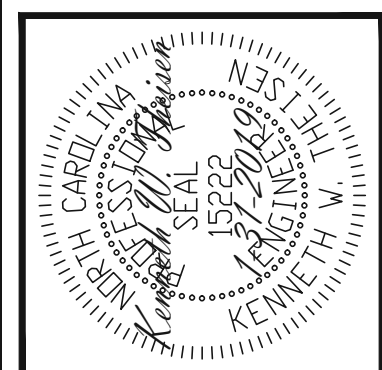
3rd car garage  
See pg S21

CRAWL SPACE FRAMING PLAN  
CLASSIC ELEVATION

1/4" = 1'-0"

NOTES:  
- HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION.  
- FIBER MESH REINFORCED CONCRETE MAY BE USED IN LIEU OF WELDED WIRE FABRIC. SEE SECTION 6.01 OF THE CONSTRUCTION SPECIFICATIONS FOR ALLOWABLE SUBSTITUTION DETAILS.

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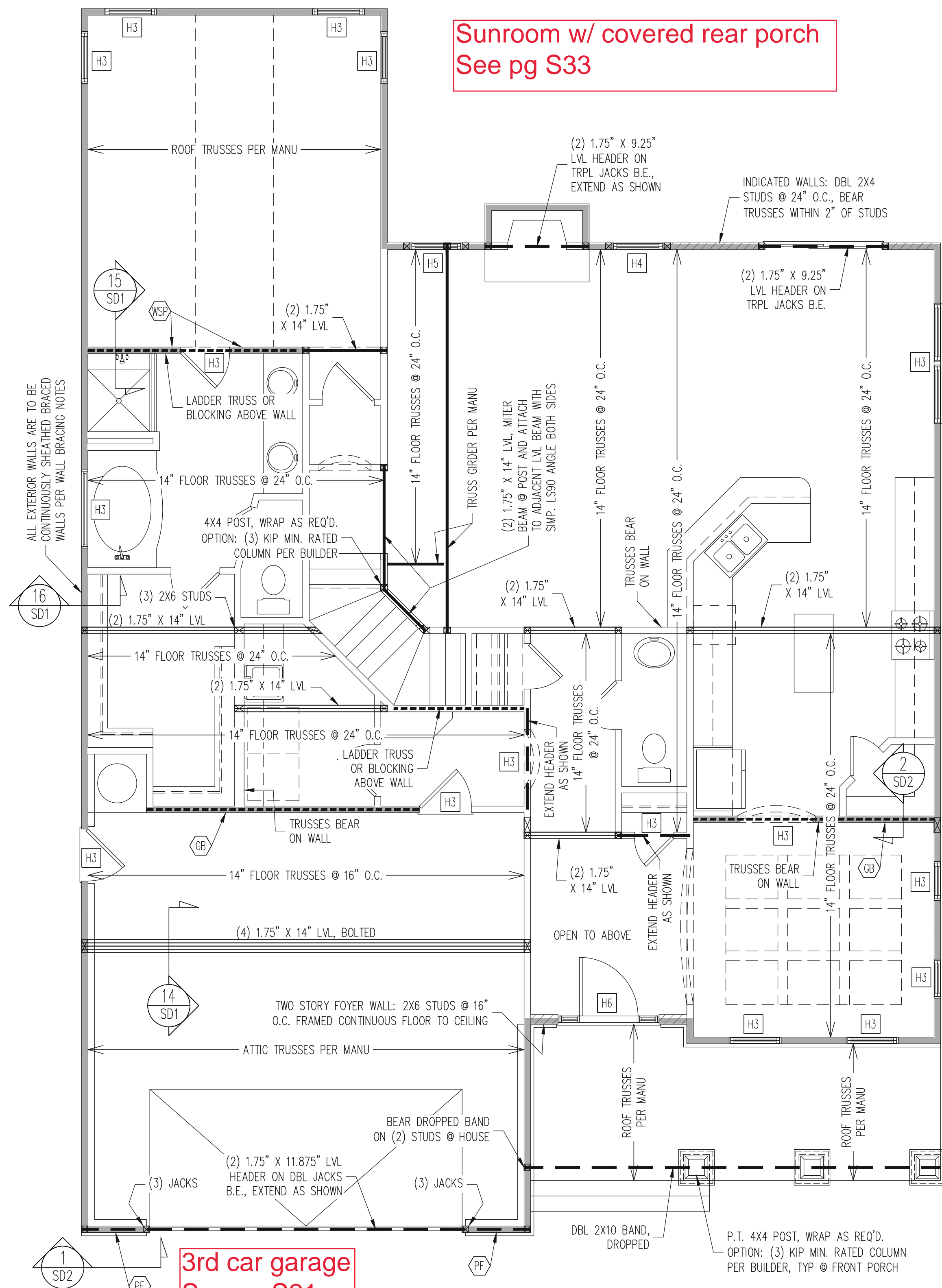
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SCOPE:	STRUCTURAL ADDENDUM
LOT #:	ENG: KWT/DTN REV: 1312019
DATE:	1312019

PLAN NO.  
CLARK LH

PROJECT NO.  
19-29-005L

SHEET NO.  
S7



Sunroom w/ covered rear porch  
See pg S33

3rd car garage  
See pg S21

1ST FLOOR FRAMING PLAN  
CLASSIC ELEVATION

WALLS AND CEILING  
1/4" = 1'-0"

WALL BRACING

ALL EXTERIOR STUD WALLS ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

TRUSS OR 2X6 BLOCKING IS REQUIRED ABOVE ALL BRACED WALLS. NAIL BLOCKING ABOVE WALL TO DBL TOP PLATE WITH 16d TOE NAILS @ 6" O.C. ATTACH SOLE PLATE TO FRAMING / FND BELOW PER TYPICAL BRACED WALL DETAILS. BLOCKING AT HORIZONTAL JOINTS IN BRACED WALL LINES ONLY REQUIRED AT SHADED WALLS, UNO.

SHADED WALLS:

GB INTERIOR BRACED WALL WITH GYPSUM BOARD. 1/2" GB BOTH SIDES OF WALL ATTACHED TO PANEL EDGES, INCLUDING TOP AND BOTTOM PLATES, AT 7" O.C. BUILDER PERMITTED TO USE WSP IN LIEU OF GB UNO.

WSP INTERIOR BRACED WALL WITH 5/8" MIN. THICKNESS WOOD STRUCTURAL PANELING. (1) SIDE. ATTACH WSP TO STUD WALL WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD. BLOCK AT ALL PANEL EDGES.

PF PORTAL FRAME PER TYPICAL DETAIL.

BUILDER PERMITTED TO SUBSTITUTE INTERIOR OSB SHEATHING WITH THERMO-PLY BLUE PROTECTIVE SHEATHING. REFERENCE TECHNICAL EVALUATION REPORT COL#-1038 PROVIDED BY DRJ ENGINEERING, LLC AND SEALED BY RYAN DEXTER, P.E.

PROVIDED CONTINUOUS SHEATHING = 219' MIN. -WALL BRACING IS BY ENGINEERED DESIGN AND NOT PRESCRIPTIVE PER SECTION 602.10 OF THE 2018 NCR. CONTINUOUS SHEATHING HAS BEEN PROVIDED, ALONG WITH ALTERNATIVE METHODS TO INSURE THE MINIMUM INTENT OF SECTION 602.10 OF THE 2018 NCR HAS BEEN MET AND EXCEEDED.

