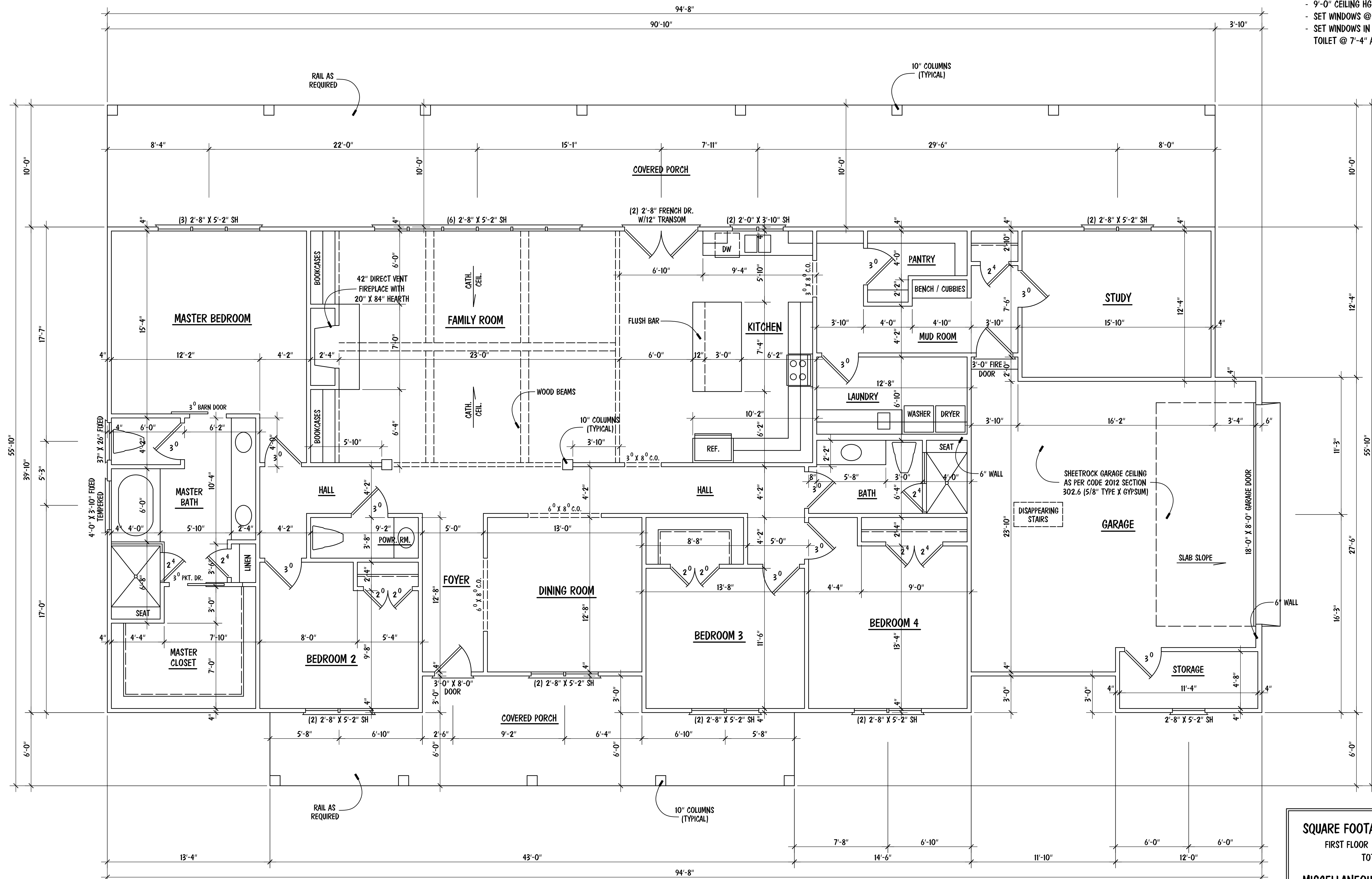


ALL DIMENSIONS AND SITE DIMENSIONS ARE TO BE VERIFIED BEFORE CONSTRUCTION BEGINS. SINCE CONSTRUCTION HAS BEGUN SOUTHERN HOME DESIGNS, INCORPORATED, IS RELEASED FROM ANY FURTHER RESPONSIBILITIES.

