



Copyrighted © Donald A. Gardner Architects, Inc.
and/or Donald A. Gardner, Inc.

REG # 326618

These plans may be used to construct **ONE** house only and the license **CANNOT** be transferred. By violating this copyright it is a violation of federal copyright statute which provides damages for each infringement from \$250 up to \$150,000.

Permission to construct the building depicted in the drawings is expressly conditioned on the full and timely payment of all fees otherwise due Donald A. Gardner Architects, Inc. And/or Donald A. Gardner, Inc. See additional license terms on "License to Build" document.

This copyright notice is "copyright management information" under the Digital Millennium Copyright Act, and Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. requires its inclusion on all copies to discourage and police copyright infringement. Unauthorized reproduction or usage of these documents or removal of the notification is subject to prosecution.

For questions call 1-800-388-7580

ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS AND MANUFACTURER'S INSTRUCTIONS ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE AT VARIANCE. THESE PLANS ARE NOT DRAWN FOR ANY PARTICULAR LOCAL. YOU ARE RESPONSIBLE FOR DETERMINING AND ENSURING COMPLIANCE WITH ALL APPLICABLE CODES AND MANUFACTURER'S REQUIREMENTS.

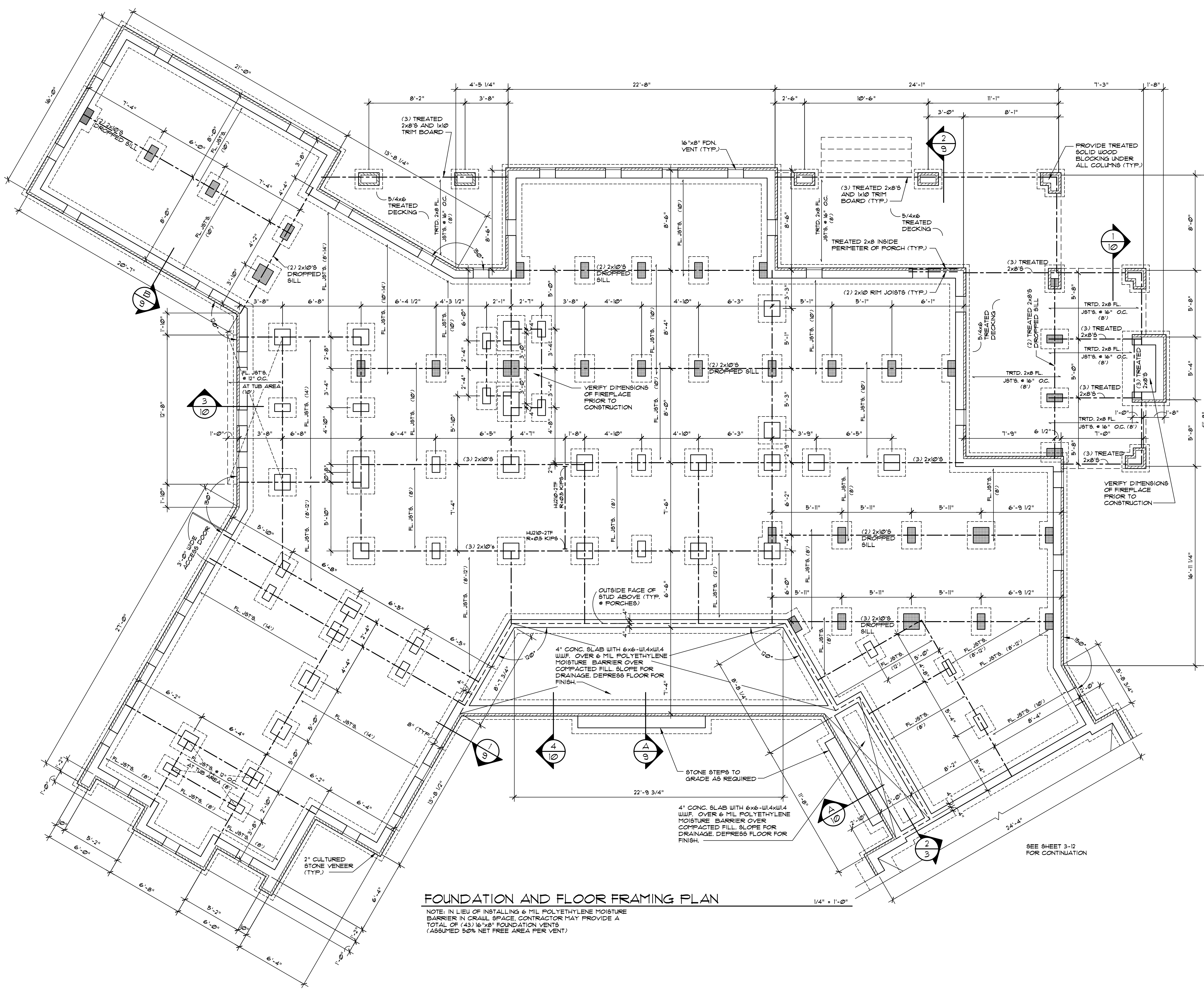
MODIFICATIONS BY
DONALD A. GARDNER
DESIGN SERVICES, LLC

DONALD A. GARDNER, INC.
P. O. BOX 26178 • GREENVILLE S. C. • 29616
864 • 288 • 7580
www.dongardner.com

CEDAR CREEK
DESIGN NO.
M19105-953-MR
SHEET OF 12 DR ENO
COVER SHEET

DO NOT SCALE DRAWINGS.
COPYRIGHT © 3/12/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION

E:\MODIFICATIONS\19105-953-MR\19105-953-MRCS.DWG 08/21/19 08:57



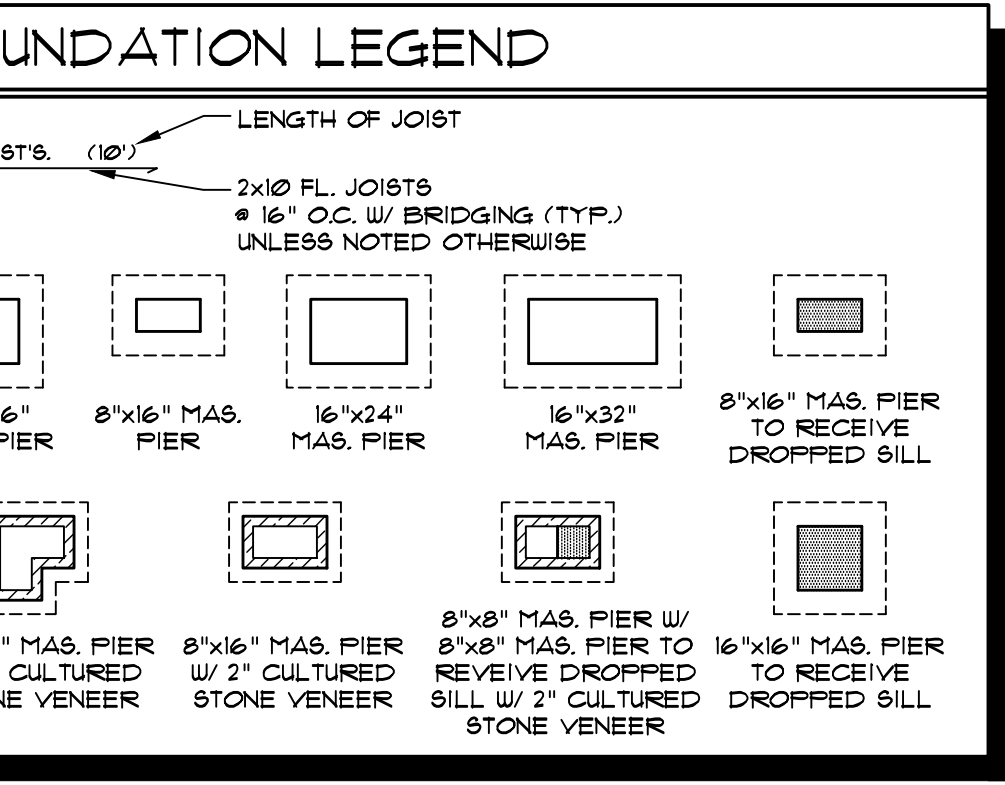
FOUNDATION AND FLOOR FRAMING PLAN

NOTE: IN LIEU OF INSTALLING 6 MIL POLYETHYLENE MOISTURE BARRIER IN CRAWL SPACE, CONTRACTOR MAY PROVIDE A TOTAL OF (43) 16"x8" FOUNDATION VENTS (ASSUMED 50% NET FREE AREA PER VENT)

GENERAL NOTES

- A. GENERAL:**
- AT THE TIME OF CREATION, PLANS CONFORM TO "CABO ONE AND TWO FAMILY DWELLING CODE" OR THE INTERNATIONAL RESIDENTIAL CODE. HOWEVER MODIFICATIONS MAY BE NECESSARY TO COMPLY WITH LOCAL AND STATE CODES.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS.
 - CONTRACTOR SHALL COMPLY WITH THE CONTENTS OF THE SPECIFICATIONS FOR THIS HOUSE.
 - ALL WOOD USED IN CONSTRUCTION OF DECKS AND STEPS SHALL BE TREATED. FASTENERS FOR TREATED WOOD (NAILS, BOLTS, HANGERS, ETC.) SHALL BE GALVANIZED.
 - CONTRACTOR SHALL INSTALL GROUND FAULT INTERRUPT OUTLETS AS PER CODE.
 - INSTALL ROOFING MATERIALS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS FOR THE AREA AND CLIMATE, INCLUDING BUT NOT LIMITED TO SHINGLES, TILES, FELTS, FLASHING, AND FASTENING DEVICES.
 - HEARTH DIMENSIONS DETERMINED BY CODE.
 - INSTALL ALL EXTERIOR FINISH MATERIALS PER MANUFACTURER'S RECOMMENDATIONS (I.E. CONTROL JOINTS, ATTACHMENT/ANCHORING DEVICES, FLASHING, SEALANTS, ETC.)
- B. FRAMING:**
- JOIST SPANS WERE DETERMINED ON THE BASIS OF THE ALLOWABLE STRESSES IN THE "1991" GRADING RULES OF THE SOUTHERN INSPECTION BUREAU (GRADE NUMBER 110) (2) KILN DRIED.
 - PROVIDE DOUBLE JOISTS BELOW ALL PARALLEL PARTITIONS, ABOVE AND AROUND ALL OPENINGS NOT INDICATED ON DRAWINGS.
 - PROVIDE SOLID BLOCKING BETWEEN FLOOR JOISTS UNDER WALLS THAT ARE PERPENDICULAR TO FLOOR JOISTS.
 - SHEATH ALL EXTERIOR WALLS WITH NOMINAL 1/2" STRUCTURAL GRADE 2 PLYWOOD OR NOMINAL 1/2" OSB (ORIENTED STRAND BOARD).
- C. VENTILATION:**
- PROVIDE CONTINUOUS RIDGE VENTS ON ALL ROOFS. LOCATE DOUBLE RIDGE BEAMS TO ALLOW FOR PROPER INSTALLATION OF RIDGE VENTS.
 - PROVIDE CONTINUOUS ROOF TO WALL VENTS AT ALL JUNCTURES OF SLOPED ROOFS AND VERTICAL WALLS.
- D. FOOTINGS:**
- CARRY ALL FOOTINGS TO FIRM UNDISTURBED BEARING:
 - A. 16" x 12" FOOTING FOR 8" OR 9" FOUNDATION WALL WITH (2) #4 REIN. RODS CONTINUOUS.
 - B. 24" x 12" FOOTING FOR 12" FOUNDATION WALL WITH (2) #4 REIN. RODS CONTINUOUS.
- E. PIER FOOTINGS:**
- PIER FOOTINGS (TYPICAL UNLESS NOTED OTHERWISE)
- PROVIDE 1'-8"x2'-4"x1'-0" DEEP CONCRETE FOOTING WITH (3) #4 REIN. RODS EACH WAY UNDER 8"x16" MASONRY PIERS.
 - PROVIDE 2'-4" SQUARE x 1'-0" DEEP CONCRETE FOOTING WITH (3) #4 REIN. RODS EACH WAY UNDER 16" SQUARE MASONRY PIERS.
 - PROVIDE 2'-4"x3'-0"x1'-0" DEEP CONCRETE FOOTING WITH (3) #4 REIN. RODS EACH WAY UNDER 16"x24" MASONRY PIERS.
 - PROVIDE 2'-4"x3'-8"x1'-0" DEEP CONCRETE FOOTING WITH (3) #4 REIN. RODS EACH WAY UNDER 16"x32" MASONRY PIERS.
 - FILL PIERS SOLID WITH 2500 P.S.I. CONCRETE, TYPICAL. HEIGHT OF PIERS:
 - A. PIERS LESS THAN 36" IN HEIGHT MAY BE 8"x16" OR AS NOTED ON FOUNDATION PLAN.
 - B. PIERS BETWEEN 36" AND 80" IN HEIGHT SHALL BE A MINIMUM OF 16"x16".
 - C. PIERS GREATER THAN 80" IN HEIGHT SHALL BE A MINIMUM OF 16"x16" WITH (4) CONTINUOUS #5 BARS.
- F. CHIMNEY CONSTRUCTION:**
- USE NOMINAL 1/2" STRUCTURAL GRADE 2 PLYWOOD OR NOMINAL 1/2" OSB (ORIENTED STRAND BOARD) SHEATHING.
 - SPICES ONLY ONE CORNER STUD AT ANY SPICE. STAGGER SPICES AT LEAST 3'-0" AND USE (4) STUDS PER CORNER AND 1/2" O.C. AT ALL INTERMEDIATE SUPPORTS.
 - PROVIDE BLOCKING BETWEEN STUDS AT 4'-0" INTERVALS.
 - CONTRACTOR TO VERIFY CHIMNEY FINISH MATERIAL WITH OWNER PRIOR TO CONSTRUCTION. IF BRICK MASONRY IS REQUIRED, CONTRACTOR TO MODIFY CONSTRUCTION OF FIREPLACE AND CHIMNEY AS REQUIRED.

Copyrighted © Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc.
REG # 326618
 These plans may be used to construct ONE house only and the license CANNOT be transferred. By violating this copyright it is a violation of federal copyright statute which provides damages for each infringement from \$250 up to \$150,000.
 Permission to construct the building depicted in the drawings is expressly conditioned on the full and timely payment of all fees otherwise due Donald A. Gardner Architects' Inc. And/or Donald A. Gardner, Inc. See additional license terms in "License to Build" document.
 This copyright notice is "copyright management information" under the Digital Millennium Copyright Act, and Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. requires its inclusion on all copies to discourage and police copyright infringement. Unauthorized reproduction or usage of these documents or removal of the notification is subject to prosecution.
 For questions call 1-800-388-7580



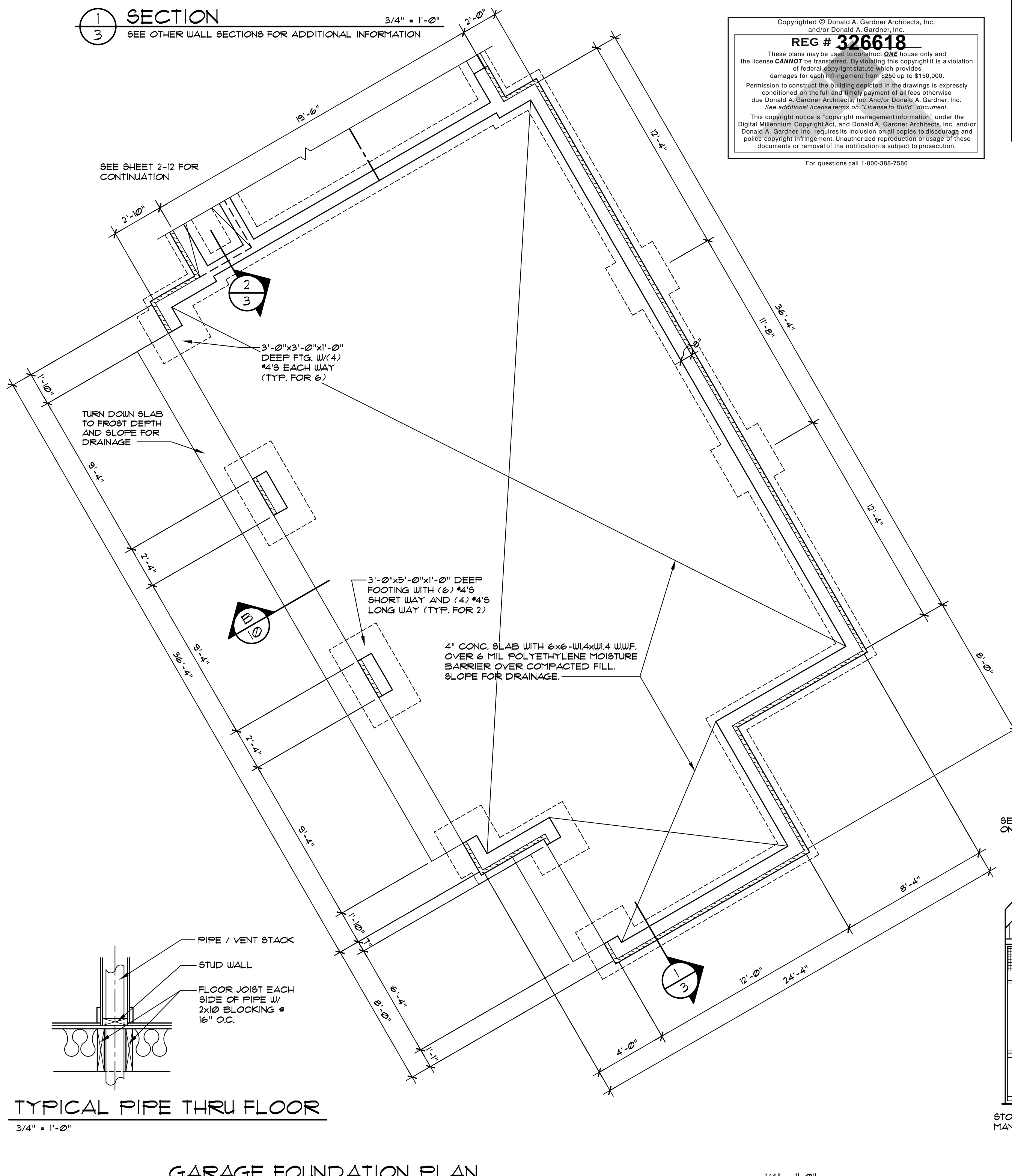
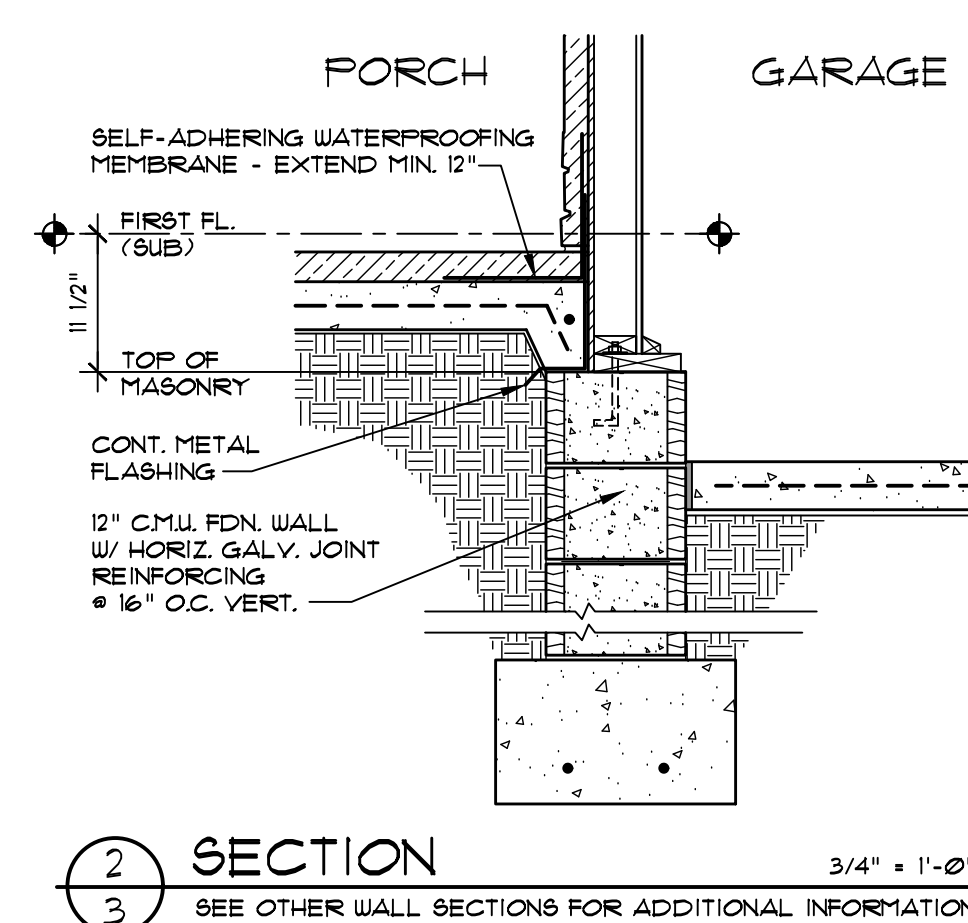
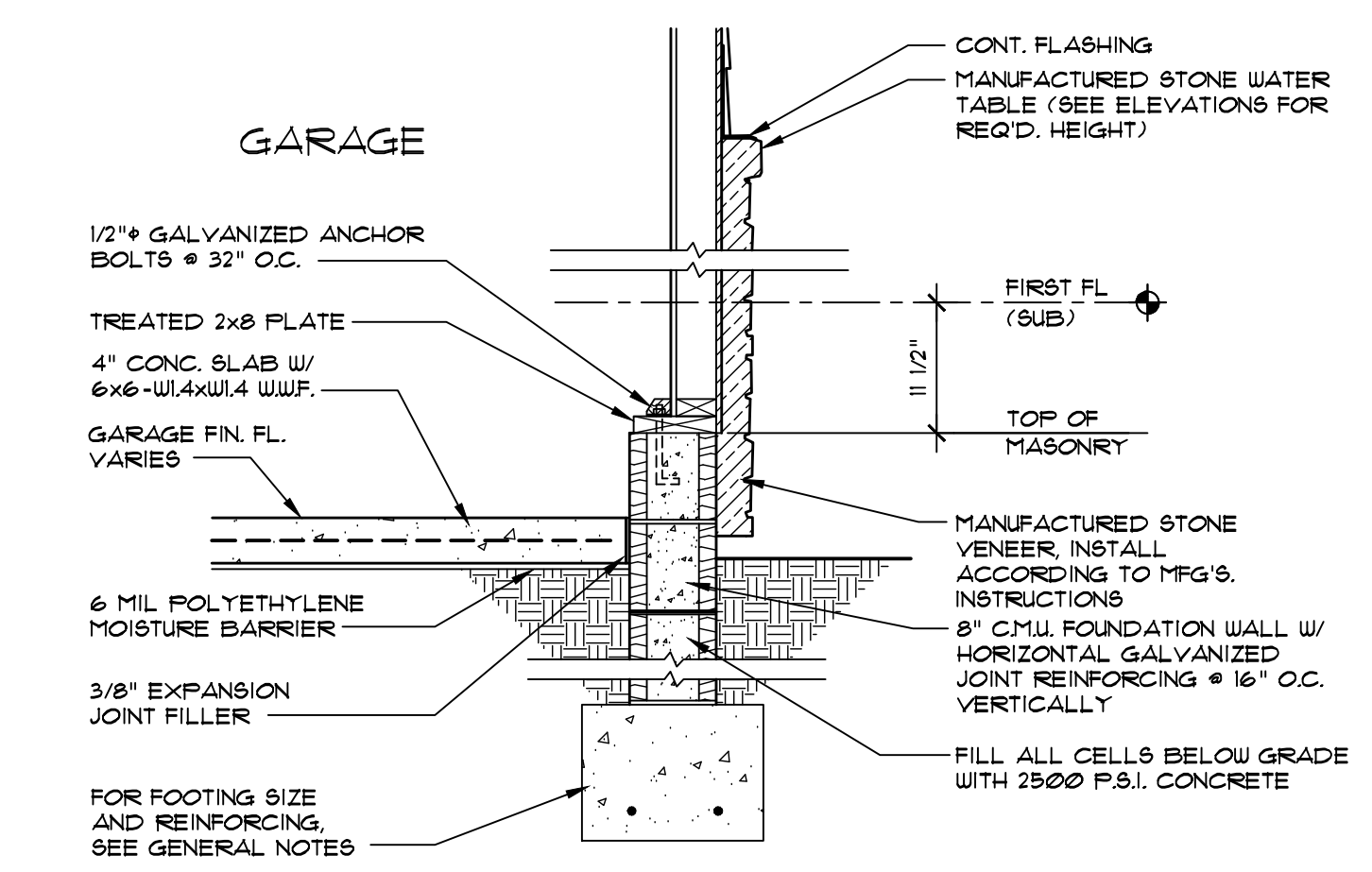
DO NOT SCALE DRAWINGS.
 COPYRIGHT © 3/12/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
 NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION

ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS AND MANUFACTURER'S INSTRUCTIONS ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE AT VARIANCE. THESE PLANS ARE NOT DRAWN FOR ANY PARTICULAR LOCALITY. YOU ARE RESPONSIBLE FOR DETERMINING AND ENSURING COMPLIANCE WITH ALL APPLICABLE CODES AND MANUFACTURER'S REQUIREMENTS.

MODIFICATIONS BY
DONALD A. GARDNER
 DESIGN SERVICES, L.L.C.

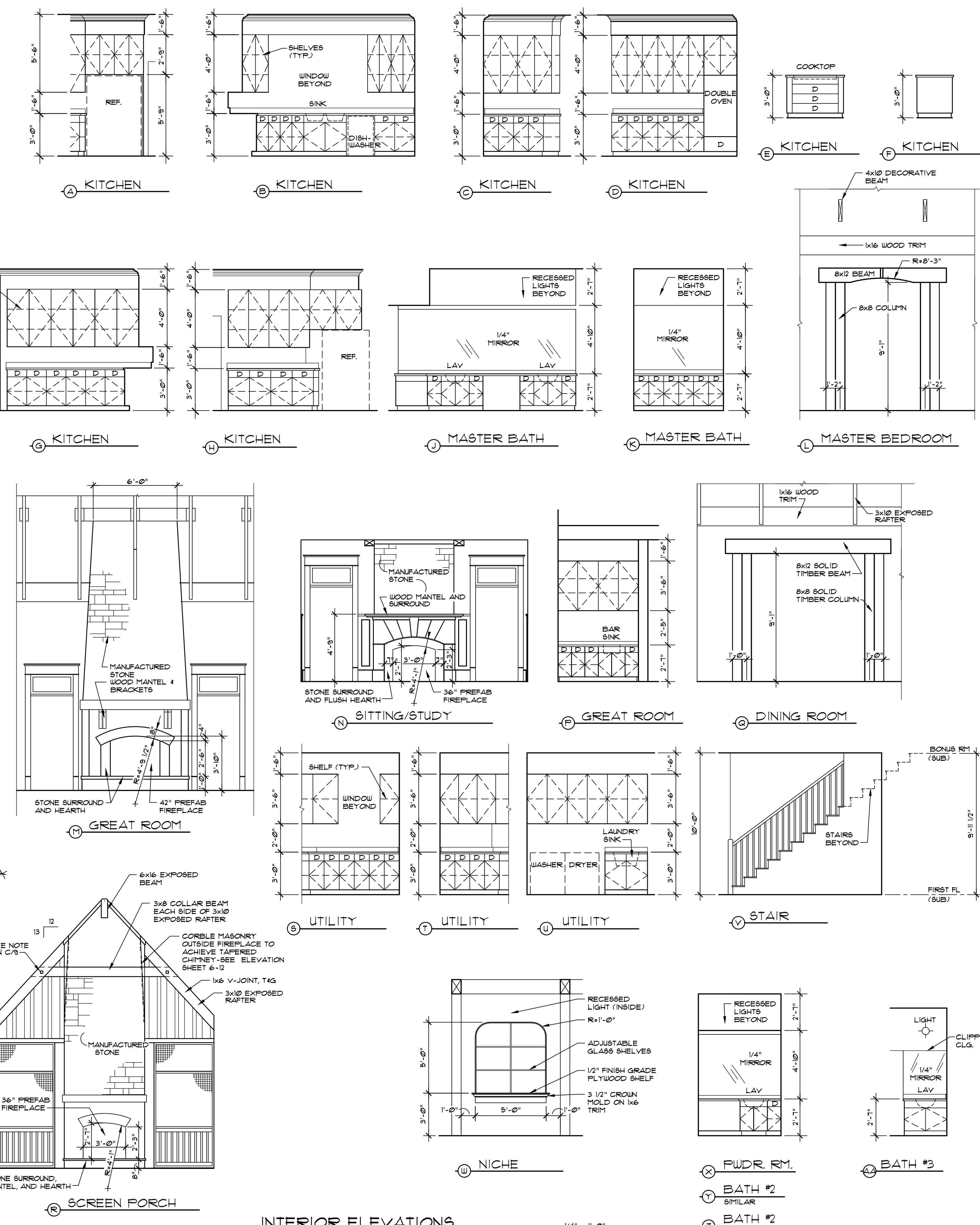
DONALD A. GARDNER, INC.
 P. O. BOX 26178 • GREENVILLE S. C. • 29616
 864.288.7580
www.dongardner.com

DESIGN NO. **M19105-959-MR**
 SHEET OF **2** OF **12** ENO
 FOUNDATION PLAN



GARAGE FOUNDATION PLAN
1/4" = 1'-0"

Copyrighted © Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc.
REG # 326618
These plans may be used for ONE house only and the license CANNOT be transferred. By violating this copyright is a violation of federal copyright laws which provides damages for each infringement from \$250 up to \$150,000.
Permission to construct the building depicted in the drawings is expressly conditioned on the full and timely payment of all fees otherwise due Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc.
See additional license terms on "License to Build" document.
This copyright notice is "copyright management information" under the Digital Millennium Copyright Act, and Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. reserves its inclusion on all copies to discourage and police copyright infringement. Unauthorized reproduction or usage of these documents or removal of the notice is subject to prosecution.
For questions call 1-900-388-7580



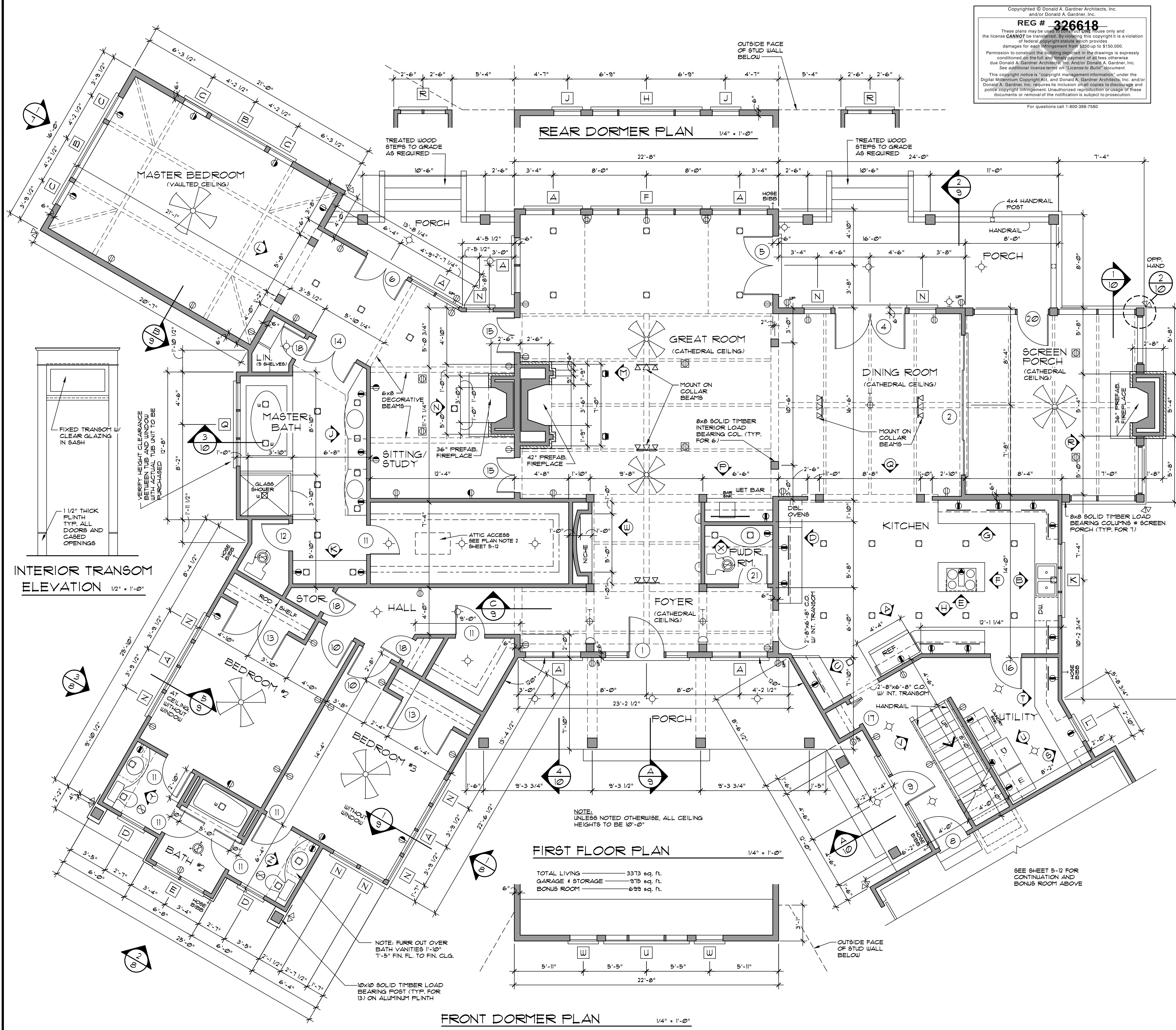
ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS AND MANUFACTURER'S INSTRUCTIONS ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE AT VARIANCE. THESE PLANS ARE NOT DRAWN FOR ANY PARTICULAR LOCAL. YOU ARE RESPONSIBLE FOR DETERMINING AND ENSURING COMPLIANCE WITH ALL APPLICABLE CODES AND MANUFACTURER'S REQUIREMENTS.

MODIFICATIONS BY **DONALD A. GARDNER DESIGN SERVICES, LLC**

DONALD A. GARDNER, INC.
P. O. BOX 26178 • GREENVILLE S.C. • 29616
864 • 288 • 7580
www.dongardner.com

DESIGN NO. **M1905-959-MR**
SHEET OF **3** DR **12** ENO
GARAGE FOUNDATION PLAN AND INTERIOR ELEVATIONS

DO NOT SCALE DRAWINGS.
COPYRIGHT © 3/12/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION



WINDOW SCHEDULE				SYMBOL
MARK	SIZE	QUAN.	DESCRIPTION	
A	(2) 2'-4" x 6'-0"	2	CSMT, W/ 16" TRANSOM	
B	5'-4" x 6'-0"	2	FIXED, W/ ARCH TOP TRANSOM *	
C	2'-4" x 6'-0"	4	CSMT, W/ ARCH TOP TRANSOM *	
D	2'-4" x 4'-6"	2	CSMT, W/ 16" TRANSOM	
E	(2) 2'-4" x 5'-0"	1	CSMT, ARCH TOP *	
F	(4) 2'-4" x 6'-0"	1	CSMT, W/ ARCH TOP TRANSOM *	
H	2'-2" x 3'-4"	1	FIXED ARCH TOP *	
J	2'-4" x 1'-4"	2	FIXED, PARTIAL ARCH TOP *	
K	(3) 2'-0" x 4'-6"	1	CSMT - CENTER UNIT FIXED	
L	2'-4" x 4'-2"	1	CSMT	
M	(3) 2'-4" x 4'-6"	1	CSMT - CENTER UNIT FIXED	
N	2'-4" x 6'-0"	9	CSMT, W/ 16" TRANSOM	
P	(2) 2'-1" x 4'-11"	3	CSMT	
Q	(3) 2'-4" x 4'-6"	1	CSMT, W/ 16" TRANSOM - CENTER UNIT FIXED	
R	(2) 1'-8" x 5'-0"	5	CSMT	
U	1'-10" x 3'-8"	1	FIXED, ARCH TOP *	
W	1'-10" x 3'-8"	1	FIXED, ARCH TOP *	
W	1'-10" x 2'-4"	2	FIXED, PARTIAL ARCH TOP *	

ALL WINDOWS ARE INSULATED AND WEATHERSTRIPPED. VERIFY LOCAL CODE EGRESS WINDOW REQUIREMENTS PRIOR TO CONSTRUCTION. WINDOW MANUFACTURER TO PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE. VERIFY WINDOW MODEL NUMBERS AND SIZES WITH MANUFACTURER BEFORE STARTING CONSTRUCTION.

* SEE ELEVATIONS

** VERIFY SKYLIGHT INSTALLATION REQUIREMENTS BEFORE CONSTRUCTION. IF CURB INSTALLATION IS RECOMMENDED DUE TO CLIMATIC CONDITIONS, MODEL NUMBER AND/OR ROUGH OPENING SIZE MAY VARY.

DOOR SCHEDULE				SYMBOL
MARK	SIZE	QUAN.	DESCRIPTION	
1	3'-0" x 6'-8"	1	EXT. 3/4 GLASS W/ (2) 1'-10" SIDELIGHTS & ARCH TOP TRANSOM **	
2	(4) 3'-0" x 6'-8"	1	EXT. SLIDING GLASS W/ 16" TRANSOM	
3	-	-	NOT USED	
4	(2) 3'-0" x 6'-8"	1	EXT. FULL GLASS W/ 16" TRANSOM	
5	(2) 2'-6" x 6'-8"	1	EXT. FULL GLASS W/ 16" TRANSOM	
6	(2) 2'-0" x 6'-8"	1	EXT. FULL GLASS W/ 16" TRANSOM	
7	(2) 3'-0" x 7'-0"	1	EXT. W/ CURVED HEAD	
8	2'-8" x 6'-8"	1	EXT. 1 HOUR FIRE-RATED	
9	2'-8" x 6'-8"	1	EXT. 3/4 GLASS W/ (2) 1'-10" SIDELIGHTS & 16" TRANSOM	
10	2'-8" x 6'-8"	2	INT. W/ 1'-3 1/2" TRANSOM *	
11	2'-6" x 6'-8"	6	INT.	
12	2'-4" x 6'-8"	2	INT.	
13	(2) 2'-6" x 6'-8"	2	INT.	
14	(2) 2'-0" x 6'-8"	1	INT.	
15	(2) 1'-6" x 6'-8"	2	INT. W/ 1'-3 1/2" TRANSOM *	
16	2'-8" x 6'-8"	2	INT.	
17	2'-0" x 6'-8"	1	INT. BIFOLD	
18	2'-0" x 6'-8"	3	INT.	
19	9'-0" x 8'-0"	3	GARAGE **	
20	2'-8" x 6'-8"	1	SCREEN	
21	2'-6" x 6'-8"	1	INT. W/ 1'-3 1/2" TRANSOM *	

* SEE INTERIOR TRANSOM ELEVATION THIS SHEET

** SEE ELEVATIONS

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
⊕	DUPLEX OUTLET (GROUNDED TYPE)
⊕	WEATHER PROOF DUPLEX OUTLET
⊕	ABOVE COUNTER LOCATION
⊕	DUPLEX OUTLET, SWITCH TOP LEG
⊕	FLUSH FLOOR DUPLEX OUTLET, OWNER VERIFY LOCATION
⊕	220 VOLT OUTLET OR CONNECTION
⊕	CEILING MOUNTED LIGHT FIXTURE
⊕	WALL BRACKET MOUNTED LIGHT FIXTURE
⊕	SUSPENDED CEILING MOUNTED LIGHT FIXTURE
⊕	RECESSED DIRECTIONAL CEILING LIGHT FIXTURE
⊕	RECESSED CEILING LIGHT FIXTURE
⊕	RECESSED LIGHT FOR UET AREA
⊕	SURFACE MOUNTED FLUORESCENT LIGHT
⊕	SURFACE MOUNTED 8' FLUORESCENT LIGHT
⊕	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
⊕	CEILING MOUNTED PADDLE FAN W/ LIGHT
⊕	CEILING MOUNTED FAN - EXHAUST
⊕	CEILING MOUNTED FAN AND HEATER
⊕	CEILING MOUNTED FAN, LIGHT, AND HEATER
⊕	TRACK LIGHTING
⊕	WALL SCONCE

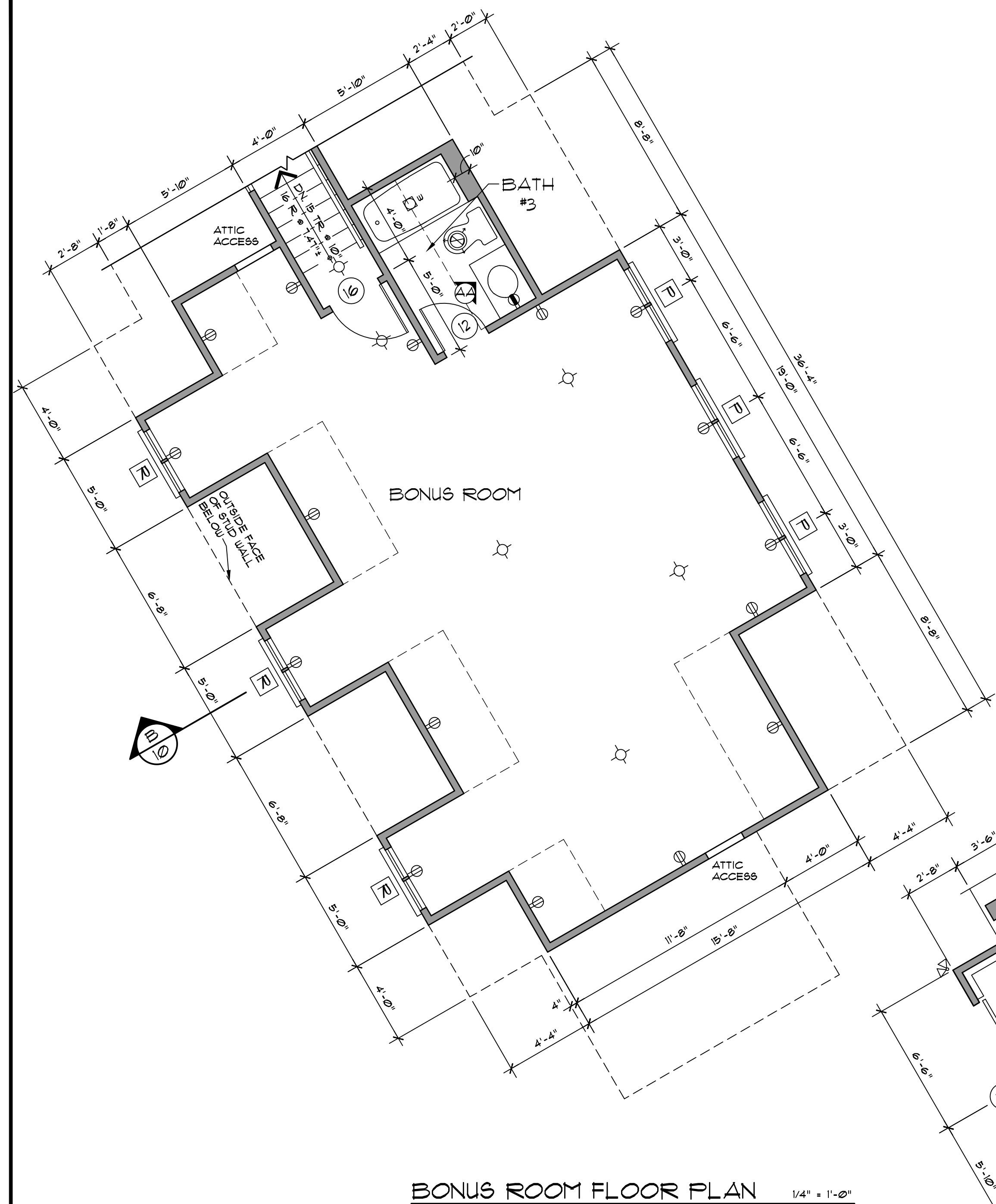
DO NOT SCALE DRAWINGS.
COPYRIGHT © 3/12/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION

ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS AND MANUFACTURER'S INSTRUCTIONS ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE AT VARIANCE. THESE PLANS ARE NOT DRAWN FOR ANY PARTICULAR LOCAL JURISDICTION. YOU ARE RESPONSIBLE FOR DETERMINING AND ENSURING COMPLIANCE WITH ALL APPLICABLE CODES AND MANUFACTURER'S REQUIREMENTS.