-BRACED WALL PANELS SHALL BE FASTENED IN ACCORDANCE WITH TABLE 602.3(1) TO PROVIDE CONTINUOUS PANEL UPLIFT RESISTANCE AND COMPLIANCE WITH NCRBC R602.3.5 AND R602.11 UNLESS NOTED OTHERWISE ON STRUCTURAL PLANS.

REQUIRED STUDS FOR BEAM SUPPORT

REFER TO SECTIONS 5.02 - 5.06 OF THE CONSTRUCTION SPECIFICATIONS FOR REQUIRED NUMBER OF STUDS FOR BEAM SUPPORT, TYP UNO.

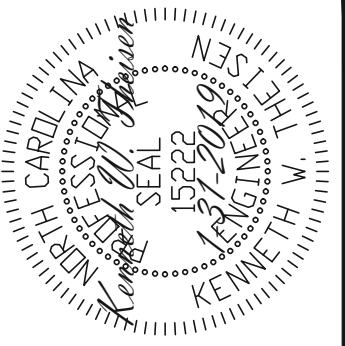
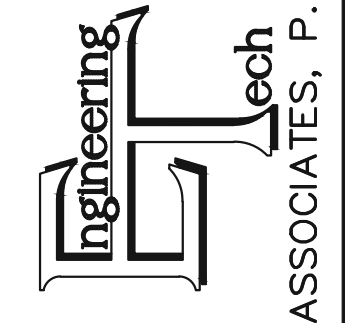
HEADER SCHEDULE

- H1 SINGLE 2X4 TURNED FLAT (A)
- H2 (2) 2X4'S ON SINGLE JACKS (B)
- H3 (2) 2X10'S ON SINGLE JACKS (C)
- H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS
- H5 (2) 2X10'S ON DBL JACKS
- H6 (3) 2X10'S ON SINGLE 2X6 JACKS

- (A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.
- (B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.
- (C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:  
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.  
-KING STUDS EXTERIOR WALLS:  
SINGLE KING STUDS FOR 6' MAX OPENINGS.  
DBL KING STUDS FOR 10' MAX OPENINGS.  
TRPL KING STUDS FOR 14' MAX OPENINGS.  
QUAD KING STUDS FOR 18' MAX OPENINGS.  
FOR 2X6 WALLS, ONE HALF THE AMOUNT OF KING STUDS REQUIRED (ROUND UP) UNO

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CLIENT:	MCKEE HOMES
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	
ENG:	KW7/DIN
REV:	
DATE:	1312019

PLAN NO.  
CLARK LH

PROJECT NO.  
19-29-005L

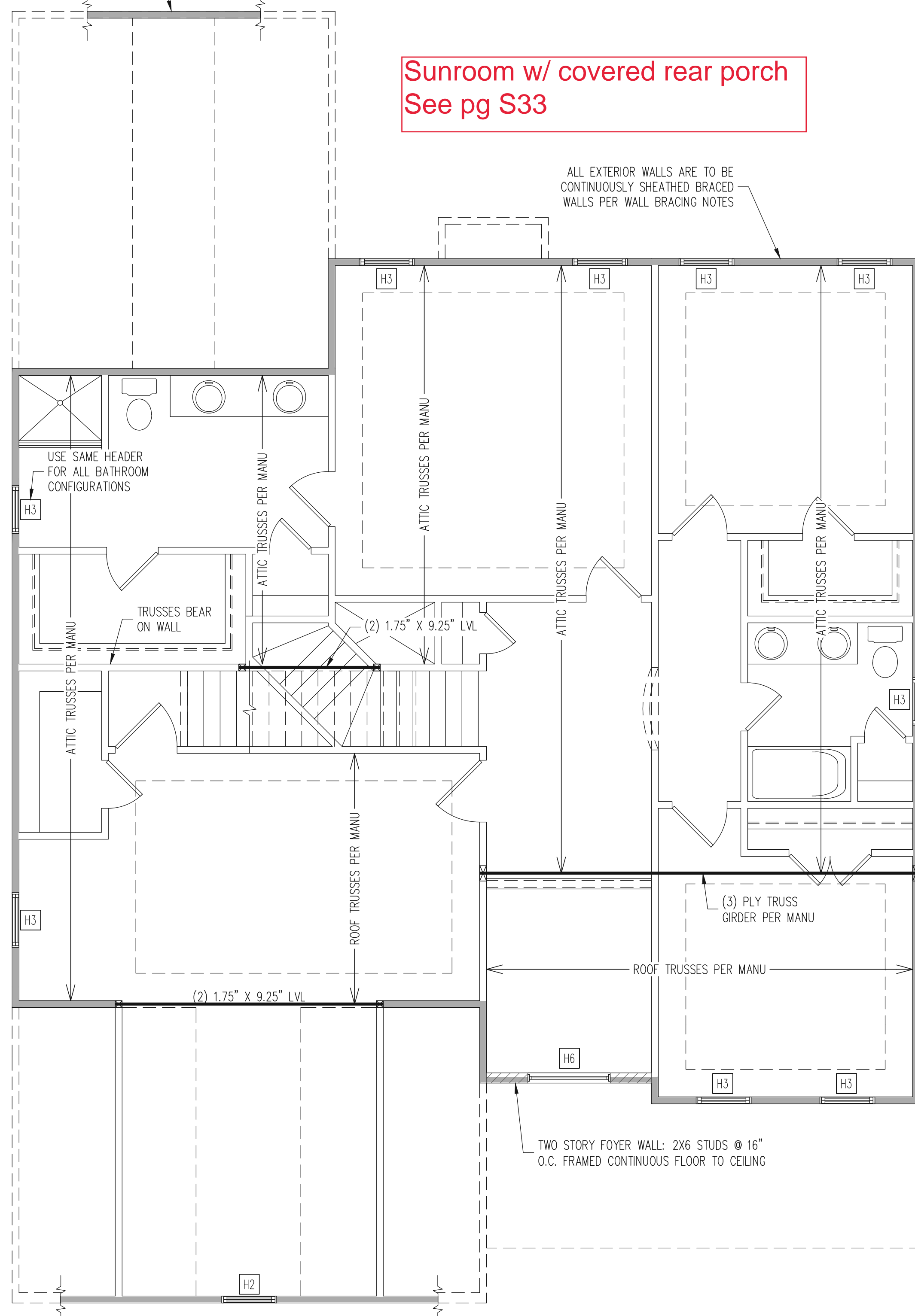
SHEET NO.  
S9



ALL EXTERIOR GABLE END WALLS ARE TO BE CONTINUOUSLY SHEATHED BRACED WALLS PER WALL BRACING NOTES

Sunroom w/ covered rear porch  
See pg S33

ALL EXTERIOR WALLS ARE TO BE CONTINUOUSLY SHEATHED BRACED WALLS PER WALL BRACING NOTES



BEAR TRUSS GIRDER ON (5) STUDS AND ATTACH WITH SMP, LG13-SIS23 B.E.

TWO STORY FOYER WALL: 2X6 STUDS @ 16" O.C. FRAMED CONTINUOUS FLOOR TO CEILING

3rd car garage  
See pg S21

2ND FLOOR FRAMING PLAN  
CLASSIC ELEVATION

WALLS AND CEILING  
1/4" = 1'-0"

WALL BRACING

ALL EXTERIOR STUD WALLS ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

TRUSS OR 2X6 BLOCKING IS REQUIRED ABOVE ALL BRACED WALLS. NAIL BLOCKING ABOVE WALL TO DBL TOP PLATE WITH 16d TOE NAILS @ 6" O.C. ATTACH SOLE PLATE TO FRAMING / FND BELOW PER TYPICAL BRACED WALL DETAILS. BLOCKING AT HORIZONTAL JOINTS IN BRACED WALL LINES ONLY REQUIRED AT SHADED WALLS, UNO.