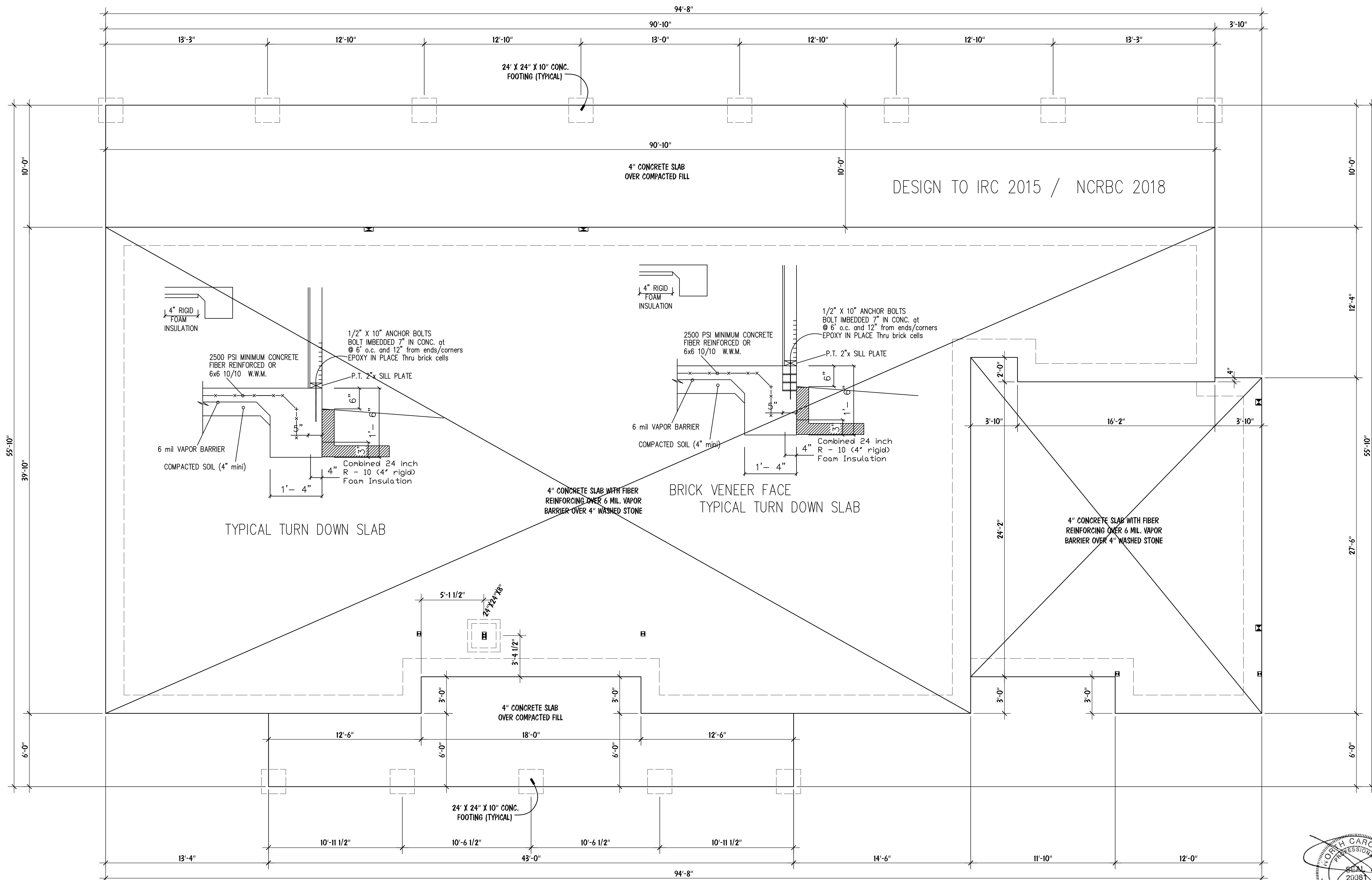
- NOTES:**
- 9'-0" CEILING HGT. (TYP.) U.N.O.
 - SET WINDOWS @ 7'-10" A.F.F. (TYP.) U.N.O.
 - SET WINDOWS IN KITCHEN & MASTER BATH TOILET @ 7'-4" A.F.F.