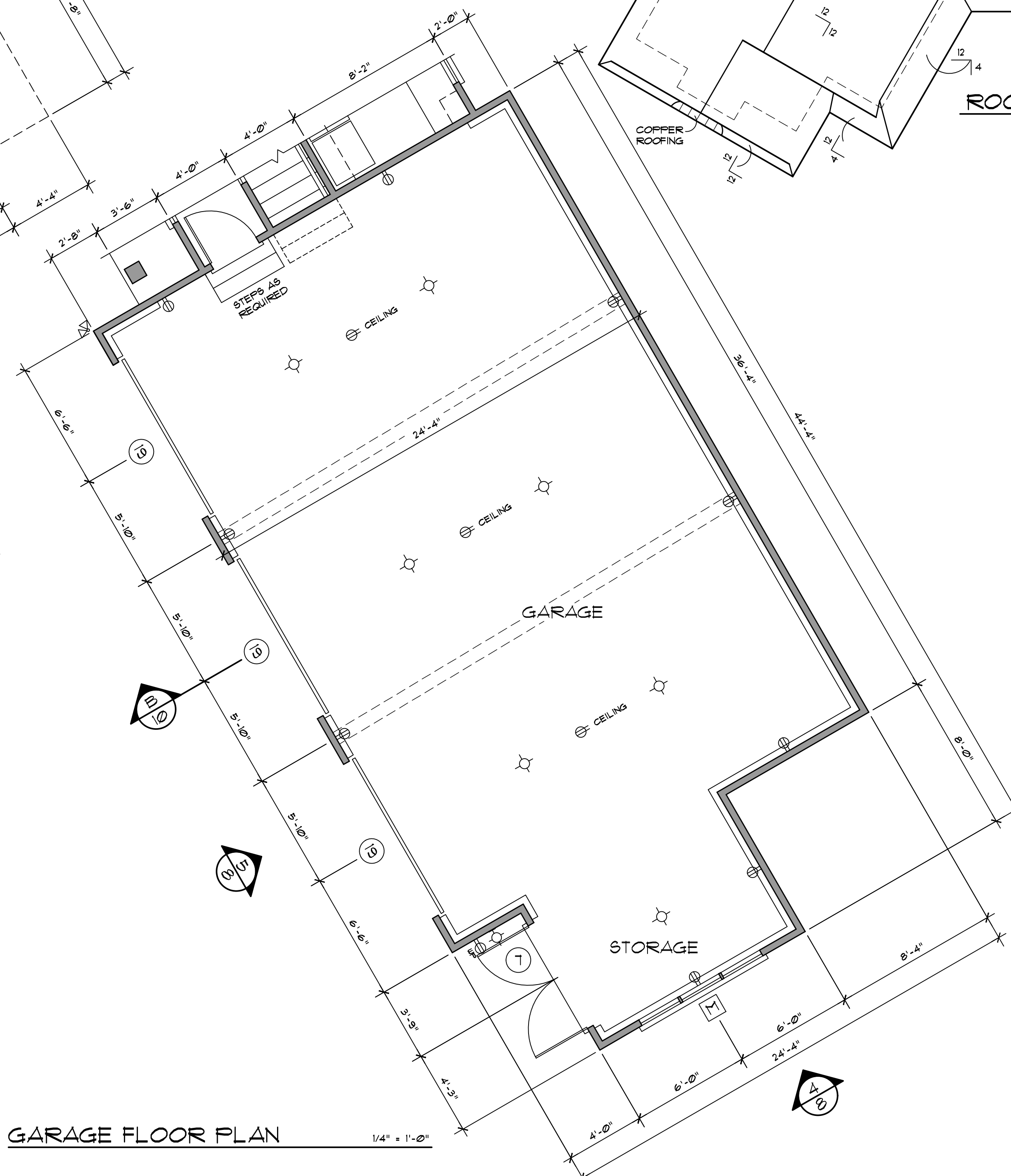
MODIFICATIONS BY
DONALD A. GARDNER
DESIGN SERVICES, L.L.C.

DONALD A. GARDNER, INC.
P. O. BOX 26178 • GREENVILLE S.C. • 29616
864 • 288 • 7580
www.dongardner.com

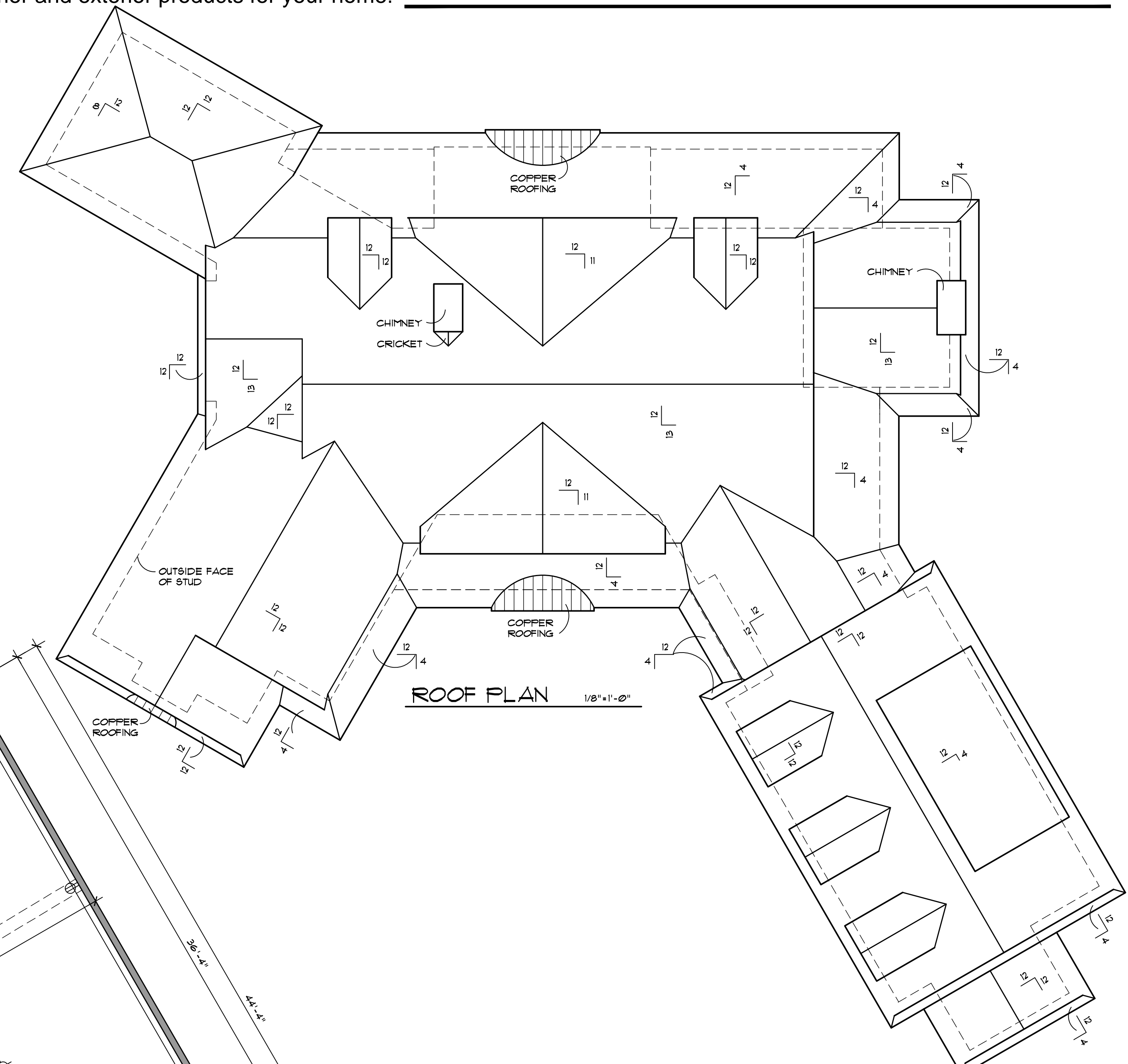
DESIGN NO. M1905-959-MR
SHEET OF 4 12 ENO
FLOOR PLAN



BONUS ROOM FLOOR PLAN 1/4" = 1'-0"



GARAGE FLOOR PLAN 1/4" = 1'-0"



ROOF PLAN 1/8" = 1'-0"

Copyrighted © Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc.
REG # 326618
 These plans may be used to construct ONE house only and the license **CANNOT** be transferred. By violating this copyright it is a violation of federal copyright statute which provides damages for each infringement from \$250 up to \$150,000.
 Permission to construct the building depicted in the drawings is expressly conditioned on the full and timely payment of all fees otherwise due Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. See additional license terms on "License to Build" document.
 This copyright notice is "copyright management information" under the Digital Millennium Copyright Act, and Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. requires its inclusion on all copies to discourage and police copyright infringement. Unauthorized reproduction or use of these documents or removal of the notification is subject to prosecution.
 For questions call 1-800-388-7580

- PLAN NOTES:**
1. VERIFY ALL LOCAL CODES, ENERGY TYPES, AND SITE CONDITIONS PRIOR TO CONSTRUCTION.
 2. REVIEW SELECTED MECHANICAL SYSTEMS WITH OWNER PRIOR TO CONSTRUCTION.
 REVIEW SUB-CONTRACTORS LOCATIONS OF THE WATER HEATER AND HVAC UNIT(S) WITH THE OWNER PRIOR TO CONSTRUCTION. VERIFY LOCAL BUILDING CODE REQUIREMENTS AND MANUFACTURER REQUIREMENTS FOR ATTIC, CRAWL SPACE, OR GARAGE LOCATIONS.
 HVAC EQUIPMENT IN THE ATTIC SPACE SHALL BE ACCESSIBLE BY AN OPENING LARGER THAN THE LARGEST PIECE OF EQUIPMENT (TO ALLOW REMOVAL OF THE EQUIPMENT) AND IN NO CASE LESS THAN 22"x36".
 3. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 4. INSULATE AROUND ALL BATHS AND UTILITY ROOM.
 5. TYPICAL WALL, 2x4'S @ 16" O.C., UNLESS OTHERWISE DIMENSIONED.
 6. PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE.
 7. PROVIDE DOORBELLS, TRANSFORMER, AND CHIME.

DO NOT SCALE DRAWINGS.
 COPYRIGHT © 3/12/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
 NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION

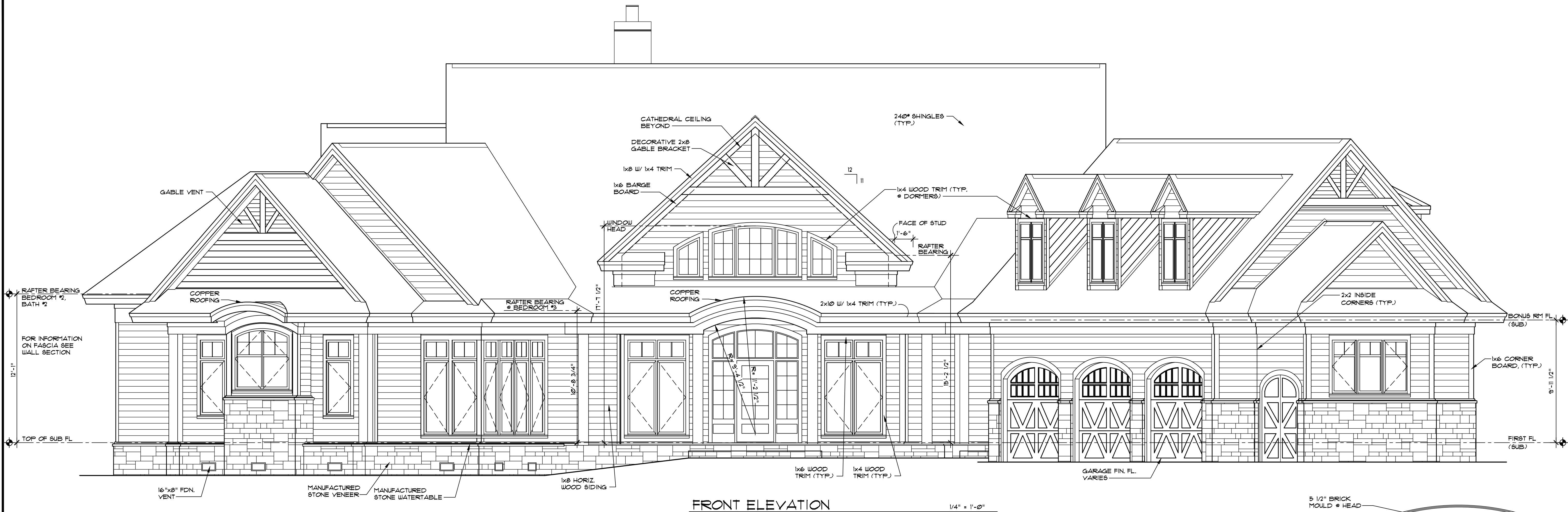
ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS AND MANUFACTURER'S INSTRUCTIONS ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE AT VARIANCE. THESE PLANS ARE NOT DRAWN FOR ANY PARTICULAR LOCAL. YOU ARE RESPONSIBLE FOR DETERMINING AND ENSURING COMPLIANCE WITH ALL APPLICABLE CODES AND MANUFACTURER'S REQUIREMENTS.

MODIFICATIONS BY
DONALD A. GARDNER
 DESIGN SERVICES, L.L.C.

DONALD A. GARDNER, INC.
 P. O. BOX 26178 • GREENVILLE S.C. • 29616
 864 • 288 • 7580
www.dongardner.com

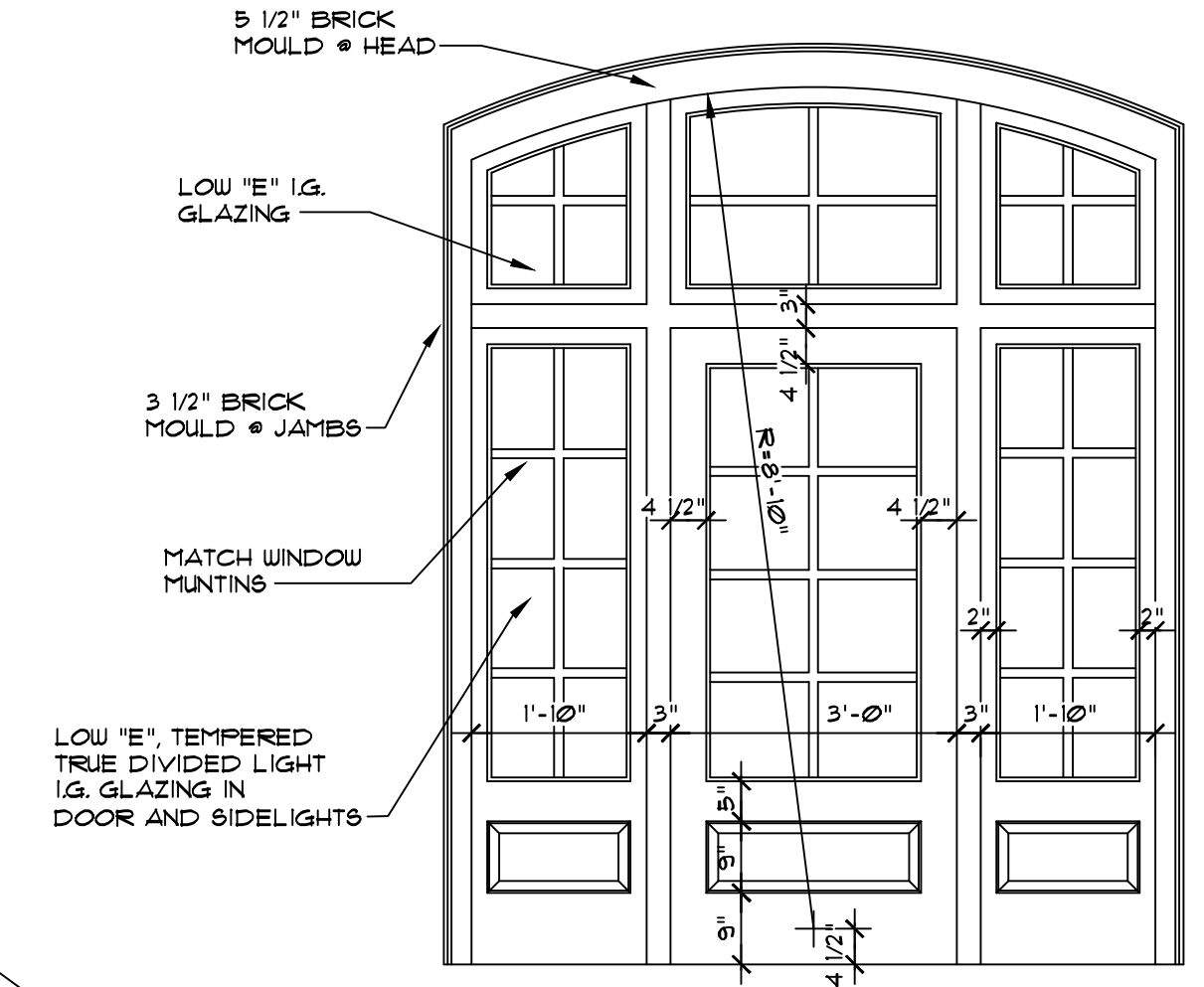
DESIGN NO. **M19105-959-MR**
 SHEET OF **5** DR **12** ENO
 GARAGE AND BONUS ROOM FLOOR PLANS AND ROOF PLAN

I:\MODIFICATIONS\19105-959-MR\19105-959-MR02.DWG 08/21/19 09:50



FRONT ELEVATION 1/4" = 1'-0"

Copyrighted © Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc.
REG # 326618
 These plans may be used to construct ONE house only and the license **CANNOT** be transferred. By violating this copyright it is a violation of federal copyright statute which provides damages for each infringement from \$250 up to \$150,000.
 Permission to construct the building depicted in the drawings is expressly conditioned on the full and timely payment of all fees otherwise due Donald A. Gardner Architects, Inc. And/or Donald A. Gardner, Inc. See additional license terms on "License to Build" document.
 This copyright notice is "copyright management information" under the Digital Millennium Copyright Act, and Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. requires its inclusion on all copies to discourage and police copyright infringement. Unauthorized reproduction or usage of these documents or removal of the notification is subject to prosecution.
 For questions call 1-800-388-7580



FRONT DOOR ELEVATION 1/2" = 1'-0"



RIGHT SIDE ELEVATION 1/4" = 1'-0"

ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS AND MANUFACTURER'S INSTRUCTIONS ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE AT VARIANCE. THESE PLANS ARE NOT DRAWN FOR ANY PARTICULAR LOCAL VARIANCE. YOU ARE RESPONSIBLE FOR DETERMINING AND ENSURING COMPLIANCE WITH ALL APPLICABLE CODES AND MANUFACTURER'S REQUIREMENTS.