SHADED WALLS:

PROVIDED CONTINUOUS SHEATHING = 183' MIN.  
-WALL BRACING IS BY ENGINEERED DESIGN AND NOT PRESCRIPTIVE PER SECTION 602.10 OF THE 2018 NCR. CONTINUOUS SHEATHING HAS BEEN PROVIDED, ALONG WITH ALTERNATIVE METHODS TO INSURE THE MINIMUM INTENT OF SECTION 602.10 OF THE 2018 NCR HAS BEEN MET AND EXCEEDED.

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REQUIRED STUDS FOR BEAM SUPPORT

REFER TO SECTIONS 5.02 - 5.06 OF THE CONSTRUCTION SPECIFICATIONS FOR REQUIRED NUMBER OF STUDS FOR BEAM SUPPORT, TYP UNO.

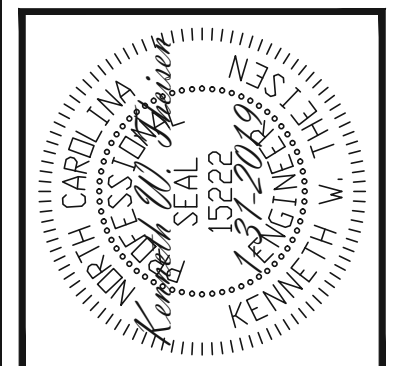
HEADER SCHEDULE

- H1 SINGLE 2X4 TURNED FLAT (A)
  - H2 (2) 2X4'S ON SINGLE JACKS (B)
  - H3 (2) 2X10'S ON SINGLE JACKS (C)
  - H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS
  - H5 (2) 2X10'S ON DBL JACKS
  - H6 (3) 2X10'S ON SINGLE 2X6 JACKS
- (A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.  
(B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.  
(C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:  
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.  
-KING STUDS EXTERIOR WALLS:  
SINGLE KING STUDS FOR 6' MAX OPENINGS.  
DBL KING STUDS FOR 10' MAX OPENINGS.  
TRPL KING STUDS FOR 14' MAX OPENINGS.  
QUAD KING STUDS FOR 18' MAX OPENINGS.  
FOR 2X6 WALLS, ONE HALF THE AMOUNT OF KING STUDS REQUIRED (ROUND UP) UNO

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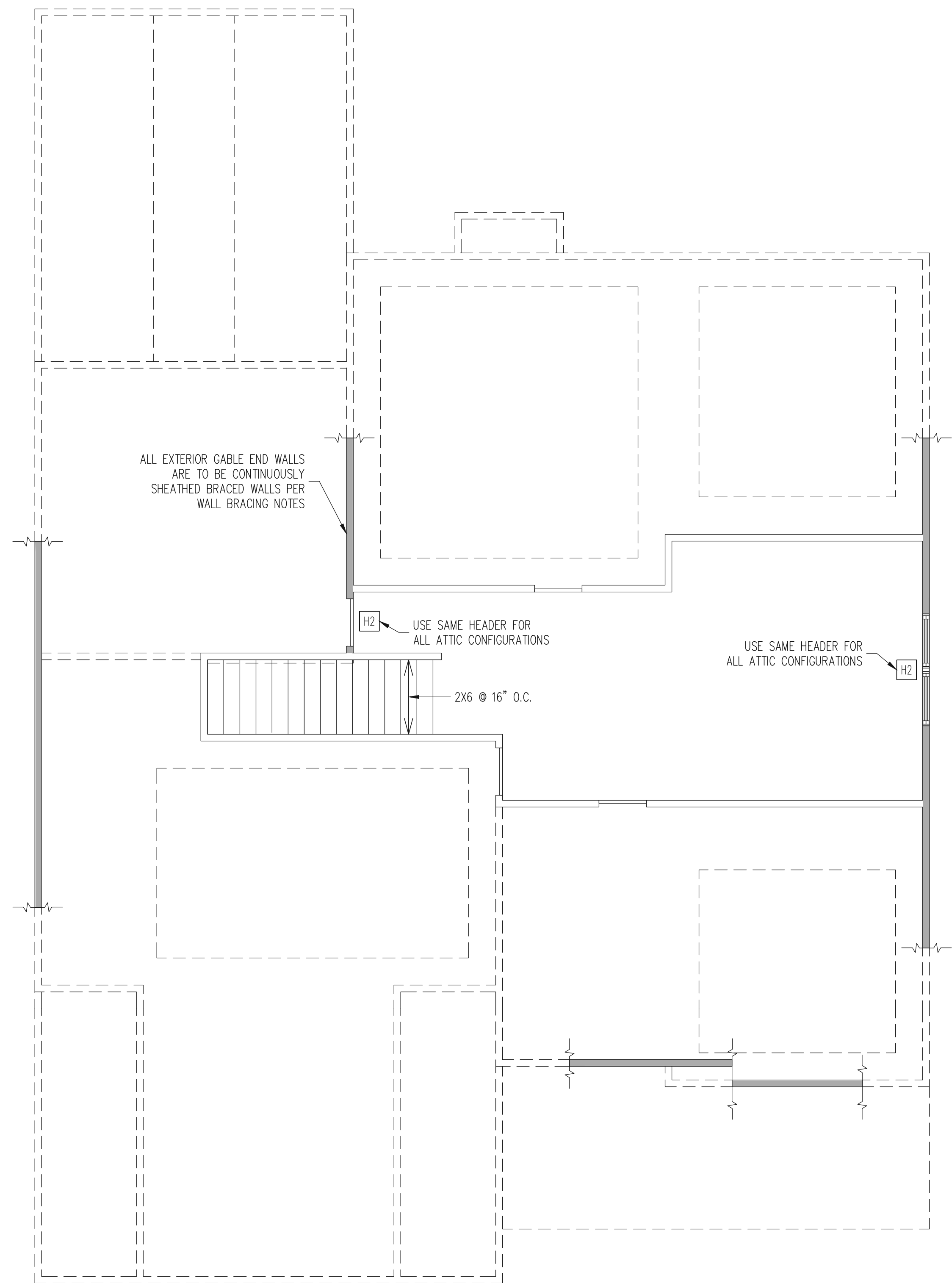
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CLIENT:	MCKEE HOMES
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	ENG: KWT/DTN
REV:	REV:
DATE:	1312019

PLAN NO.  
CLARK LH

PROJECT NO.  
19-29-005L

SHEET NO.  
S11

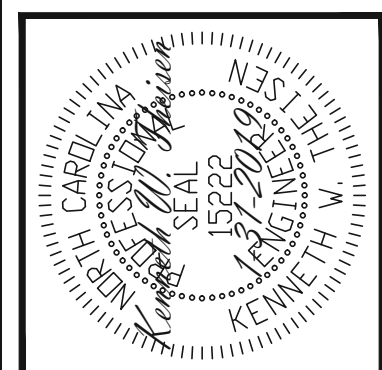


ATTIC FRAMING PLAN  
CLASSIC ELEVATION

WALLS AND CEILING  
1/4" = 1'-0"

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**WALL BRACING**

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TRUSS OR 2X6 BLOCKING IS REQUIRED ABOVE ALL BRACED WALLS. NAIL BLOCKING ABOVE WALL TO DBL TOP PLATE WITH 16d TOE NAILS @ 6" O.C. ATTACH SOLE PLATE TO FRAMING / FND BELOW PER TYPICAL BRACED WALL DETAILS. BLOCKING AT HORIZONTAL JOINTS IN BRACED WALL LINES ONLY REQUIRED AT SHADED WALLS, UNO.