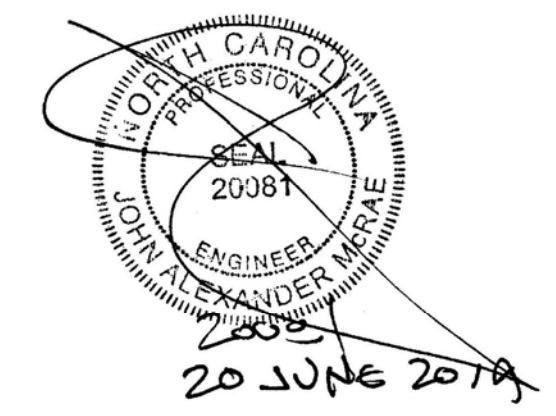
| SQUARE FOOTAGE | |
|----------------|------|
| FIRST FLOOR | 3013 |
| TOTAL | 3013 |
| MISCELLANEOUS | |
| GARAGE | 621 |
| FRONT PORCH | 312 |
| REAR PORCH | 908 |

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



Structural Design By:
 John Alexander McRae, PE, Inc
 218 Coley Farm Road
 Fuquay-Varina North Carolina 27526
 jampe@nc.rr.com (919) 210-5749
 P O Box 1466 Apex, NC 27502
 Report deficiencies immediately
 1906-34
 (NC C-2298)



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

Hall Contractors, Inc.
 Office: 954.707.1887

THE HALL RESIDENCE
 2342 PEACH FARM ROAD

Southern Home Designs
 INCORPORATED
 1400 Crescent Green Drive, Suite 130, Cary, NC 27518
 919.380.7400 Office 919.380.7464 Fax
 Web: shdplans.com Email: shd@ncrrr.com

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ENGR. #:
 DATE: 01-07-19
 SHEET: S-1
 PLAN #: 19-010719

NOTES:

- MEAN ROOF HEIGHT FOR THIS STRUCTURE IS 16'-6"