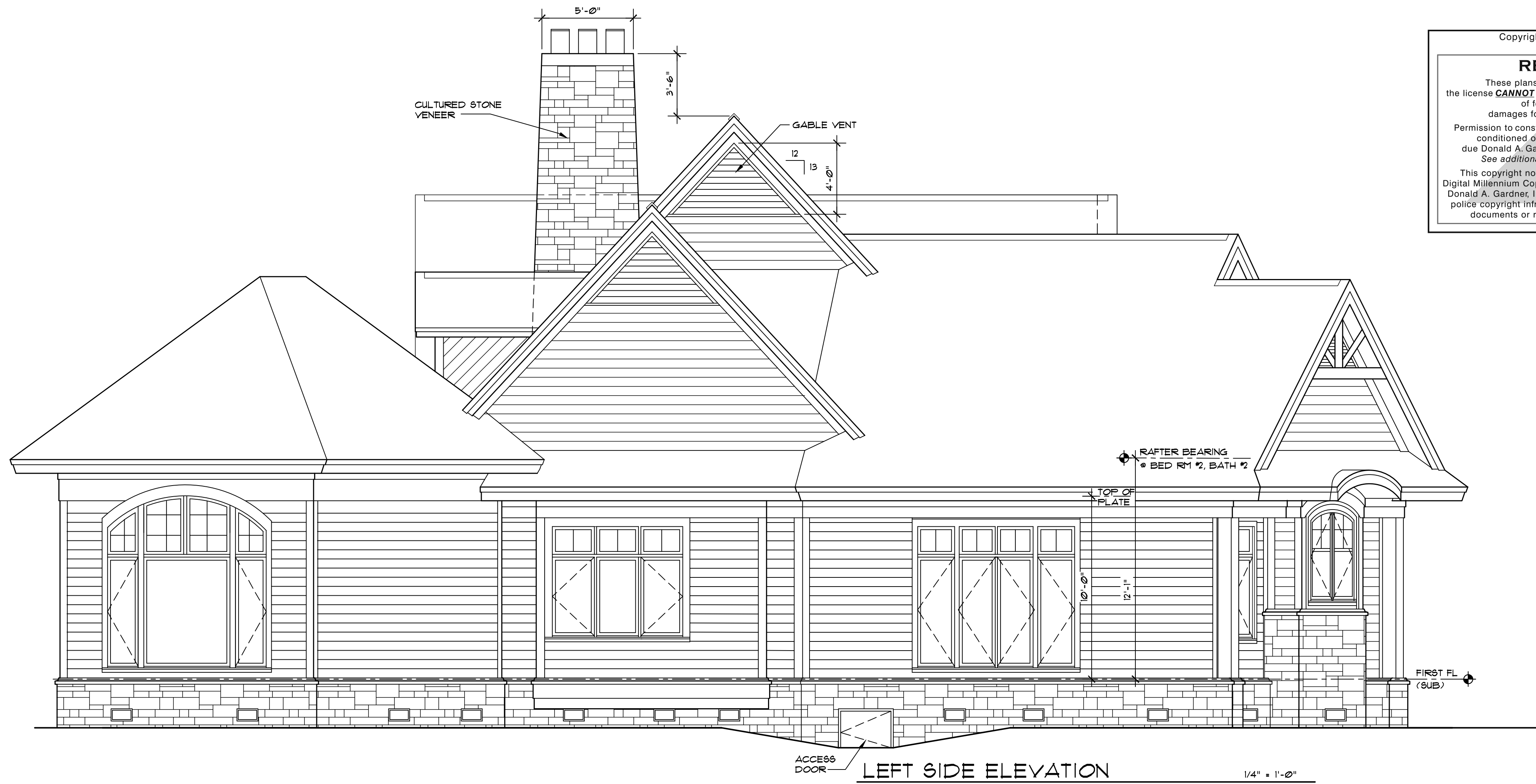
MODIFICATIONS BY
DONALD A. GARDNER
 DESIGN SERVICES, LLC

DONALD A. GARDNER, INC.
 P. O. BOX 26178 • GREENVILLE S.C. • 29616
 864 • 288 • 7580
www.dongardner.com

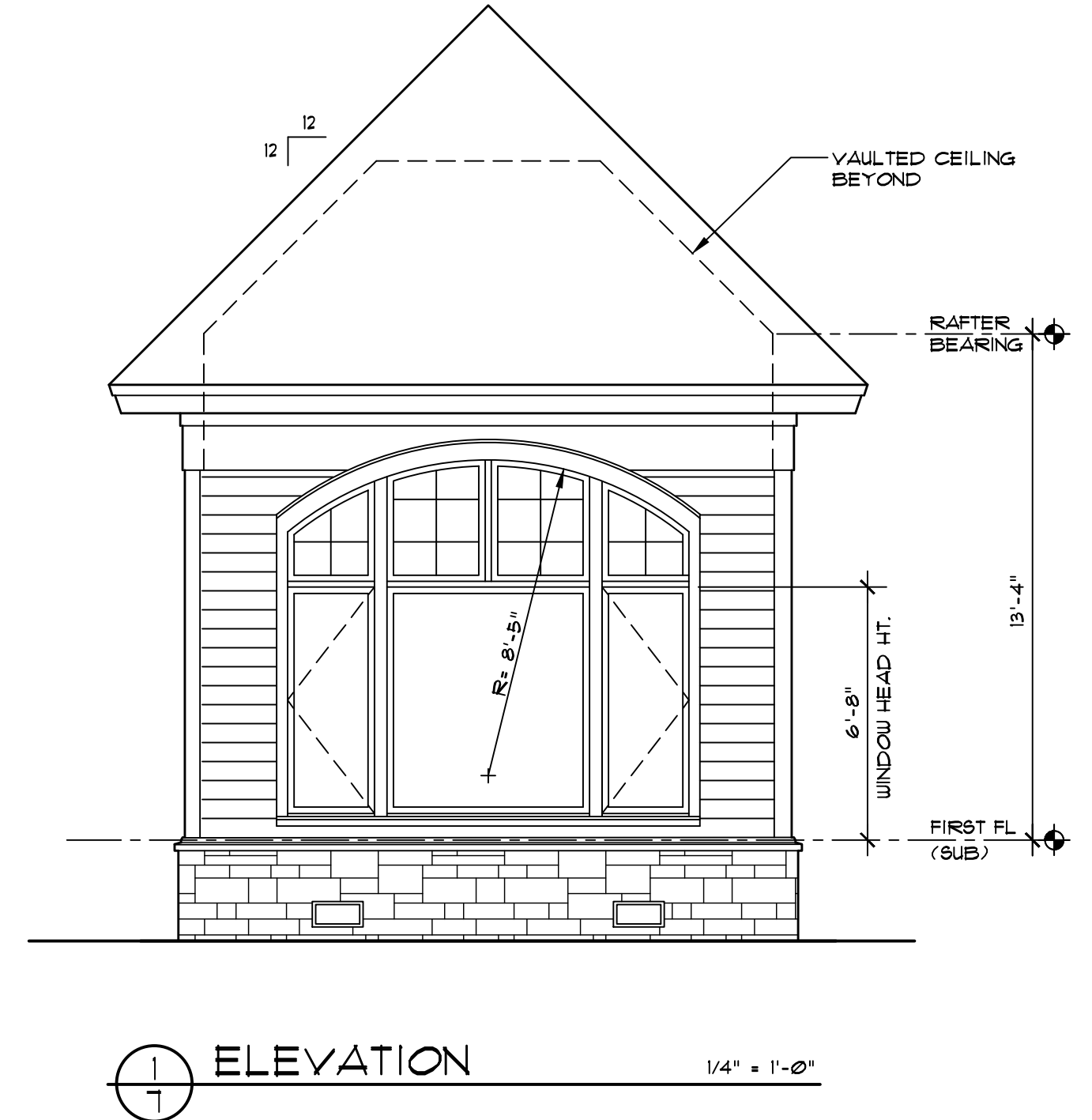
DESIGN NO. **M1905-959-MR**
 SHEET OF **6** DR **ENO**
 ELEVATIONS

DO NOT SCALE DRAWINGS.
 COPYRIGHT © 3/12/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
 NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION

I:\MODIFICATIONS\M1905-959-MR\M1905-959-MR.DWG 06/21/19 09:01



Copyrighted © Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc.
REG # 326618
 These plans may be used to construct **ONE** house only and the license **CANNOT** be transferred. By violating this copyright it is a violation of federal copyright statute which provides damages for each infringement from \$250 up to \$150,000.
 Permission to construct the building depicted in the drawings is expressly conditioned on the full and timely payment of all fees otherwise due Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. See additional license terms on "License to Build" document.
 This copyright notice is "copyright management information" under the Digital Millennium Copyright Act, and Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. requires its inclusion on all copies to discourage and police copyright infringement. Unauthorized reproduction or usage of these documents or removal of the notification is subject to prosecution.
 For questions call 1-800-388-7580



ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS AND MANUFACTURER'S INSTRUCTIONS ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE AT VARIANCE. THESE PLANS ARE NOT DRAWN FOR ANY PARTICULAR LOCAL. YOU ARE RESPONSIBLE FOR DETERMINING AND ENSURING COMPLIANCE WITH ALL APPLICABLE CODES AND MANUFACTURER'S REQUIREMENTS.

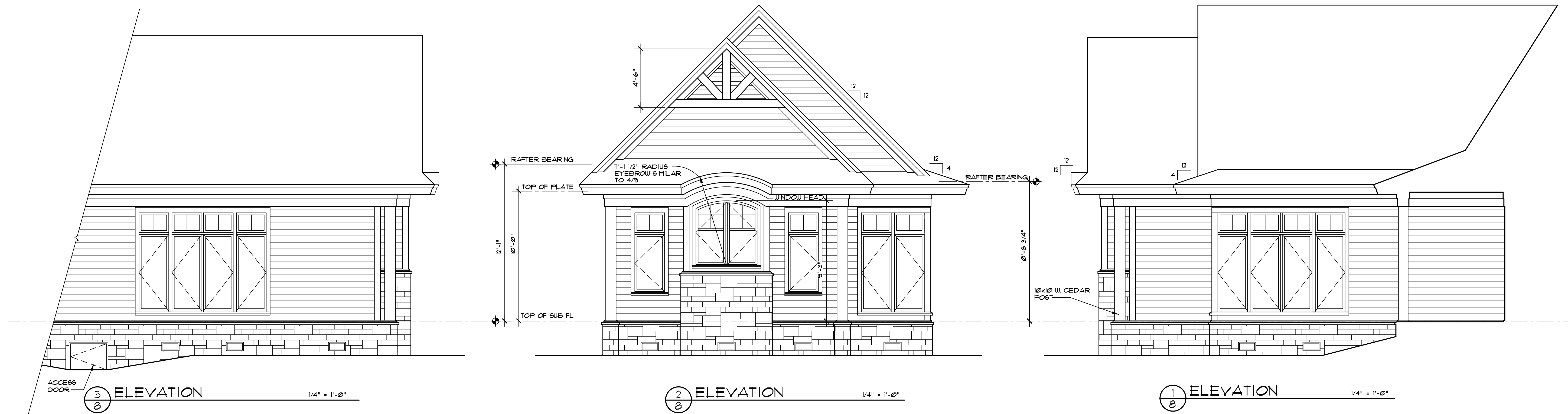
MODIFICATIONS BY
DONALD A. GARDNER
 DESIGN SERVICES, LLC

DONALD A. GARDNER, INC.
 P. O. BOX 26178 • GREENVILLE S. C. • 29616
 864 • 288 • 7580
www.dongardner.com

DESIGN NO. **M19105-959-MR**
 SHEET OF **12** DR ENO
 ELEVATIONS

DO NOT SCALE DRAWINGS.
 COPYRIGHT © 3/12/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
 NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION

L:\MODIFICATIONS\M19105-959-MR\M19105-959-MR02.DWG 08/21/19 09:01

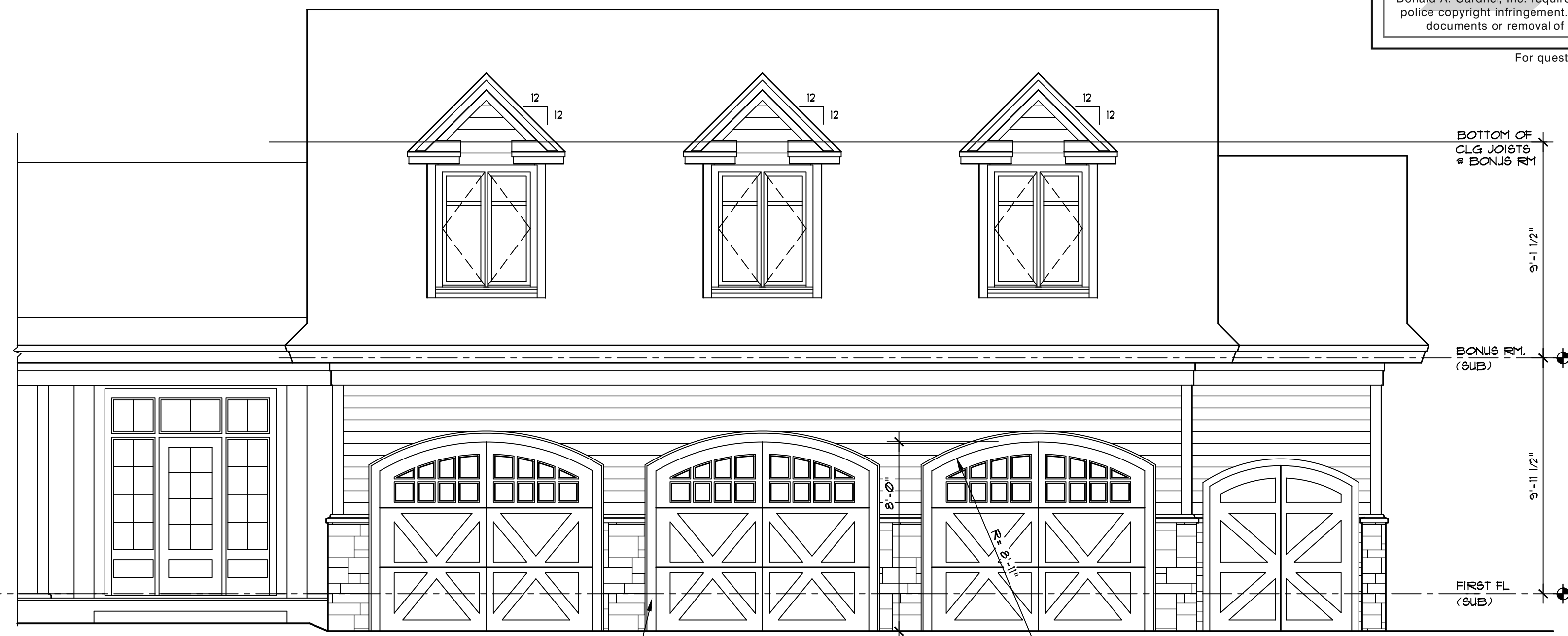


3
8 ELEVATION 1/4" = 1'-0"

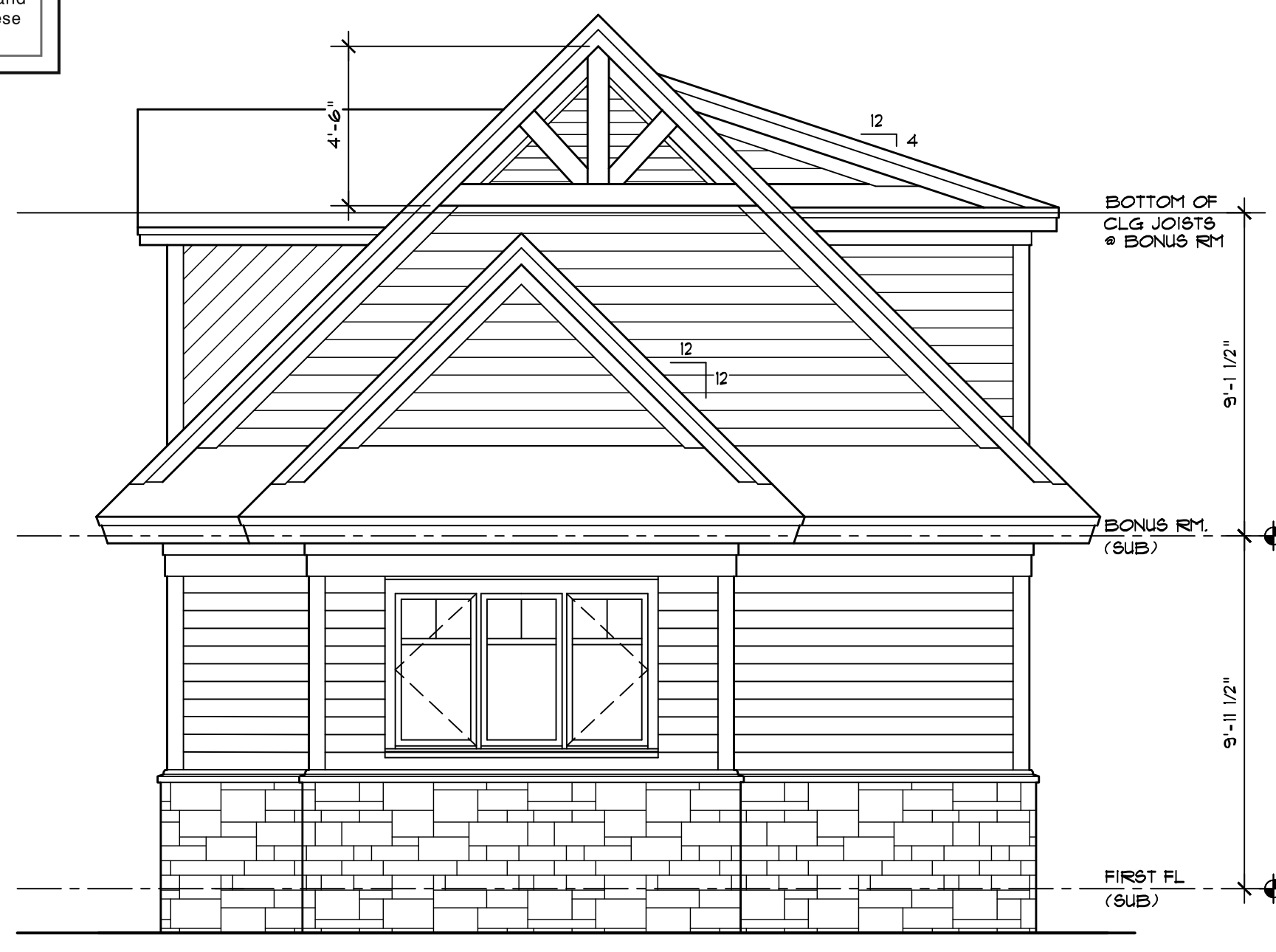
2
8 ELEVATION 1/4" = 1'-0"

1
8 ELEVATION 1/4" = 1'-0"

Copyrighted © Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc.
REG # 326618
 These plans may be used to construct ONE house only and the license **CANNOT** be transferred. By violating this copyright it is a violation of federal copyright statute which provides damages for each infringement from \$250 up to \$150,000.
 Permission to construct the building depicted in the drawings is expressly conditioned on the full and timely payment of all fees otherwise due Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. See additional license terms on "License to Build" document.
 This copyright notice is "copyright management information" under the Digital Millennium Copyright Act, and Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. requires its inclusion on all copies to discourage and police copyright infringement. Unauthorized reproduction or usage of these documents or removal of the notification is subject to prosecution.
 For questions call 1-800-388-7580



5
8 GARAGE FRONT ELEVATION 1/4" = 1'-0"



4
8 GARAGE SIDE ELEVATION 1/4" = 1'-0"

I:\MODIFICATIONS\19105-959-MR\19105-959-MRCLING 08/21/19 09:01

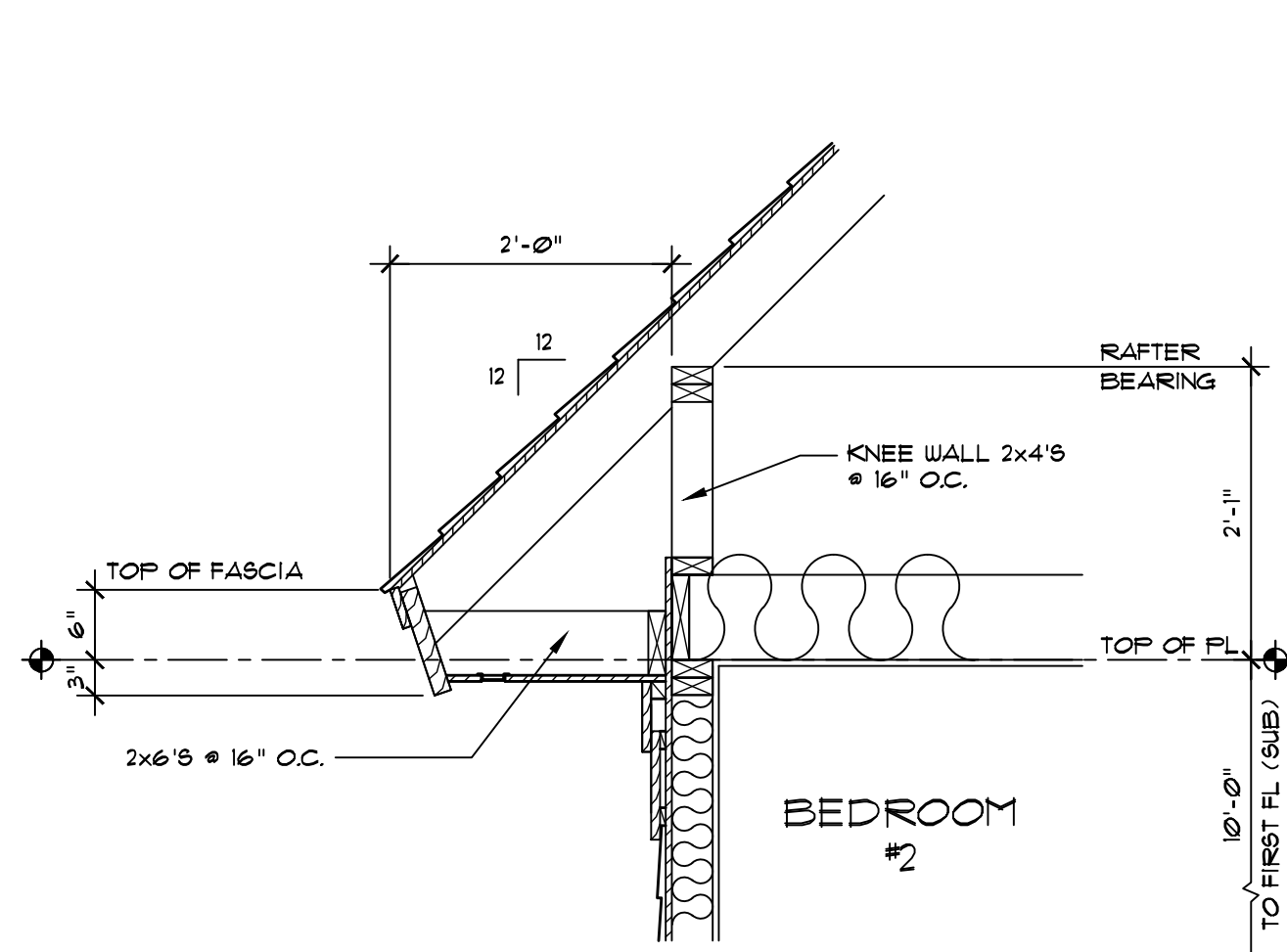
DO NOT SCALE DRAWINGS.
 COPYRIGHT © 3/12/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
 NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION

ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS AND MANUFACTURER'S INSTRUCTIONS ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE AT VARIANCE. THESE PLANS ARE NOT DRAWN FOR ANY PARTICULAR LOCAL. YOU ARE RESPONSIBLE FOR DETERMINING AND ENSURING COMPLIANCE WITH ALL APPLICABLE CODES AND MANUFACTURER'S REQUIREMENTS.