SHADED WALLS:

PROVIDED CONTINUOUS SHEATHING = 67" MIN.  
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**REQUIRED STUDS FOR BEAM SUPPORT**

REFER TO SECTIONS 5.02 - 5.06 OF THE CONSTRUCTION SPECIFICATIONS FOR REQUIRED NUMBER OF STUDS FOR BEAM SUPPORT, TYP UNO.

**HEADER SCHEDULE**

H1	SINGLE 2X4 TURNED FLAT (A)
H2	(2) 2X4'S ON SINGLE JACKS (B)
H3	(2) 2X10'S ON SINGLE JACKS (C)
H4	(2) 1.75" X 9.25" LVL'S ON DBL JACKS
H5	(2) 2X10'S ON DBL JACKS
H6	(3) 2X10'S ON SINGLE 2X6 JACKS

(A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.  
(B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.  
(C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

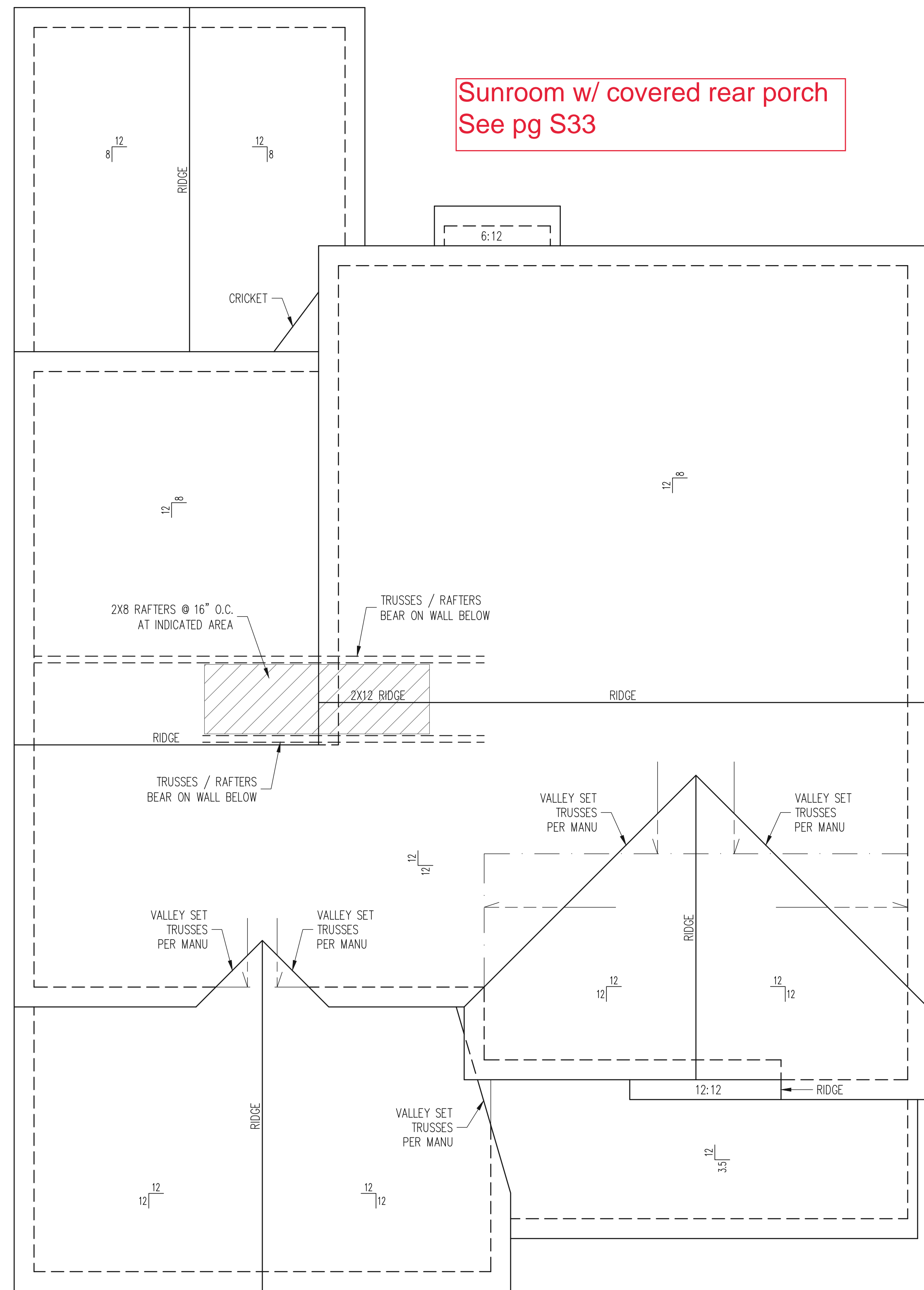
NOTES:  
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FOR 2X6 WALLS, ONE HALF THE AMOUNT OF KING STUDS REQUIRED (ROUND UP) UNO

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PLAN NO.  
CLARK LH

PROJECT NO.  
19-29-005L

SHEET NO.  
S13



Sunroom w/ covered rear porch  
See pg S33

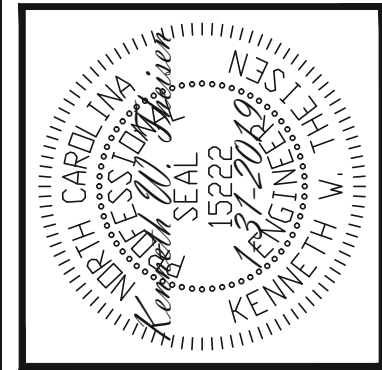
3rd car garage  
See pg S21

ROOF FRAMING PLAN  
CLASSIC ELEVATION  
1/4" = 1'-0"

FRAMING NOTES  
ROOF ONLY  
-ROOF TRUSSES PER MANU TYPICAL UNO  
-ATTACH ROOF TRUSSES TO DBL TOP PLATE  
WITH SIMP. H10A HURRICANE TIES TYP UNO  
-VERIFY ALL ARCHITECTURAL OVERHANGS, ROOF  
PITCHES, AND KNEEWALL HEIGHTS PRIOR TO  
CONSTRUCTION

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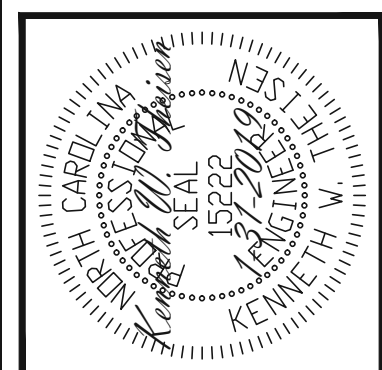
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REV:	REV:
DATE:	1312019