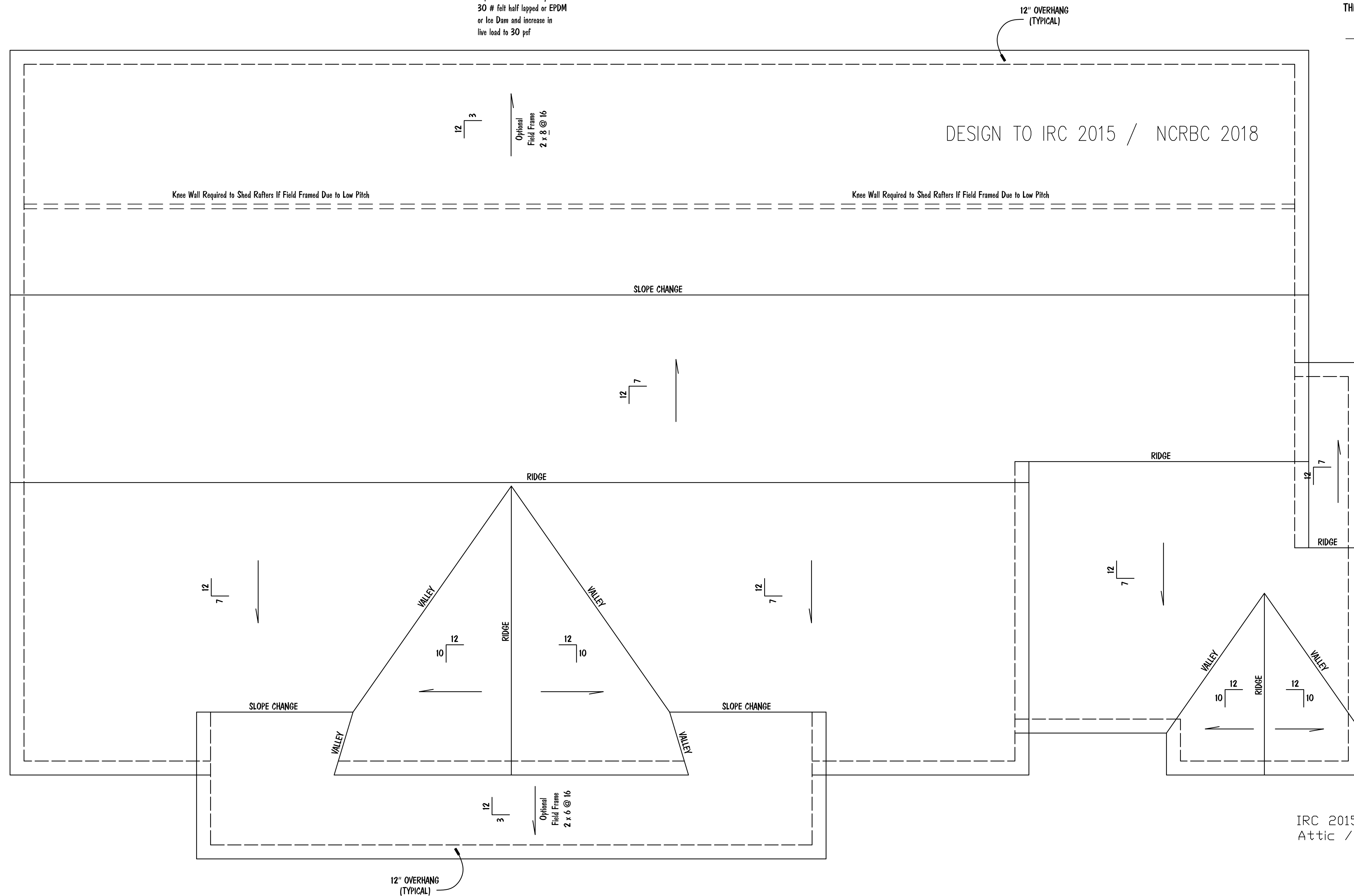
ATTIC VENTILATION:

$\frac{4854}{300}$ SQUARE FEET = $\frac{16.18}{}$ REQUIRED

THE NET FREE AREA OF VENTILATION REQUIRED IS TO BE

$\frac{16.18}{}$ SQUARE FEET.

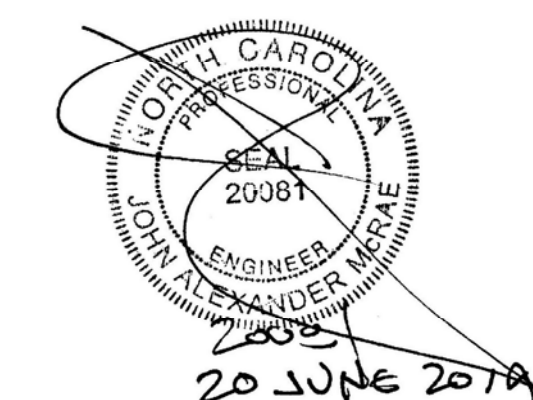
Lower Roof Pitches below 4:12 require alternate underlayment 30 # felt half lapped or EPDM or Ice Dam and increase in live load to 30 psf



MAIN RAFTERS TO BE TRUSS BY MFR

- all rafters 2 x 8 @ 16 #2 spf or better
- all ridges 2 x 10 u.n.o. for ridge as required to provide full rafter contact
- for rafters as required to meet insulation code

IRC 2015 / NCRBC 2018 Increases Attic / Ceiling Insulation to R-38



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ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