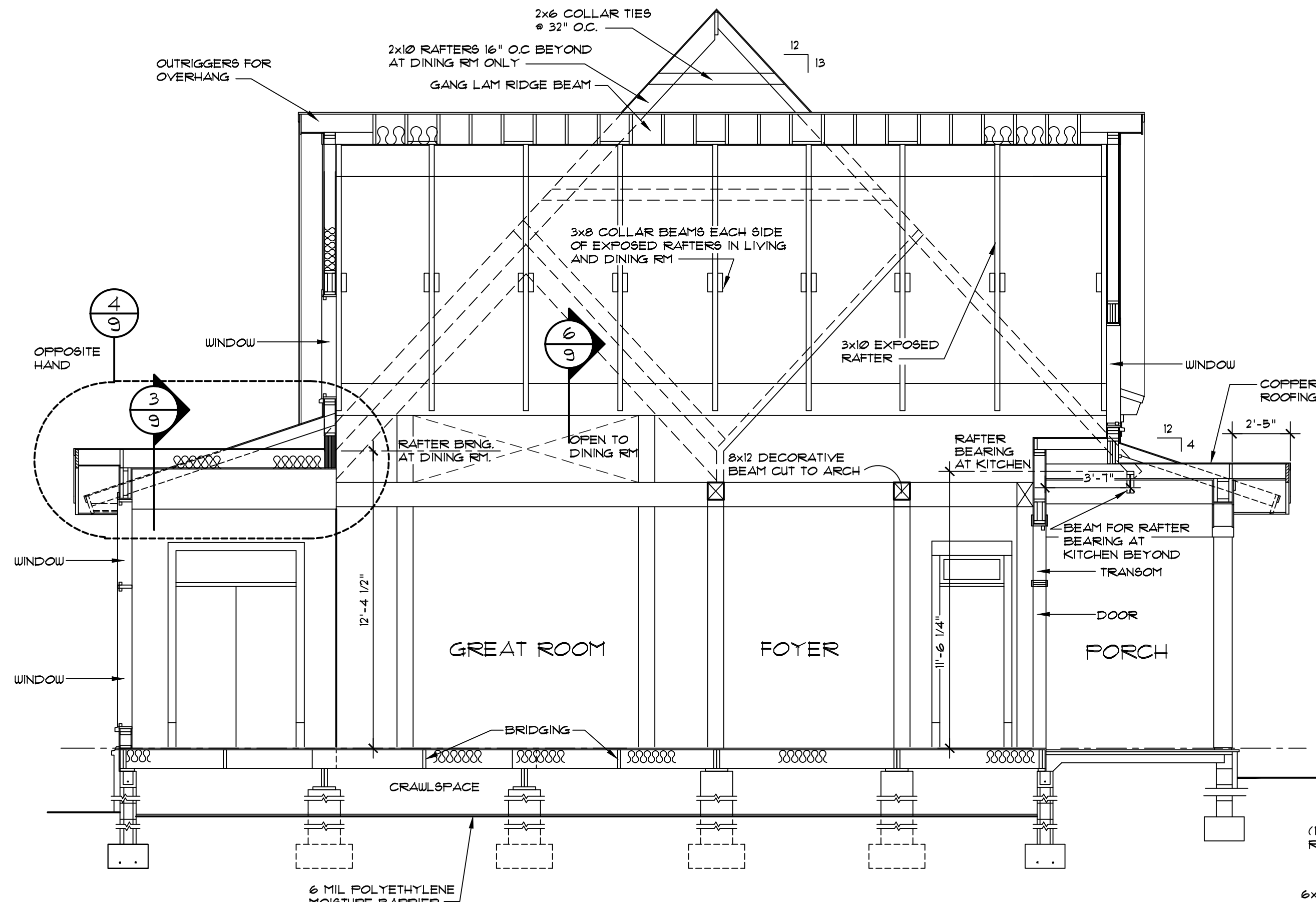
MODIFICATIONS BY
DONALD A. GARDNER
 DESIGN SERVICES, L.L.C.

DONALD A. GARDNER, INC.
 P. O. BOX 26178 • GREENVILLE S. C. • 29616
 864 • 288 • 7580
www.dongardner.com

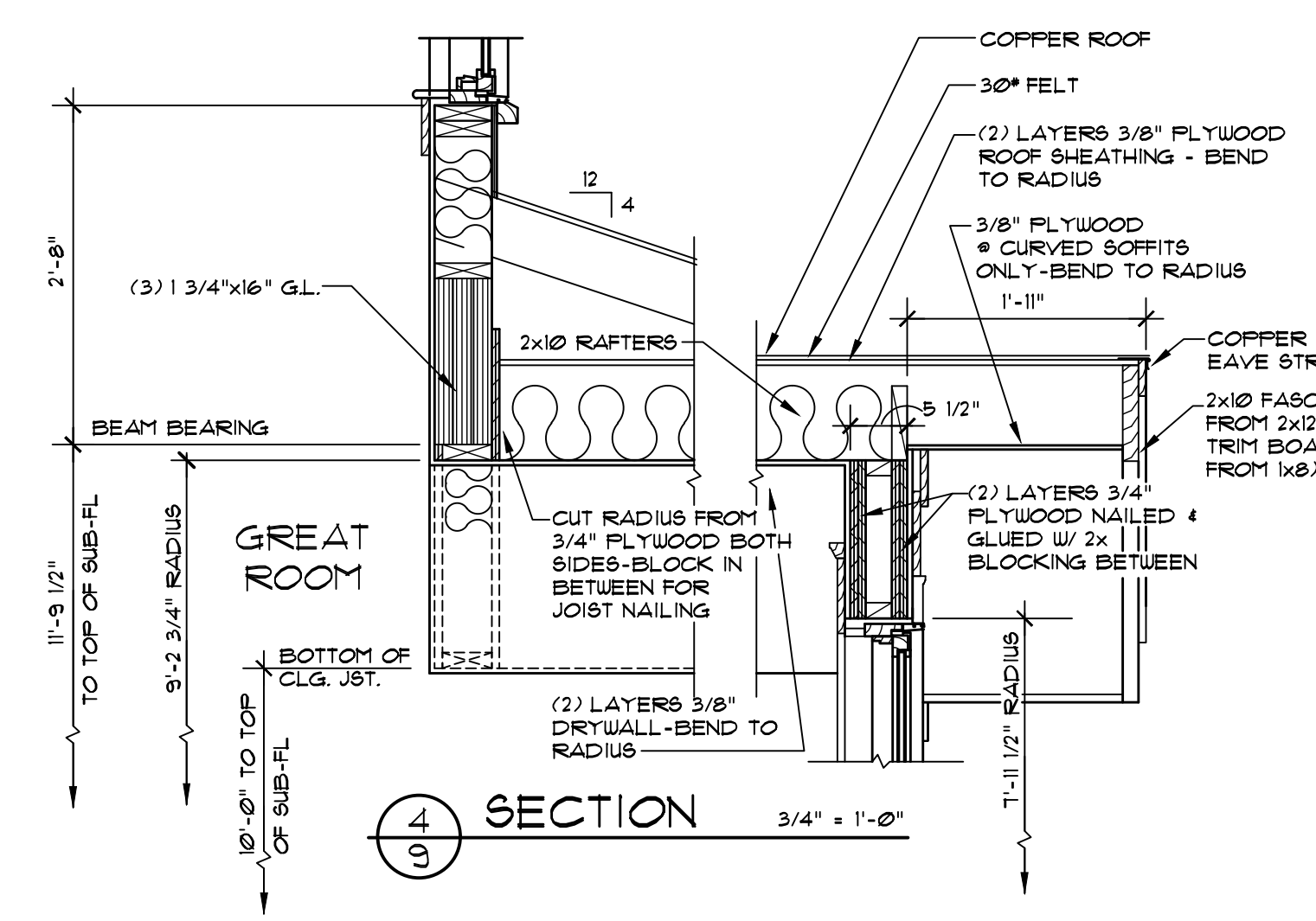
DESIGN NO.
19105-959-MR
 SHEET OF 12 ENO
 ELEVATIONS



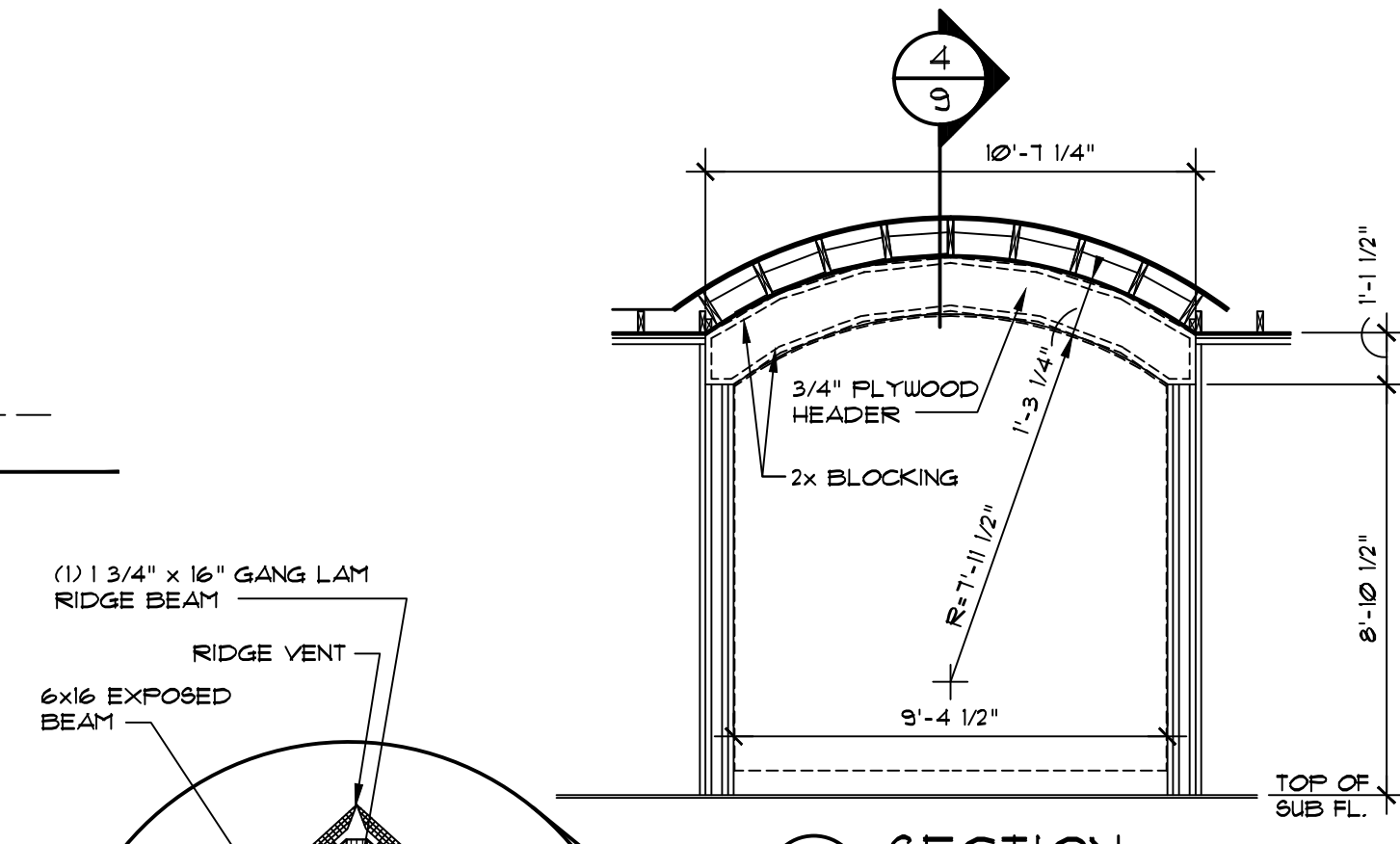
SECTION 5
3/4" = 1'-0"
SEE OTHER WALL SECTIONS FOR ADDITIONAL NOTES



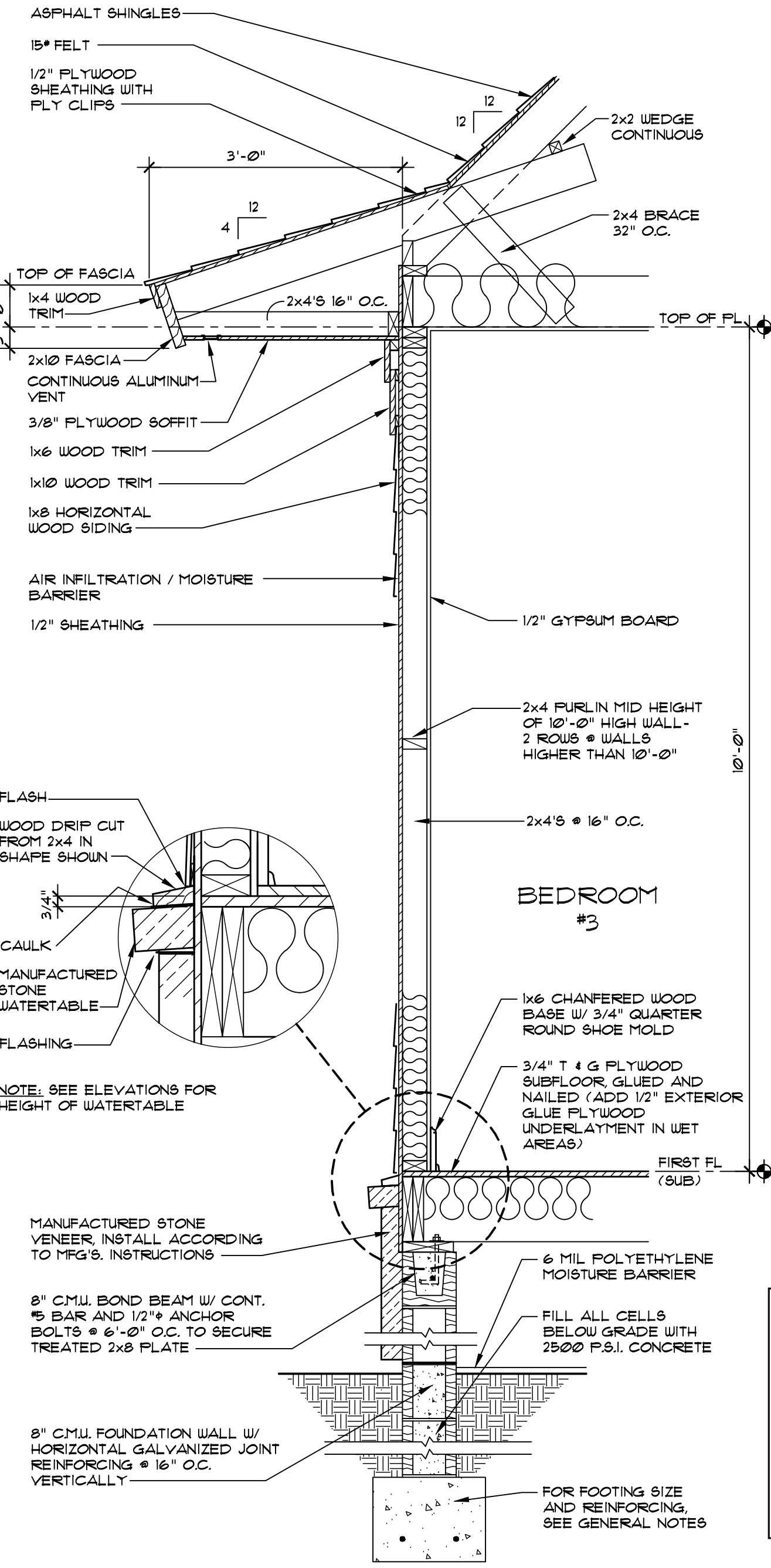
SECTION 4
1/4" = 1'-0"



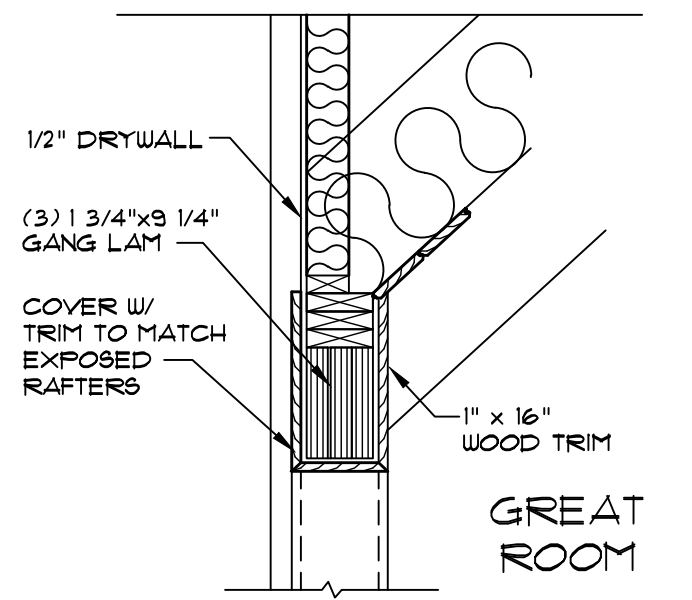
SECTION 3
3/4" = 1'-0"



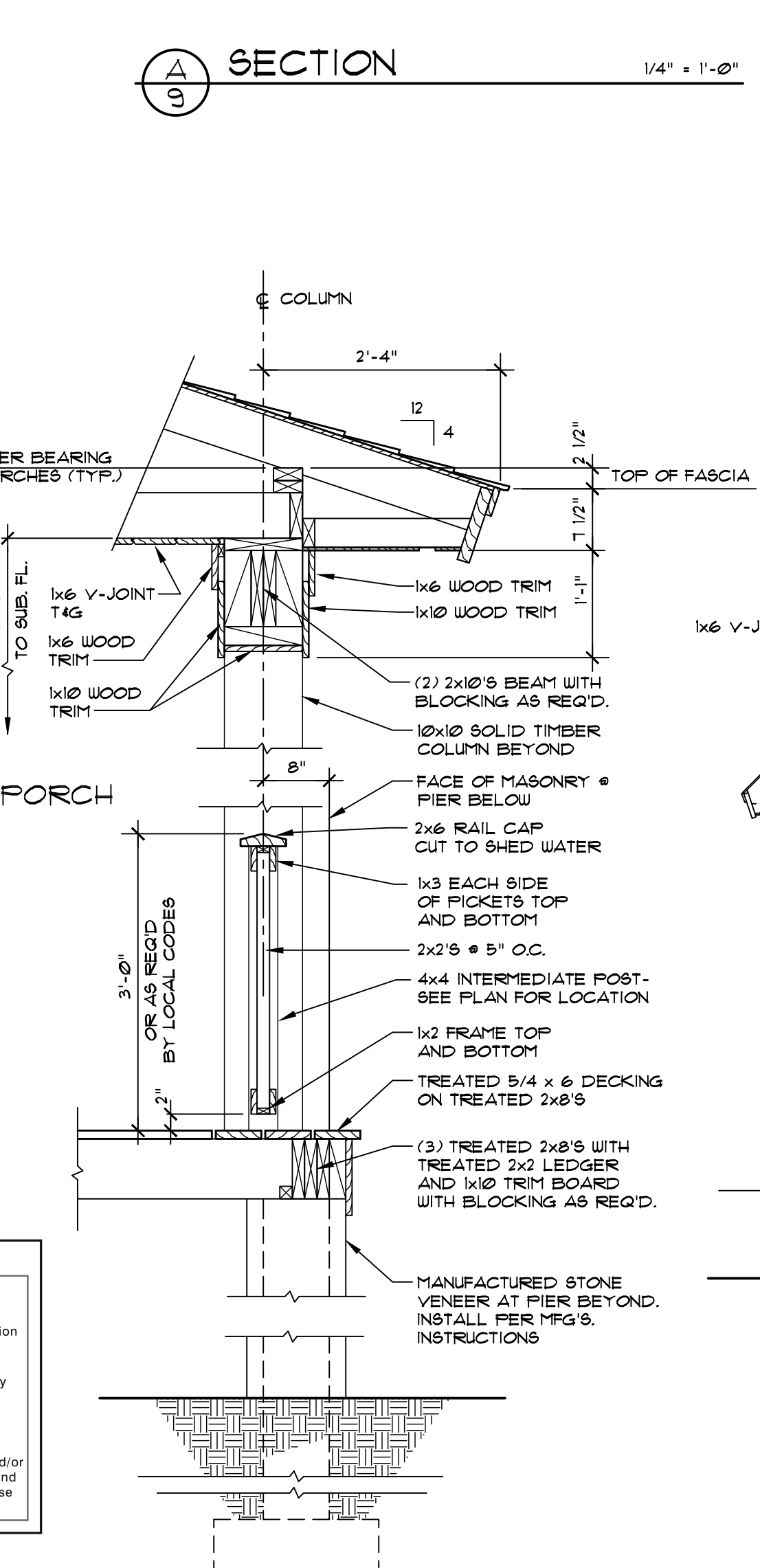
SECTION 3
1/4" = 1'-0"