PLAN NO.  
CLARK LH

PROJECT NO.  
19-29-005L

SHEET NO.  
S15



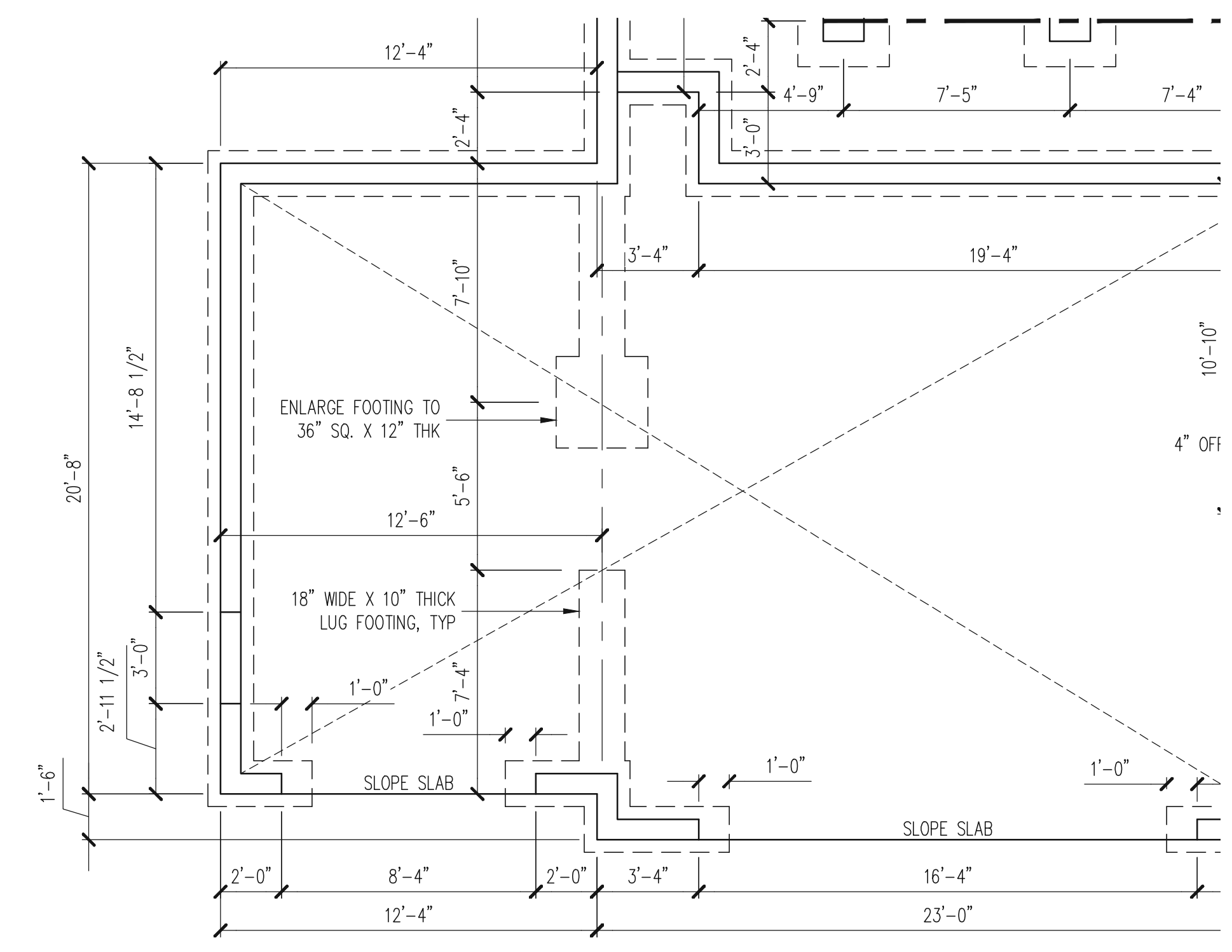
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DATE:	1312019