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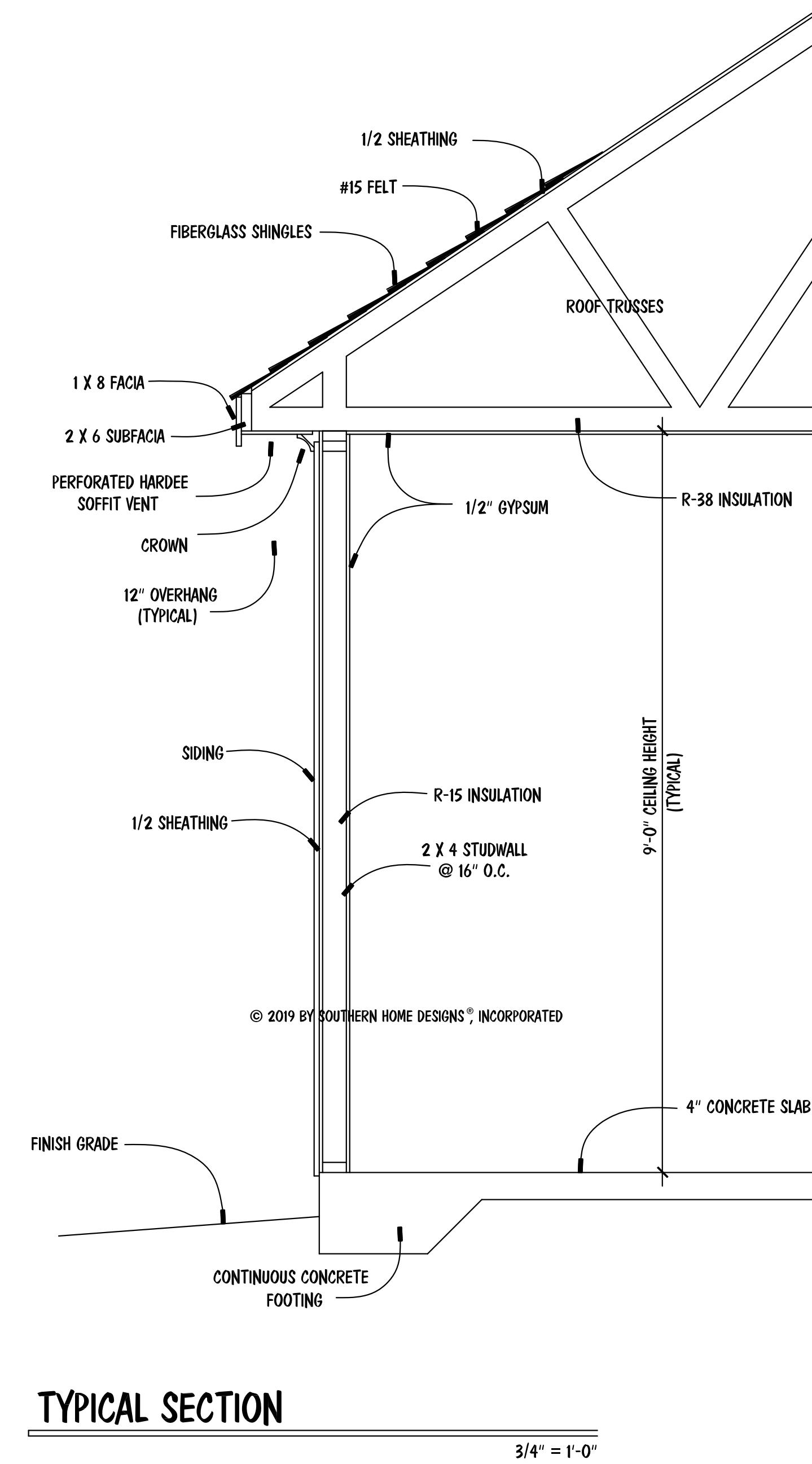
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| | |
|----------|-----------|
| ENGR. #: | |
| DATE: | 01-07-19 |
| SHEET: | S-3 |
| PLAN #: | 19-010719 |

| INSULATION VALUES | |
|-------------------|------|
| WALLS | R-15 |
| FLOORS | R-19 |
| CEILINGS | R-38 |



STR. DETAIL PLAN

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| | |
|----------|-----------|
| ENGR. #: | |
| DATE: | 01-07-19 |
| SHEET: | A-3 |
| PLAN #: | 19-010719 |