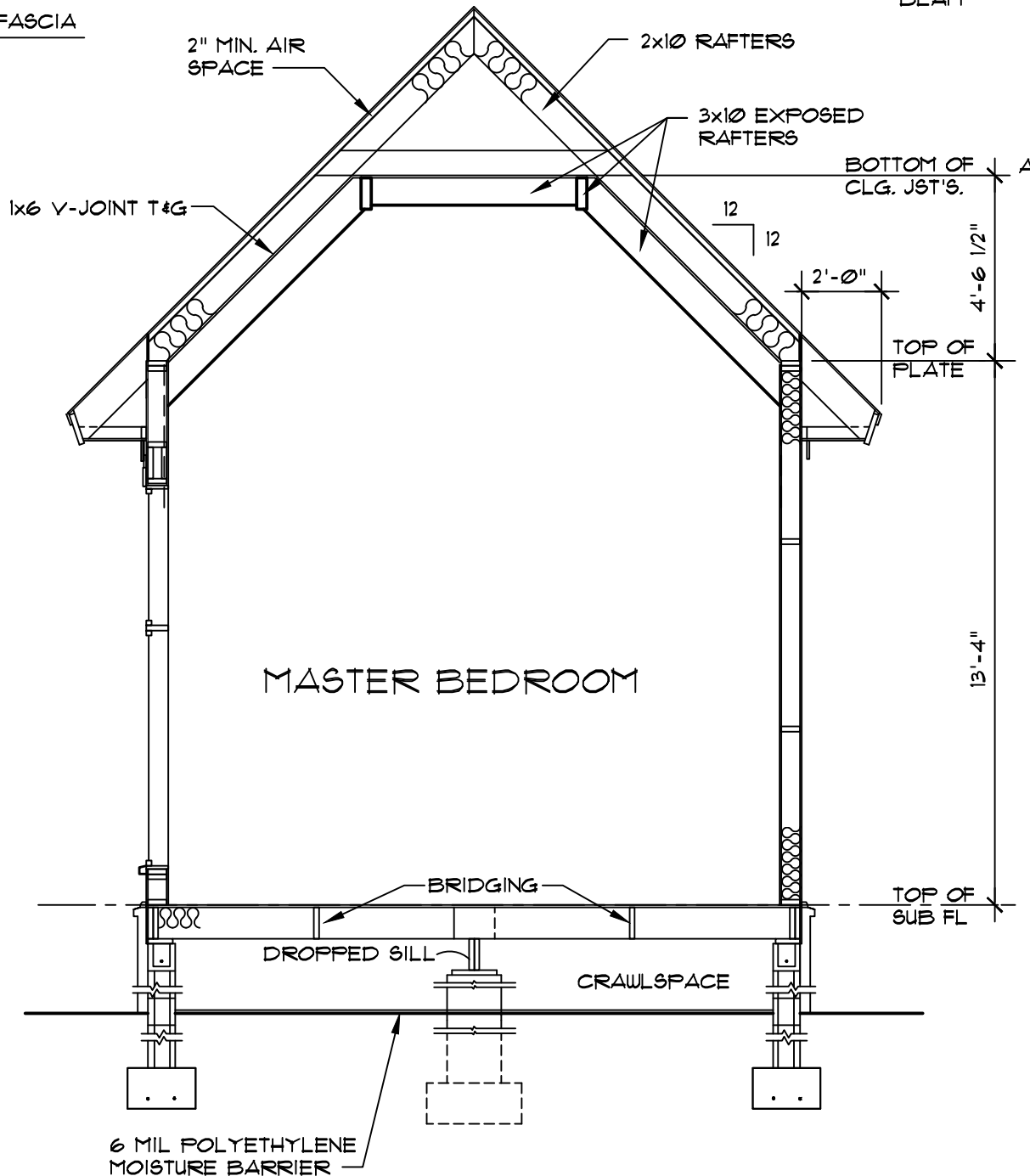
SECTION 1
3/4" = 1'-0"



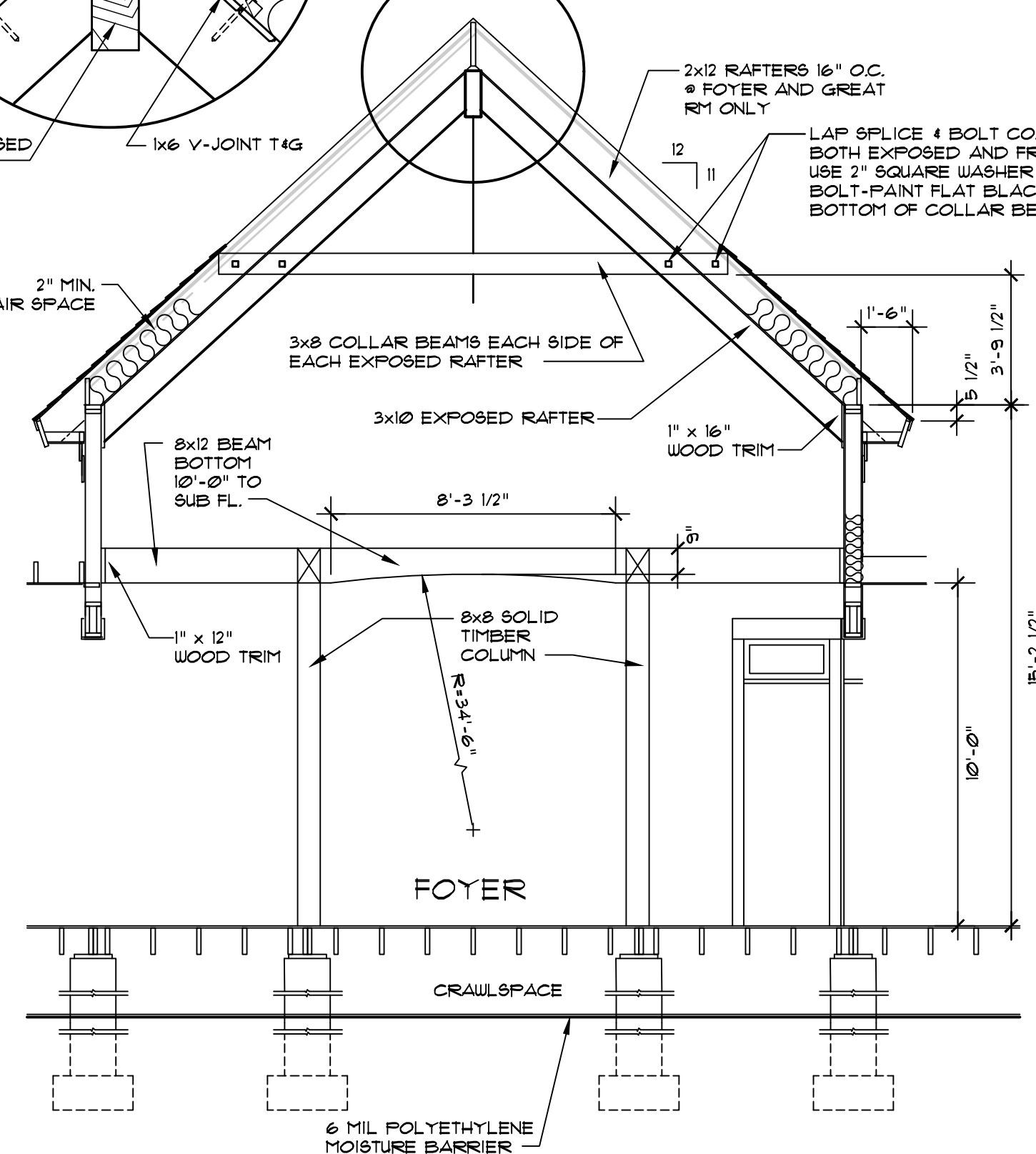
SECTION 6
3/4" = 1'-0"



SECTION 2
3/4" = 1'-0"
SEE OTHER WALL SECTIONS FOR ADDITIONAL NOTES



SECTION B
1/4" = 1'-0"



SECTION C
1/4" = 1'-0"
SIMILAR AT DINING ROOM

Copyright © Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc.
REG # 326618
These plans may be used to construct ONE house only and the license CANNOT be transferred. By violating this copyright it is a violation of federal copyright statute which provides damages for each infringement from \$500 up to \$150,000.
Permission to construct the building depicted in the drawings is expressly conditioned on the full and timely payment of all fees otherwise due Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. See additional license terms on "License to Build" document.
This copyright notice is "copyright management information" under the Digital Millennium Copyright Act, and Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. requires its inclusion on all copies to discourage and police copyright infringement. Unauthorized reproduction or usage of these documents or removal of the notification is subject to prosecution.
For questions call 1-800-388-7580

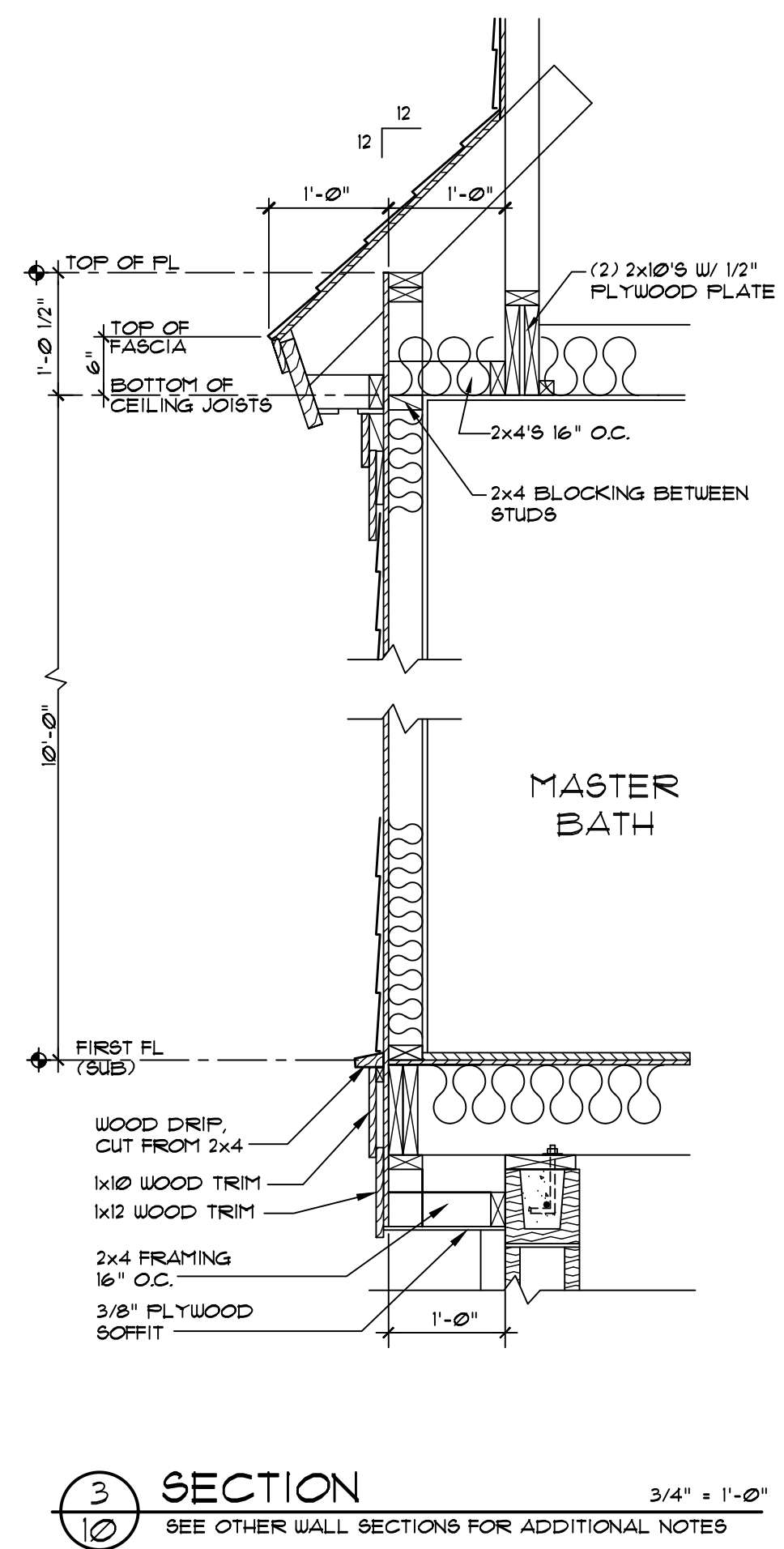
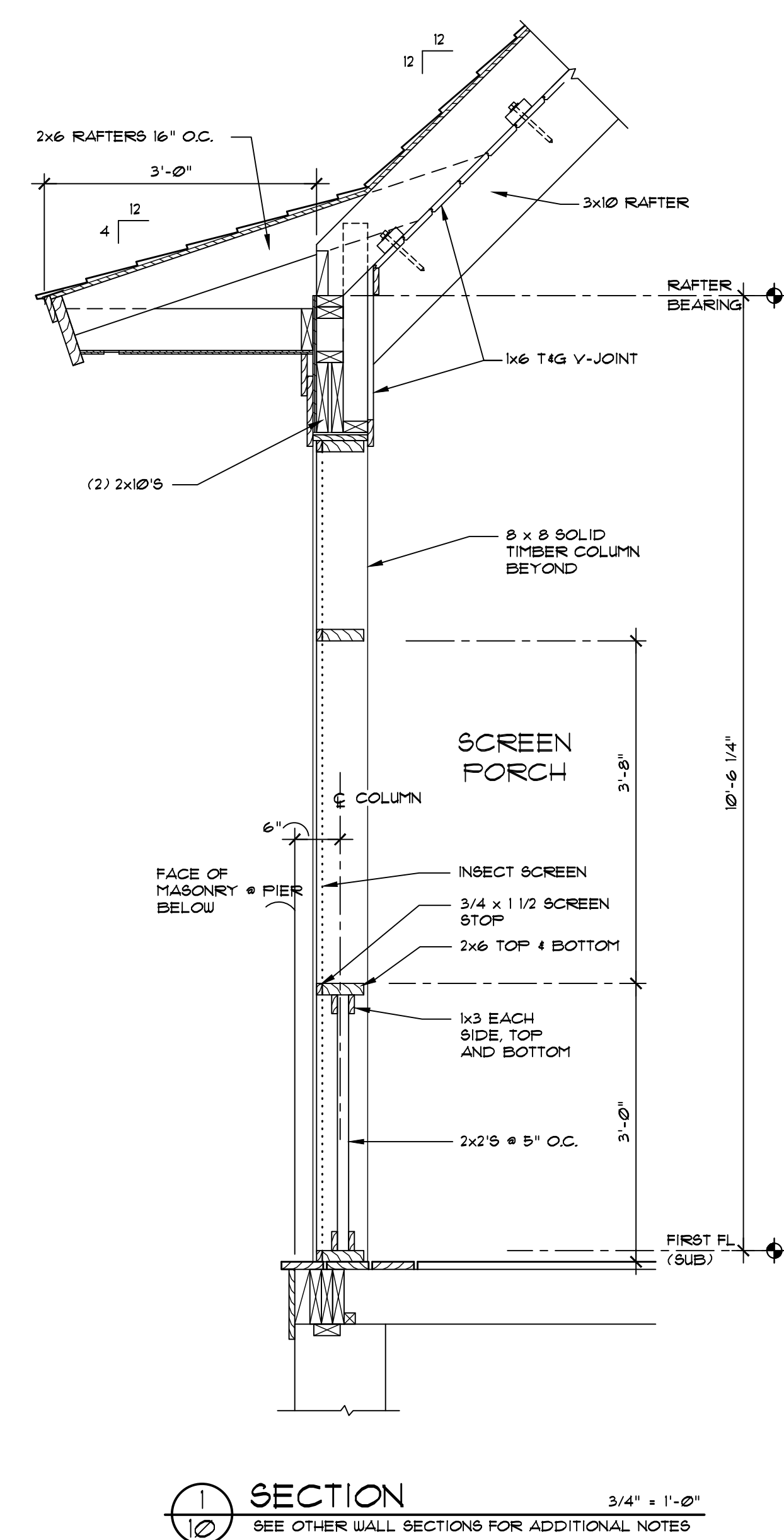
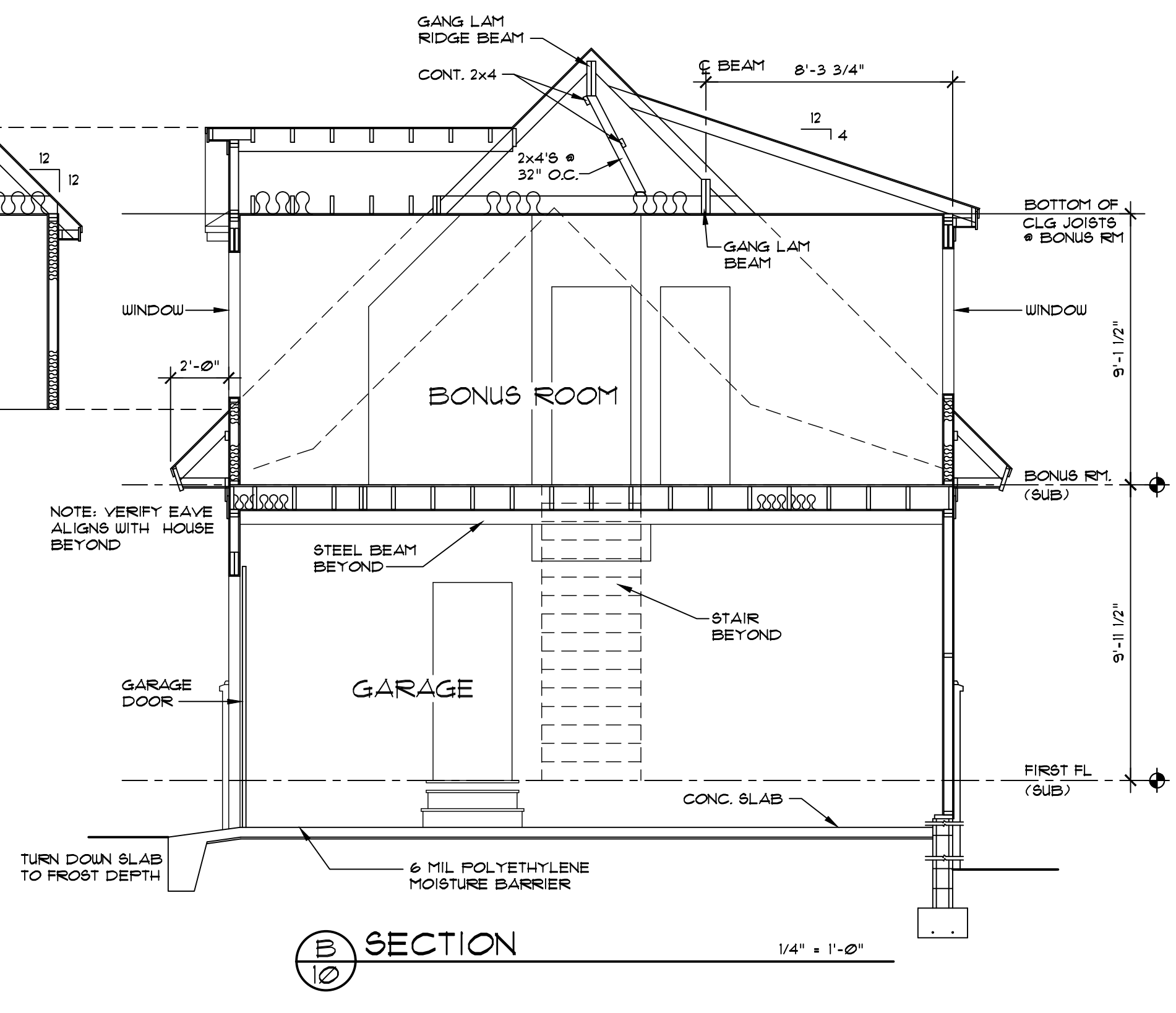
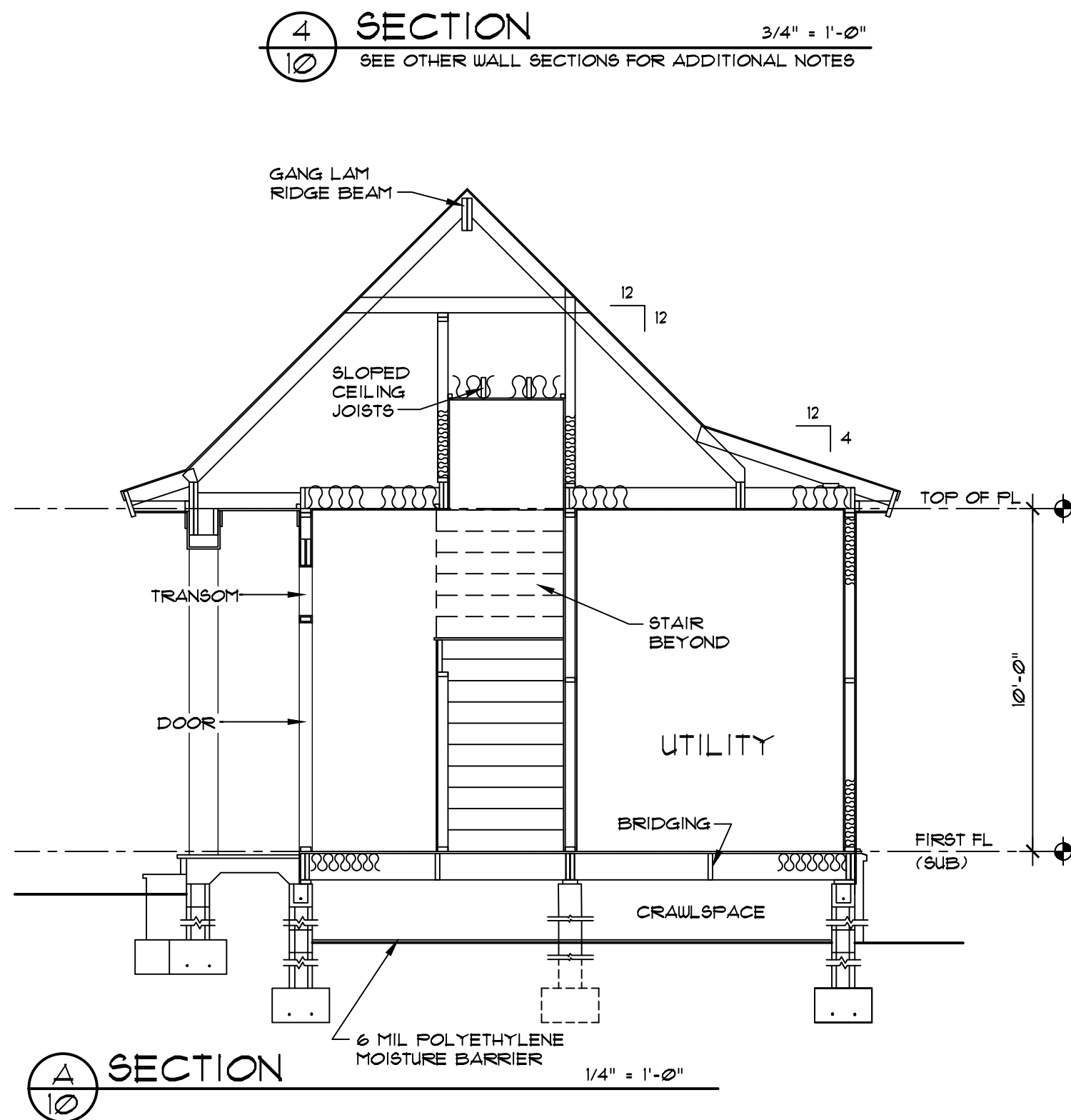
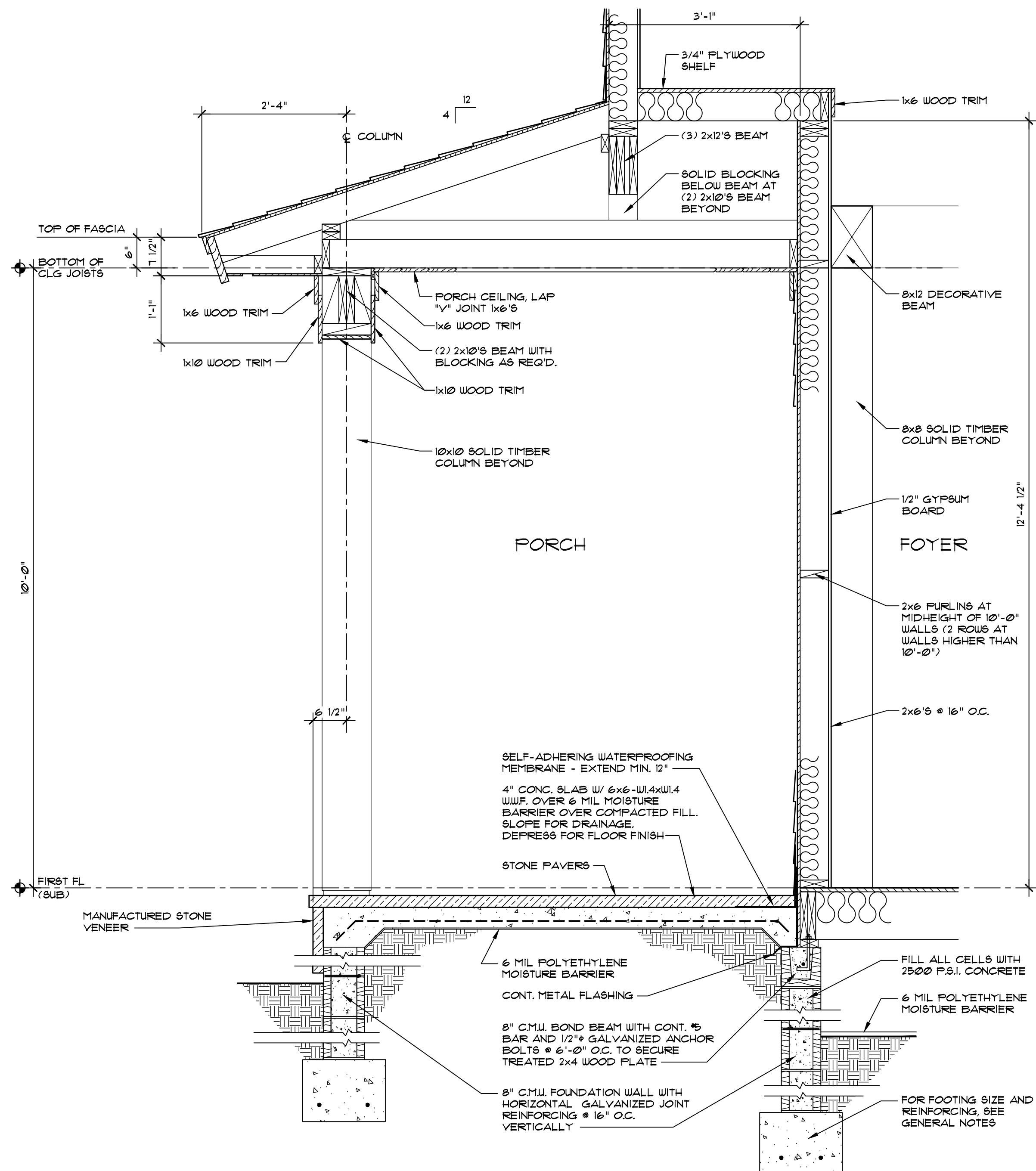
ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS AND MANUFACTURER'S INSTRUCTIONS ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE AT VARIANCE. THESE PLANS ARE NOT DRAWN FOR ANY PARTICULAR LOCAL JURISDICTION. YOU ARE RESPONSIBLE FOR DETERMINING AND ENSURING COMPLIANCE WITH ALL APPLICABLE CODES AND MANUFACTURER'S REQUIREMENTS.