PLAN NO.  
CLARK LH

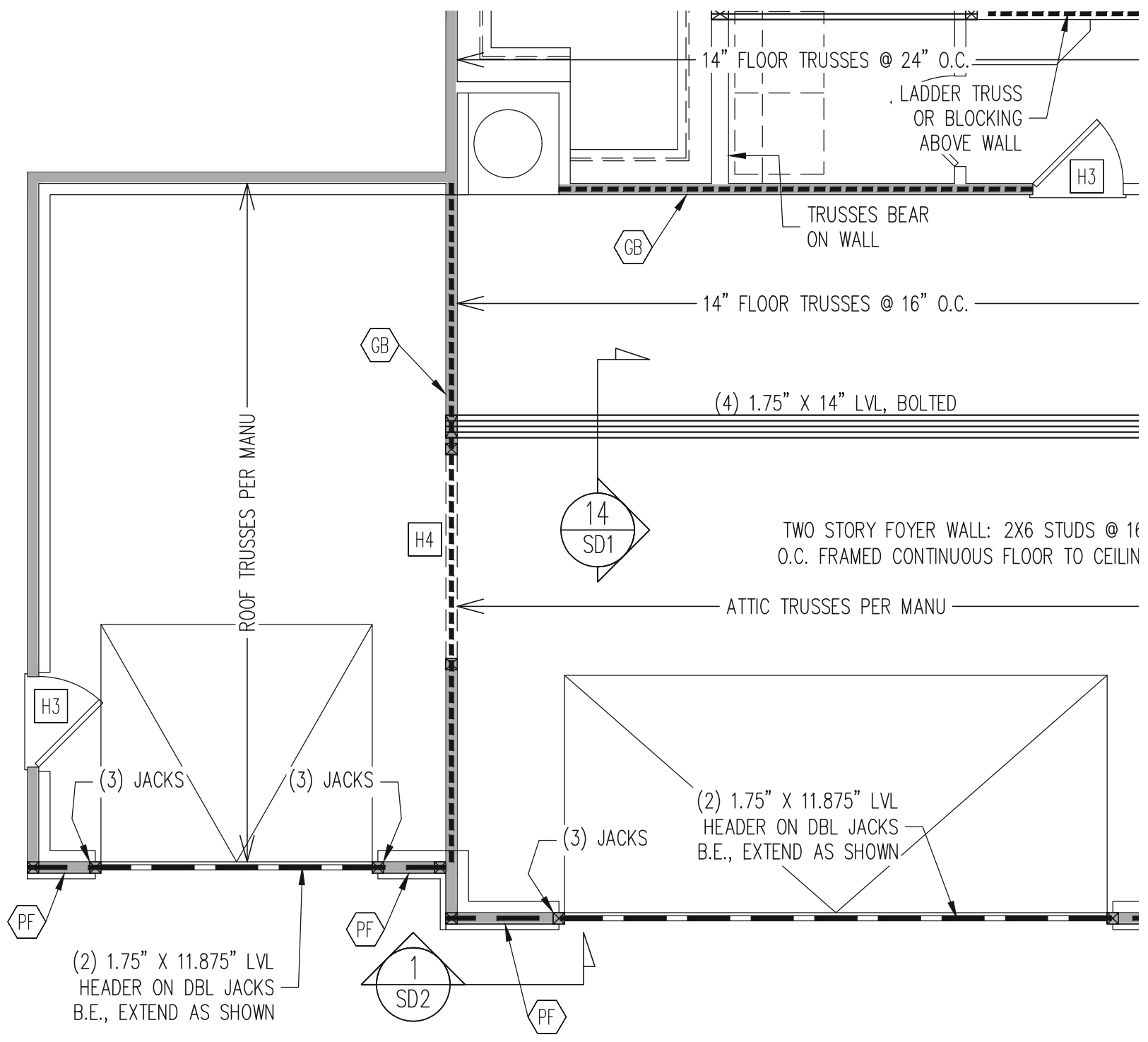
PROJECT NO.  
19-29-005L

SHEET NO.  
S21



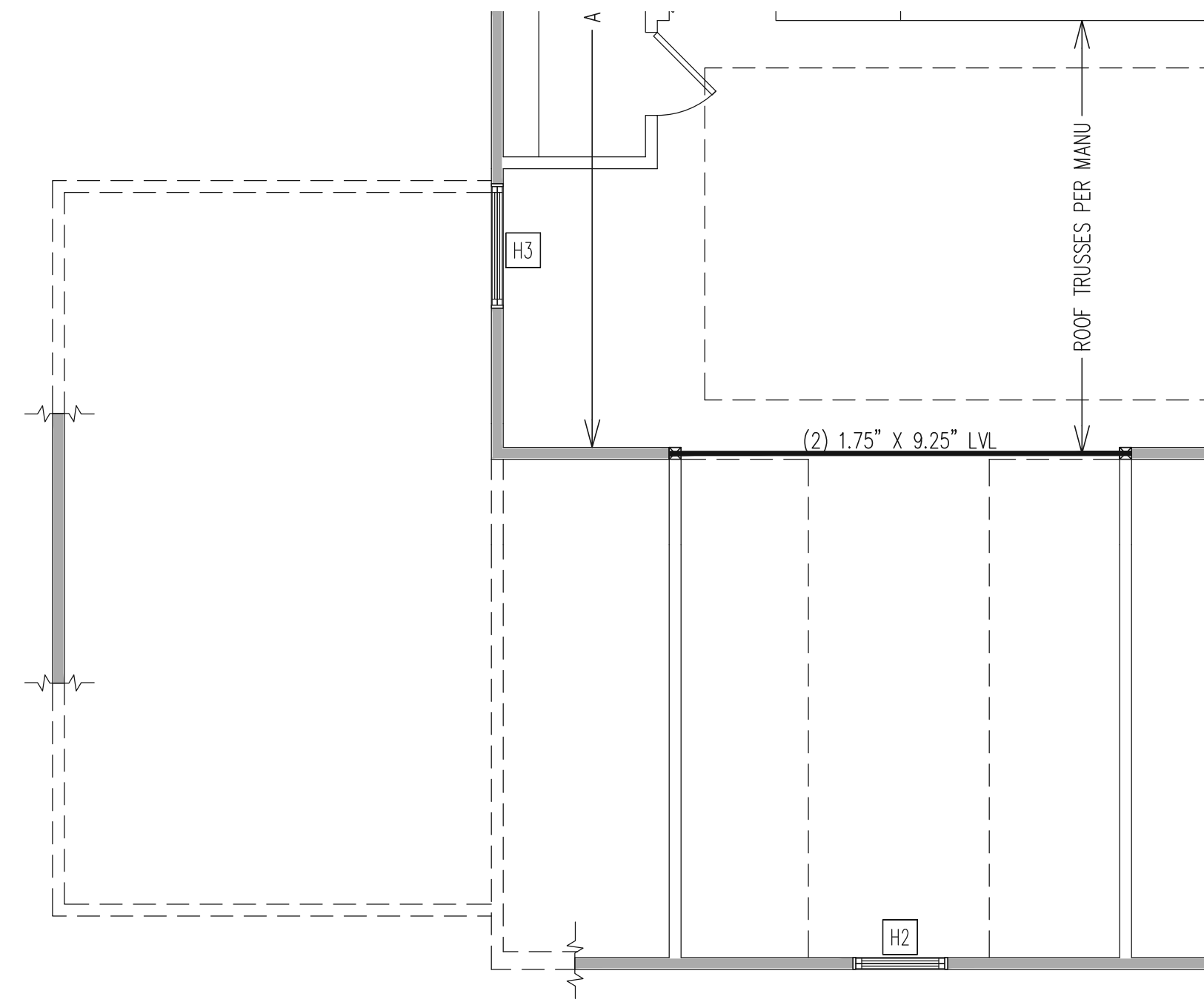
REFER TO SHEETS S1-S16  
FOR ALL STRUCTURAL  
NOTES AND SCHEDULES

FOUNDATION PLAN  
CRAWLSPACE OPTION  
3RD BAY GARAGE OPTION  
CLASSIC ELEVATION  
1/4" = 1'-0"



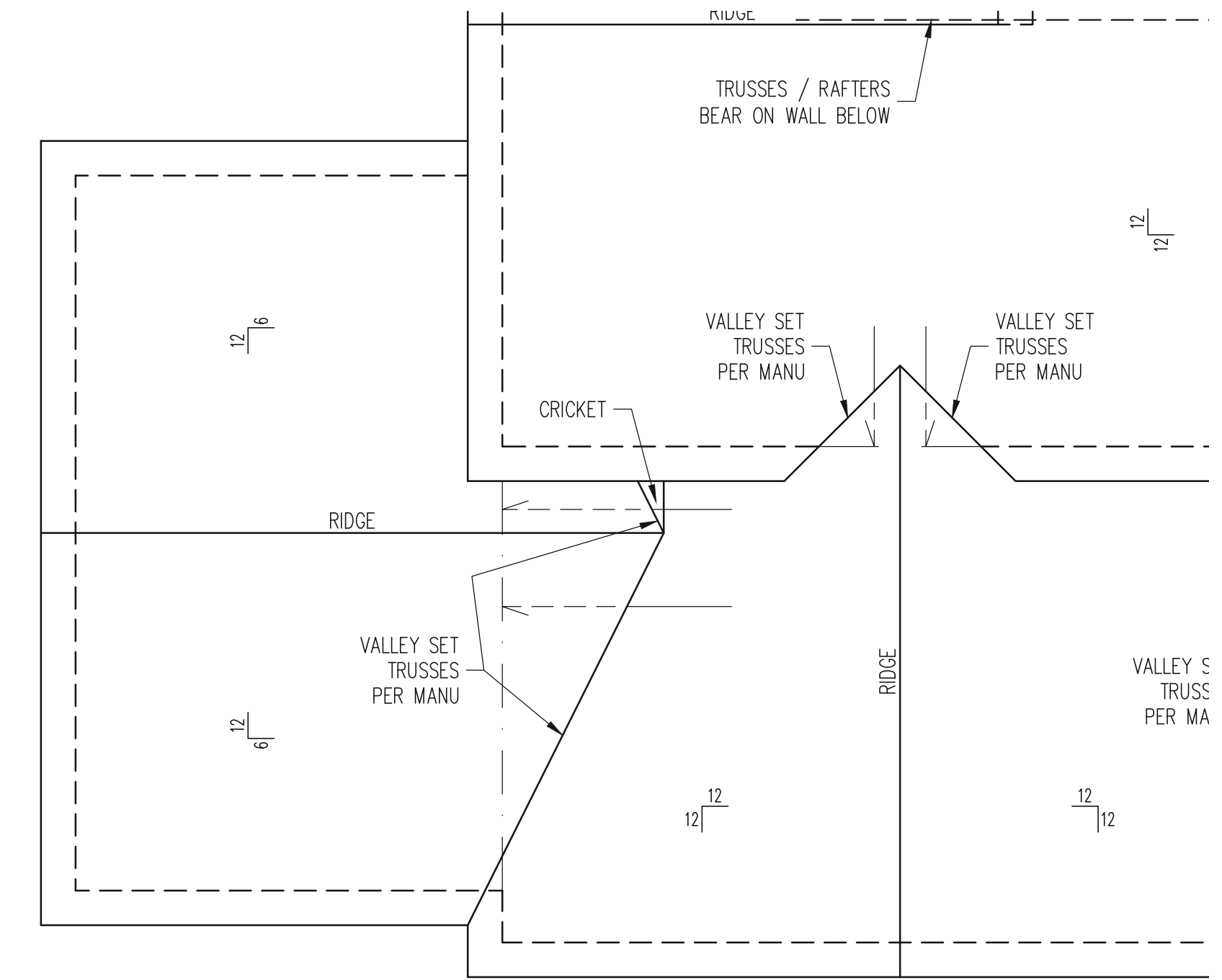
REFER TO SHEETS S1-S16  
FOR ALL STRUCTURAL  
NOTES AND SCHEDULES

