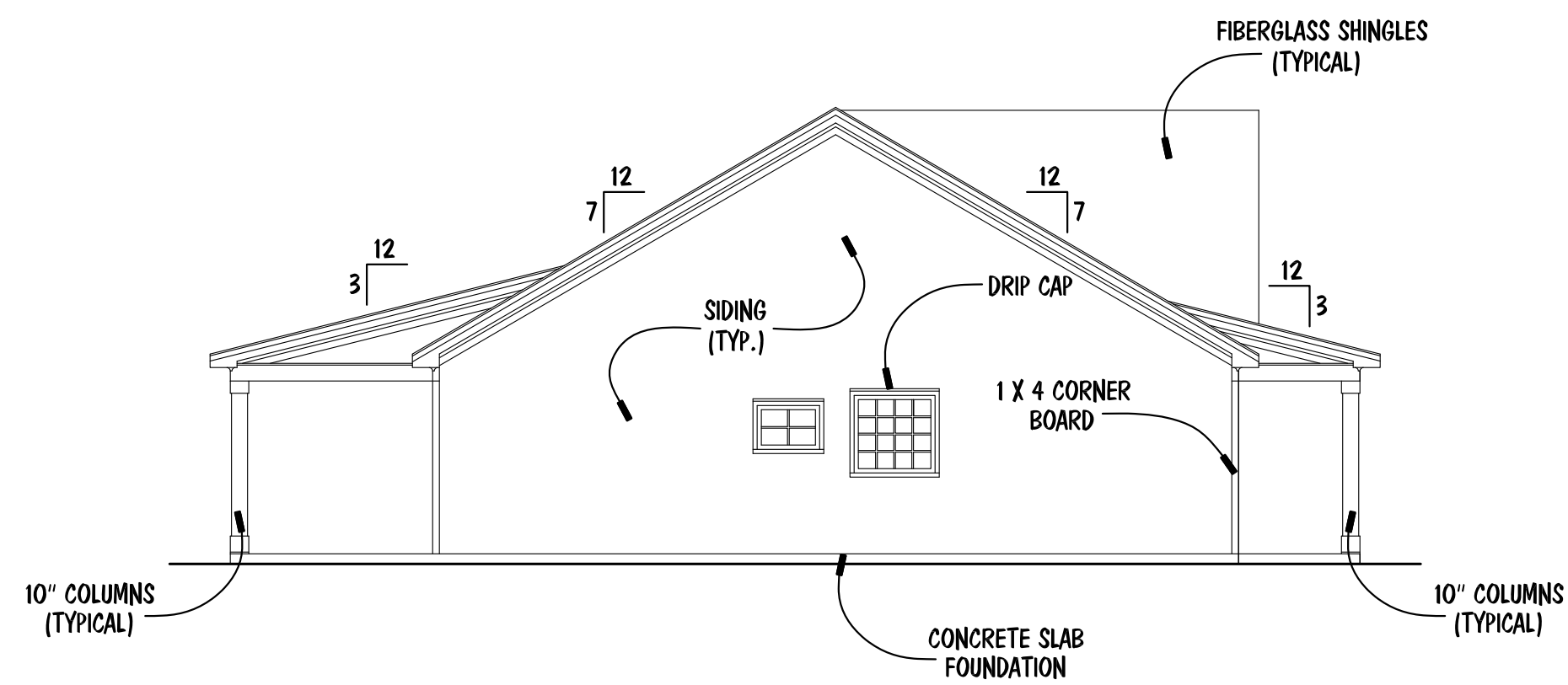


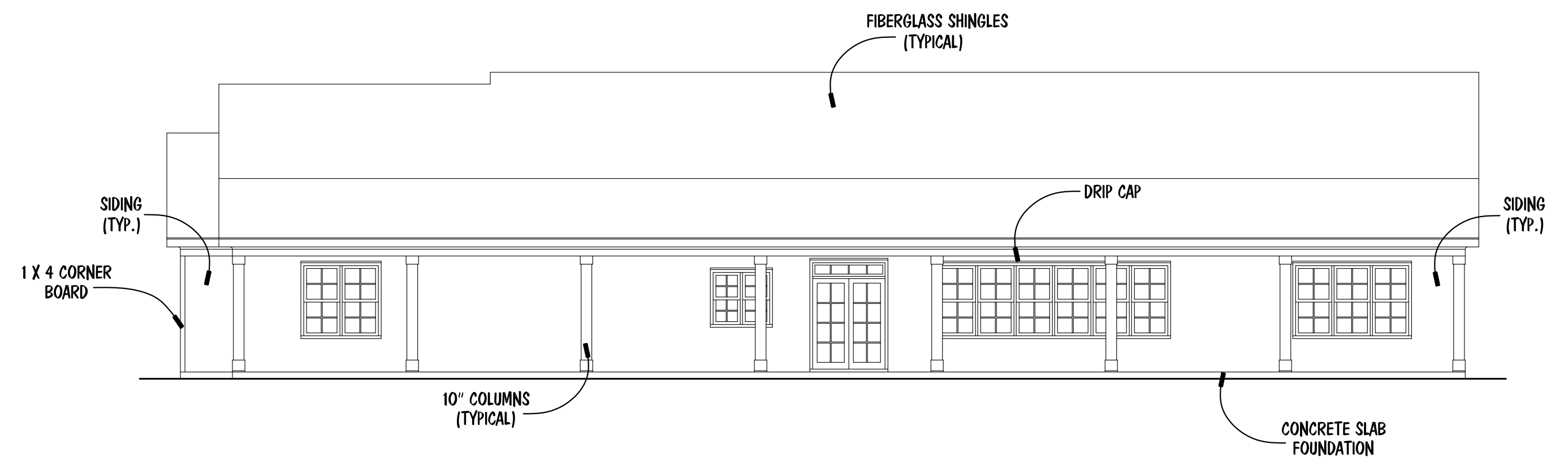
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



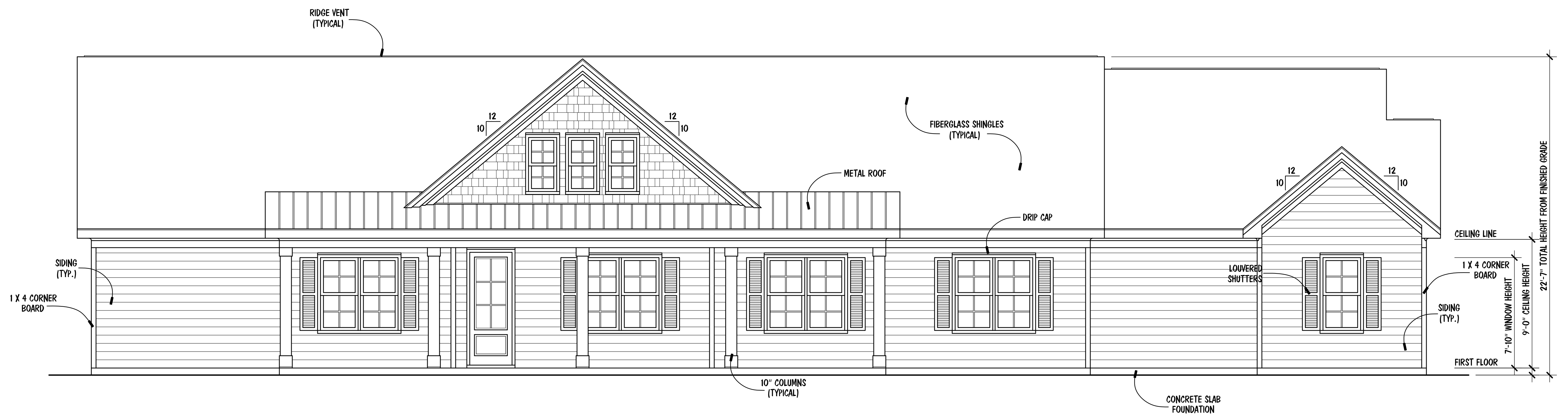
LEFT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

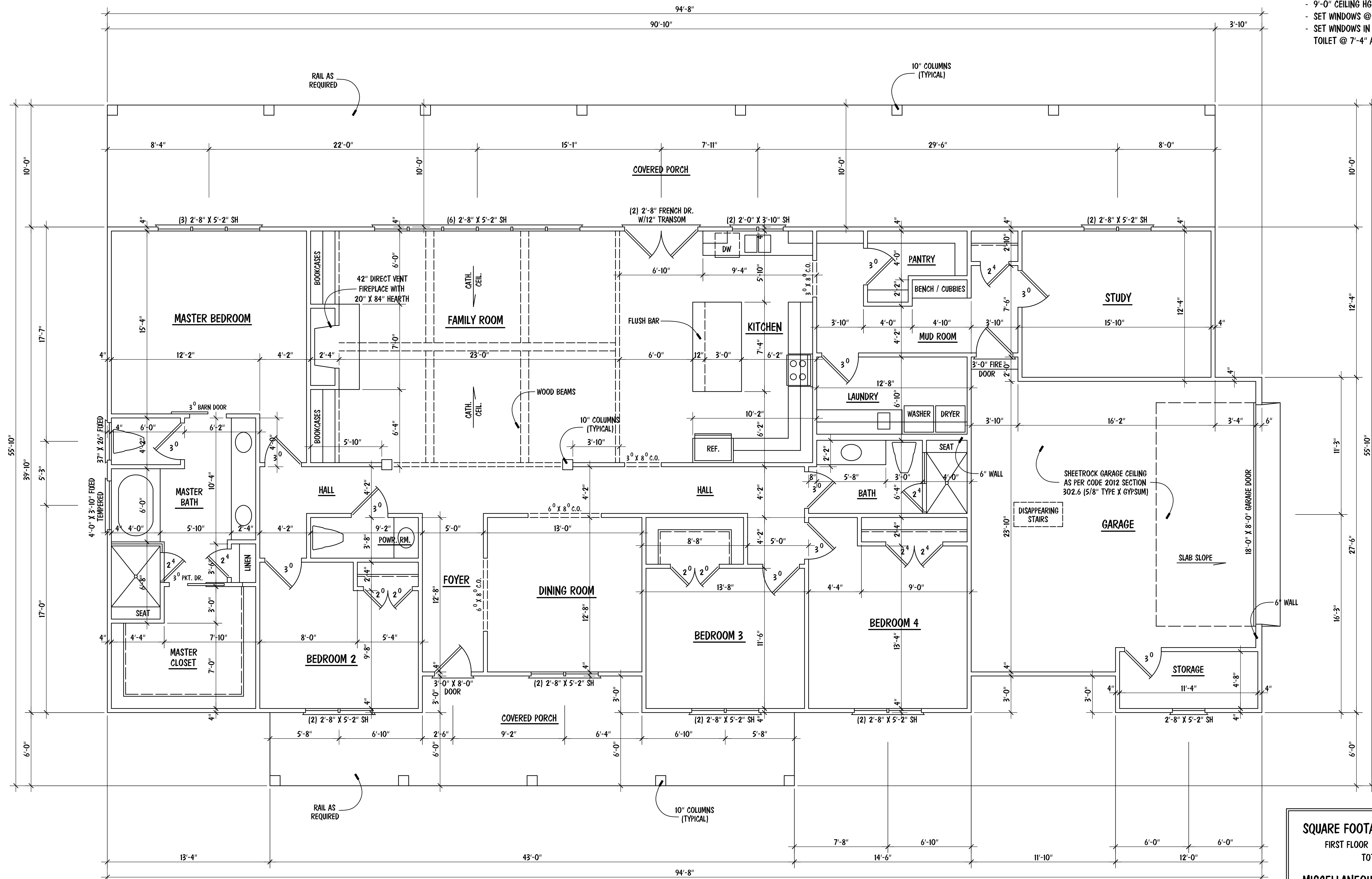


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

NOTES:

- 9'-0" CEILING HGT. (TYP.) U.N.O.
- SET WINDOWS @ 7'-10" A.F.F. (TYP.) U.N.O.
- SET WINDOWS IN KITCHEN & MASTER BATH TOILET @ 7'-4" A.F.F.



SQUARE FOOTAGE	
FIRST FLOOR	3013
TOTAL	3013
MISCELLANEOUS	
GARAGE	621
FRONT PORCH	312
REAR PORCH	908

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

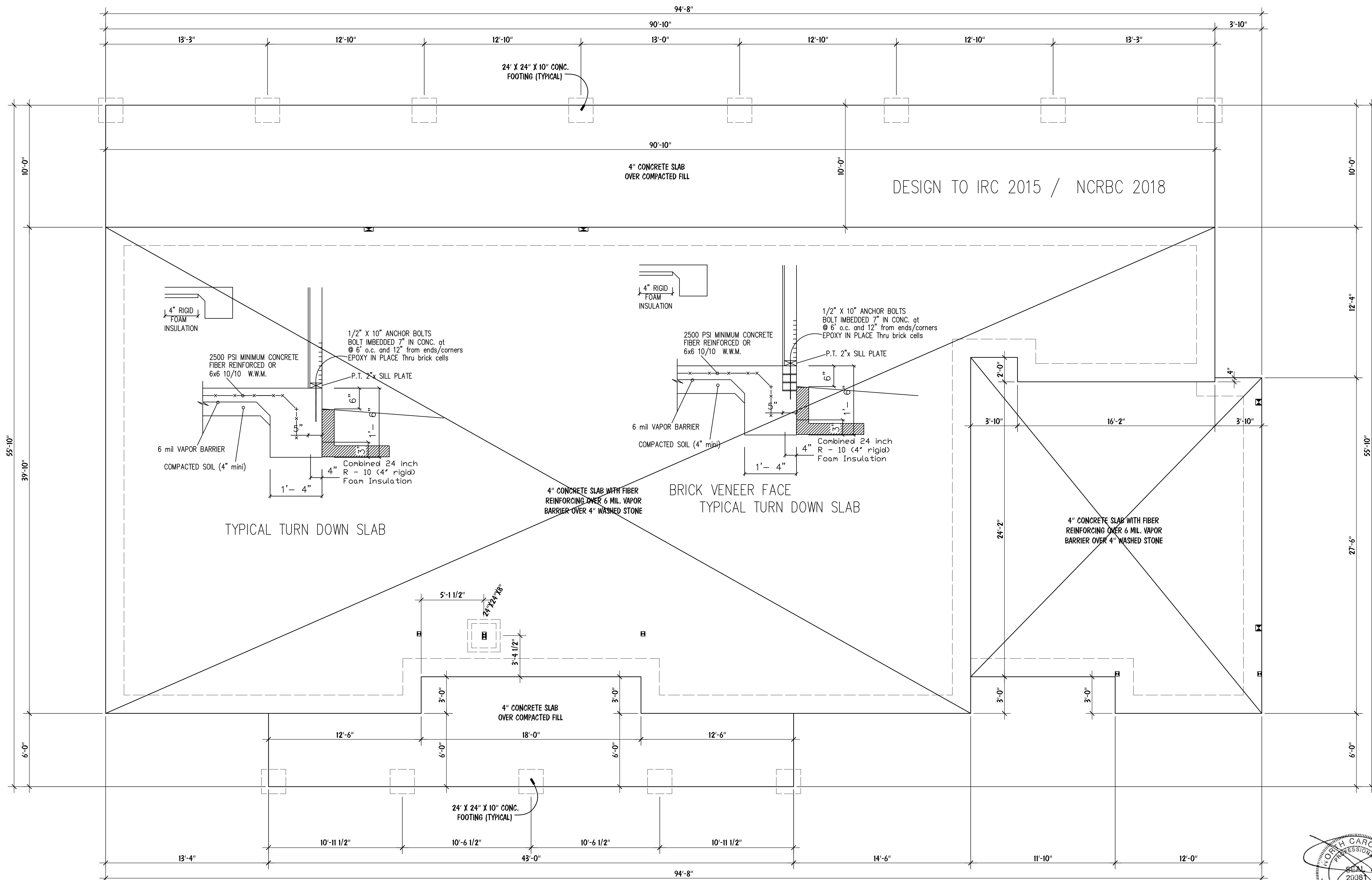
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THE
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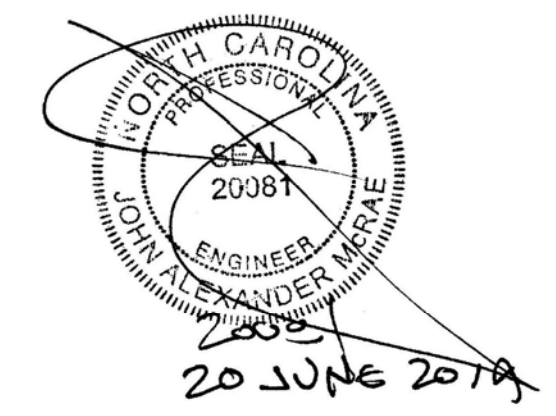
Hall Contractors, Inc.
 Office: 954.707.1887

ENGR. #:
 DATE: 01-07-19
 SHEET: A-2
 PLAN #: 19-010719



DESIGN TO IRC 2015 / NCRBC 2018

Structural Design By:
 John Alexander McRae, PE, Inc
 218 Coley Farm Road
 Fuquay-Varina North Carolina 27526
 jampe@nc.rr.com (919) 210-5749
 P O Box 1466 Apex, NC 27502
 Report deficiencies immediately
 1906-34
 (NC C-2298)



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

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ENGR. #:	
DATE:	01-07-19
SHEET:	S-1
PLAN #:	19-010719

NOTES:

- MEAN ROOF HEIGHT FOR THIS STRUCTURE IS 16'-6"

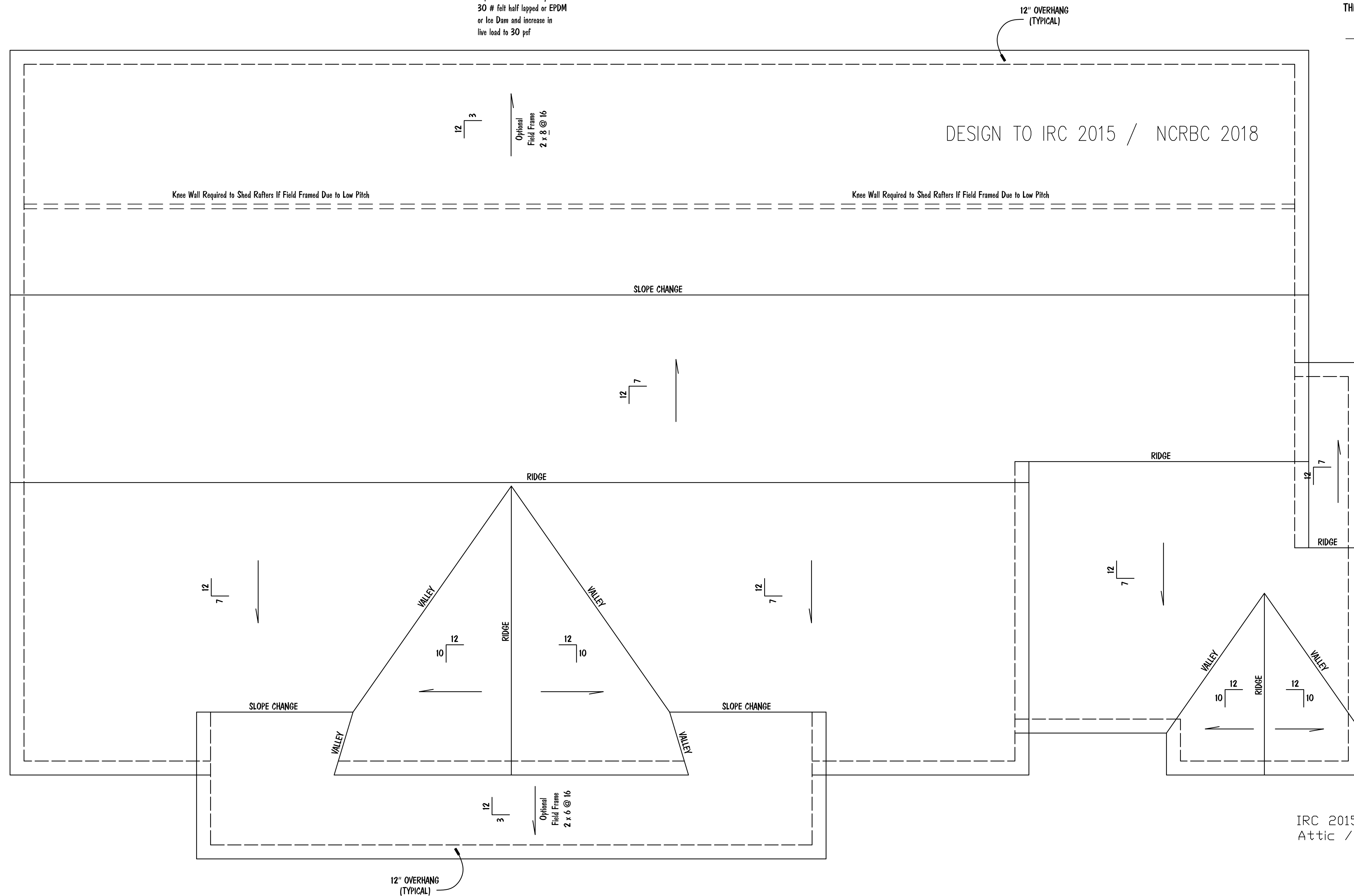
ATTIC VENTILATION:

$\frac{4854}{300}$ SQUARE FEET = $\frac{16.18}{}$ REQUIRED

THE NET FREE AREA OF VENTILATION REQUIRED IS TO BE

$\frac{16.18}{}$ SQUARE FEET.

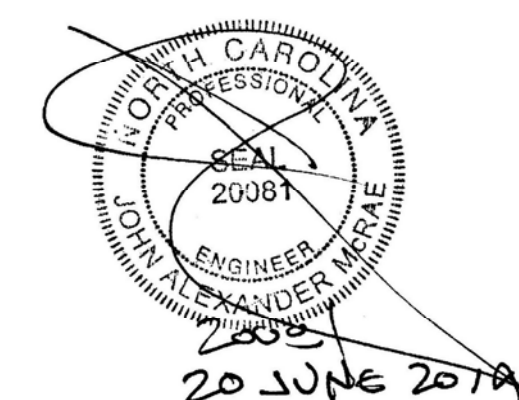
Lower Roof Pitches below 4:12 require alternate underlayment 30 # felt half lapped or EPDM or Ice Dam and increase in live load to 30 psf



MAIN RAFTERS TO BE TRUSS BY MFR

- all rafters 2 x 8 @ 16 #2 spf or better
- all ridges 2 x 10 u.n.o. for ridge as required to provide full rafter contact
- for rafters as required to meet insulation code

IRC 2015 / NCRBC 2018 Increases Attic / Ceiling Insulation to R-38



Structural Design By:
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ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

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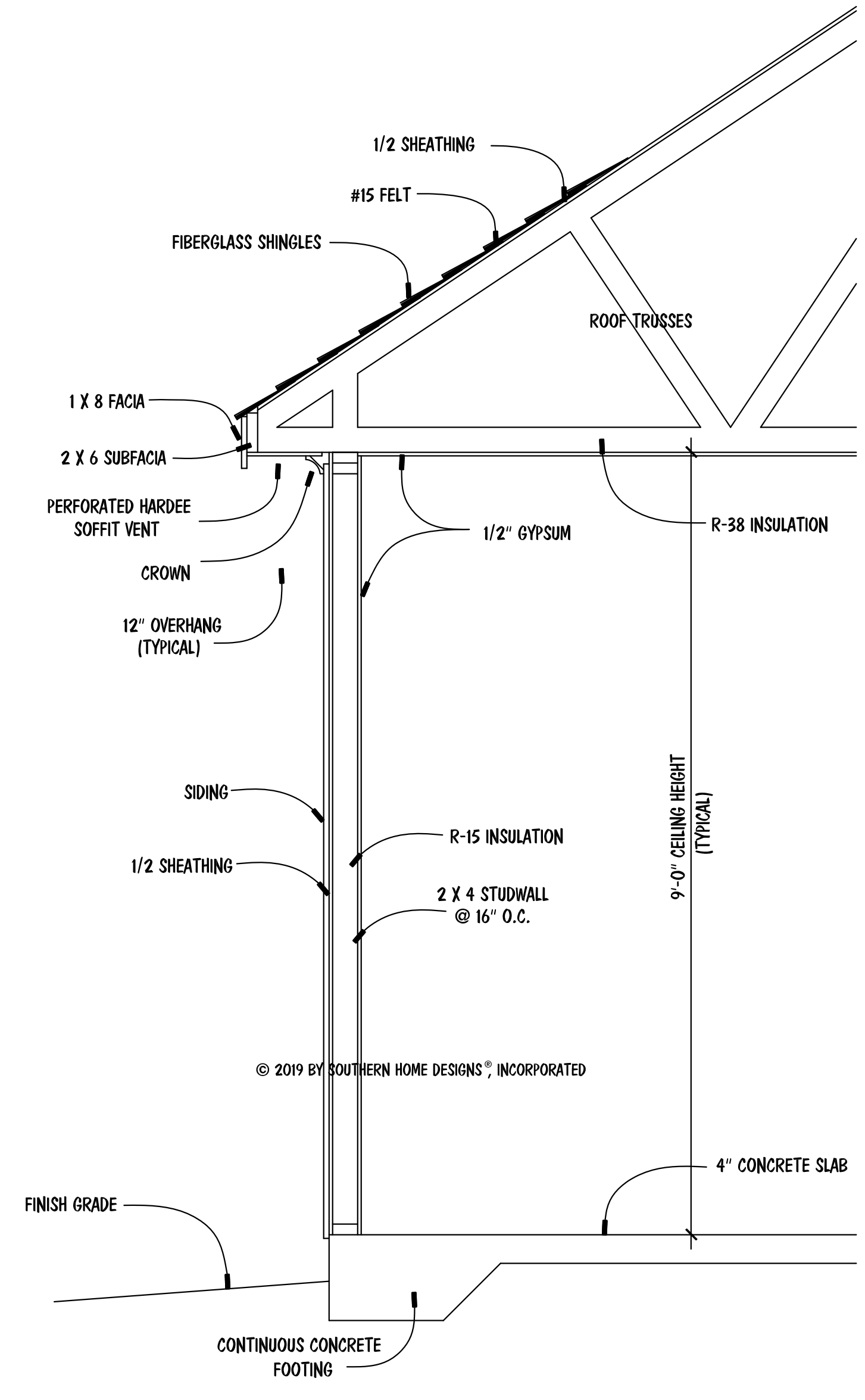
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ENGR. #:	
DATE:	01-07-19
SHEET:	S-3
PLAN #:	19-010719

INSULATION VALUES	
WALLS	R-15
FLOORS	R-19
CEILING	R-38



TYPICAL SECTION
3/4" = 1'-0"

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STR. DETAIL PLAN

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ENGR. #:	
DATE:	01-07-19
SHEET:	A-3
PLAN #:	19-010719