MODIFICATIONS BY
DONALD A. GARDNER
DESIGN SERVICES, LLC

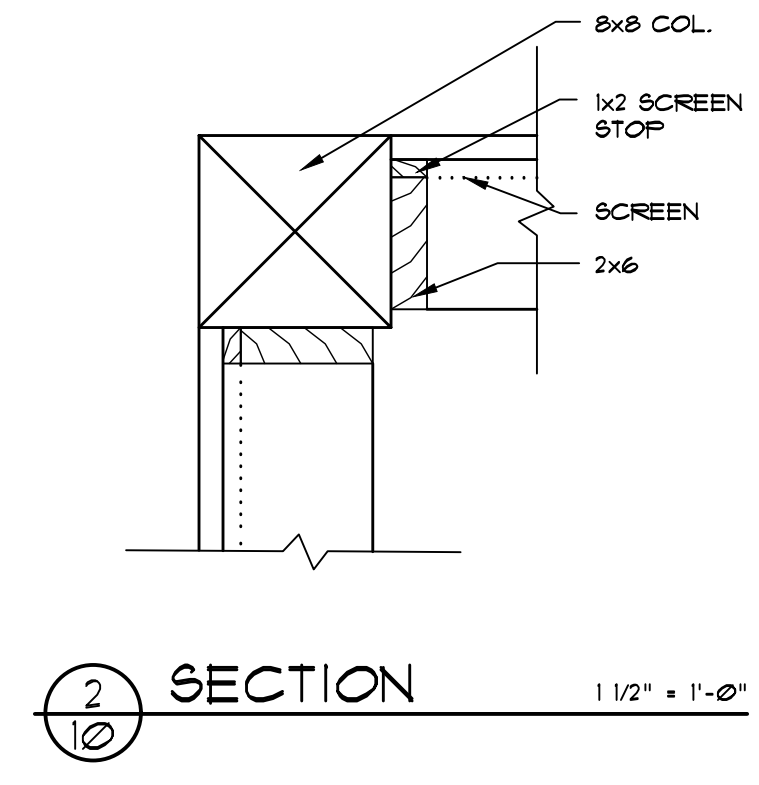
DONALD A. GARDNER, INC.
P. O. BOX 26178 • GREENVILLE S.C. • 29616
864 • 288 • 7580
www.dongardner.com

DESIGN NO. **M19105-959-MR**
SHEET OF **9** DR **12** ENO
SECTIONS

DO NOT SCALE DRAWINGS.
COPYRIGHT © 3/12/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION



Copyrighted © Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc.
REG # 326618
 These plans may be used to construct ONE house only and the license **CANNOT** be transferred. By violating this copyright it is a violation of federal copyright statute which provides damages for each infringement from \$250 up to \$150,000.
 Permission to construct the building depicted in the drawings is expressly conditioned on the full and timely payment of all fees otherwise due Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. See additional license terms on "License to Build" document.
 This copyright notice is "copyright management information" under the Digital Millennium Copyright Act, and Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. requires its inclusion on all copies to discourage and police copyright infringement. Unauthorized reproduction or usage of these documents or removal of the notification is subject to prosecution.
 For questions call 1-800-388-7580



ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS AND MANUFACTURER'S INSTRUCTIONS ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE AT VARIANCE. THESE PLANS ARE NOT DRAWN FOR ANY PARTICULAR LOCAL JURISDICTION. YOU ARE RESPONSIBLE FOR DETERMINING AND ENSURING COMPLIANCE WITH ALL APPLICABLE CODES AND MANUFACTURER'S REQUIREMENTS.

MODIFICATIONS BY
DONALD A. GARDNER
 DESIGN SERVICES, LLC

DONALD A. GARDNER, INC.
 P. O. BOX 26178 • GREENVILLE S.C. • 29616
 864 • 288 • 7580
www.dongardner.com

DESIGN NO. M1905-959-MR
 SHEET OF 12 ENO
 SECTIONS

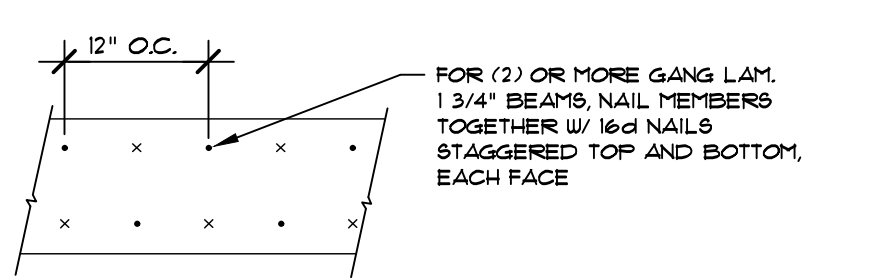
DO NOT SCALE DRAWINGS.
 COPYRIGHT © 3/12/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
 NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION

E:\MODIFICATIONS\M19105-959-MR\M19105-959-MRCS2.DWG 08/21/19 09:11

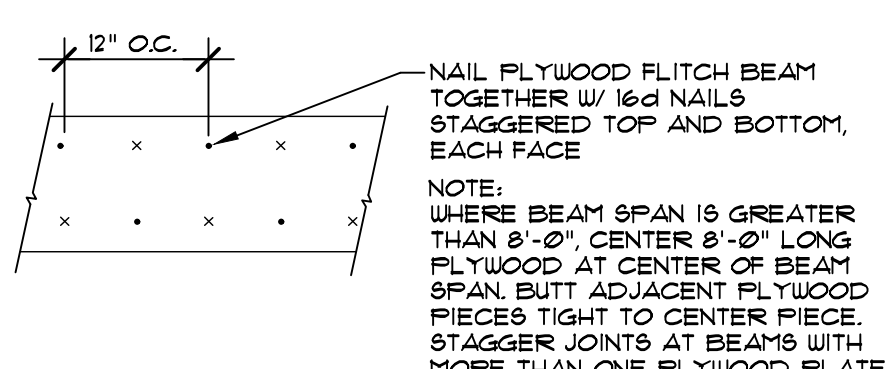
STRUCTURAL NOTES

- PHANTOM LINE INDICATES STEEL BEAM
- //// THIS SYMBOL INDICATES LOAD BEARING INTERIOR WALLS. ALL EXTERIOR WALLS ARE LOAD BEARING
- - - DASH LINE INDICATES ROOF FRAMING
- - - CENTER LINE INDICATES BEAMS BELOW ROOF. (SEE STUD NOTE 3) BELOW
- ③ INDICATES THE NUMBER OF STUDS UNDER BEAM ABOVE.
NOTE: IF NUMBER OF STUDS AT BEAM ENDS ARE NOT INDICATED, USE (2) STUDS.
- UNLESS NOTED OTHERWISE, ALL INTERIOR DOOR AND WALL OPENINGS IN LOAD BEARING WALLS SHALL HAVE (2) 2x10 LINTEL WITH (2) STUDS AT EACH LINTEL END (TYPICAL).
- UNLESS NOTED OTHERWISE, ALL EXTERIOR DOOR AND WINDOW OPENINGS SHALL HAVE (2) 2x10'S WITH 1/2" PLYWOOD PLATE LINTEL. USE (2) STUDS AT LINTEL ENDS UNLESS OTHERWISE NOTED. PROVIDE STEEL LINTEL ANGLES W/ 4" MIN. BEARING WHERE REQUIRED OVER EXTERIOR MASONRY WALL OPENINGS.
- AT ALL BUILDING WALLS USE NOMINAL 1/2" STRUCTURAL GRADE 2 PLYWOOD OR NOMINAL 1/2" OSB (ORIENTED STRAND BOARD) MIN. 4'-0" WIDTH, USE 8d NAILS @ 4" O.C. FOR EDGE NAILING AND 12" O.C. FOR ALL INTERMEDIATE NAILING.
- CONNECTORS INDICATED ARE MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, INC. 94N LEANDRO, CALIFORNIA 94511 (800-999-5099)
- ← BRACE ROOF TO WALL OR BEAM BELOW w/ 2x4'S @ 32" O.C.

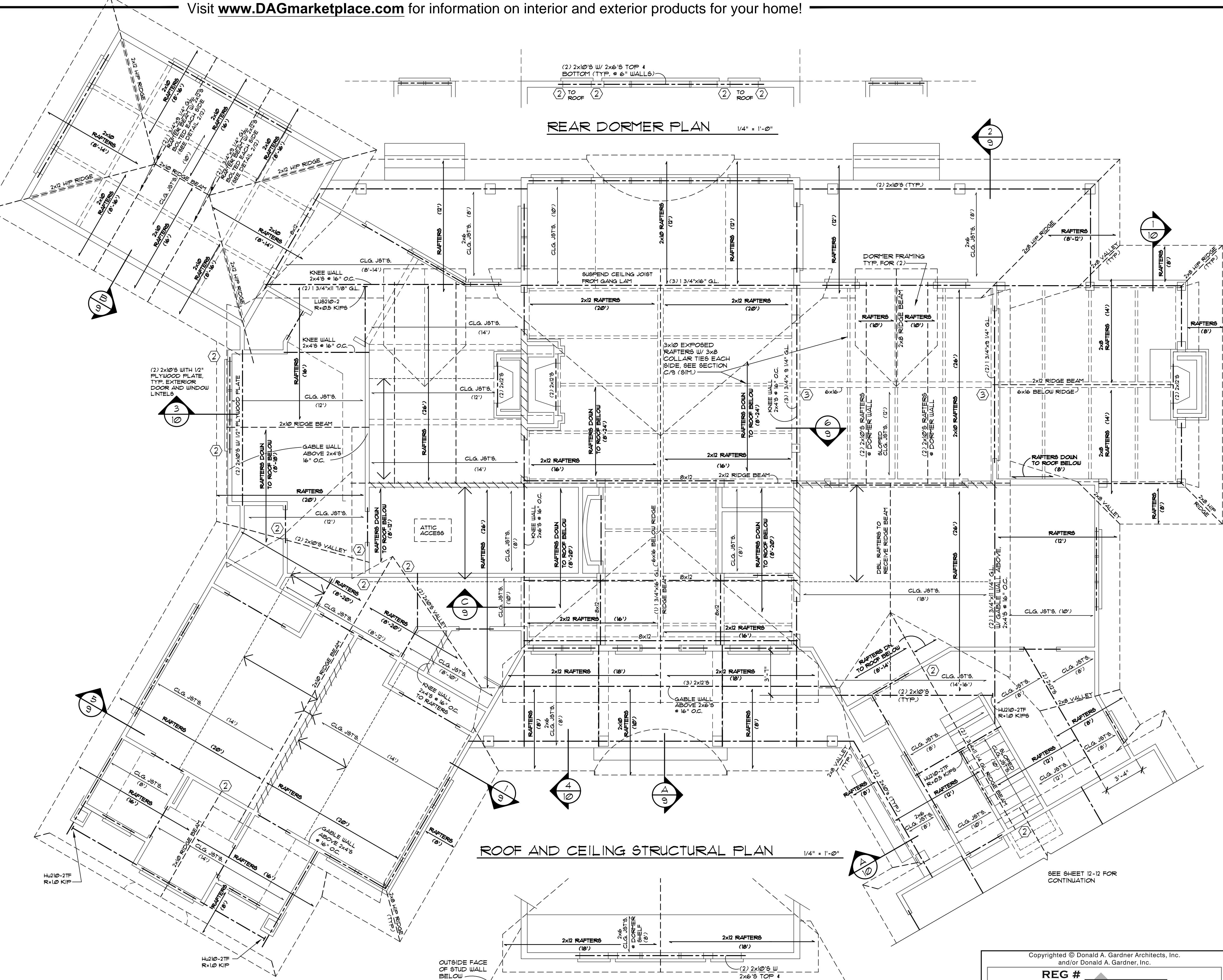
- DESIGN CRITERIA**
(NOTE: ACTUAL DESIGN CRITERIA IN YOUR AREA MAY VARY. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO VERIFY THESE.)
- FRAMING DESIGN BASED ON THE FOLLOWING LOADING CONDITIONS:
 ROOF 4 FLOOR DEAD LOADS - 15 P.S.F.
 ROOF LIVE LOAD - 20 P.S.F.
 FLOOR LIVE LOAD - 40 P.S.F.
 MAXIMUM WIND SPEED - 80 MPH.
 - VERIFY SEISMIC REQUIREMENTS FOR YOUR AREA.
 - SOIL DESIGN BEARING PRESSURE IS ASSUMED 2000 P.S.F. LOCAL SOIL CONDITIONS AND/OR LOCAL PRACTICE MAY NECESSITATE A MORE STRINGENT FOOTING AND FOUNDATION WALL DESIGN. CONSULT WITH LOCAL CONTRACTOR OR BUILDING INSPECTOR.
 - INSULATION:
 CEILING - R-30
 WALL - R-13
 FLOOR - R-13
 - GL. MATERIAL SPECS
 LAMINATED VENEER LUMBER GANG LAM LVL SHALL BE BY: LOUISIANA-PACIFIC OF WILMINGTON, NC (800-999-9105) OR APPROVED EQUAL SUPPLIER. PROPERTIES SHALL MEET OR EXCEED:
 F_o = 2300 PSI
 F_v = 230 PSI
 E = 2,000,000 PSI
 GANG LAM 1 1/2" LVL'S ARE INDICATED. GANG LAM 1 1/4" LVL'S CAN BE USED BUT VARY FROM SIZES INDICATED



MULTIPLE GANG LAM. DETAIL
NOT TO SCALE



PLYWOOD FLITCH BEAM DETAIL
NOT TO SCALE



ROOF AND CEILING STRUCTURAL PLAN 1/4" = 1'-0"

FRONT DORMER PLAN 1/4" = 1'-0"

STRUCTURAL LEGEND

--- RAFTERS (X)	RAFTERS, 2x6'S @ 16" O.C. UNLESS NOTED OTHERWISE
--- (2) 2x10'S	TYPICAL BEAM OR HEADER UNLESS NOTED OTHERWISE
--- CLG. JST'S (X)	CEILING JOISTS, 2x8'S @ 16" O.C. UNLESS NOTED OTHERWISE

Copyrighted © Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc.
REG #
 These plans may be used to construct ONE house only and the license CANNOT be transferred. By violating this copyright it is a violation of federal copyright statute which provides damages for each infringement from \$250 up to \$150,000.
 Permission to construct the building depicted in the drawings is expressly conditioned on the full and timely payment of all fees otherwise due Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. See additional license terms on "License to Build" document.
 This copyright notice is "copyright management information" under the Digital Millennium Copyright Act, and Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. requires its inclusion on all copies to discourage and police copyright infringement. Unauthorized reproduction or usage of these documents or removal of the notification is subject to prosecution.
 For questions call 1-800-388-7580

DO NOT SCALE DRAWINGS.
 COPYRIGHT © 3/12/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
 NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION

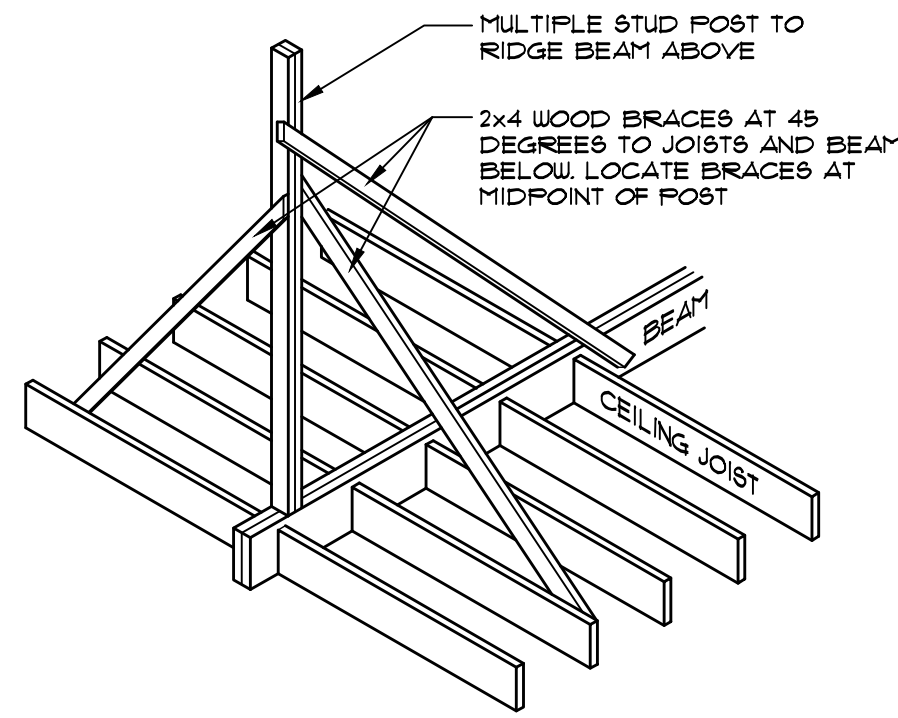
ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS AND MANUFACTURER'S INSTRUCTIONS ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE AT VARIANCE. THESE PLANS ARE NOT DRAWN FOR ANY PARTICULAR LOCAL JURISDICTION. YOU ARE RESPONSIBLE FOR DETERMINING AND ENSURING COMPLIANCE WITH ALL APPLICABLE CODES AND MANUFACTURER'S REQUIREMENTS.