1ST FLOOR FRAMING PLAN  
3RD BAY GARAGE OPTION  
CLASSIC ELEVATION  
WALLS AND CEILING  
1/4" = 1'-0"



REFER TO SHEETS S1-S16  
FOR ALL STRUCTURAL  
NOTES AND SCHEDULES

2ND FLOOR FRAMING PLAN  
3RD BAY GARAGE OPTION  
CLASSIC ELEVATION  
WALLS AND CEILING  
1/4" = 1'-0"



REFER TO SHEETS S1-S16  
FOR ALL STRUCTURAL  
NOTES AND SCHEDULES

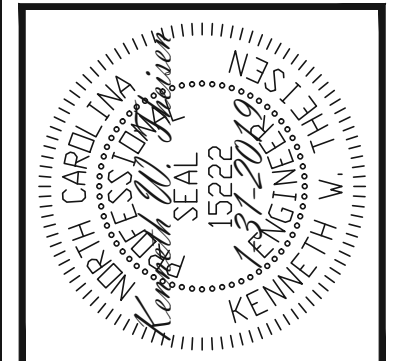
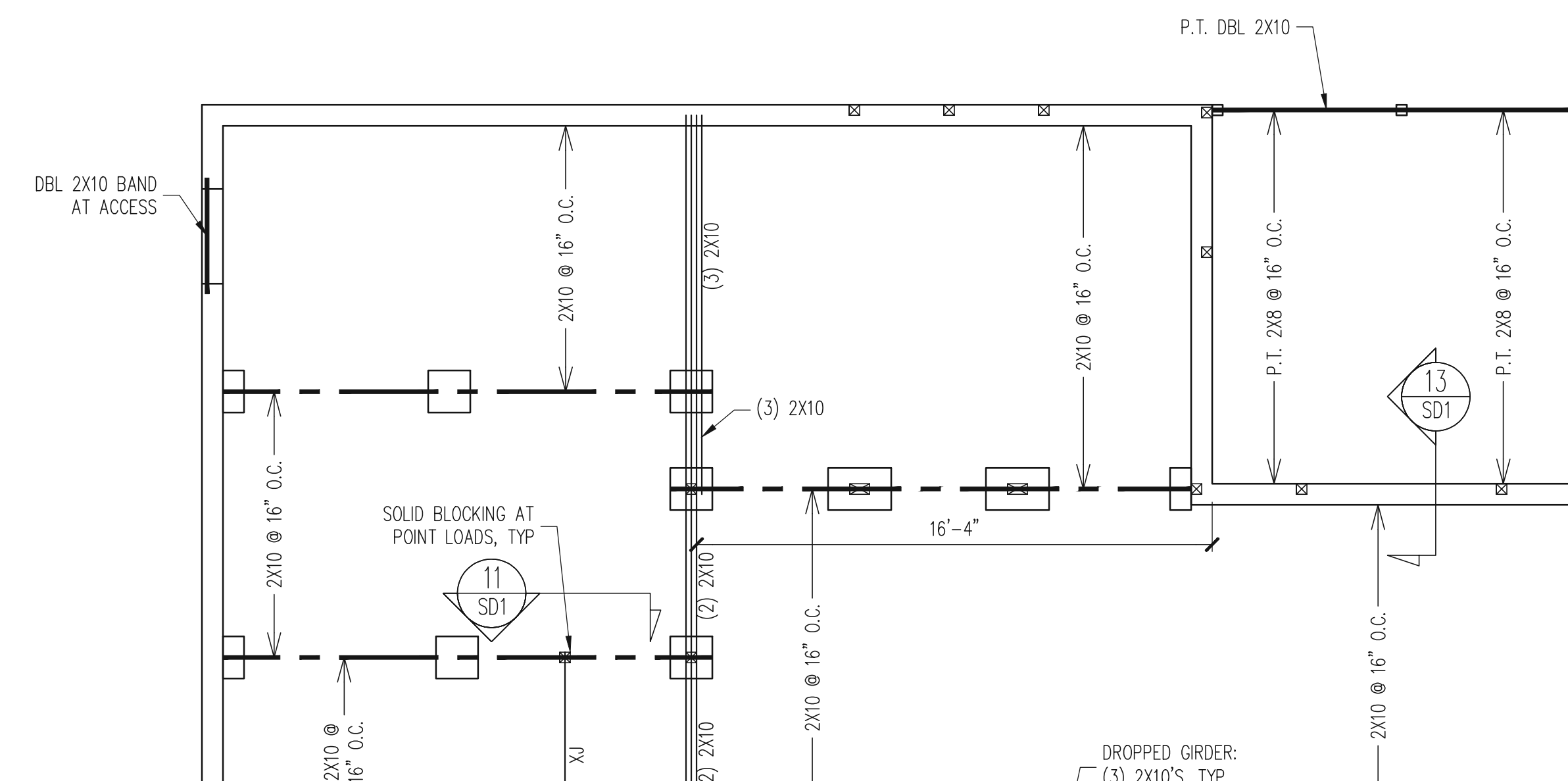
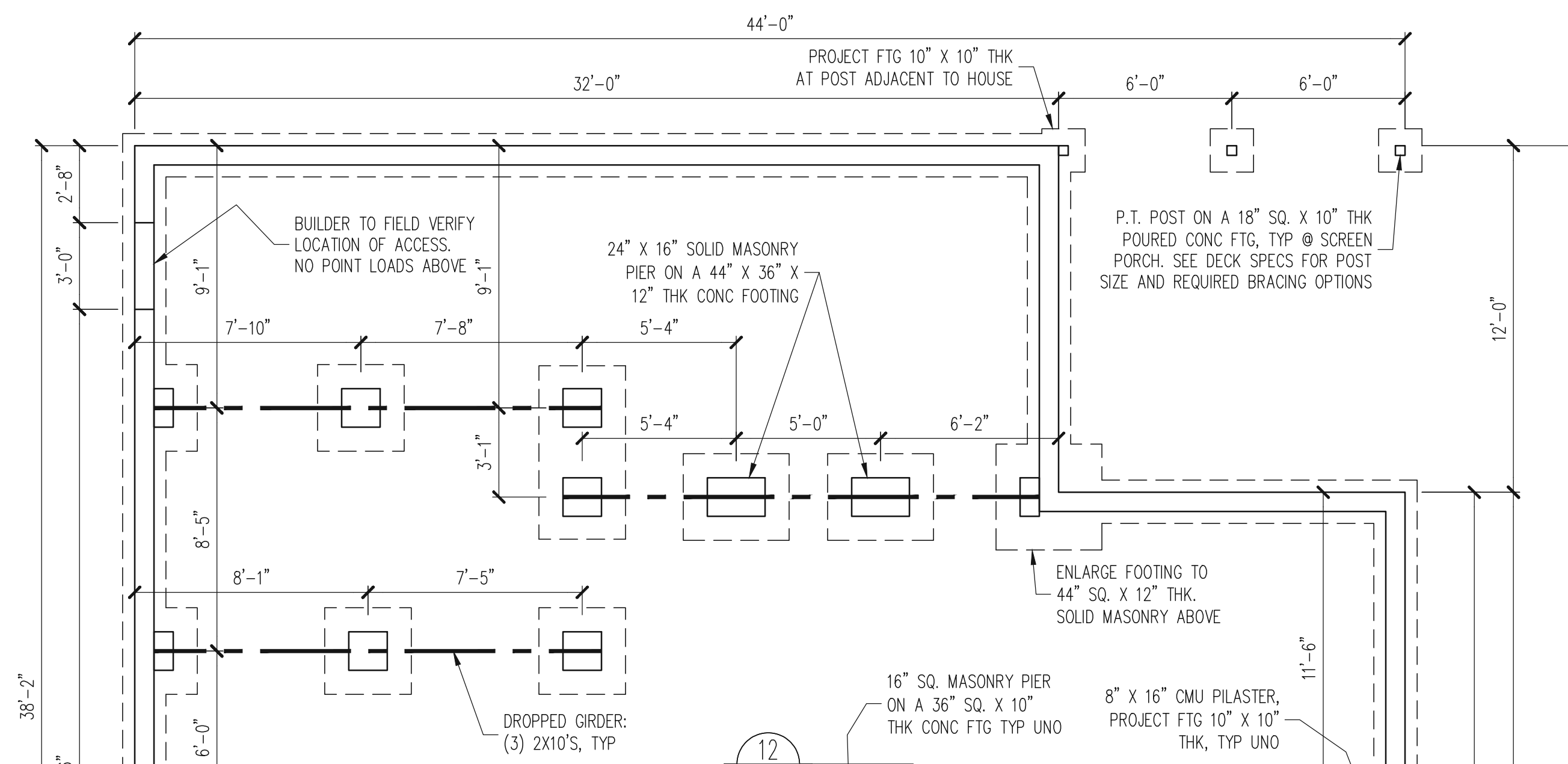
ROOF FRAMING PLAN  
3RD BAY GARAGE OPTION  
CLASSIC ELEVATION  
1/4" = 1'-0"

REFER TO SHEETS S1-S16  
FOR ALL STRUCTURAL  
NOTES AND SCHEDULES

FOUNDATION PLAN  
CRAWLSPACE OPTION  
SUNROOM OPTION  
ALL ELEVATIONS  
1/4" = 1'-0"

REFER TO SHEETS S1-S16  
FOR ALL STRUCTURAL  
NOTES AND SCHEDULES

CRAWL SPACE FRAMING PLAN  
SUNROOM OPTION  
ALL ELEVATIONS  
1/4" = 1'-0"



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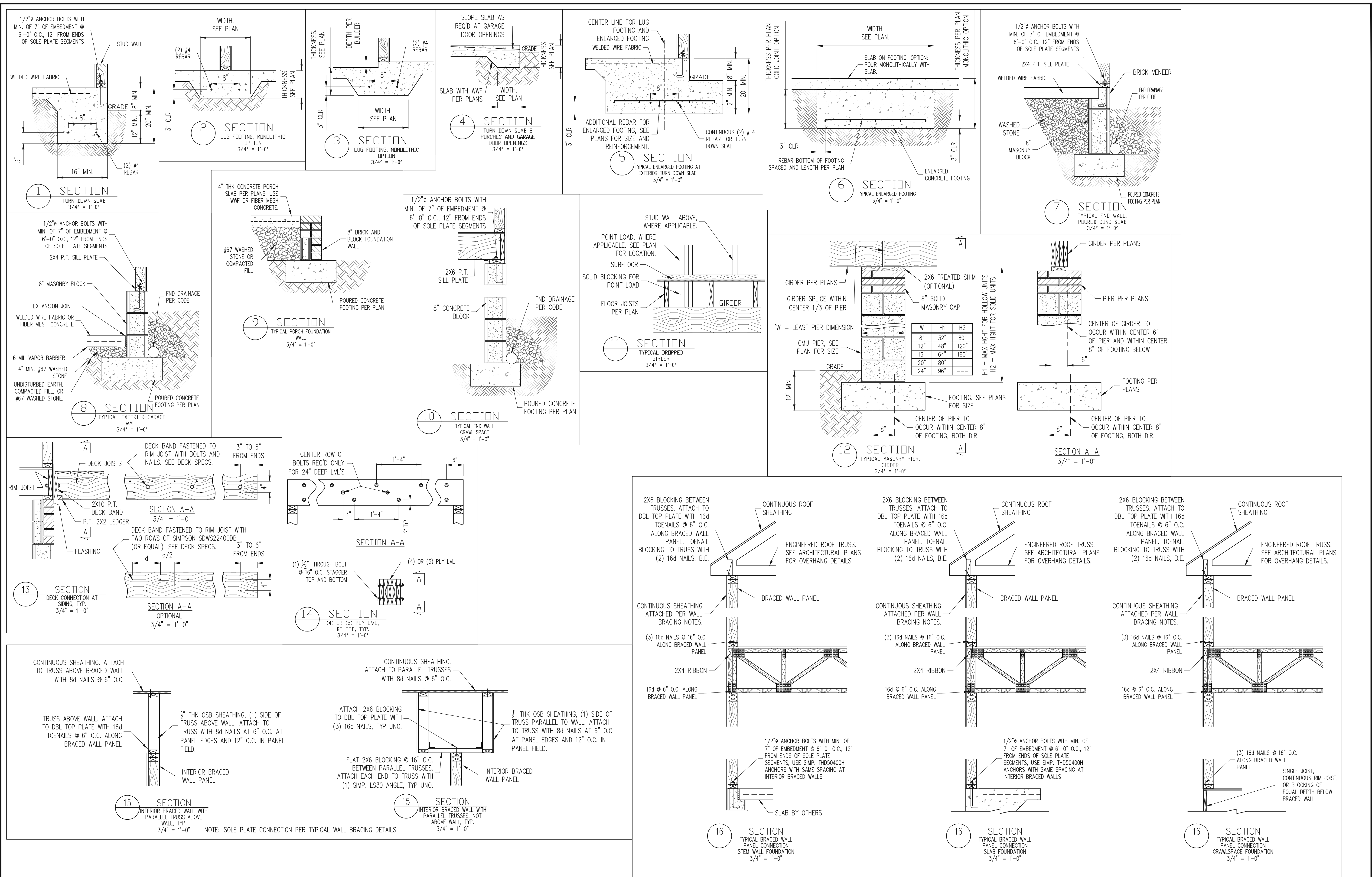
CLIENT:	MCKEE HOMES
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	
ENG:	KWT/DIN
REV:	
DATE:	1312019

PLAN NO.  
CLARK LH

PROJECT NO.  
19-29-005L

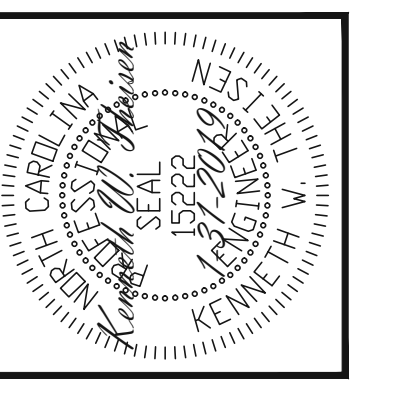
SHEET NO.  
S32





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<b>CLIENT:</b>	MCKEE HOMES
<b>SCOPE:</b>	STRUCTURAL ADDENDUM
<b>LOT #:</b>	ENG. KWT/DTN
<b>REV:</b>	REV.
<b>DATE:</b>	1/31/2019

**PLAN NO.**  
CLARK LH

**PROJECT NO.**  
19-29-005L

**SHEET NO.**  
SD1