MODIFICATIONS BY **DONALD A. GARDNER** DESIGN SERVICES, L.L.C.

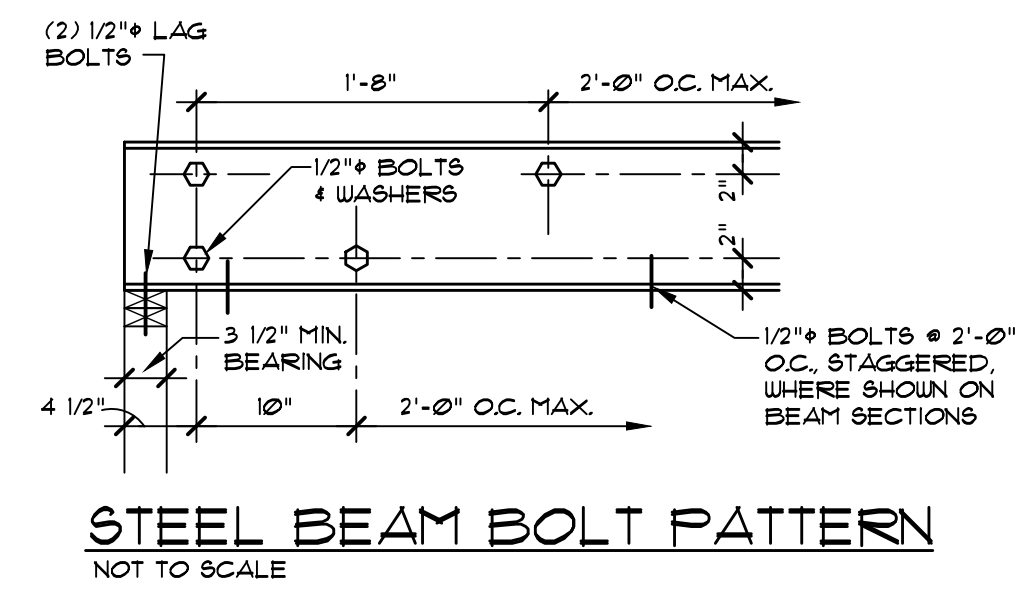
DONALD A. GARDNER, INC.
 P. O. BOX 26178 • GREENVILLE S. C. • 29616
 864 • 288 • 7580
 www.dongardner.com

DESIGN NO. **M19105-959-MR**
 SHEET OF **12** ENO
 STRUCTURAL PLAN

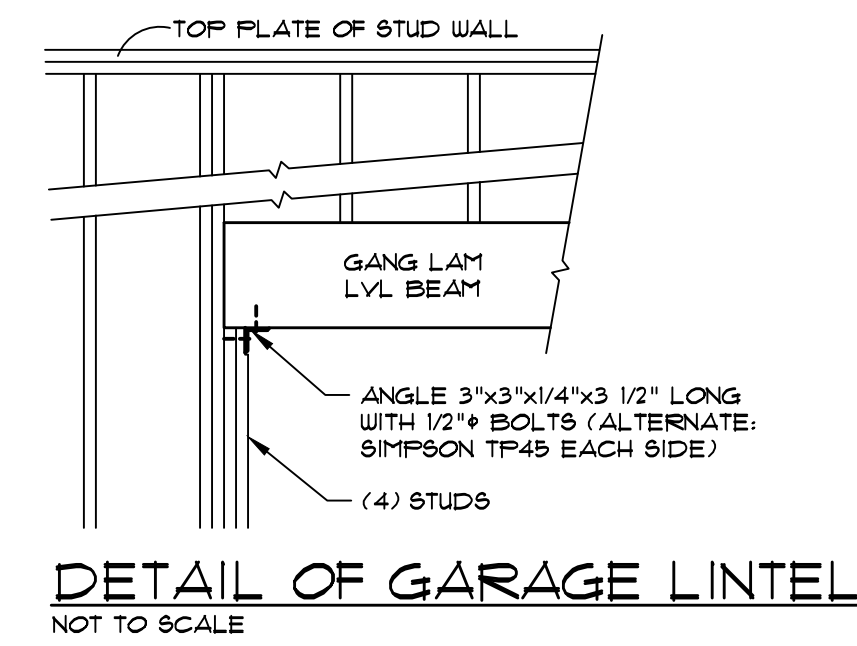
Copyrighted © Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc.
REG # 326618
 These plans may be used to construct **ONE** house only and the license **CANNOT** be transferred. By violating this copyright it is a violation of federal copyright statute which provides damages for each infringement from \$250 up to \$150,000.
 Permission to construct the building depicted in the drawings is expressly conditioned on the full and timely payment of all fees otherwise due Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc.
 See additional license terms on "License to Build" document.
 This copyright notice is "copyright management information" under the Digital Millennium Copyright Act, and Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. requires its inclusion on all copies to discourage and police copyright infringement. Unauthorized reproduction or usage of these documents or removal of the notification is subject to prosecution.
 For questions call 1-800-388-7580



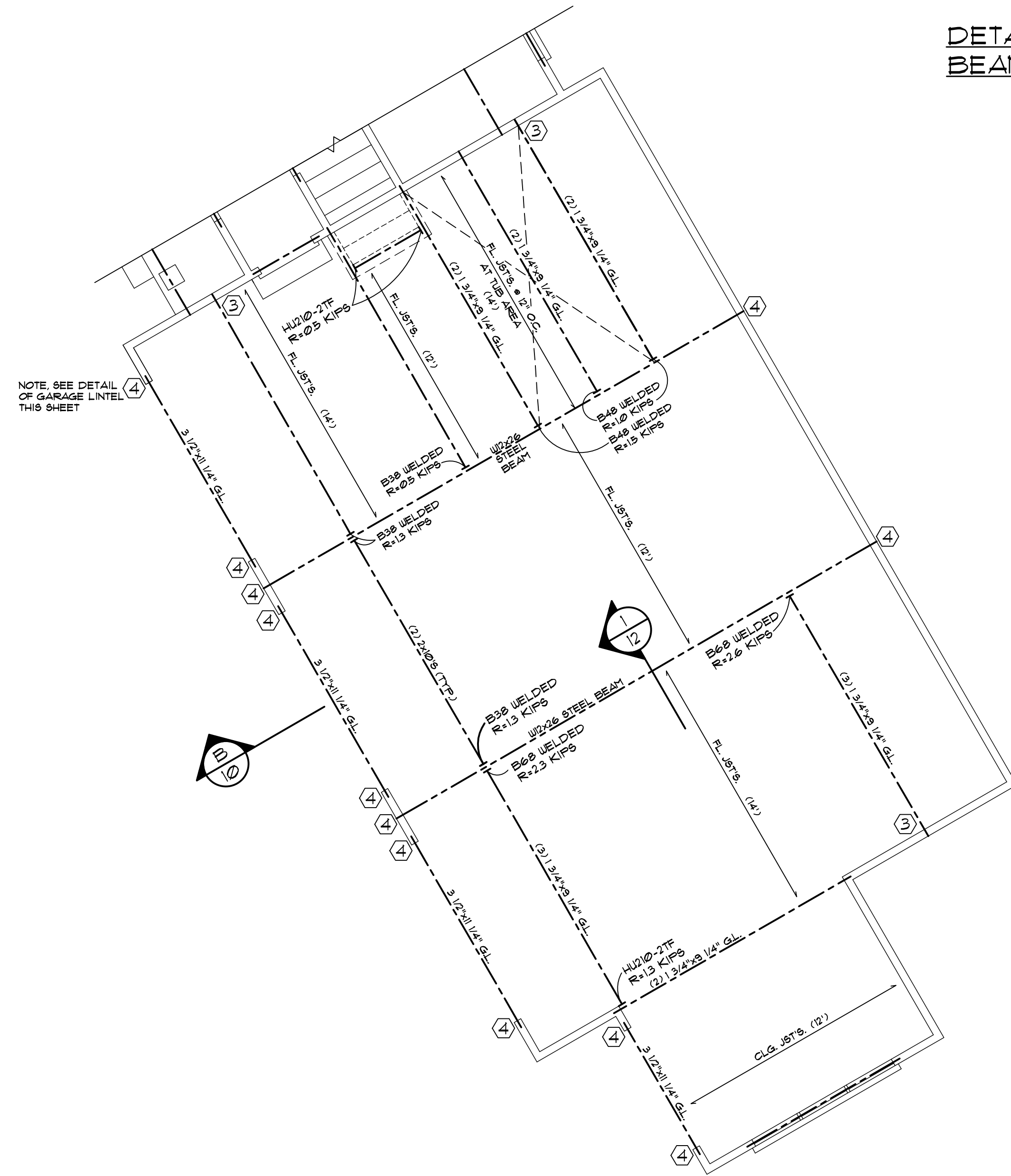
DETAIL OF POST FROM BEAM TO RIDGE BEAM



STEEL BEAM BOLT PATTERN
NOT TO SCALE

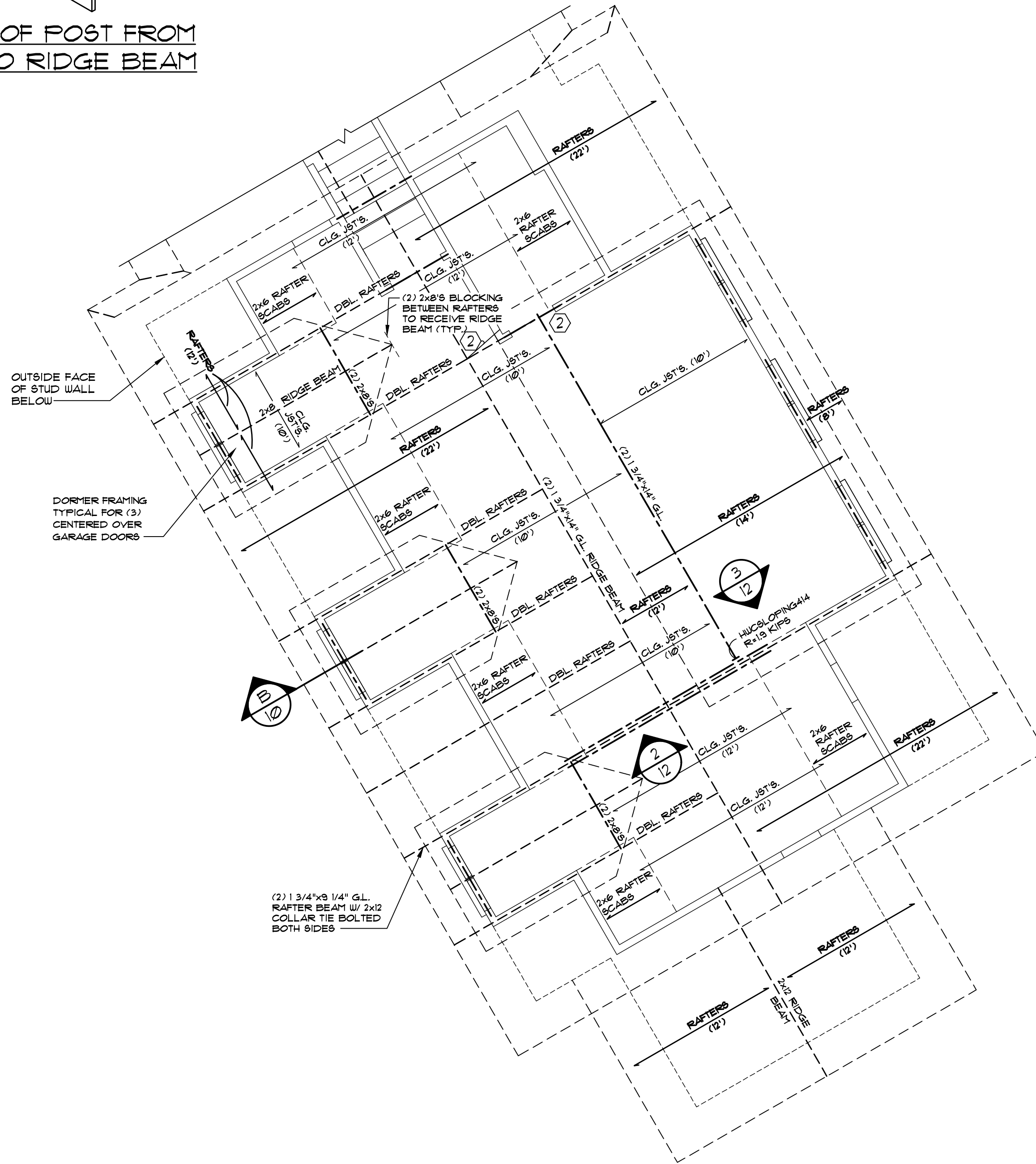


DETAIL OF GARAGE LINTEL
NOT TO SCALE



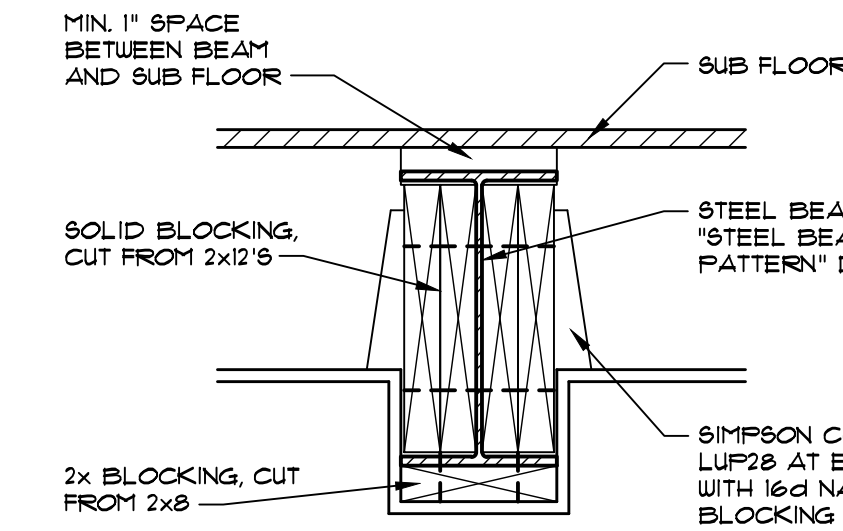
BONUS ROOM FLOOR FRAMING PLAN

1/4" = 1'-0"

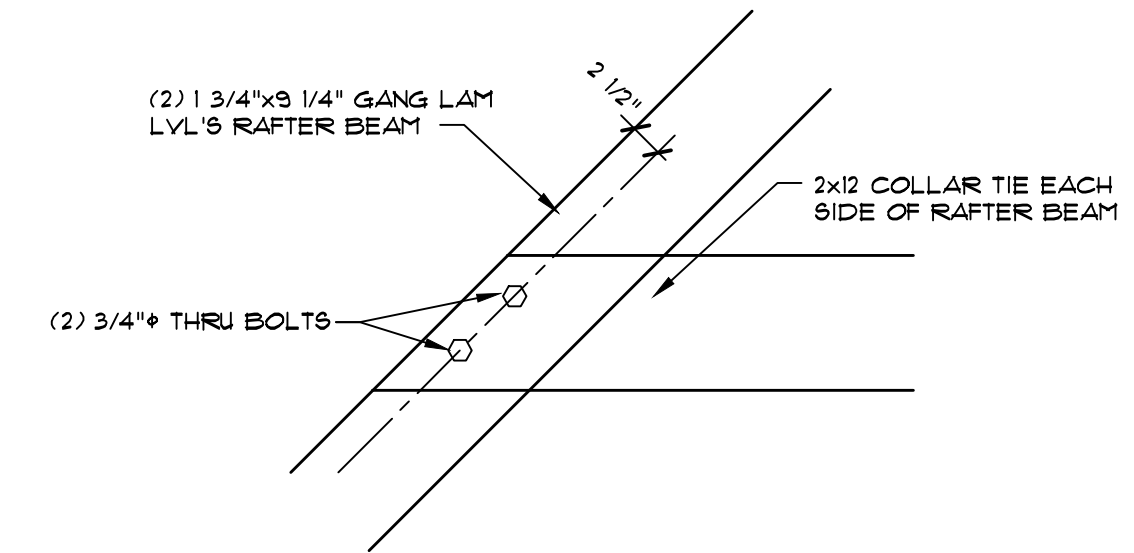


BONUS ROOM STRUCTURAL PLAN

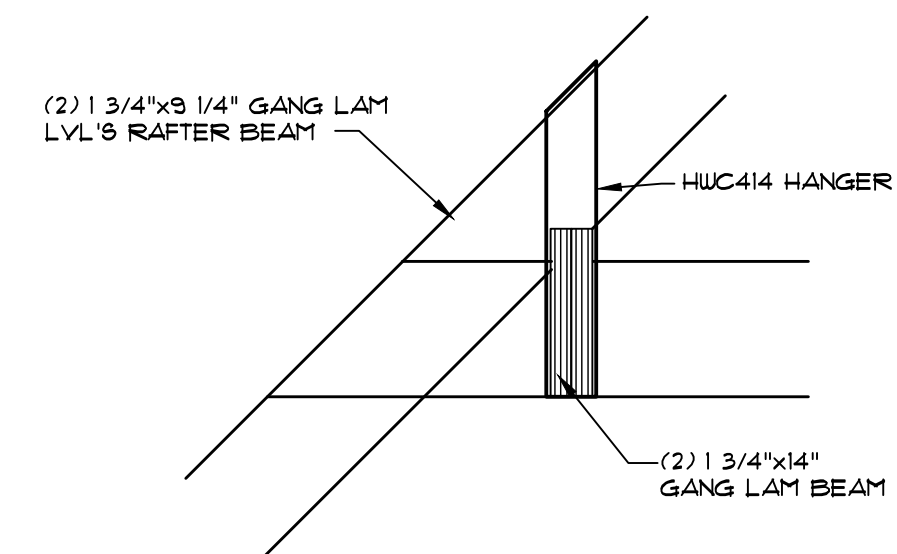
1/4" = 1'-0"



SECTION 1
1 1/2" = 1'-0"



SECTION 2 AT RAFTER BEAM
3/4" = 1'-0"



SECTION 3 AT RAFTER BEAM
3/4" = 1'-0"

ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS AND MANUFACTURER'S INSTRUCTIONS ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE AT VARIANCE. THESE PLANS ARE NOT DRAWN FOR ANY PARTICULAR LOCAL JURISDICTION. YOU ARE RESPONSIBLE FOR DETERMINING AND ENSURING COMPLIANCE WITH ALL APPLICABLE CODES AND MANUFACTURER'S REQUIREMENTS.

MODIFICATIONS BY
DONALD A. GARDNER
 DESIGN SERVICES, LLC

DONALD A. GARDNER, INC.
 P. O. BOX 26178 • GREENVILLE S.C. • 29616
 864 • 288 • 7580
www.dongardner.com

DESIGN NO. M1905-959-MR
 SHEET OF 12 ENO
 BONUS ROOM STRUCTURAL PLANS

DO NOT SCALE DRAWINGS.
 COPYRIGHT © 3/12/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
 NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION