



McKee Homes, LLC  
 Lot 289 Oakmont Estates  
 Nelson Classic  
 Right Hand Garage, Crawlspace Foundation

PRINT DATE:  
03.17.19

SHEET NO:  
T-1

**BUILDING CODE COMPLIANCE/ PROJECT INFORMATION**

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

APPLICABLE CODES:  
 FOLLOW ALL APPLICABLE STATE AND LOCAL CODES.  
 2018 NORTH CAROLINA STATE SUPPLEMENTS AND AMENDMENTS

CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

PRODUCT:  
 SINGLE FAMILY RESIDENCE

OCCUPANCY CLASSIFICATION  
 RESIDENTIAL R-3

CONSTRUCTION TYPE:  
 TYPE VB

**INDEX**

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E3.0	3RD FLOOR UTILITY PLAN

ALL CONSULTANT DRAWINGS ACCOMPANYING THESE GMD DESIGN GROUP DRAWINGS HAVE NOT BEEN PREPARED BY OR UNDER THE DIRECTION OF GMD DESIGN GROUP, INC. GMD DESIGN GROUP INC. THEREFORE ASSUMES NO LIABILITY FOR THE COMPLETENESS OR CORRECTNESS OF THESE DRAWINGS.

'THE NELSON' SF	
AREA	CLASSIC
1st FLOOR	1052 SF
2nd FLOOR	1281 SF
TOTAL LIVING	2333 SF
UNFINISHED 3rd FLOOR	573 SF
GARAGE	401 SF
COV. PORCH	401 SF

**GENERAL NOTES DESIGNER NORTH CAROLINA:**

THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR REVISED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK.

ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION IMMEDIATELY.

DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.

ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.

ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.

ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED. PROVIDE FIREBLOCKING. (PER LOCAL CODES.)

ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.

PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR, TOWEL RING AND/OR TOILET PAPER HOLDER LOCATIONS, AS SHOWN PER PLAN. TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK.

ELASTOMERIC SHEET WATERPROOFING, FURNISH AND INSTALL ALL WATERPROOFING COMPLETE. A 40 MIL SELF-ADHERING MEMBRANE OF RUBBERIZED ASPHALT INTEGRALLY BONDED TO POLYETHYLENE SHEETING, OR EQUAL. INSTALL PER MANUFACTURER'S AND TRADE ASSOCIATION'S PRINTED INSTALLATION INSTRUCTIONS. 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES.

TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.

SHOP DRAWING REVIEW AND DISTRIBUTION, ALONG WITH PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT.

DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FINISHED BY SUBCONTRACTORS AND VENDORS.

THE BUILDER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOILS REPORT), ON THE STUDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOILS CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE CRITERIA.

ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL OTHER AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.

PROVIDE AN APPROVED WASHER DRAIN PAN AT SECOND FLOOR ONLY THAT DRAINS TO EXTERIOR.

WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR OPENABLE AREA OF 4.0 SQ FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 22" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". GLAZING TOTAL AREA OF NOT LESS THAN 5.0 SQ FT. IN THE CASE OF A GROUND WINDOW AND NOT LESS THAN 5.7 SQ FT IN THE CASE OF AN UPPER STORY WINDOW. (PER NCRC SECTION R310.1.1)

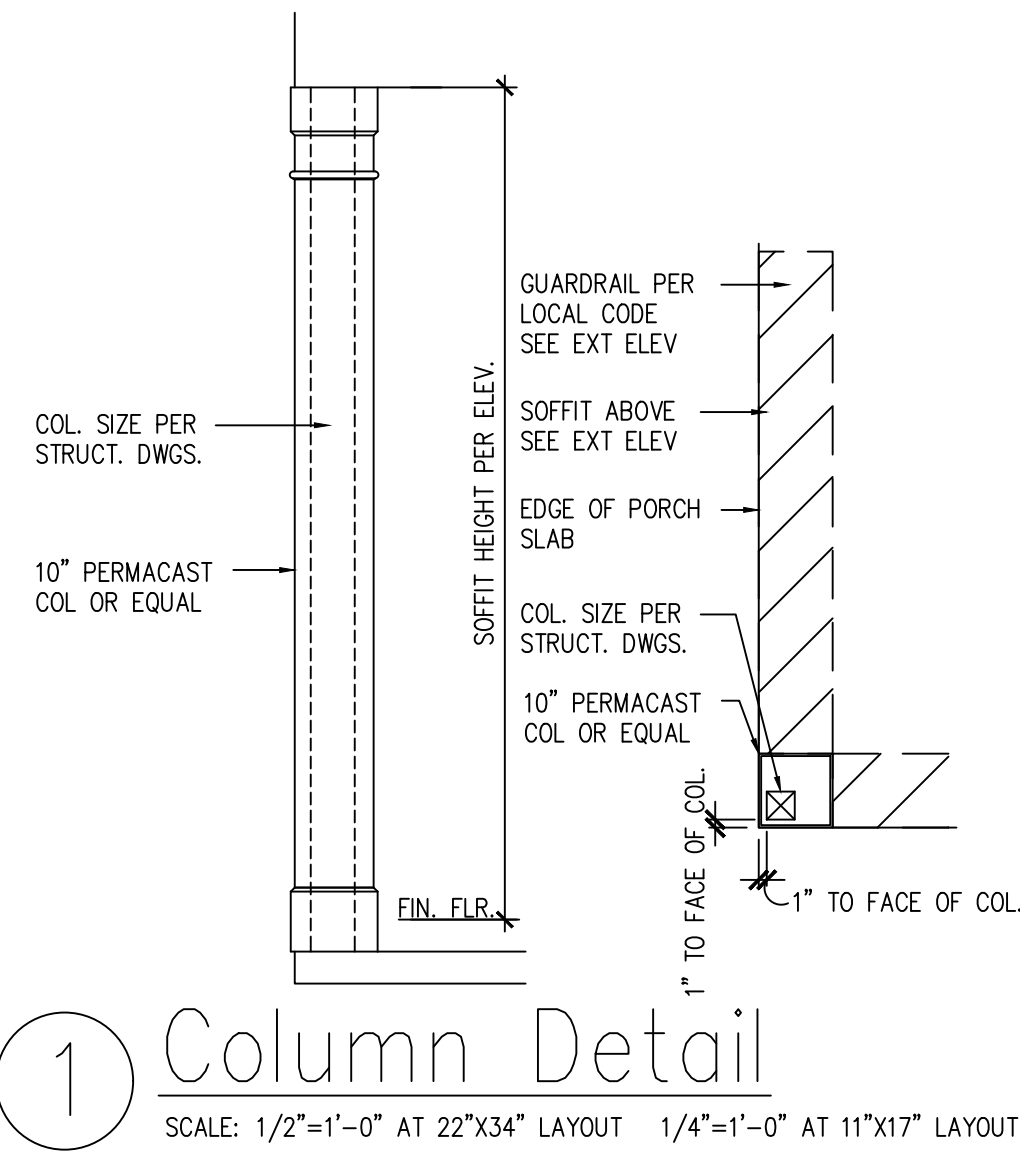
ALL HANDRAIL BALLUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALLUSTERS. (PER LOCAL CODES.)

PROVIDE STAIR HANDRAILS AND GUARDRAILS PER LOCAL CODES

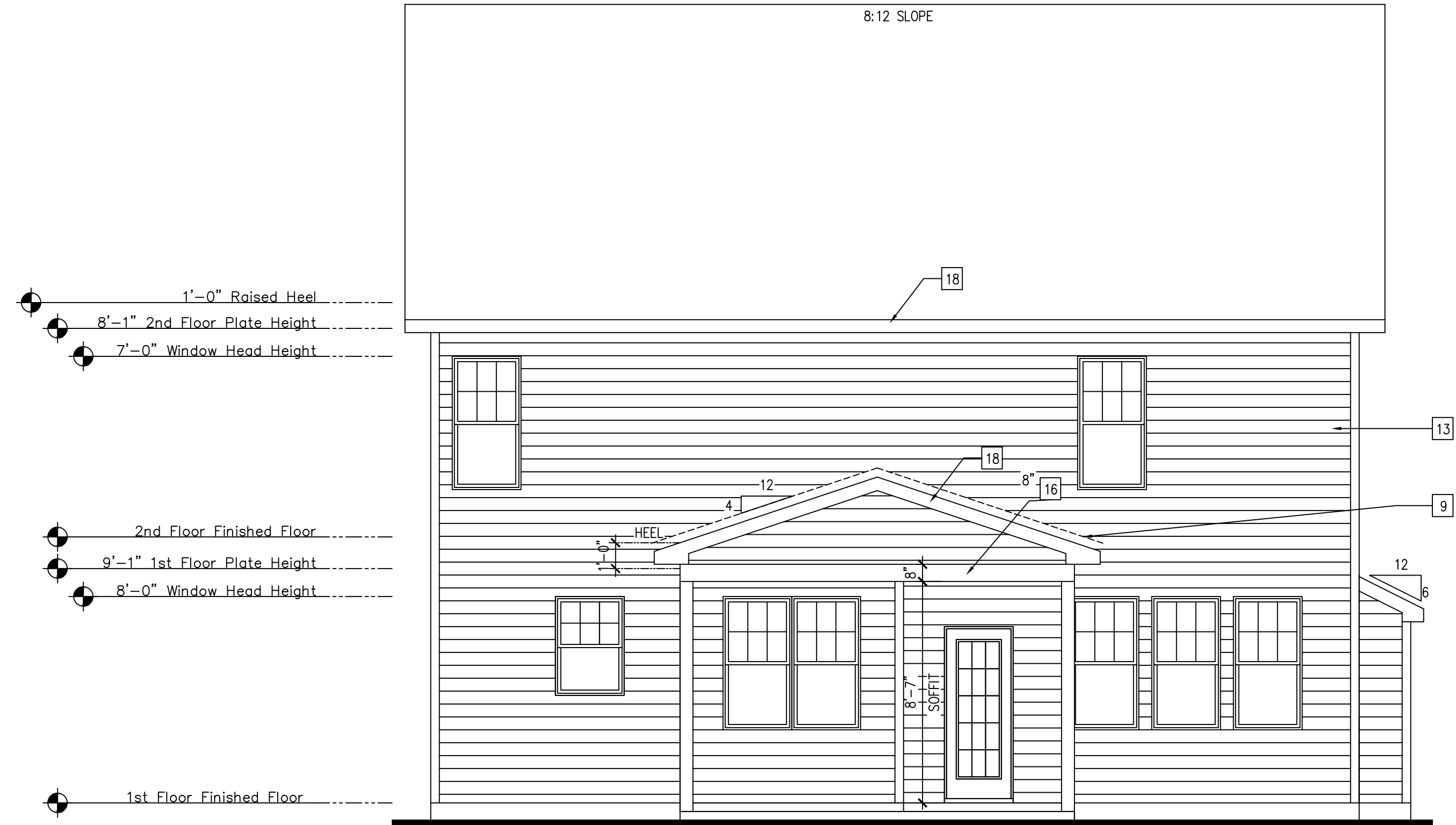
**BUILDER SET:**

THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A 'BUILDER SET' OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HEREINAFTER REFERRED TO AS 'PLANS'. THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS, AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THEY ARE NOT INTENDED TO SPECIFY PARTICULAR PRODUCTS OR OTHER METHODS OF ANY SPECIFIC MATERIALS, PRODUCT OR METHOD. THE IMPLEMENTATION OF THE PLANS REQUIRES A CLIENT / CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.

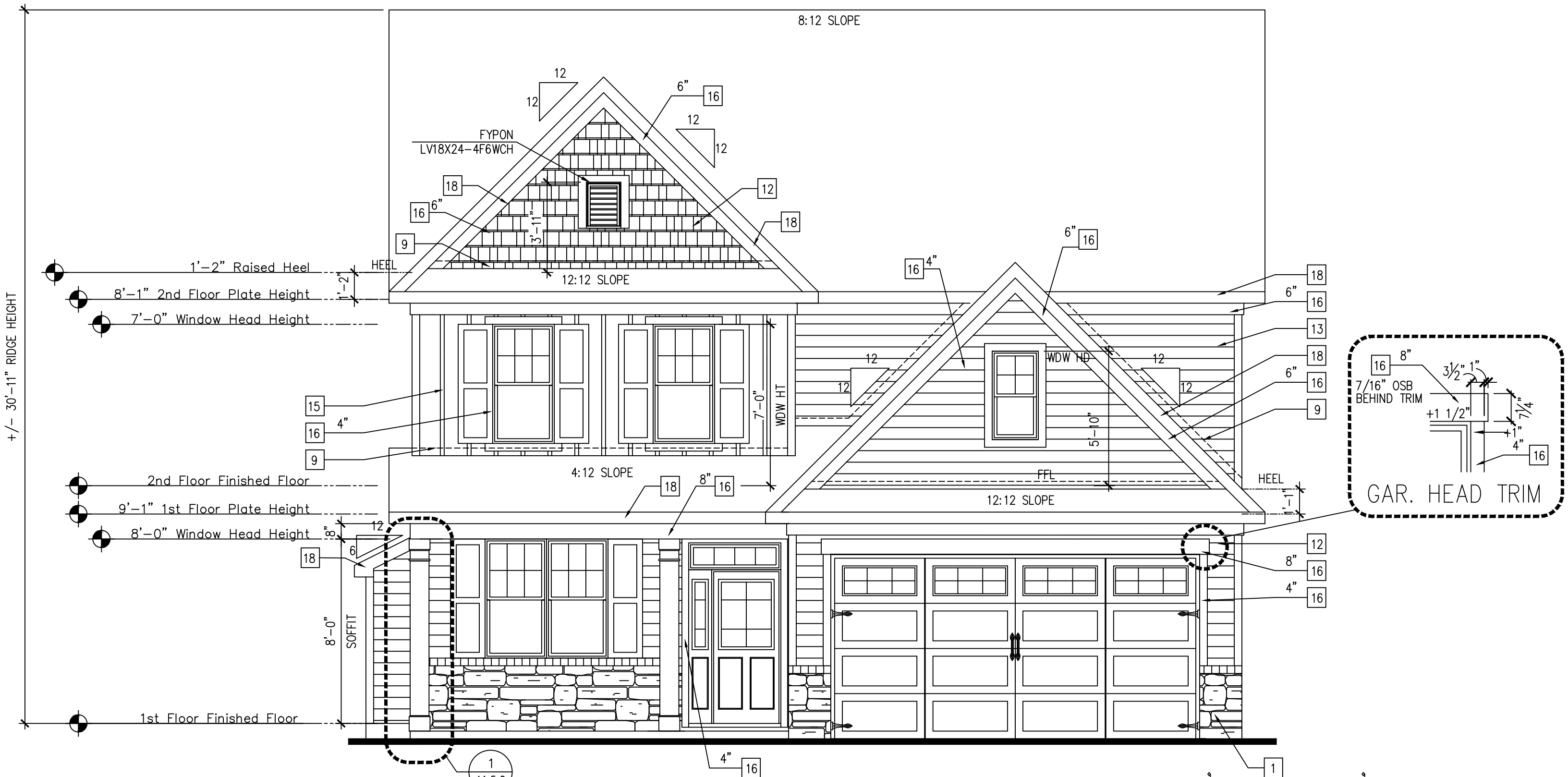
CONSTRUCTION REQUIREMENTS AND QUALITY: PROVIDE WORK OF THE SPECIFIC QUALITY. WHERE QUALITY LEVEL IS NOT INDICATED, PROVIDE WORK OF QUALITY CUSTOMARY IN SIMILAR TYPES OF WORK. WHERE THE PLANS AND SPECIFICATIONS, CODES, LAWS, REGULATIONS, MANUFACTURER'S RECOMMENDATIONS OR INDUSTRY STANDARDS REQUIRE WORK OF HIGHER QUALITY OR PERFORMANCE, PROVIDE WORK COMPLYING WITH THOSE REQUIREMENTS AND QUALITY. WHERE TWO OR MORE QUALITY PROVISIONS OF THOSE REQUIREMENTS CONFLICT WITH THE MOST STRINGENT REQUIREMENT; WHERE REQUIREMENTS ARE DIFFERENT BUT APPARENTLY EQUAL, AND WHERE IT IS UNCERTAIN WHICH REQUIREMENT IS MOST STRINGENT, OBTAIN CLARIFICATION FROM MCKEE HOMES LLC. BEFORE PROCEEDING.



**1 Column Detail**  
 SCALE: 1/2"=1'-0" AT 22"X34" LAYOUT 1/4"=1'-0" AT 11"X17" LAYOUT



**Rear Elevation 'Classic'**  
 SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT



**Front Elevation 'Classic'**  
 SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

**NOTES:**

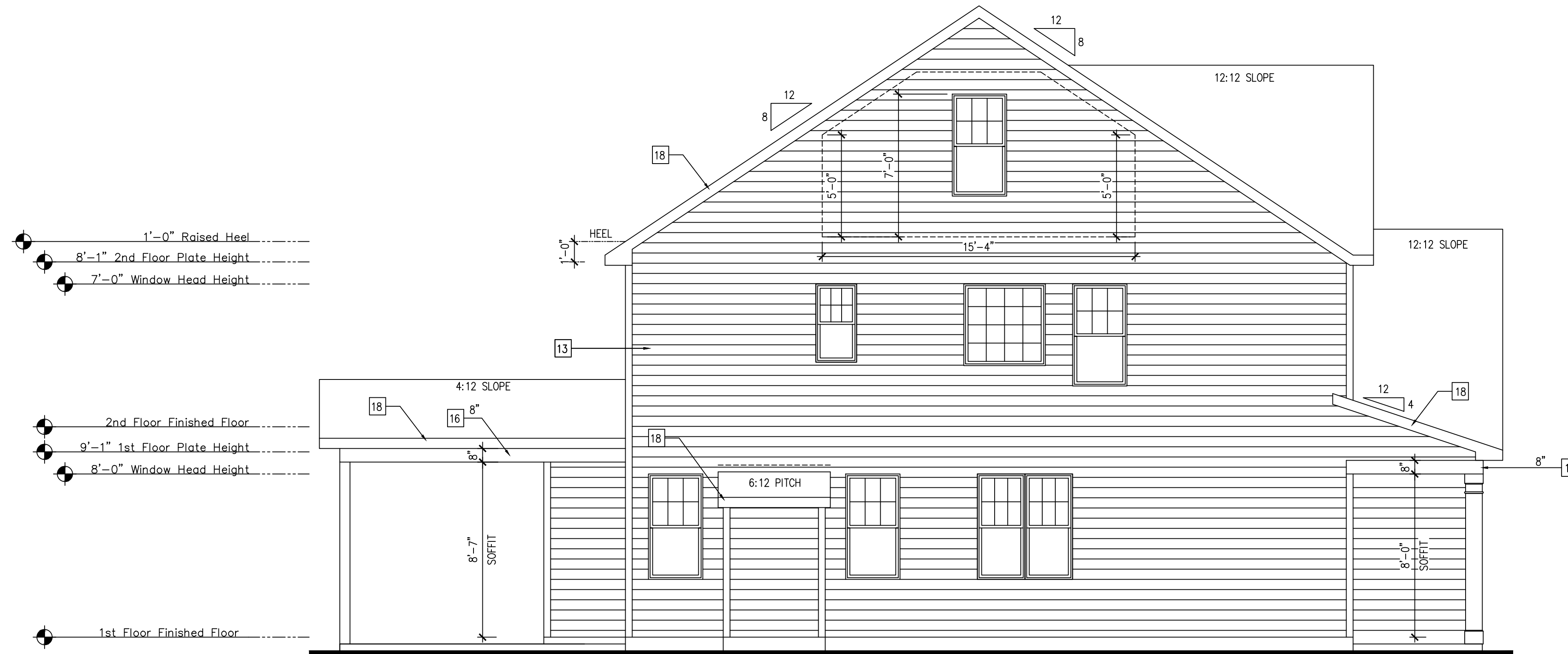
- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:  
 1ST FLOOR = 7'-8" U.N.O. ON ELEVATIONS.  
 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

**KEY NOTES:**

- MASONRY:**
- 1 ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
  - 2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
  - 3 MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
  - 4 8" SOLDIER COURSE.
  - 5 ROWLOCK COURSE.
  - 6 DECORATIVE KEY. SEE DETAIL.
- TYPICALS:**
- 7 CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
  - 8 CODE APPROVED TERMINATION CHIMNEY CAP.
  - 9 CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/ WALL INTERSECTIONS.
- SIDING:**
- 12 FIBER CEMENT SHAKE SIDING PER DEVELOPER  
 W/ 5/4x4 CORNER TRIM BOARDS OR VINYL EQUIVALENT W/ VINYL CORNER TRIM.
  - 13 FIBER CEMENT LAP SIDING PER DEVELOPER  
 W/ 5/4x4 CORNER TRIM BOARDS OR VINYL EQUIVALENT W/ VINYL CORNER TRIM.
  - 14 FIBER CEMENT WAVY SIDING PER DEVELOPER  
 W/ 5/4x4 CORNER TRIM BOARDS OR VINYL EQUIVALENT W/ VINYL CORNER TRIM.
  - 15 FIBER CEMENT PANEL SIDING W/ 1x3 BATTS AT 12" O.C.  
 (VINYL BOARD AND BATT SIDING)
  - 16 5/4x FIBER CEMENT TRIM OR 5/4x WOOD TRIM W/ VINYL CAP OR COIL STOCK, SIZE AS NOTED  
 (SIZES SHOWN ARE NOMINAL WIDTHS)
  - 17 FALSE WOOD SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.
  - 18 1x6 FIBER CEMENT BOARD FACIA OVER 2x4 SUB-FACIA OR 2x6 FACIA W/ VINYL CAP OR COIL STOCK.

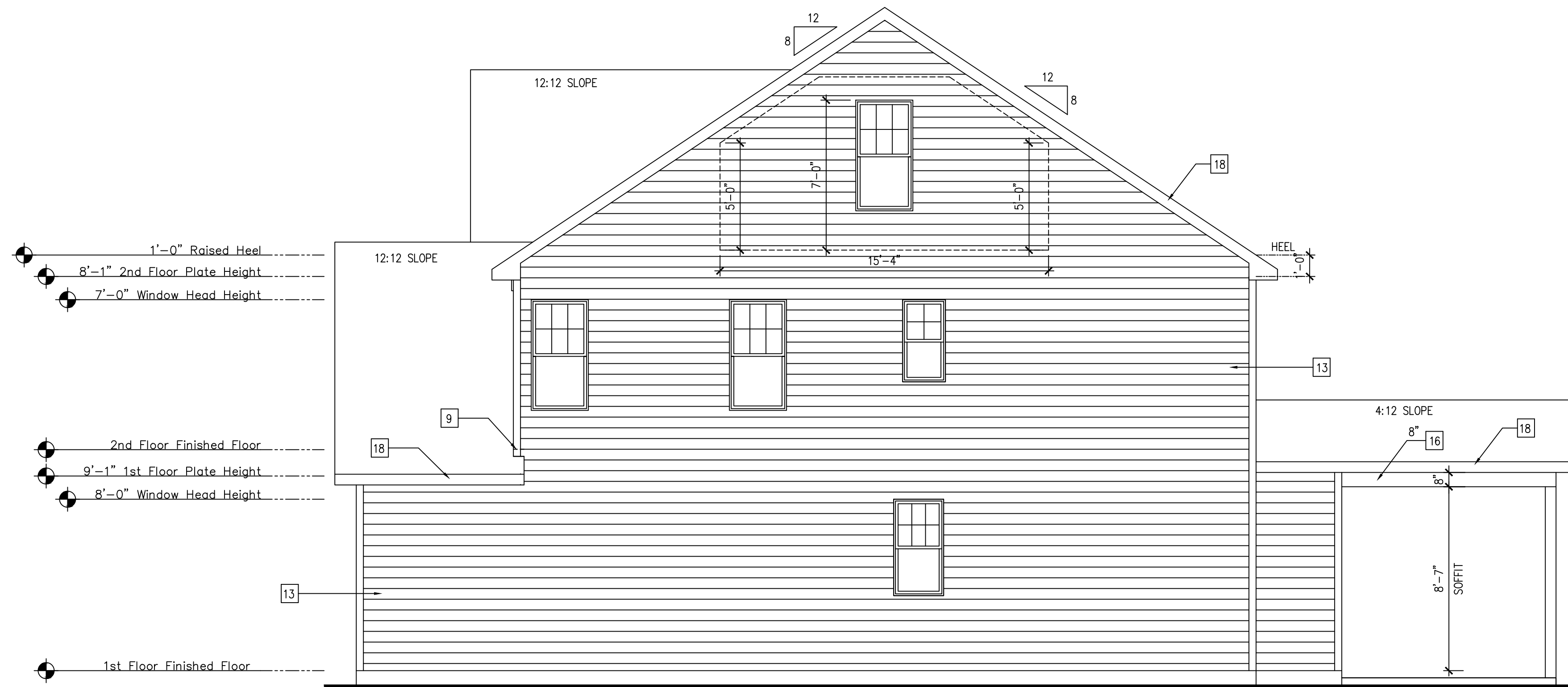
ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING CONTROLLING DEVICES COMPLYING WITH THE 2018 NRCR SECTION R312.2

**McKee Homes, LLC**  
**Lot 289 Oakmont Estates**  
**Nelson Classic**  
**Right Hand Garage, Crawlspace Foundation**



Left Elevation 'Classic'

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT



Right Elevation 'Classic'

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:  
1ST FLOOR = 7'-8" U.N.O. ON ELEVATIONS.  
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
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KEY NOTES:

- MASONRY:
- 1 ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
  - 2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
  - 3 MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
  - 4 8" SOLDIER COURSE.
  - 5 ROWLOCK COURSE
  - 6 DECORATIVE KEY. SEE DETAIL.
- TYPICALS:
- 7 CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
  - 8 CODE APPROVED TERMINATION CHIMNEY CAP.
  - 9 CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/ WALL INTERSECTIONS.
  - 10 STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - 11 DECORATIVE WROUGHT IRON. SEE DETAILS.
- SIDING:
- 12 FIBER CEMENT SHAKE SIDING PER DEVELOPER  
W/ 5/4x4 CORNER TRIM BOARDS OR VINYL EQUIVALENT W/ VINYL CORNER TRIM.
  - 13 FIBER CEMENT LAP SIDING PER DEVELOPER  
W/ 5/4x4 CORNER TRIM BOARDS OR VINYL EQUIVALENT W/ VINYL CORNER TRIM.
  - 14 FIBER CEMENT WAVY SIDING PER DEVELOPER  
W/ 5/4x4 CORNER TRIM BOARDS OR VINYL EQUIVALENT W/ VINYL CORNER TRIM.
  - 15 FIBER CEMENT PANEL SIDING W/ 1x3 BATTS AT 12" O.C.  
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  - 16 5/4x FIBER CEMENT TRIM OR 5/4x WOOD TRIM W/ VINYL CAP OR COIL STOCK, SIZE AS NOTED  
(SIZES SHOWN ARE NOMINAL WIDTHS)
  - 17 FALSE WOOD SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.
  - 18 1X6 FIBER CEMENT BOARD FACIA OVER 2X4 SUB-FACIA  
OR 2X6 FACIA W/ VINYL CAP OR COIL STOCK.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING CONTROLLING DEVICES COMPLYING WITH THE 2018 NRC SECTION R312.2

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NC ATTIC VENT CALC. : 1:150 RATIO

THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, PROVIDED THAT AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

EXCEPTIONS:

1. EXCLOSED ATTIC/RAFTER SPACES REQUIRING LESS THAN 1 SQ. FT. OF VENTILATION MAY BE VENTED WITH CONTINUOUS SOFFIT VENTILATION ONLY.
2. ENCLOSED ATTIC/RAFTER SPACES OVER UNCONDITIONED SPACE MAY BE VENTED WITH CONTINUOUS SOFFIT VENT ONLY.

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY.

PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

(PER NCRC SECTION R806.2)

1 SQUARE INCH VENT FOR EVERY 150 SQUARE INCHES OF CEILING  
 \*144 SQ. IN. = 1 SQ. FT.  
 BLDG. CEILING (SF) X 144 = BLDG (SQ. IN.)  
 BLDG. (SQ. IN.) / 150 = SQ. IN. OF VENT REQUIRED  
 SQ. IN. OF VENT REQUIRED / 2 = 50% AT HIGH & 50% AT LOW.

ROOF AREA 1: = 1409 SF

1409 SQ. FT. X 144 = 202896 SQ. IN.  
 202896 SQ. IN. / 150 = 1352.64 SQ. IN. OF VENT REQ'D  
 1352.64 SQ. IN. / 2 = 676.32 SQ. IN.

676.32 SQ. IN. OF VENT AT HIGH & 676.32 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 2: = 103 SF

103 SQ. FT. X 144 = 14832 SQ. IN.  
 14832 SQ. IN. / 150 = 98.88 SQ. IN. OF VENT REQ'D  
 98.88 SQ. IN. / 2 = 49.44 SQ. IN.

49.44 SQ. IN. OF VENT AT HIGH & 49.44 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 3: = 214 SF

214 SQ. FT. X 144 = 30816 SQ. IN.  
 30816 SQ. IN. / 150 = 205.44 SQ. IN. OF VENT REQ'D  
 205.44 SQ. IN. / 2 = 102.72 SQ. IN.

102.72 SQ. IN. OF VENT AT HIGH & 102.72 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 4: = 247 SF

247 SQ. FT. X 144 = 35568 SQ. IN.  
 35568 SQ. IN. / 150 = 237.12 SQ. IN. OF VENT REQ'D  
 237.12 SQ. IN. / 2 = 118.56 SQ. IN.

118.56 SQ. IN. OF VENT AT HIGH & 118.56 SQ. IN. OF VENT AT LOW REQUIRED.

NOTES:

- ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.
- DASHED LINES INDICATE WALL BELOW.
- LOCATE GUTTER AND DOWNSPOUTS PER BUILDER.
- PITCHED ROOFS AS NOTED.

- TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWINGS TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS.
- ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE.

NC ATTIC VENT CALC. : 1:300 RATIO

AS AN ALTERNATE TO THE 1/50 RATIO LISTED ABOVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM - IN - WINTER SIDE OF THE CEILING.

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY.

PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

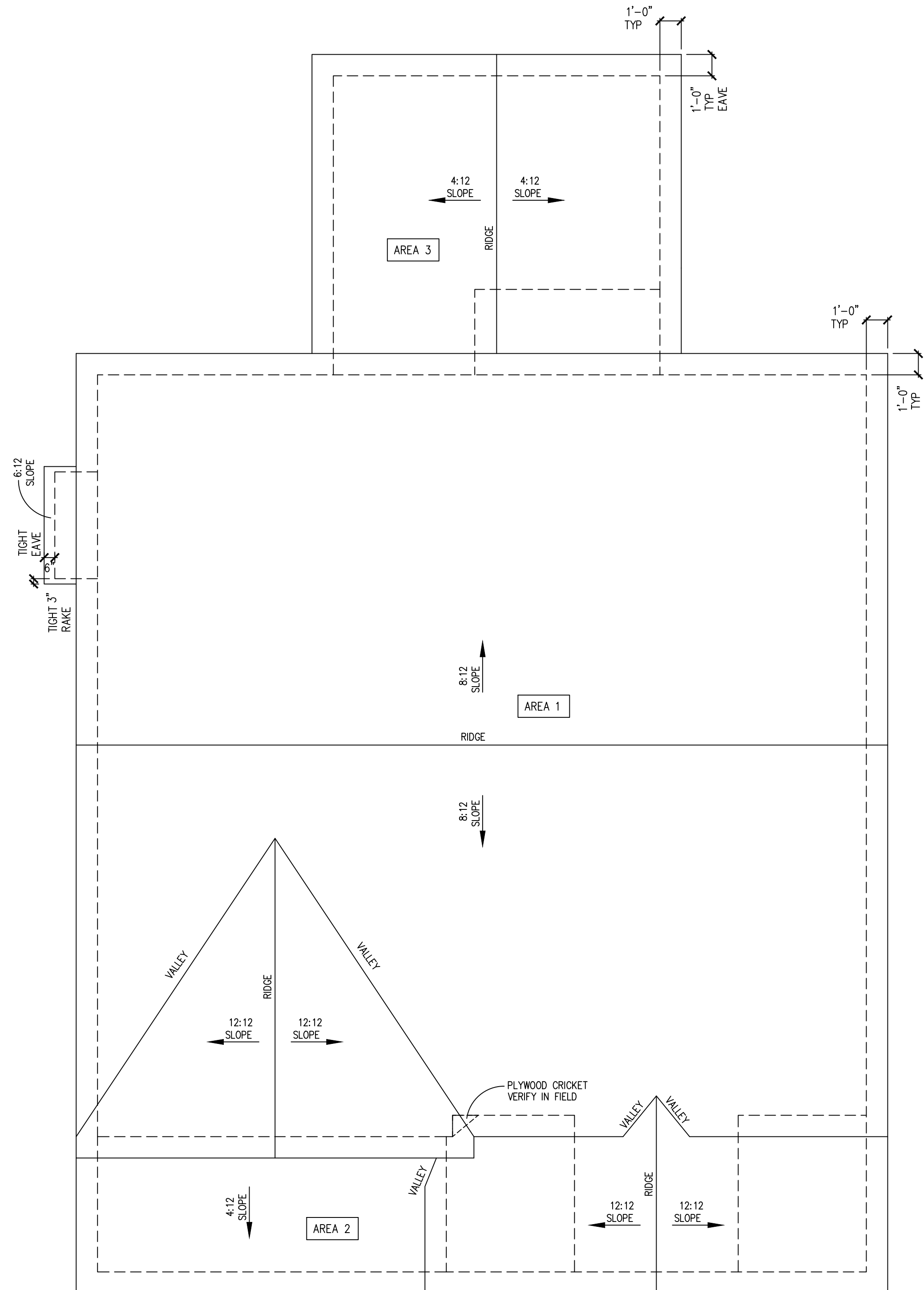
(PER NCRC SECTION R806.2)


1 SQUARE INCH VENT FOR EVERY 150 SQUARE INCHES OF CEILING  
 \*144 SQ. IN. = 1 SQ. FT.  
 BLDG. CEILING (SF) X 144 = BLDG (SQ. IN.)  
 BLDG. (SQ. IN.) / 300 = SQ. IN. OF VENT REQUIRED  
 SQ. IN. OF VENT REQUIRED / 2 = 50% AT HIGH & 50% AT LOW.

ROOF AREA 1:

1409 SQ. FT. X 144 = 202896 SQ. IN.  
 202896 SQ. IN. / 300 = 676.32 SQ. IN. OF VENT REQ'D  
 676.32 SQ. IN. / 2 = 338.16 SQ. IN.

338.16 SQ. IN. OF VENT AT HIGH & 338.16 SQ. IN. OF VENT AT LOW REQUIRED.



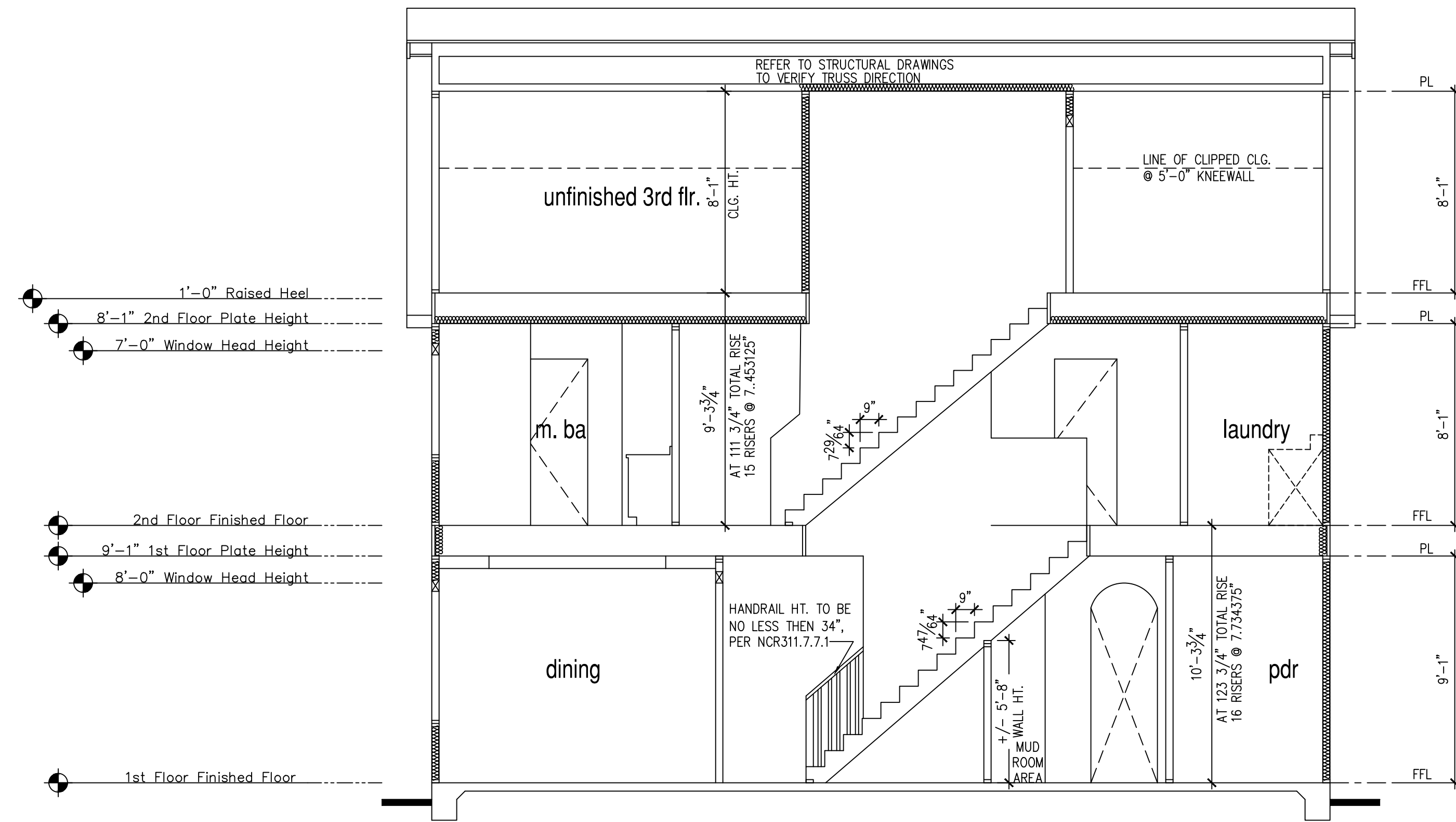
  
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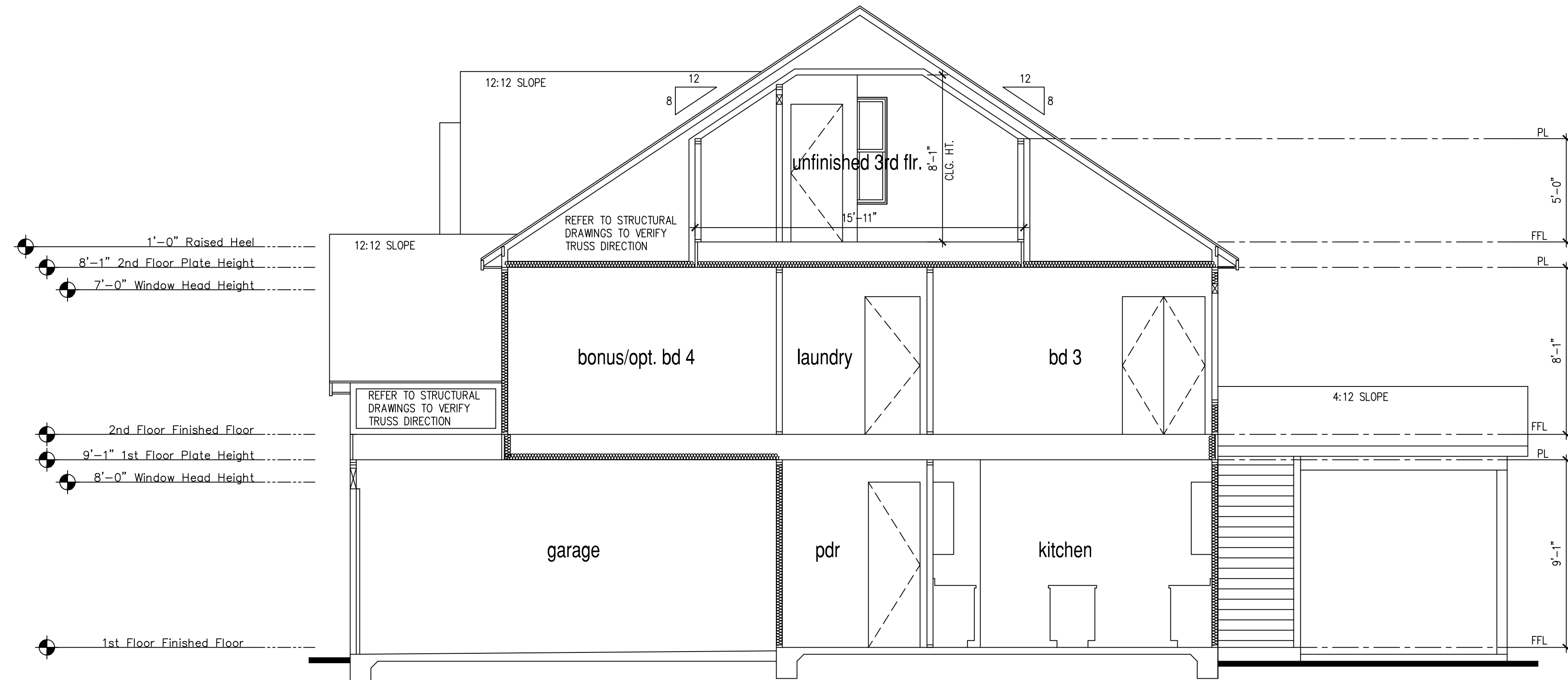
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SHEET NO: A1.3



Base Building Section 1

SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x17" LAYOUT



Base Building Section 2

SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x17" LAYOUT

**9'-1" STAIR NOTE:**  
 (USE 14" T.J. WITH 3/4" PLYWOOD SUBFLOOR)  
 16 TREADS AT 10" EACH VERIFY  
 17 RISERS AT +/- 7.28" = 123 3/4" TOTAL RISE VERIFY

**NOTES:**

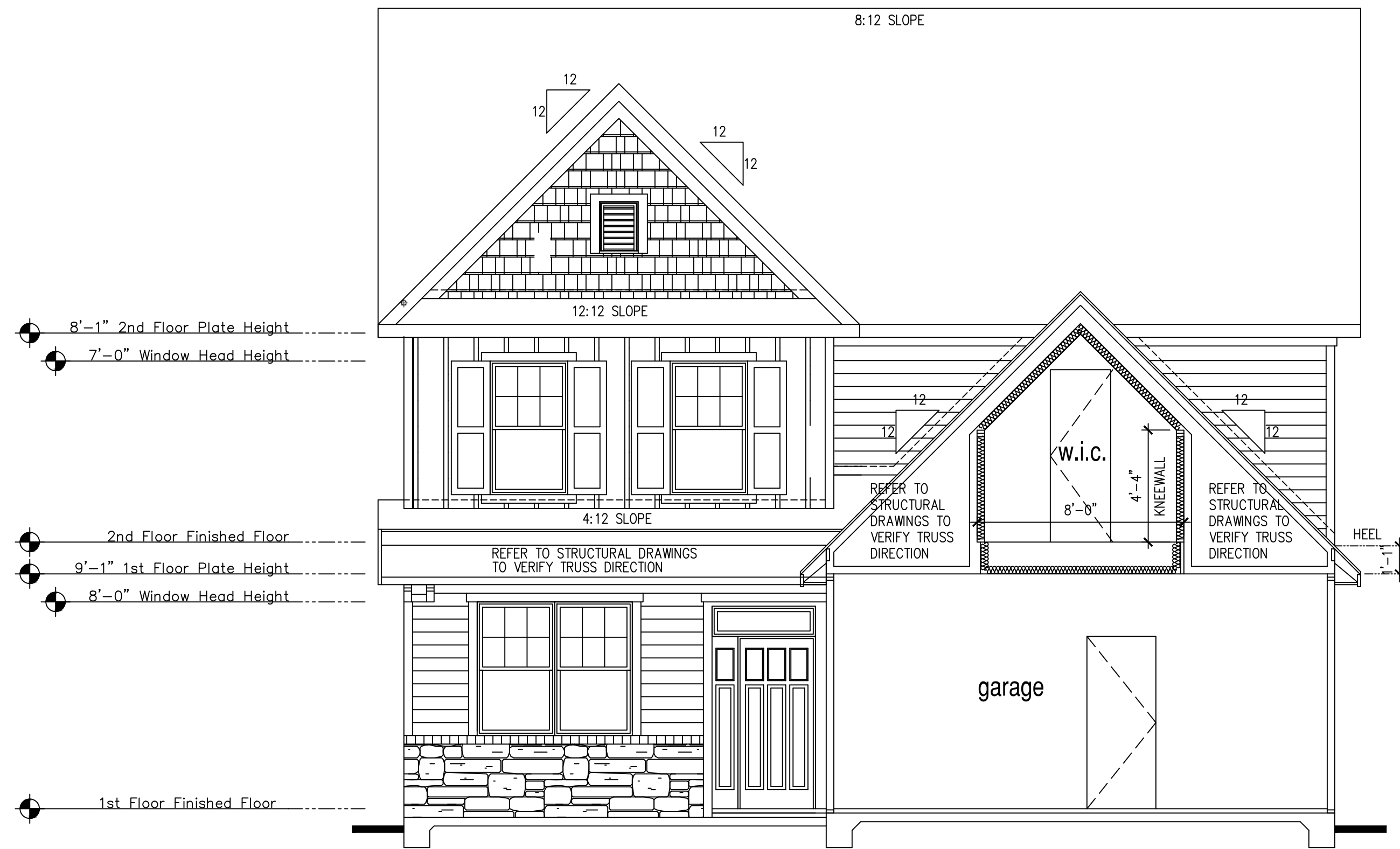
- REFER TO FLOOR PLAN NOTES FOR TYPICAL FIRE PROTECTION NOTES AND LOCATIONS.
- THESE BUILDING SECTIONS MAY VARY AT ALTERNATE ELEVATION STYLES AND AT "PLAN OPTION" CONDITIONS. REFER TO MAIN FLOOR PLAN AND ALTERNATE FLOOR PLANS FOR INFORMATION NOT SHOWN HERE.
- BUILDING SECTIONS SHOWN HERE DEPICT VOLUM SPACES WITHIN THE STRUCTURE. REFER TO STRUCTURAL DRAWINGS, TRUSS DRAWINGS, STRUCTURAL DETAILS AND CALCULATIONS BY OTHER FOR ALL STRUCTURAL INFO.
- ROOFING: PITCHED SHINGLE ROOF. REFER TO ROOF PLAN FOR TYPICALS.
- WOOD FLOORS: FLOOR SHEATHING OVER FLOOR JOIST REFER TO STRUCTURAL AND TRUSS DRAWINGS BY OTHERS.
- VERIFY STAIRS MINIMUM AND MAXIMUM REQUIREMENTS FOR CONSTRUCTION CLEARANCES WITH LOCAL CODES.
- INSULATION:  
 EXTERIOR WALLS ZONE 3: R-13 BATTS MINIMUM. VERIFY  
 EXTERIOR WALLS ZONE 4: R-15 BATTS MINIMUM. VERIFY  
 CEILING WITH ATTIC ABOVE: R-38 BATTS MINIMUM. VERIFY

PER STATE RESIDENTIAL CODE COMPLIANCE METHOD TO BE DETERMINED BY BUILDER

FLOOR OVER GARAGE: R-19 BATTS MINIMUM. VERIFY  
 ATTIC KNEEWALL: R-19 BATTS MINIMUM. VERIFY

McKee Homes, LLC  
 Lot 289 Oakmont Estates  
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 SHEET NO: A1.4



Building Section 7 'Classic'

SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x17" LAYOUT

9'-1" STAIR NOTE:  
 (USE 14" T.J. WITH 3/4" PLYWOOD SUBFLOOR)  
 16 TREADS AT 10" EACH VERIFY  
 17 RISERS AT +/- 7.28" = 123 3/4" TOTAL  
 RISE VERIFY

NOTES:

- REFER TO FLOOR PLAN NOTES FOR TYPICAL FIRE PROTECTION NOTES AND LOCATIONS.
- THESE BUILDING SECTIONS MAY VARY AT ALTERNATE ELEVATION STYLES AND AT "PLAN OPTION" CONDITIONS. REFER TO MAIN FLOOR PLAN AND ALTERNATE FLOOR PLANS FOR INFORMATION NOT SHOWN HERE.
- BUILDING SECTIONS SHOWN HERE DEPICT VOLUM SPACES WITHIN THE STRUCTURE. REFER TO STRUCTURAL DRAWINGS, TRUSS DRAWINGS, STRUCTURAL DETAILS AND CALCULATIONS BY OTHER FOR ALL STRUCTURAL INFO.
- ROOFING: PITCHED SHINGLE ROOF. REFER TO ROOF PLAN FOR TYPICALS.
- WOOD FLOORS: FLOOR SHEATHING OVER FLOOR JOIST  
REFER TO STRUCTURAL AND TRUSS DRAWINGS BY OTHERS.
- VERIFY STAIRS MINIMUM AND MAXIMUM REQUIREMENTS FOR CONSTRUCTION CLEARANCES WITH LOCAL CODES.
- INSULATION:  
 EXTERIOR WALLS ZONE 3: R-13 BATTS MINIMUM. VERIFY  
 EXTERIOR WALLS ZONE 4: R-15 BATTS MINIMUM. VERIFY  
 CEILING WITH ATTIC ABOVE: R-38 BATTS MINIMUM. VERIFY

PER STATE RESIDENTIAL CODE  
 COMPLIANCE METHOD TO BE  
 DETERMINED BY BUILDER

FLOOR OVER GARAGE: R-19 BATTS MINIMUM. VERIFY  
 ATTIC KNEEWALL: R-19 BATTS MINIMUM. VERIFY

McKee Homes, LLC  
 Lot 289 Oakmont Estates  
 Nelson Classic  
 Right Hand Garage, Crawlspace Foundation

PRINT DATE:  
 03.17.19

SHEET NO:  
 A1.5

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.  
 - WINDOW HEAD HEIGHTS:  
 1ST FLOOR = 7'-8" U.N.O. ON ELEVATIONS.  
 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.  
 ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

**WALL LEGEND:**

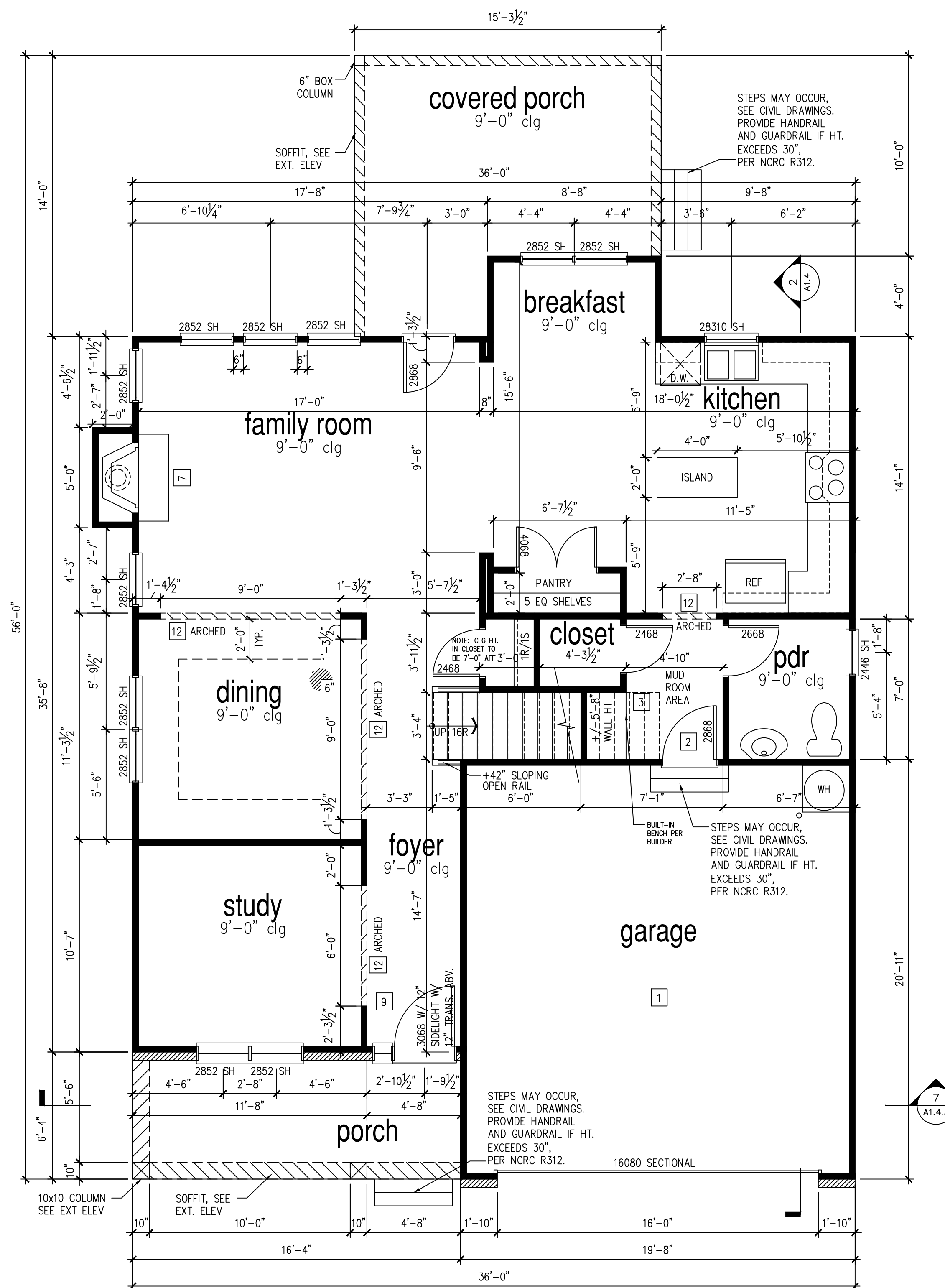
	FULL HEIGHT 2X4 WOOD STUD PARTITION		FULL HEIGHT 2X6 WOOD STUD PARTITION
	BRICK/STONE VENEER		STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED		DRYWALL OPENING, HEIGHT AS NOTED ON PLAN.

**KEY NOTES FOR NORTH CAROLINA:**

- FIRE PROTECTION:**
- HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD.
  - HOUSE TO GARAGE DOOR SEPARATION, PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR.
  - BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS.
- MEP'S**
- GAS WATER HEATER ON 18" HIGH PLATFORM.
  - FAU 8'X12' PLATFORM. VERIFY WITH TRUSS MANUFACTURER
  - A/C CONDENSER PAD. (VERIFY)
  - PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THEN 30"x20". FIRE RATED ACCESS AS NOTED. (PER NCCRC SECTION R807.) ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES. (25 1/2" X 54" SIZE.)
- TYPICALS:**
- TEMPERED SAFETY GLASS.
  - PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER. HEIGHT AS NOTED.
  - HALF WALL, HEIGHT AS NOTED.
  - INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O.
- BATHS:**
- SHOWER, TEMPERED GLASS ENCLOSURE.
  - TUB-SHOWER COMBO, TEMPERED GLASS ENCLOSURE.
  - CERAMIC TILE SHOWER AND FLOOR, TEMPERED GLASS ENCLOSURE.
  - 42"x60" ACRYLIC TUB W/ CERAMIC PLATFORM
- KITCHEN:**
- 30" SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - 36" GAS COOKTOP AND HOOD. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - ELECTRIC OVEN WITH MICROWAVE OVEN.

'THE NELSON' SF	
AREA	CLASSIC
1st FLOOR	1052 SF
2nd FLOOR	1281 SF
TOTAL LIVING	2333 SF
UNFINISHED 3rd FLOOR	573 SF
GARAGE	401 SF
COV. PORCH	401 SF

**9'-1" STAIR NOTE:**  
 (USE 14" T.J. WITH 3/4" PLYWOOD SUBFLOOR)  
 16 TREADS AT 10" EACH VERIFY  
 17 RISERS AT +/- 7.28" = 123 3/4" TOTAL RISE VERIFY



**1st Floor Plan 'Classic'**

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT



**McKee Homes, LLC**  
**Lot 289 Oakmont Estates**  
**Nelson Classic**  
**Right Hand Garage, Crawlspace Foundation**

PRINT DATE: 03.17.19

SHEET NO: A1.6

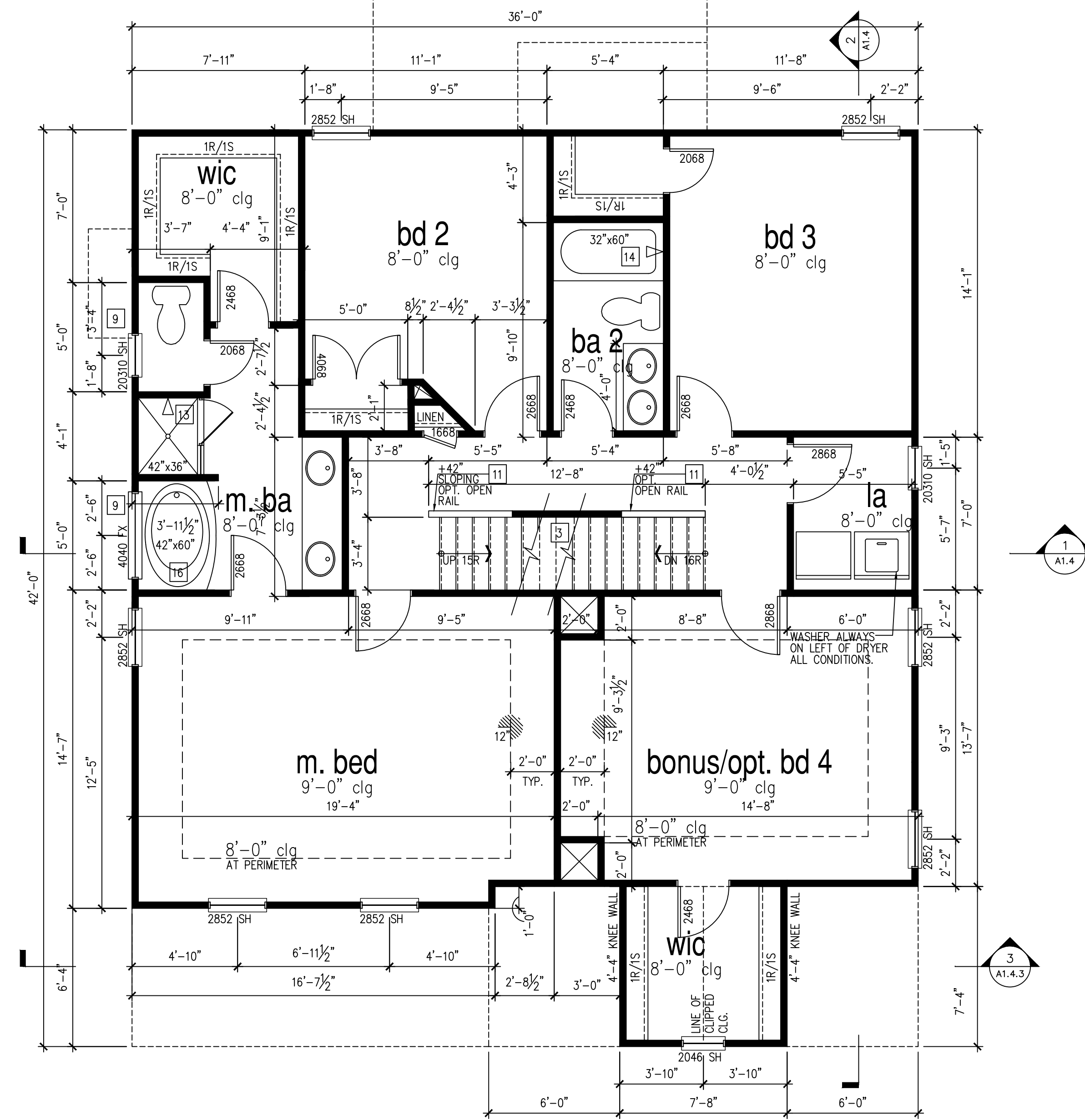
- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.  
 - WINDOW HEAD HEIGHTS:  
 1ST FLOOR = 7'-8" U.N.O. ON ELEVATIONS.  
 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.  
 ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

**WALL LEGEND:**

	FULL HEIGHT 2X4 WOOD STUD PARTITION		FULL HEIGHT 2X6 WOOD STUD PARTITION
	BRICK/ STONE VENEER		STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED		DRYWALL OPENING, HEIGHT AS NOTED ON PLAN.

**KEY NOTES FOR NORTH CAROLINA:**

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  - HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR.
  - BENEATH STAIRS AND LANDINGS. 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS.
- MEP'S**
- GAS WATER HEATER ON 18" HIGH PLATFORM.
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  - TUB-SHOWER COMBO. TEMPERED GLASS ENCLOSURE.
  - CERAMIC TILE SHOWER AND FLOOR. TEMPERED GLASS ENCLOSURE.
  - 42"x60" ACRYLIC TUB W/ CERAMIC PLATFORM
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  - 36" GAS COOKTOP AND HOOD. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - ELECTRIC OVEN WITH MICROWAVE OVEN.



**2nd Floor Plan 'Classic'**

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

'THE NELSON' SF	
AREA	CLASSIC
1st FLOOR	1052 SF
2nd FLOOR	1281 SF
TOTAL LIVING	2333 SF
UNFINISHED 3rd FLOOR	573 SF
GARAGE	401 SF
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**9'-1" STAIR NOTE:**  
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**McKee Homes, LLC**  
**Lot 289 Oakmont Estates**  
**Nelson Classic**  
**Right Hand Garage, Crawlspace Foundation**

PRINT DATE:	03.17.19
SHEET NO:	A1.7



- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.  
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 1ST FLOOR = 7'-8" U.N.O. ON ELEVATIONS.  
 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.  
 ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

**WALL LEGEND:**

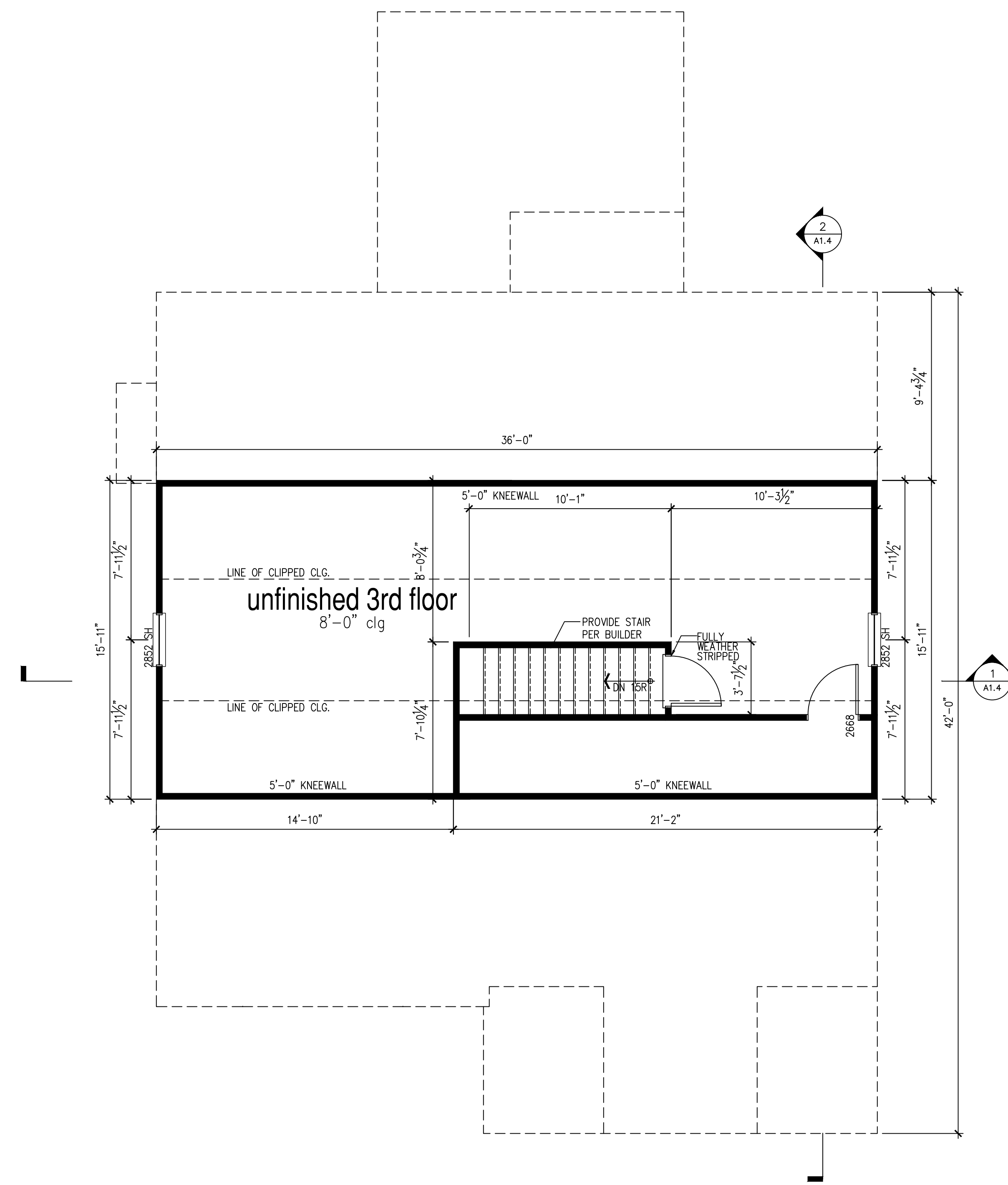
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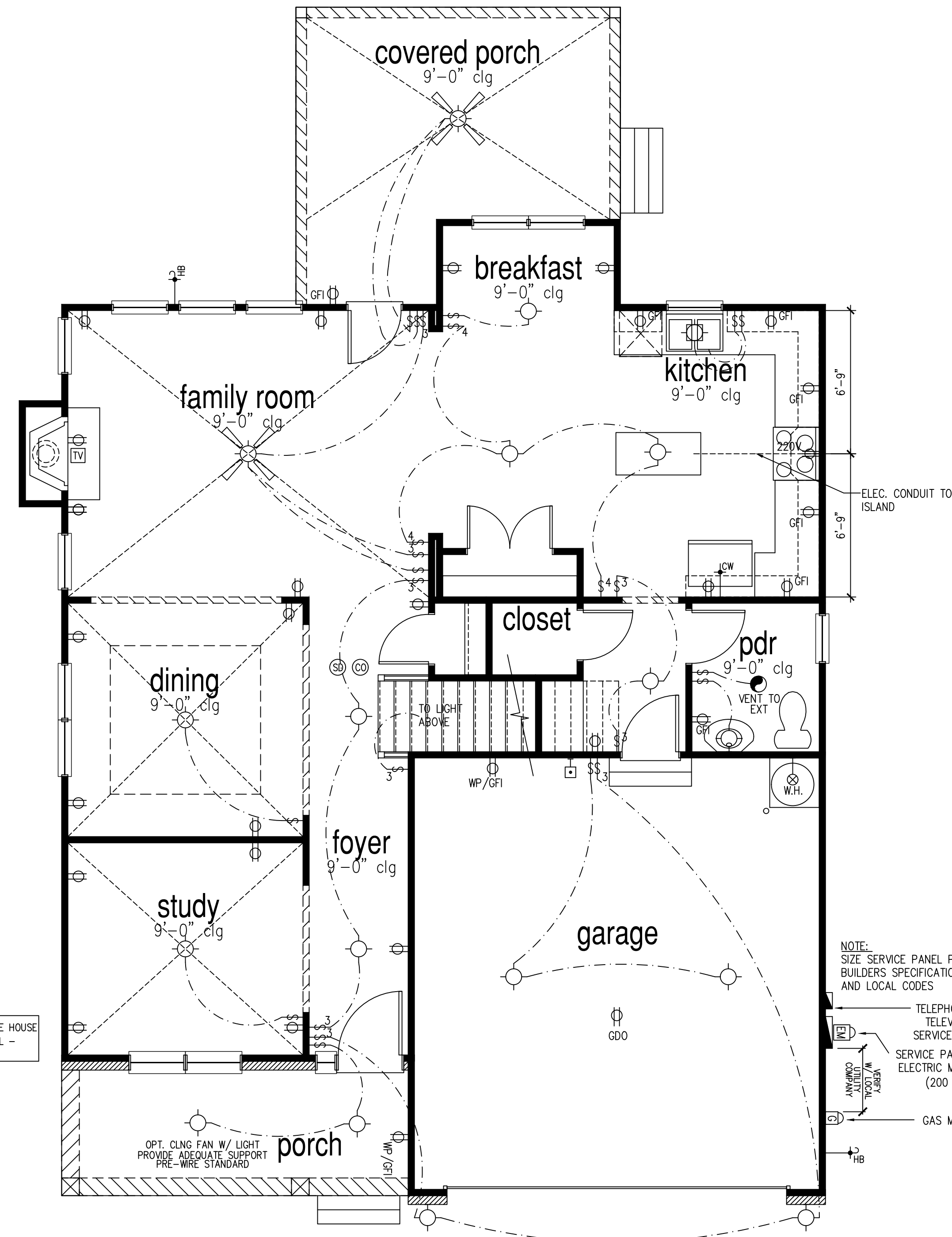
**3rd Floor Plan 'Classic'**

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT



**McKee Homes, LLC**  
**Lot 289 Oakmont Estates**  
**Nelson Classic**  
**Right Hand Garage, Crawlspace Foundation**

PRINT DATE:	03.17.19
SHEET NO:	A1.8



ONLY ONE PHONE LINE INCLUDED IN BASE HOUSE  
 UNDERCABINET LIGHTING IS OPTIONAL -  
 INSTALL OUTLETS AS STANDARD

NOTE:  
 SIZE SERVICE PANEL PER  
 BUILDERS' SPECIFICATIONS  
 AND LOCAL CODES

TELEPHONE/  
 TELEVISION  
 SERVICE BOX

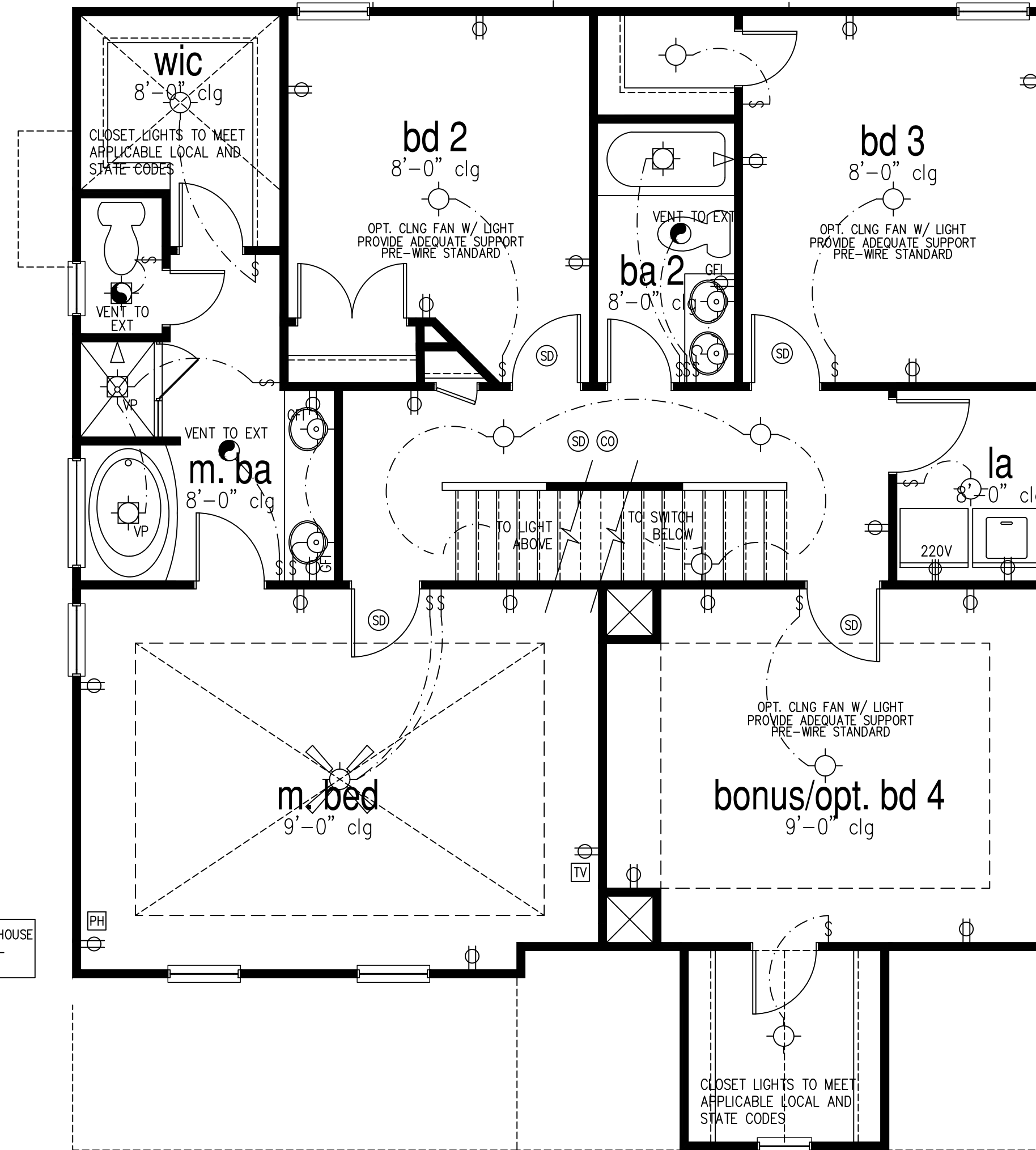
SERVICE PANEL/  
 ELECTRIC METER  
 (200 AMP)

GAS METER

1st Floor Plan 'Classic'  
 SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x17" LAYOUT

NOTES:	LEGEND:			
- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES. - PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES. - ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS. - FAN/LIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS." - ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT. - PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES. - PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES. - ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS. - HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS. - ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS. - PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.	○ DUPLX OUTLET WP/GFI WEATHERPROOF GFI DUPLX OUTLET ○ GFI GROUND-FAULT CIRCUIT-INTERRUPTER DUPLX OUTLET ○ HALF-SWITCHED DUPLX OUTLET 220V 220 VOLT OUTLET ○ REINFORCED JUNCTION BOX § WALL SWITCH § THREE-WAY SWITCH § FOUR-WAY SWITCH	○ CEILING MOUNTED INCANDESCENT LIGHT FIXTURE ○ WALL MOUNTED INCANDESCENT LIGHT FIXTURE ○ RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF ○ EXHAUST FAN ( VENT TO EXTERIOR) ○ EXHAUST FAN/LIGHT COMBINATION ( VENT TO EXTERIOR) ○ FLUORESCENT LIGHT FIXTURE ■ TECH HUB SYSTEM	[CH] CHIMES [PS] PUSHBUTTON SWITCH [S] J10V SMOKE SETECTOR W/ BATTERY BACKUP [C] CO2 DETECTOR [T] THERMOSTAT [PH] TELEPHONE [TV] TELEVISION [EM] ELECTRIC METER [EP] ELECTRIC PANEL [DS] DISCONNECT SWITCH	○ CEILING FAN (PROVIDE ADEQUATE SUPPORT) ○ CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT) ○ GAS SUPPLY WITH VALVE [HB] HOSE BIBB [CW] 1/4" WATER STUB OUT ○ WALL SCONCE

McKee Homes, LLC  
 Lot 289 Oakmont Estates  
 Nelson Classic  
 Right Hand Garage, Crawlspace Foundation



ONLY ONE PHONE LINE INCLUDED IN BASE HOUSE  
 UNDERCABINET LIGHTING IS OPTIONAL -  
 INSTALL OUTLETS AS STANDARD

## 2nd Floor Plan 'Classic'

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

### NOTES:

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS.
- FAN/LIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

### LEGEND:

	DUPLEX OUTLET		CEILING MOUNTED INCANDESCENT LIGHT FIXTURE		CHIMES		CEILING FAN (PROVIDE ADEQUATE SUPPORT)
	WEATHERPROOF GFI DUPLEX OUTLET		WALL MOUNTED INCANDESCENT LIGHT FIXTURE		PUSHBUTTON SWITCH		CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET		RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF		110V SMOKE DETECTOR W/ BATTERY BACKUP		GAS SUPPLY WITH VALVE
	HALF-SWITCHED DUPLEX OUTLET		EXHAUST FAN ( VENT TO EXTERIOR)		CO2 DETECTOR		HOSE BIBB
	220 VOLT OUTLET		EXHAUST FAN/LIGHT COMBINATION ( VENT TO EXTERIOR)		THERMOSTAT		1/4" WATER STUB OUT
	REINFORCED JUNCTION BOX		FLUORESCENT LIGHT FIXTURE		TELEPHONE		WALL SCONCE
	WALL SWITCH		TECH HUB SYSTEM		TELEVISION		
	THREE-WAY SWITCH				ELECTRIC METER		
	FOUR-WAY SWITCH				ELECTRIC PANEL		
					DISCONNECT SWITCH		

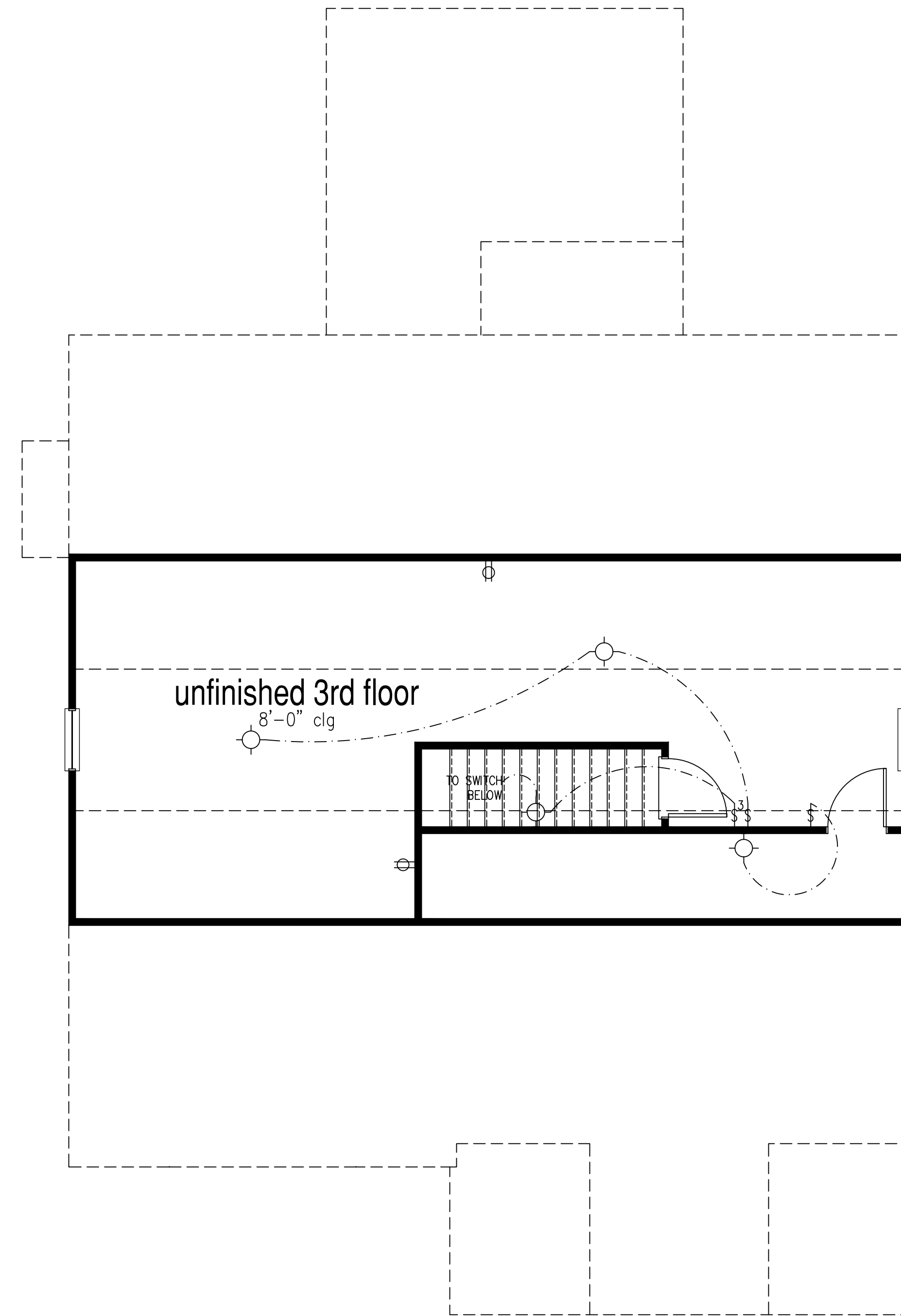
McKee Homes, LLC  
 Lot 289 Oakmont Estates  
 Nelson Classic  
 Right Hand Garage, Crawlspace Foundation

PRINT DATE:

03.17.19

SHEET NO:

E2.0



3rd Floor Plan 'Classic'

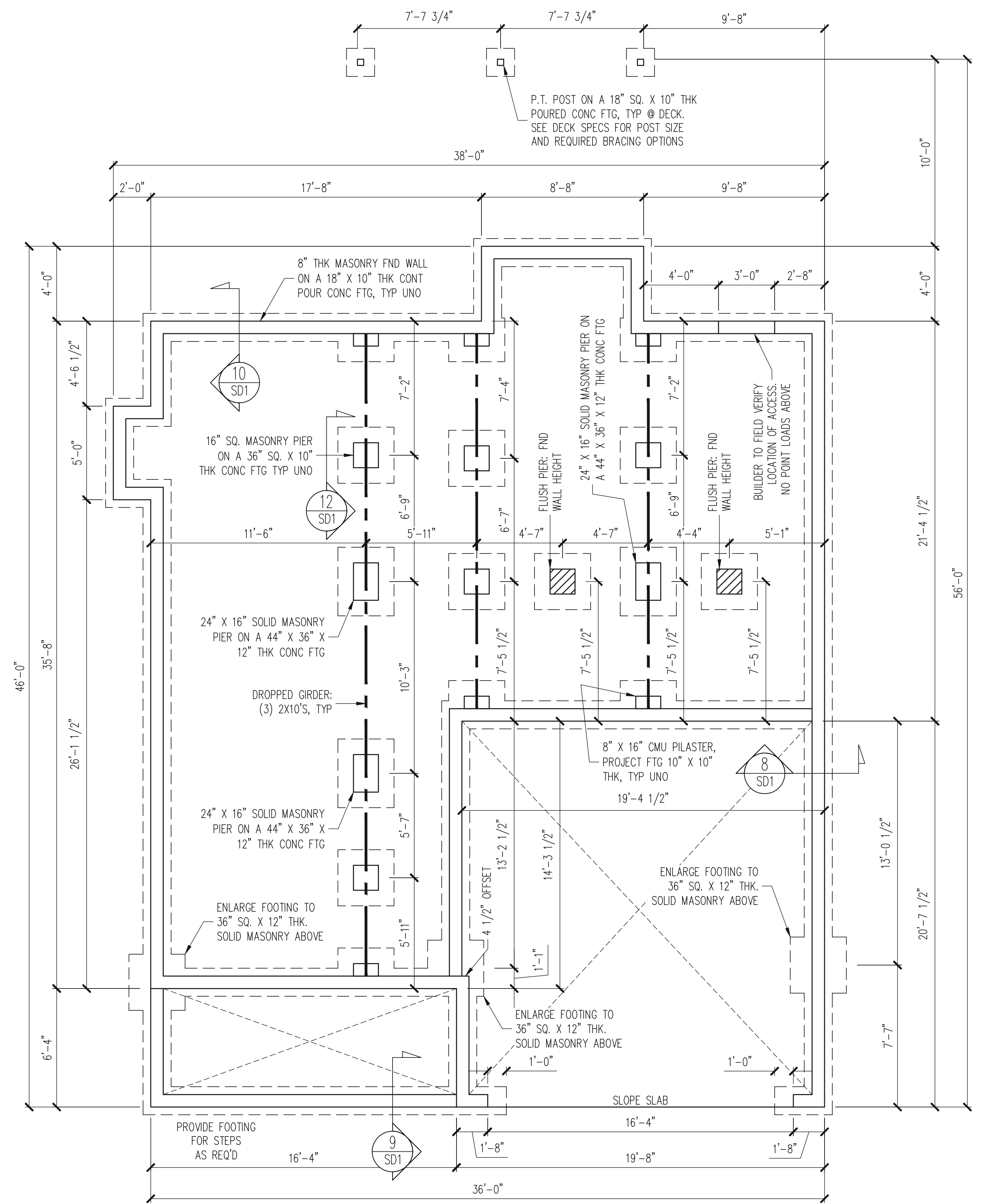
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LEGEND:

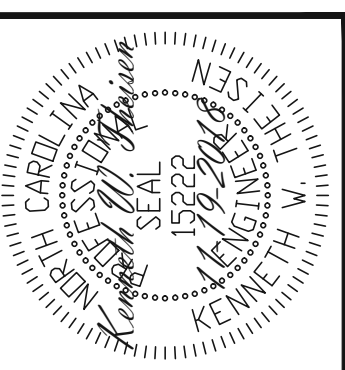
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	WEATHERPROOF GFI DUPLEX OUTLET		WALL MOUNTED INCANDESCENT LIGHT FIXTURE		PUSHBUTTON SWITCH		CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
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	THREE-WAY SWITCH				ELECTRIC METER		
	FOUR-WAY SWITCH				ELECTRIC PANEL		
					DISCONNECT SWITCH		



FOUNDATION PLAN  
 CRAWLSPACE OPTION  
 CLASSIC ELEVATION  
 1/4" = 1'-0"

- NOTES:
- HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION.
  - FIBER MESH REINFORCED CONCRETE MAY BE USED IN LIEU OF WELDED WIRE FABRIC. SEE SECTION 6.01 OF THE CONSTRUCTION SPECIFICATIONS FOR ALLOWABLE SUBSTITUTION DETAILS.

STRUCTURAL ENGINEERS  
 License No. C-3870  
 183 Wind Chime Court, Suite 100  
 Raleigh, North Carolina 27615  
 (919) 844-1661 Fax (919) 844-1665



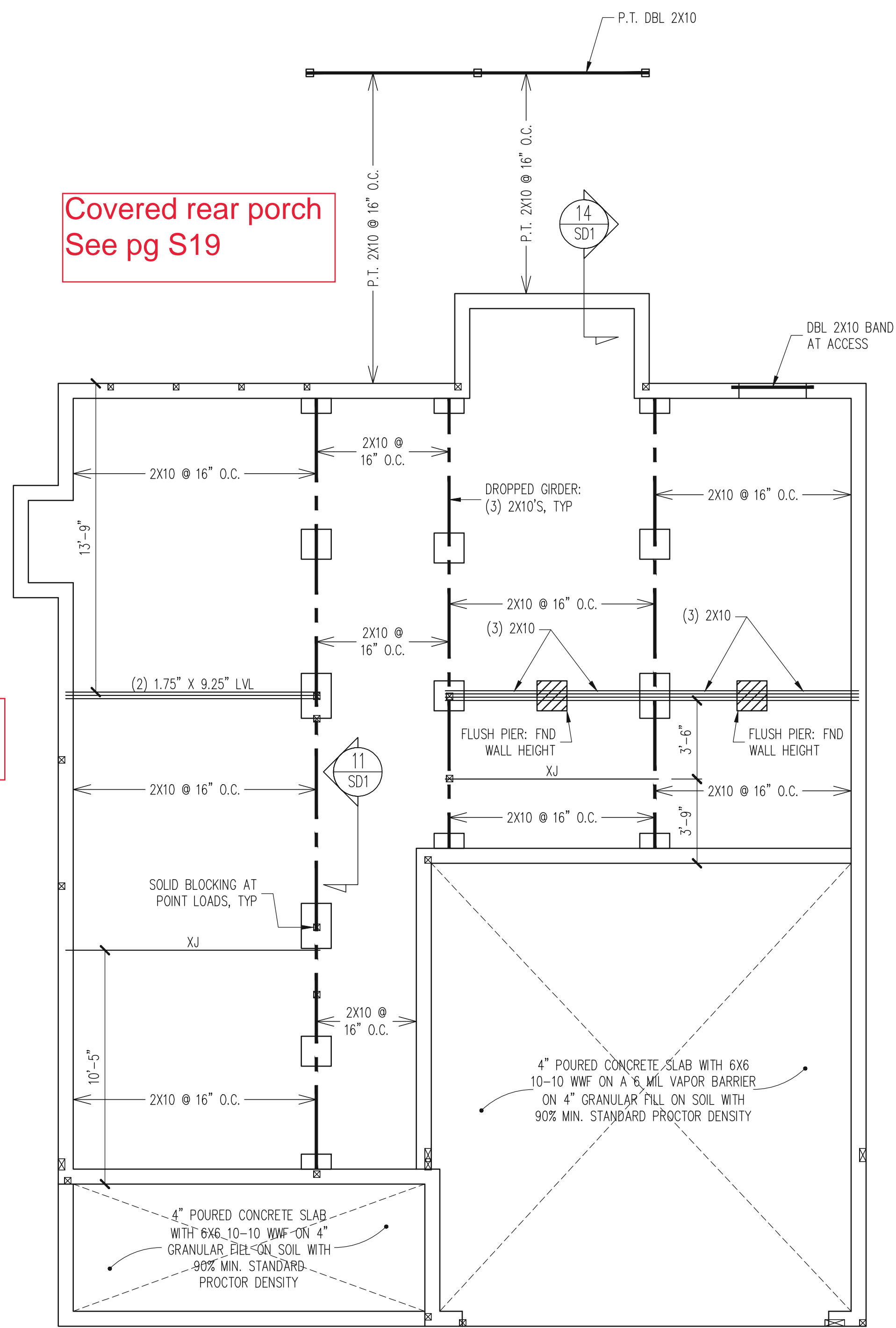
ENGINEERING SEAL VALID FOR 1-YEAR ONLY.  
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CLIENT:	MCKEE HOMES
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	ENG: KWT/DTN
REV:	REV:
DATE:	11-19-2018

PLAN NO.  
 NELSON RH

PROJECT NO.  
 18-29-064R

SHEET NO.  
 S6



Dining room opening  
See pg S20

Covered rear porch  
See pg S19

CRAWL SPACE FRAMING PLAN  
CLASSIC ELEVATION  
1/4" = 1'-0"

- NOTES:
- HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION.
  - FIBER MESH REINFORCED CONCRETE MAY BE USED IN LIEU OF WELDED WIRE FABRIC. SEE SECTION 6.01 OF THE CONSTRUCTION SPECIFICATIONS FOR ALLOWABLE SUBSTITUTION DETAILS.

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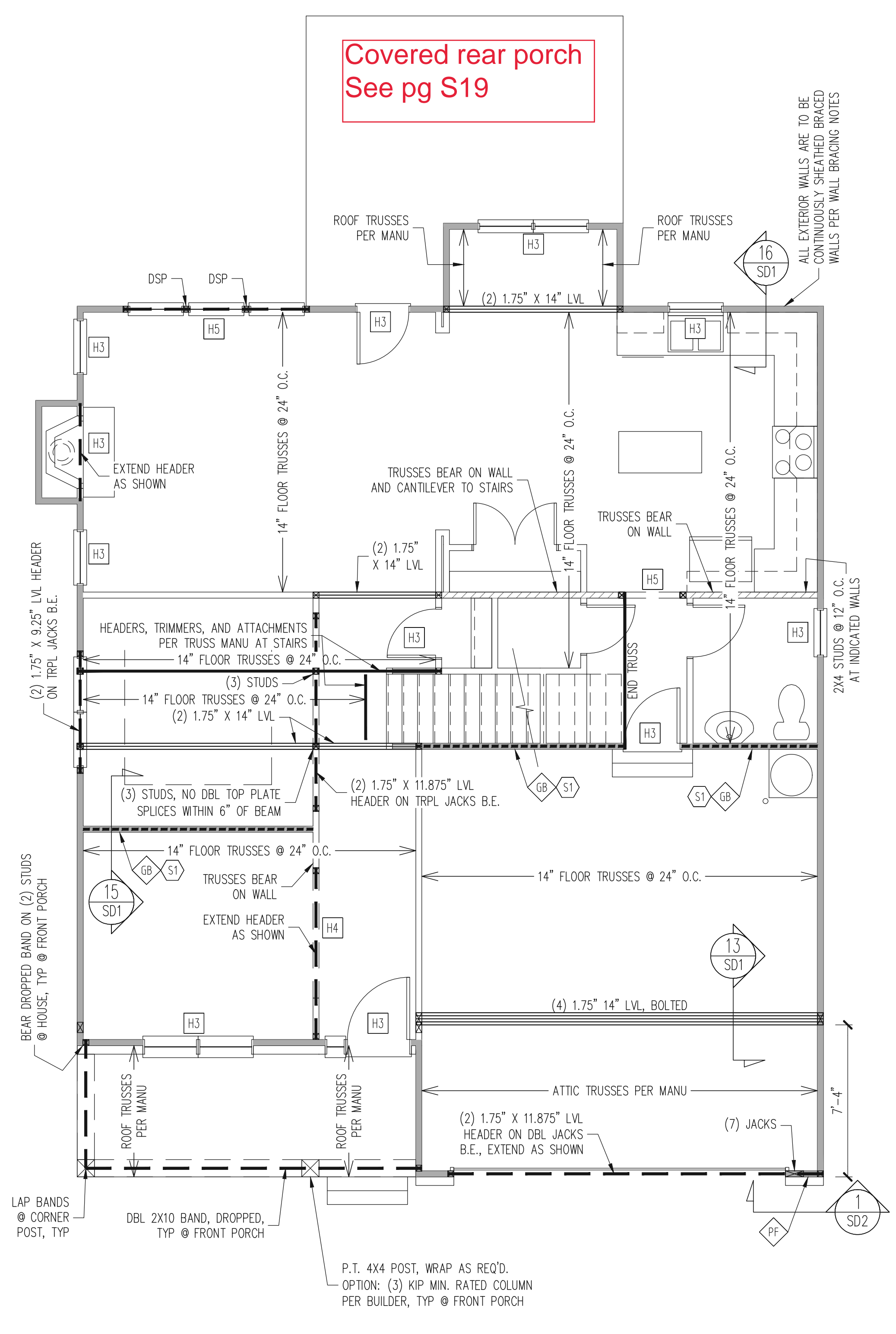
CLIENT:	MCKEE HOMES
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	ENG: KWT/DTN REV:
DATE:	11-19-2018

PLAN NO.  
NELSON RH

PROJECT NO.  
18-29-064R

SHEET NO.  
S8

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Covered rear porch  
See pg S19

Dining room opening  
See pg S20

1ST FLOOR FRAMING PLAN  
CLASSIC ELEVATION  
WALLS AND CEILING  
1/4" = 1'-0"

WALL BRACING  
1ST FLOOR ONLY

ALL EXTERIOR STUD WALLS ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD. BLOCKING AT HORIZONTAL JOINTS IN BRACED WALL LINES ONLY REQUIRED AT SHADED WALLS, UNO

SHADED WALLS:

GB - INTERIOR BRACED WALL WITH GYPSUM BOARD. 1/2" GB BOTH SIDES OF WALL ATTACHED TO PANEL EDGES, INCLUDING TOP AND BOTTOM PLATES, AT 7" O.C.

PF - PORTAL FRAME PER TYPICAL DETAIL

BUILDER PERMITTED TO SUBSTITUTE INTERIOR OSB SHEATHING WITH THERMO-PLY BLUE PROTECTIVE SHEATHING. REFERENCE TECHNICAL EVALUATION REPORT COL#P-1038 PROVIDED BY DRJ ENGINEERING, LLC AND SEALED BY RYAN DEXTER, P.E.

PROVIDED CONTINUOUS SHEATHING = 168" MIN.  
-WALL BRACING IS BY ENGINEERED DESIGN AND NOT PRESCRIPTIVE PER SECTION 602.10 OF THE 2018 NRC. CONTINUOUS SHEATHING HAS BEEN PROVIDED, ALONG WITH ALTERNATIVE METHODS TO INSURE THE MINIMUM INTENT OF SECTION 602.10 OF THE 2018 NRC HAS BEEN MET AND EXCEEDED.

FRAMING SCHEDULE  
1ST FLOOR ONLY

S1 TRUSS OR 2X6 BLOCKING REQUIRED ABOVE ALL BRACED WALLS. NAIL SUBFLOOR ABOVE WALL TO TRUSS / BLOCKING WITH 8d NAILS @ 6" O.C. TOE NAIL TRUSS / BLOCKING ABOVE WALL TO TOP PLATE WITH 16d TOE NAILS @ 6" O.C. ATTACH SOLE PLATE OF BRACED WALL TO FOUNDATION BELOW PER TYPICAL BRACED WALL DETAILS

REQUIRED STUDS FOR BEAM SUPPORT

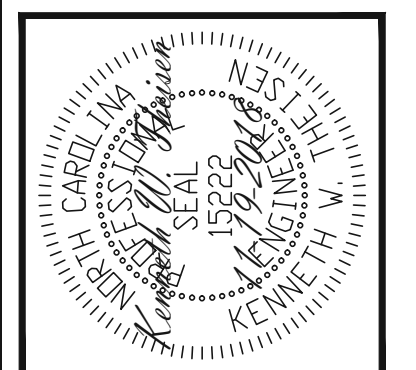
REFER TO SECTIONS 5.02 - 5.06 OF THE CONSTRUCTION SPECIFICATIONS FOR REQUIRED NUMBER OF STUDS FOR BEAM SUPPORT, TYP UNO.

HEADER SCHEDULE

- H1 SINGLE 2X4 TURNED FLAT (A)
  - H2 (2) 2X4'S ON SINGLE JACKS (B)
  - H3 (2) 2X10'S ON SINGLE JACKS (C)
  - H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS
  - H5 (2) 2X10'S ON DBL JACKS
- 
- (A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.
  - (B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.
  - (C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:  
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.  
-KING STUDS EXTERIOR WALLS:  
SINGLE KING STUDS FOR 6' MAX OPENINGS.  
DBL KING STUDS FOR 10' MAX OPENINGS.  
TRPL KING STUDS FOR 14' MAX OPENINGS.  
QUAD KING STUDS FOR 18' MAX OPENINGS.  
FOR 2X6 WALLS, ONE HALF THE AMOUNT OF KING STUDS REQUIRED (ROUND UP) UNO

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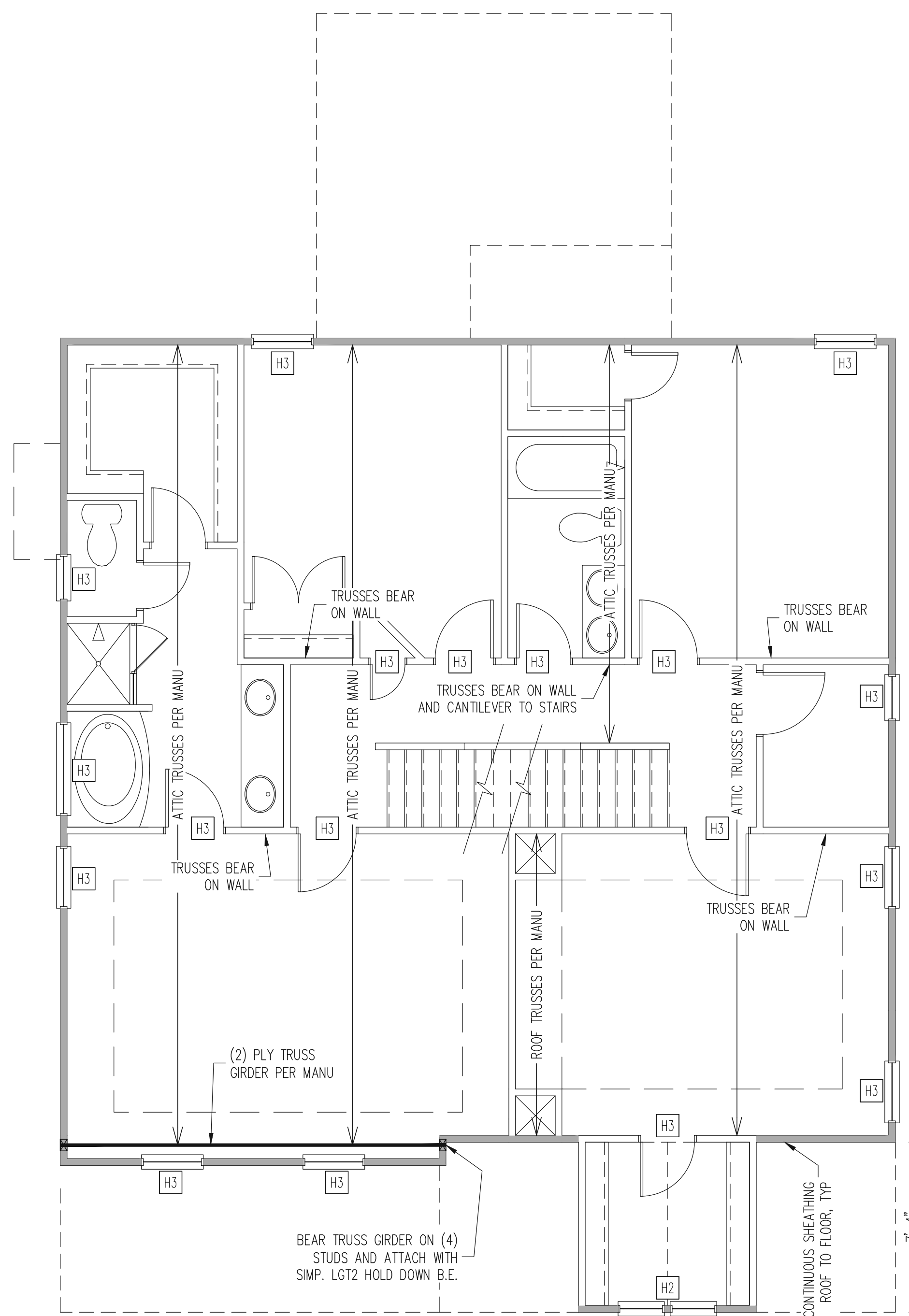
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SCOPE:	STRUCTURAL ADDENDUM
LOT #:	ENG: KWT/DTN
REV:	REV:
DATE:	DATE: 11-19-2018

PLAN NO.  
NELSON RH

PROJECT NO.  
18-29-064R

SHEET NO.  
S10

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**2ND FLOOR FRAMING PLAN  
CLASSIC ELEVATION**

WALLS AND CEILING  
1/4" = 1'-0"

**WALL BRACING**

2ND FLOOR ONLY

ALL EXTERIOR STUD WALLS ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

TRUSS OR 2X6 BLOCKING REQUIRED ABOVE AND BELOW ALL BRACED WALLS. NAIL SUBFLOOR ABOVE WALL TO BLOCKING WITH 8d NAILS @ 6" O.C., TOE NAIL TRUSS / BLOCKING ABOVE WALL TO TOP PLATE WITH 16d TOE NAILS @ 6" O.C. NAIL SOLE PLATE OF BRACED WALL TO TRUSS / BLOCKING BELOW WALL WITH (3) 16d NAILS @ 16" O.C. BLOCKING AT HORIZONTAL JOINTS IN BRACED WALL LINES ONLY REQUIRED AT SHADED WALLS, UNO

SHADED WALLS:

-----  
 -PROVIDED CONTINUOUS SHEATHING = 1/4" MIN.  
 -WALL BRACING IS BY ENGINEERED DESIGN AND NOT PRESCRIPTIVE PER SECTION 602.10 OF THE 2018 NCR. CONTINUOUS SHEATHING HAS BEEN PROVIDED, ALONG WITH ALTERNATIVE METHODS TO INSURE THE MINIMUM INTENT OF SECTION 602.10 OF THE 2018 NCR HAS BEEN MET AND EXCEEDED.

**REQUIRED STUDS FOR  
BEAM SUPPORT**

REFER TO SECTIONS 5.02 - 5.06 OF THE CONSTRUCTION SPECIFICATIONS FOR REQUIRED NUMBER OF STUDS FOR BEAM SUPPORT, TYP UNO.

**HEADER SCHEDULE**

- H1 SINGLE 2X4 TURNED FLAT (A)
  - H2 (2) 2X4'S ON SINGLE JACKS (B)
  - H3 (2) 2X10'S ON SINGLE JACKS (C)
  - H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS
  - H5 (2) 2X10'S ON DBL JACKS
- 
- (A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.
  - (B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.
  - (C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

**NOTES:**

- HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.
- KING STUDS EXTERIOR WALLS.
- SINGLE KING STUDS FOR 6' MAX OPENINGS.
- DBL KING STUDS FOR 10' MAX OPENINGS.
- TRPL KING STUDS FOR 14' MAX OPENINGS.
- QUAD KING STUDS FOR 18' MAX OPENINGS.
- FOR 2X6 WALLS, ONE HALF THE AMOUNT OF KING STUDS REQUIRED (ROUND UP) UNO

CLIENT: MCKEE HOMES

SCOPE: STRUCTURAL ADDENDUM

LOT #: ENG: KWT/DTN

REV: REV: 11-19-2018

DATE: 11-19-2018

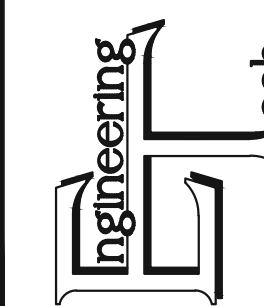
PLAN NO.  
NELSON RH

PROJECT NO.  
18-29-064R

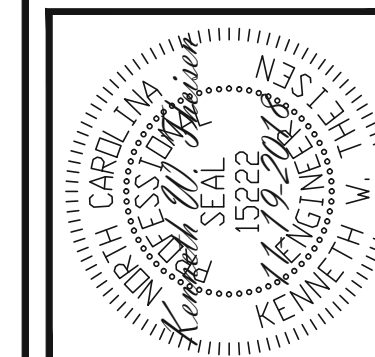
SHEET NO.  
S12

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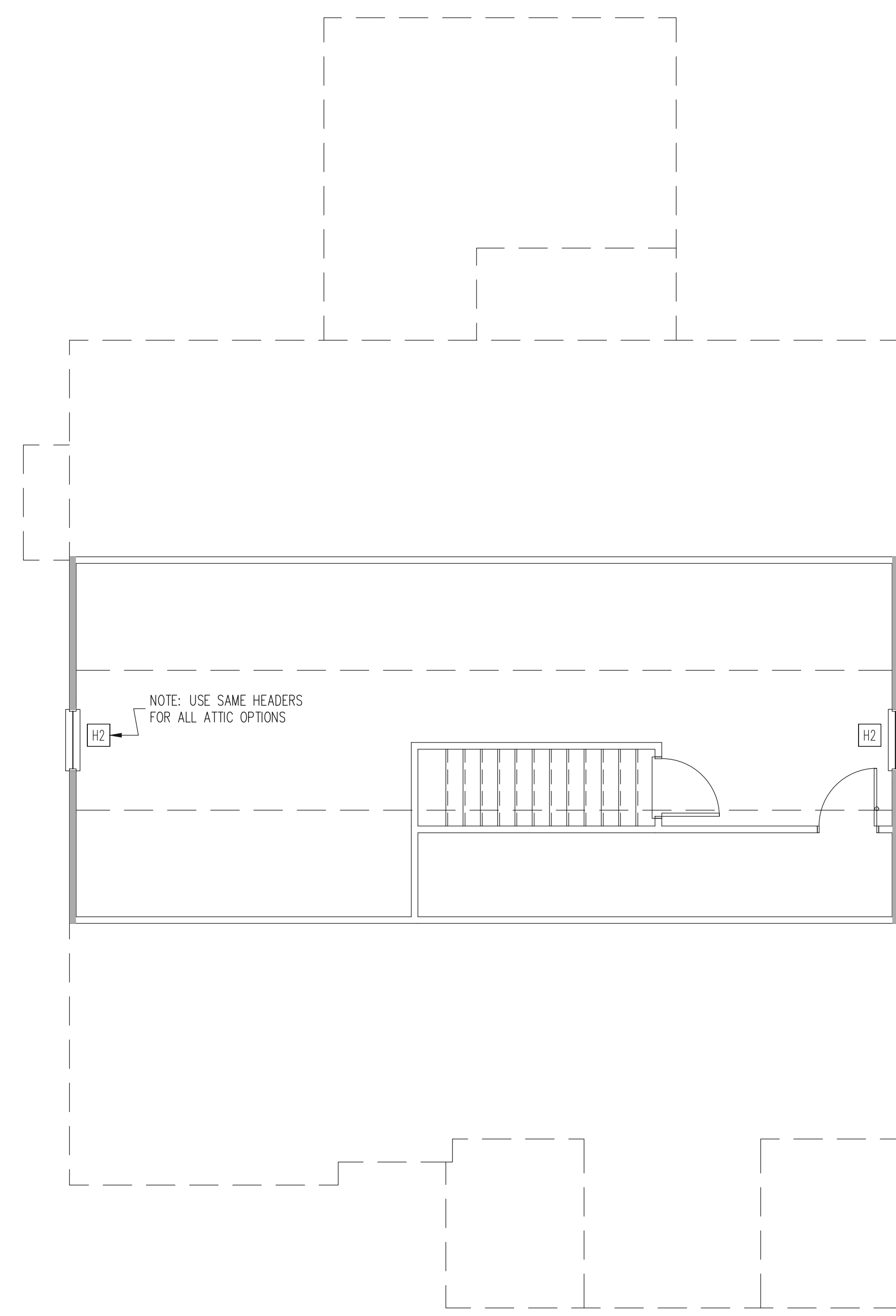
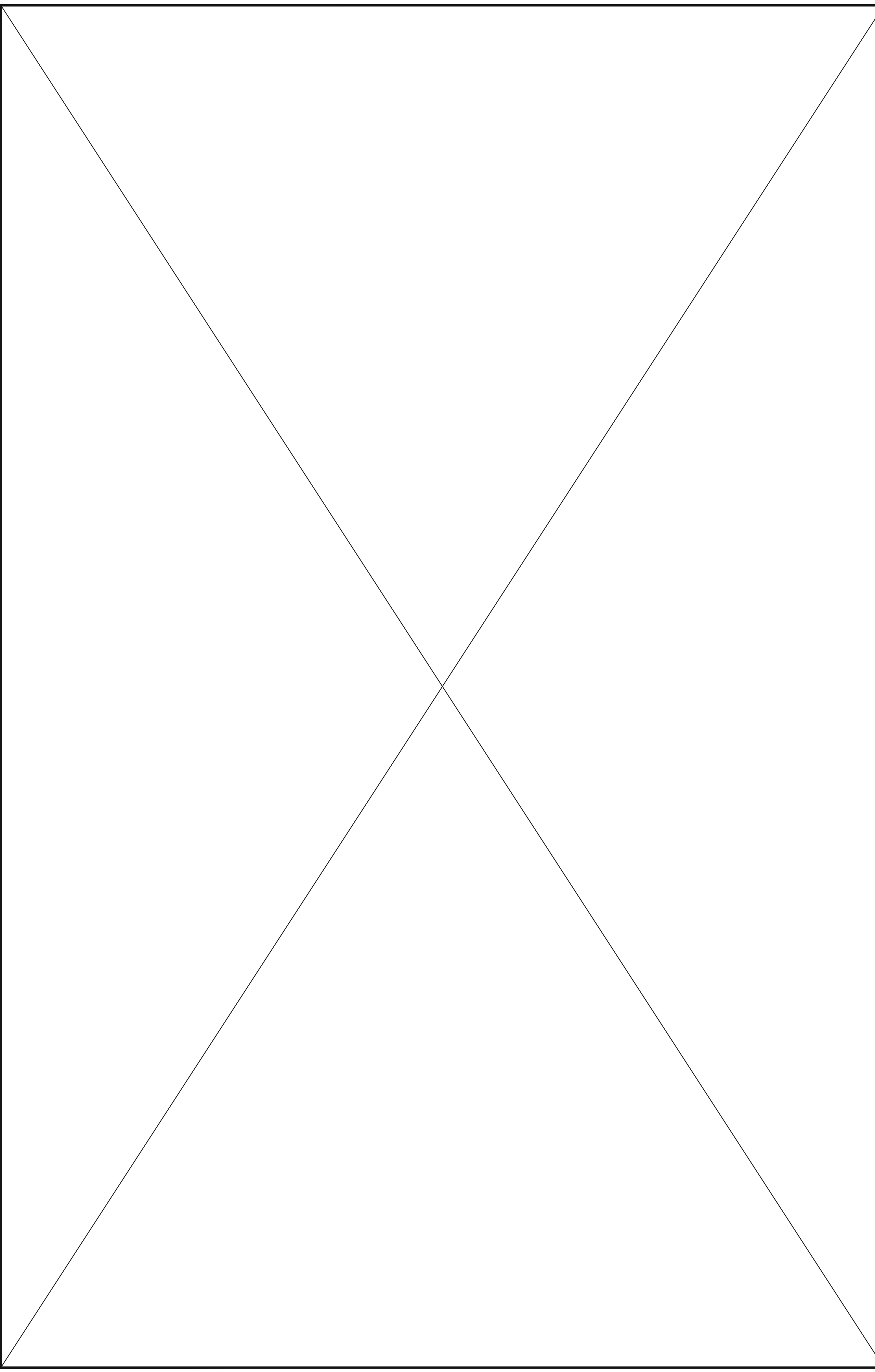


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**ATTIC FRAMING PLAN**  
**ALL ELEVATIONS**  
 WALLS AND CEILING  
 1/4" = 1'-0"

**WALL BRACING**  
 2ND FLOOR ONLY

ALL EXTERIOR STUD WALLS ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

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SHADED WALLS:



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**REQUIRED STUDS FOR BEAM SUPPORT**

REFER TO SECTIONS 5.02 - 5.06 OF THE CONSTRUCTION SPECIFICATIONS FOR REQUIRED NUMBER OF STUDS FOR BEAM SUPPORT, TYP UNO.

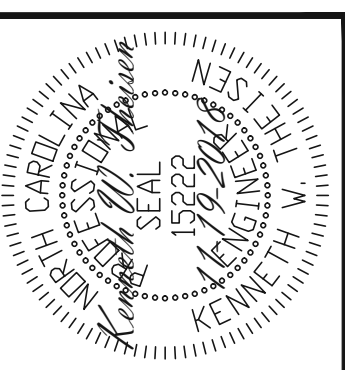
**HEADER SCHEDULE**

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 FOR 2X6 WALLS, ONE HALF THE AMOUNT OF KING STUDS REQUIRED (ROUND UP) UNO

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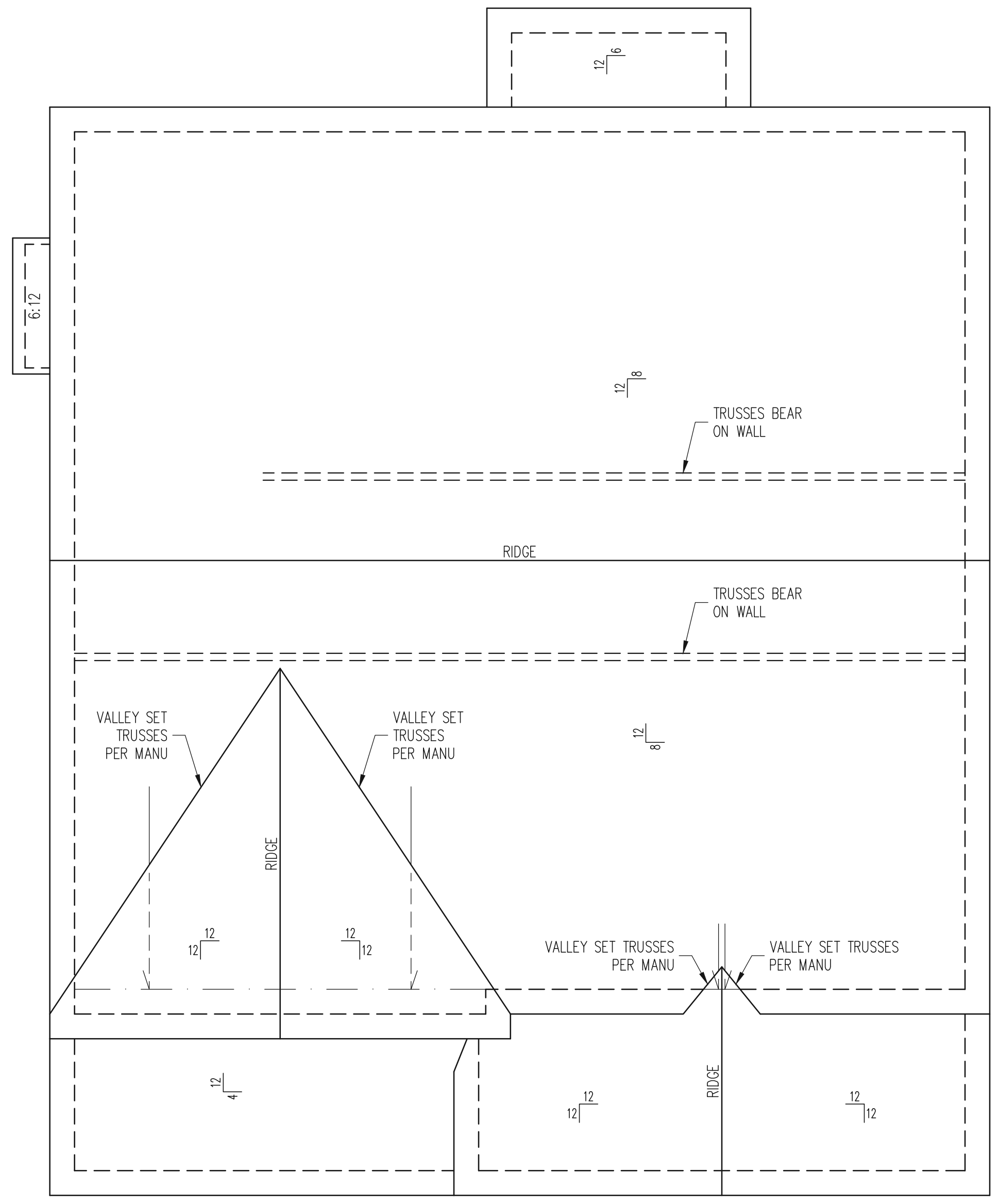
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<b>SCOPE:</b>	STRUCTURAL ADDENDUM
<b>LOT #:</b>	
<b>ENG:</b>	KWT/DTN
<b>REV:</b>	
<b>DATE:</b>	11-19-2018

**PLAN NO.**  
 NELSON RH

**PROJECT NO.**  
 18-29-064R

**SHEET NO.**  
 S13

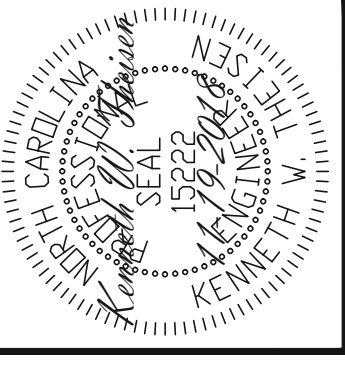
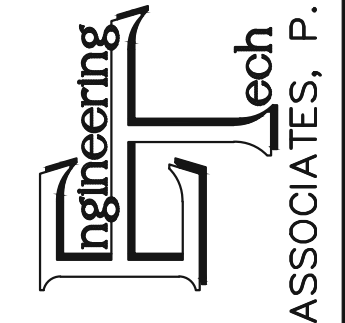
Covered rear porch  
See pg S19



ROOF FRAMING PLAN  
CLASSIC ELEVATION  
1/4" = 1'-0"

**FRAMING NOTES**  
ROOF ONLY  
-ROOF TRUSSES PER MANU TYPICAL UNO  
-ATTACH ROOF TRUSSES TO DBL TOP PLATE WITH SIMP. H2.5A HURRICANE TIES TYP UNO  
-VERIFY ALL ARCHITECTURAL OVERHANGS, ROOF PITCHES, AND KNEEWALL HEIGHTS PRIOR TO CONSTRUCTION

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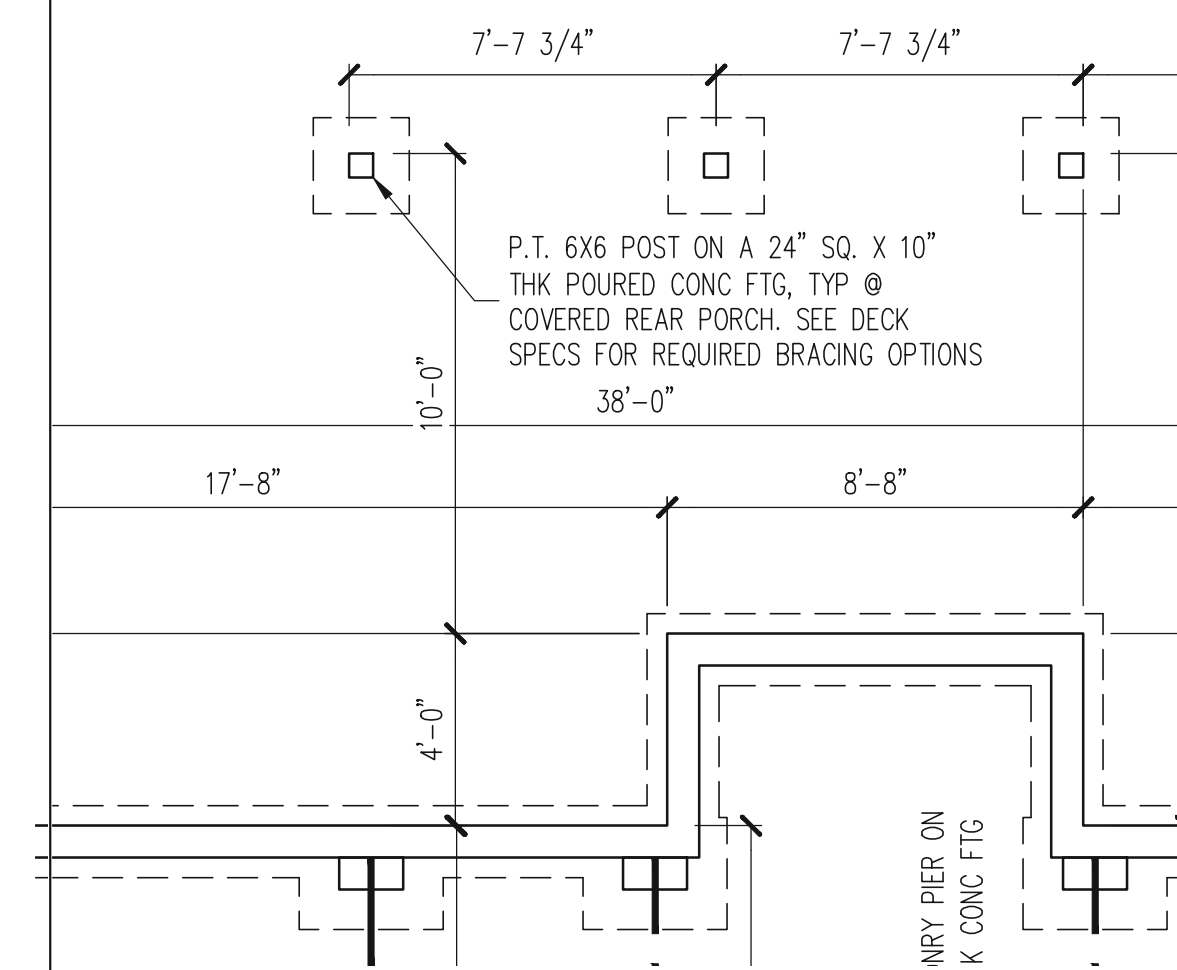
PLAN NO.  
NELSON RH

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18-29-064R

SHEET NO.  
S15

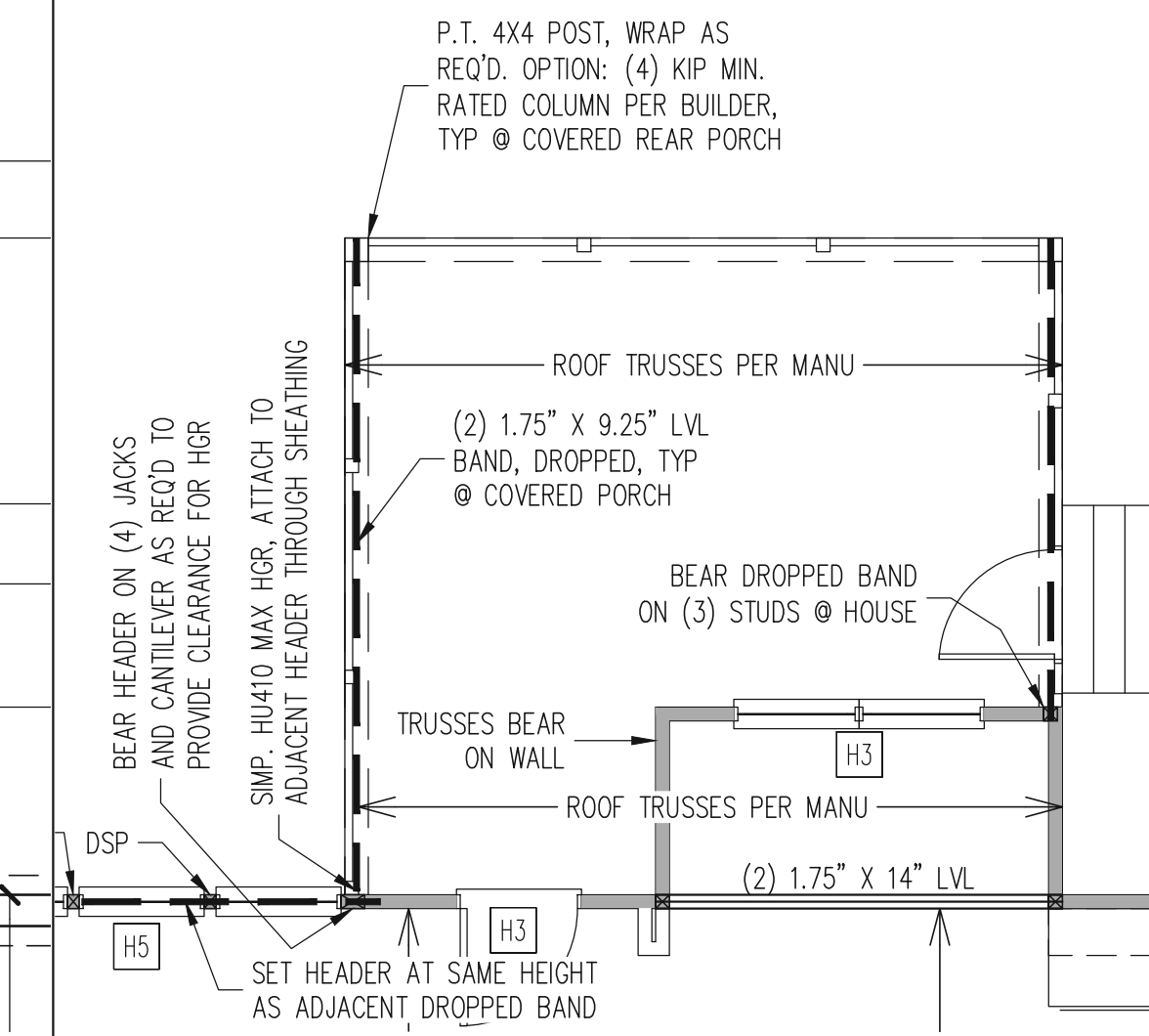
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FOUNDATION PLAN  
CRAWLSPACE OPTION  
COVERED REAR PORCH OPTION  
ALL ELEVATIONS  
1/4" = 1'-0"



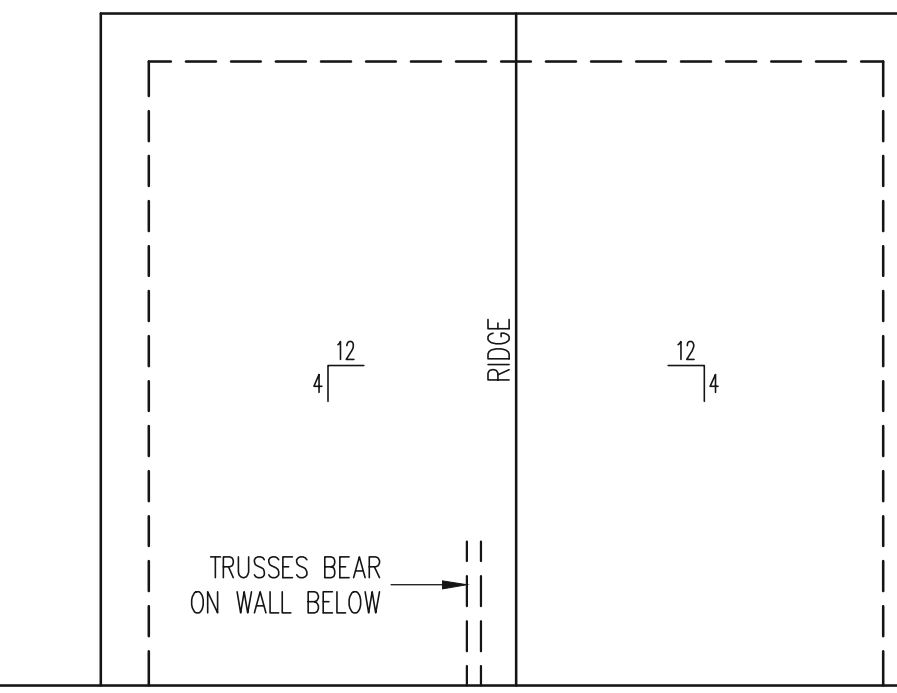
REFER TO SHEET S5/S6  
FOR ALL STRUCTURAL  
NOTES AND SCHEDULES

1ST FLOOR FRAMING PLAN  
COVERED REAR PORCH OPTION  
ALL ELEVATIONS  
WALLS AND CEILING  
1/4" = 1'-0"



REFER TO SHEET S9/S10  
FOR ALL STRUCTURAL  
NOTES AND SCHEDULES

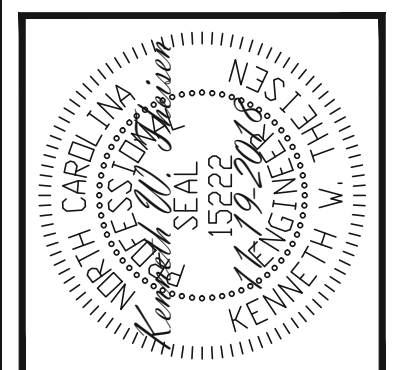
ROOF FRAMING PLAN  
COVERED REAR PORCH OPTION  
ALL ELEVATIONS  
1/4" = 1'-0"



REFER TO SHEET S14/S15  
FOR ALL STRUCTURAL  
NOTES AND SCHEDULES

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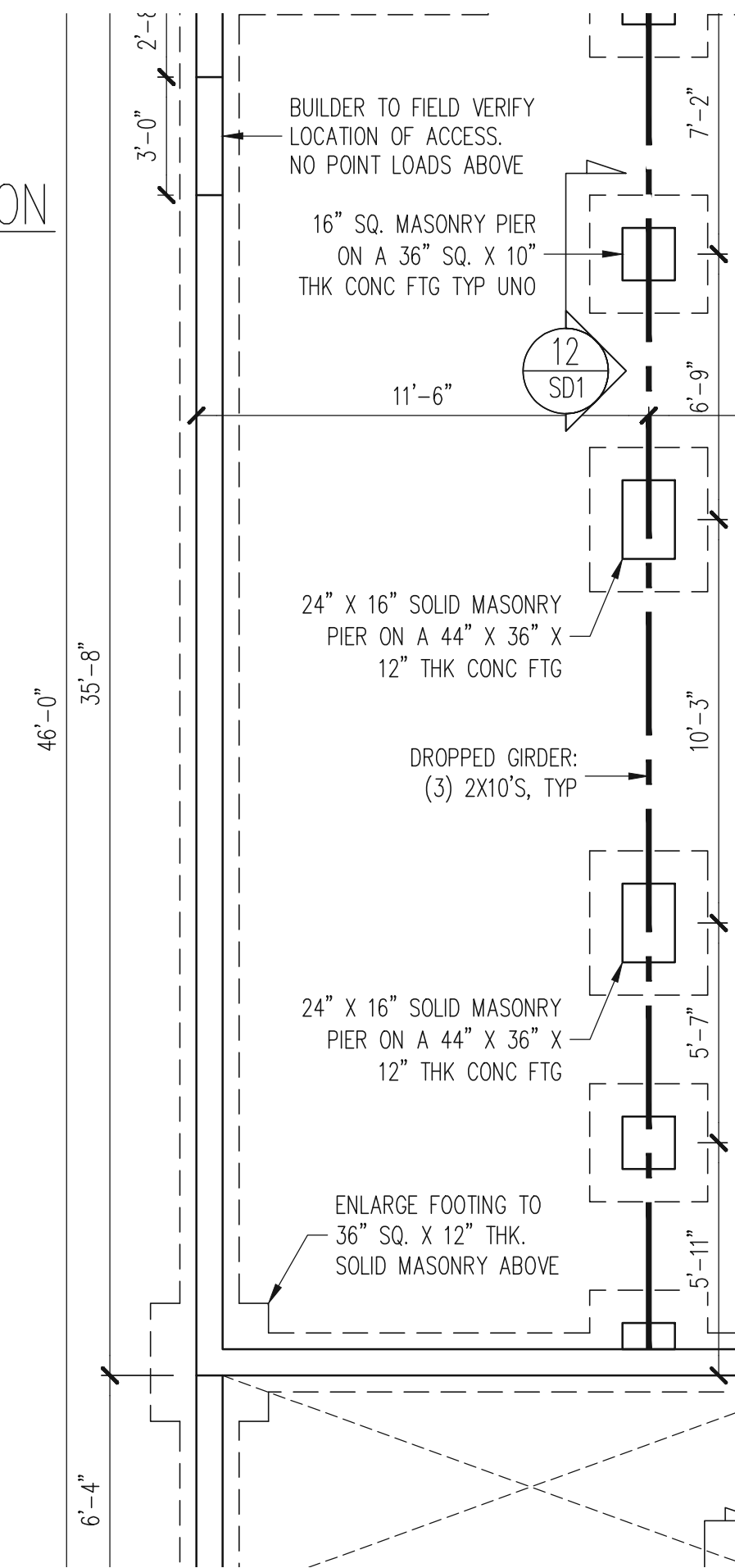
PLAN NO.  
NELSON RH

PROJECT NO.  
18-29-064R

SHEET NO.  
S19

FOUNDATION PLAN  
CRAWLSPACE OPTION  
DINING ROOM OPENING OPTION  
ALL ELEVATIONS

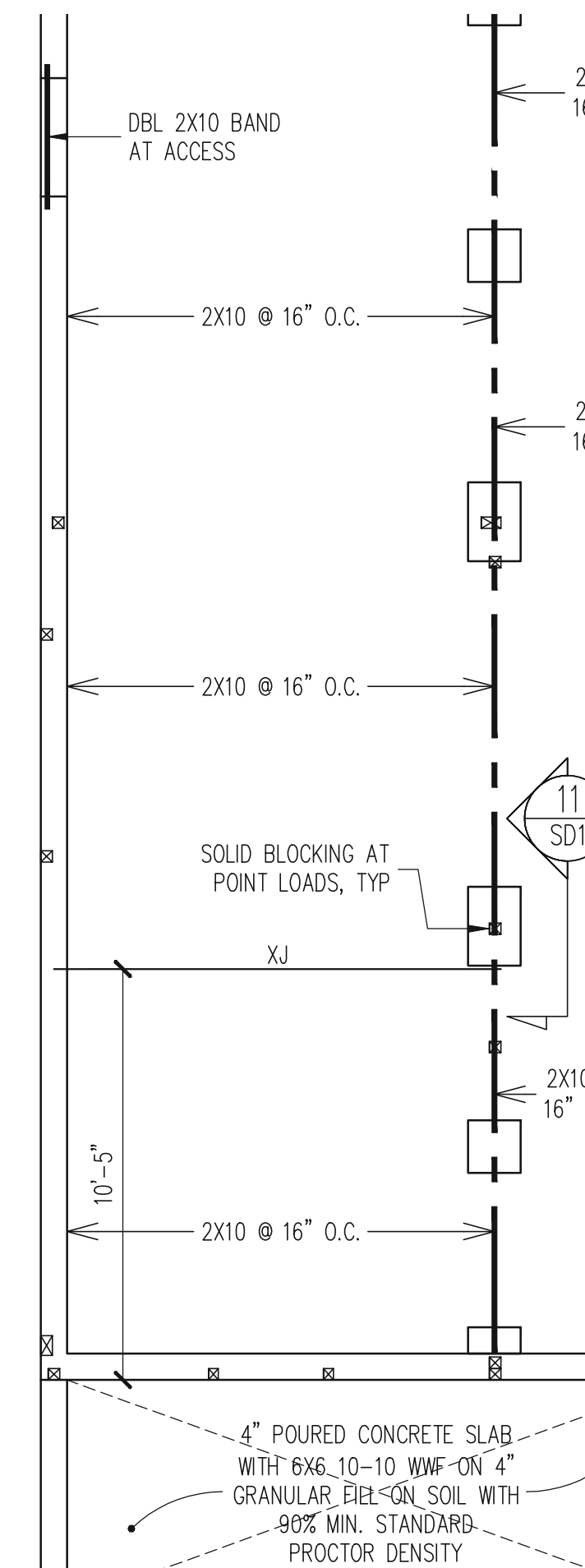
1/4" = 1'-0"



REFER TO SHEET S5/S6 FOR ALL STRUCTURAL NOTES AND SCHEDULES

CRAWL SPACE FRAMING PLAN  
DINING ROOM OPENING OPTION  
ALL ELEVATIONS

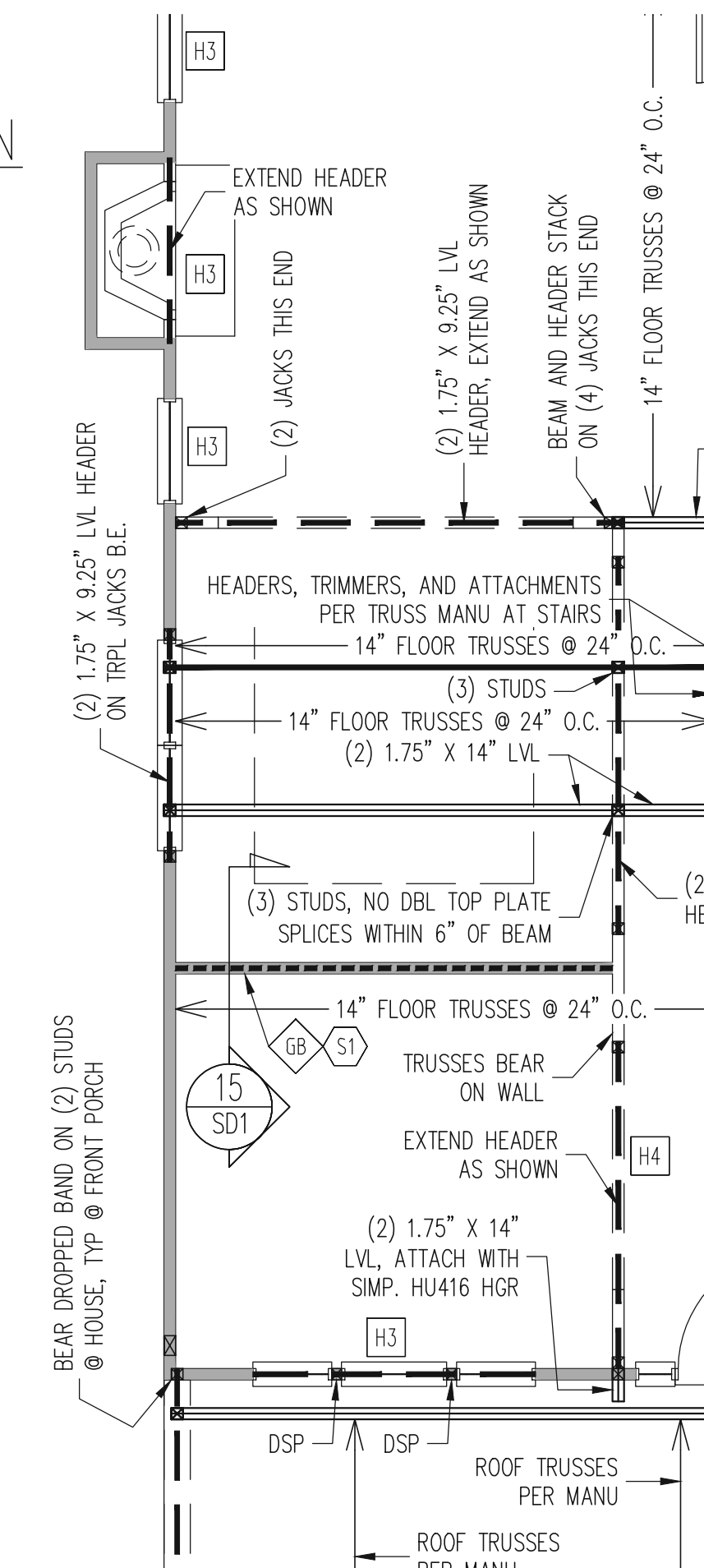
1/4" = 1'-0"



REFER TO SHEET S7/S8 FOR ALL STRUCTURAL NOTES AND SCHEDULES

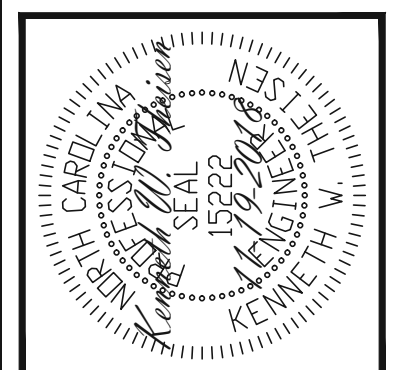
1ST FLOOR FRAMING PLAN  
DINING ROOM OPENING OPTION  
ALL ELEVATIONS

WALLS AND CEILING  
1/4" = 1'-0"



REFER TO SHEET S9/S10 FOR ALL STRUCTURAL NOTES AND SCHEDULES

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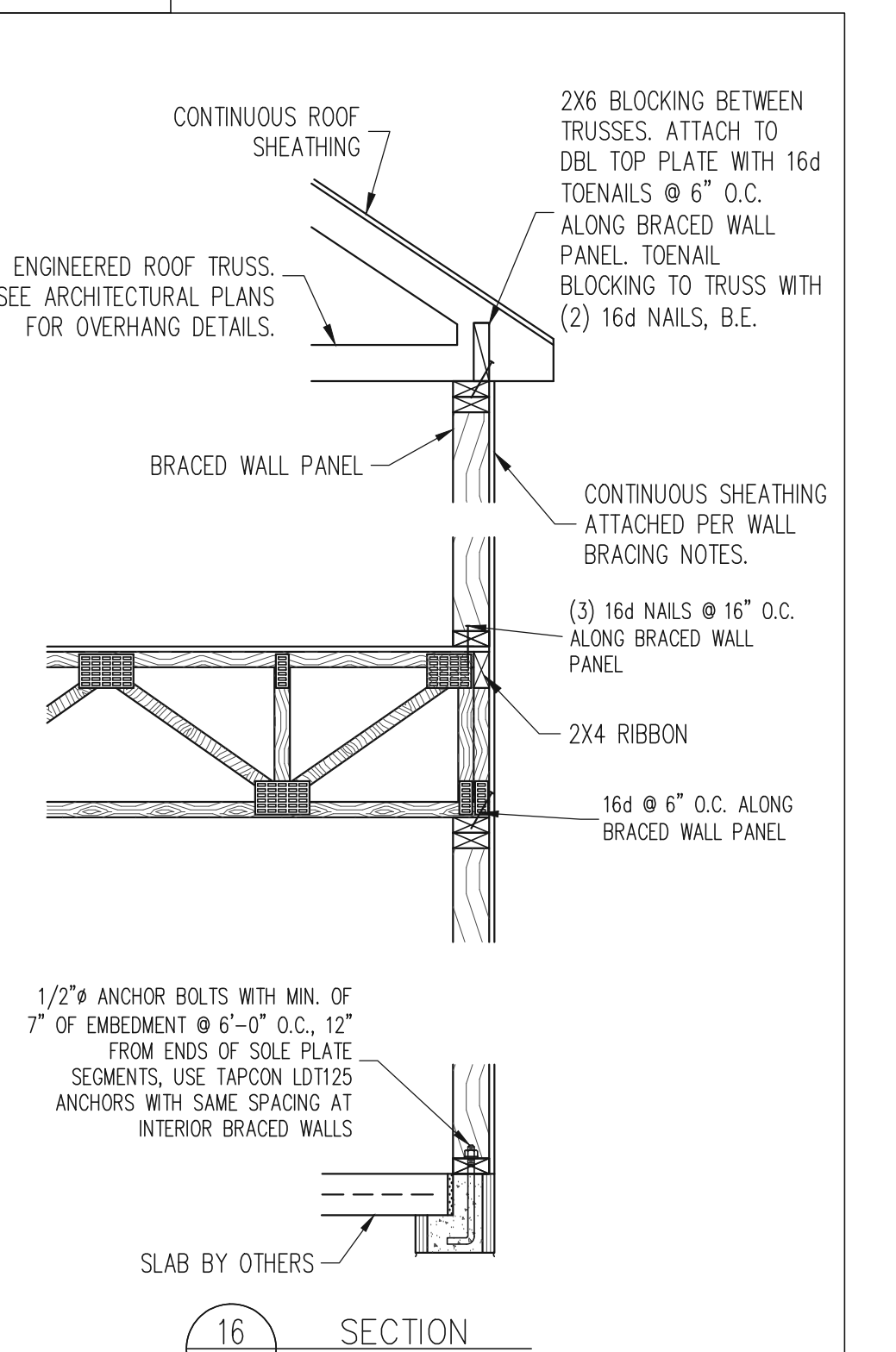
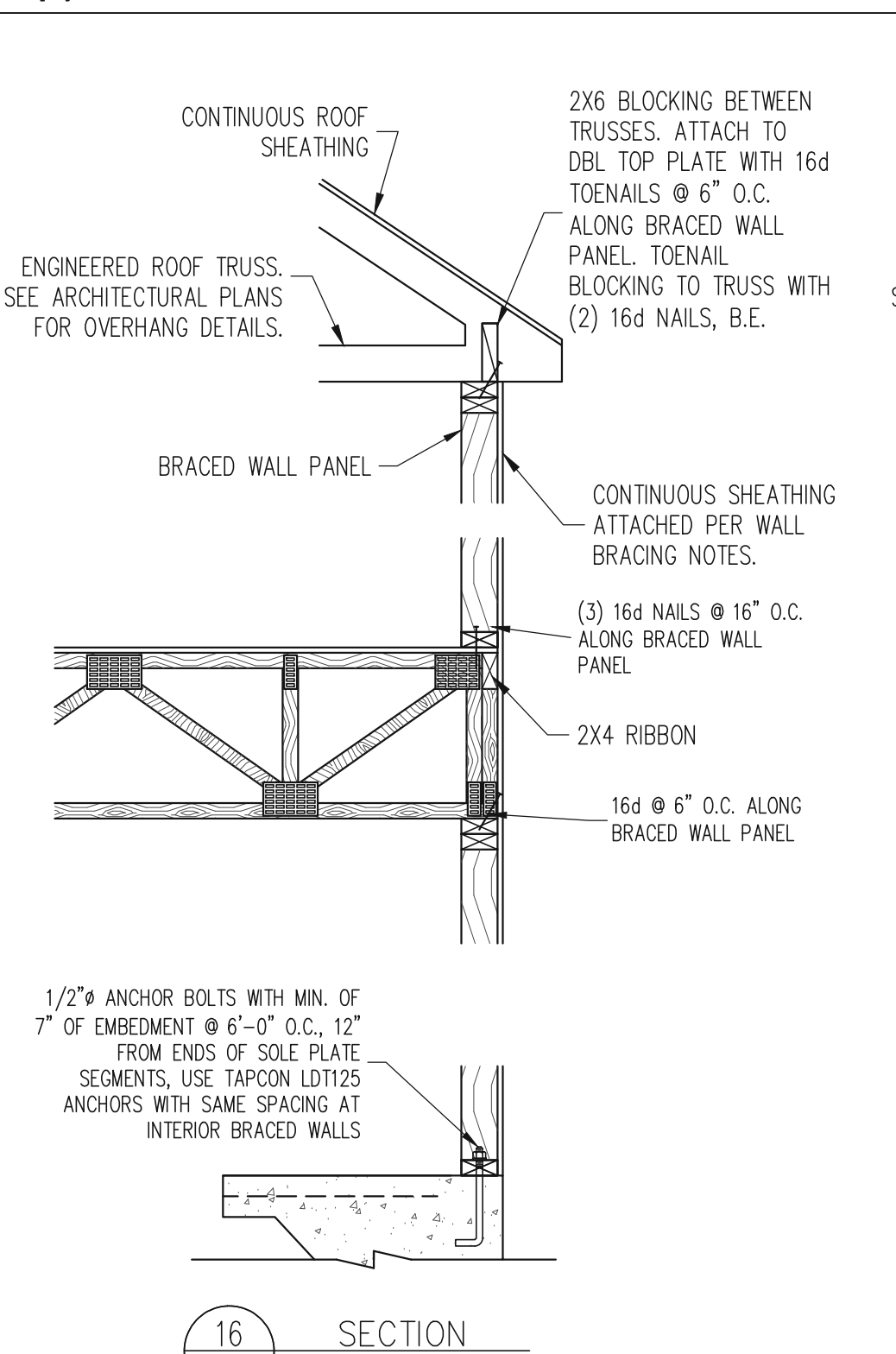
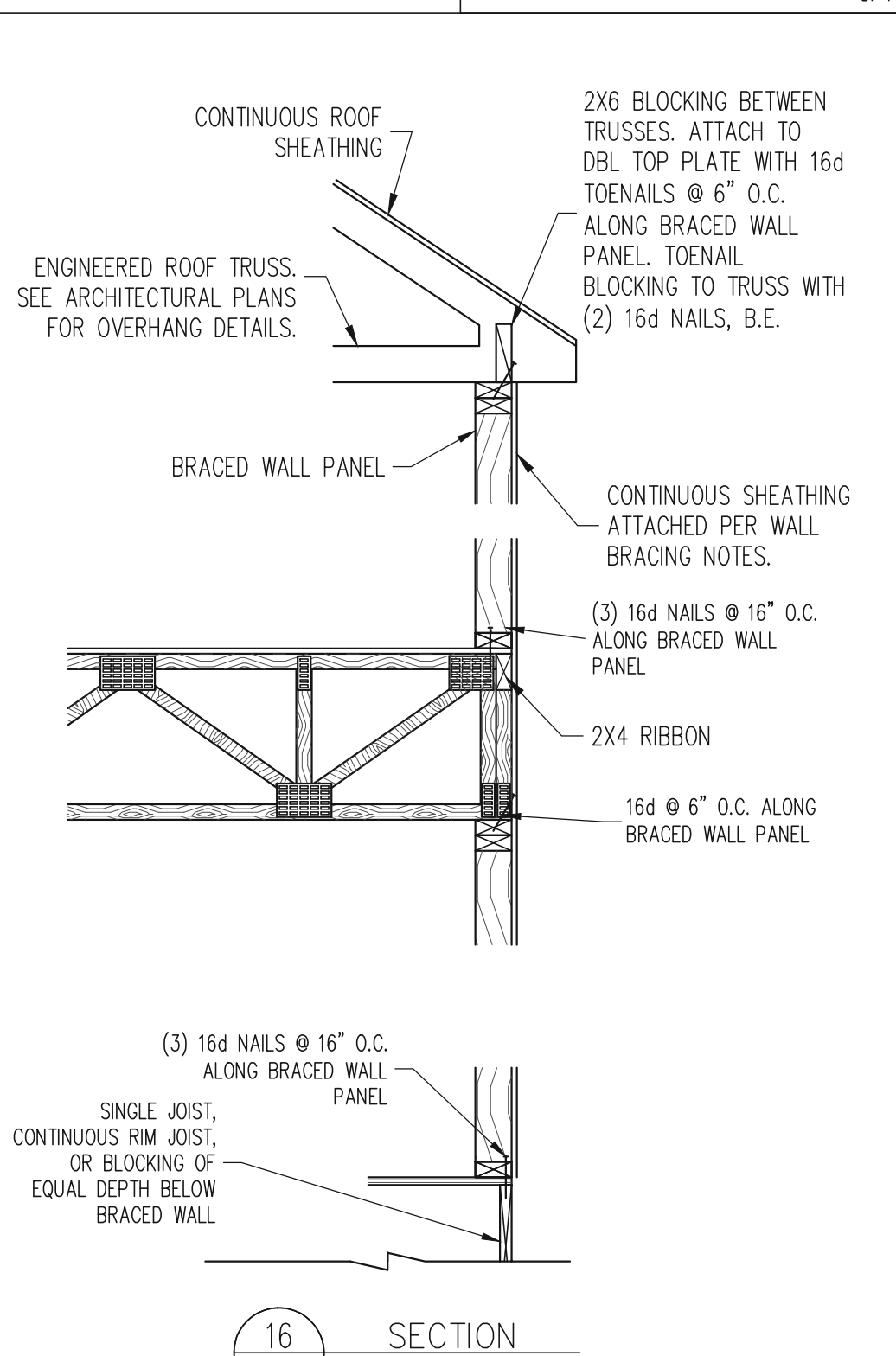
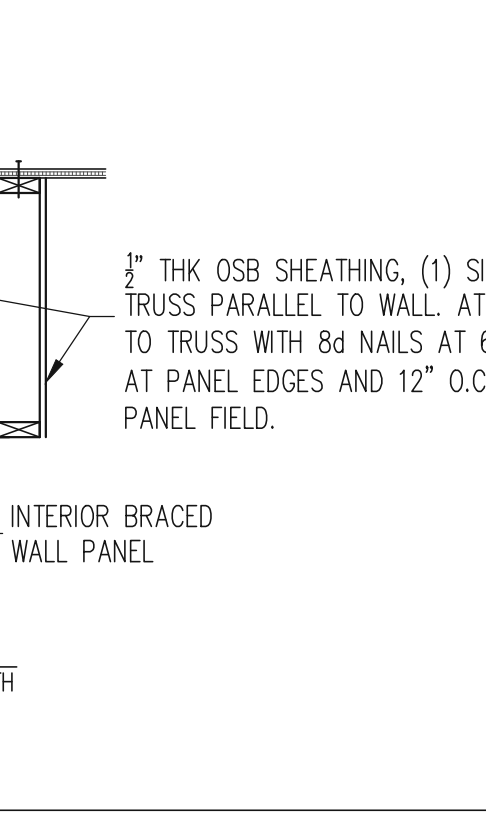
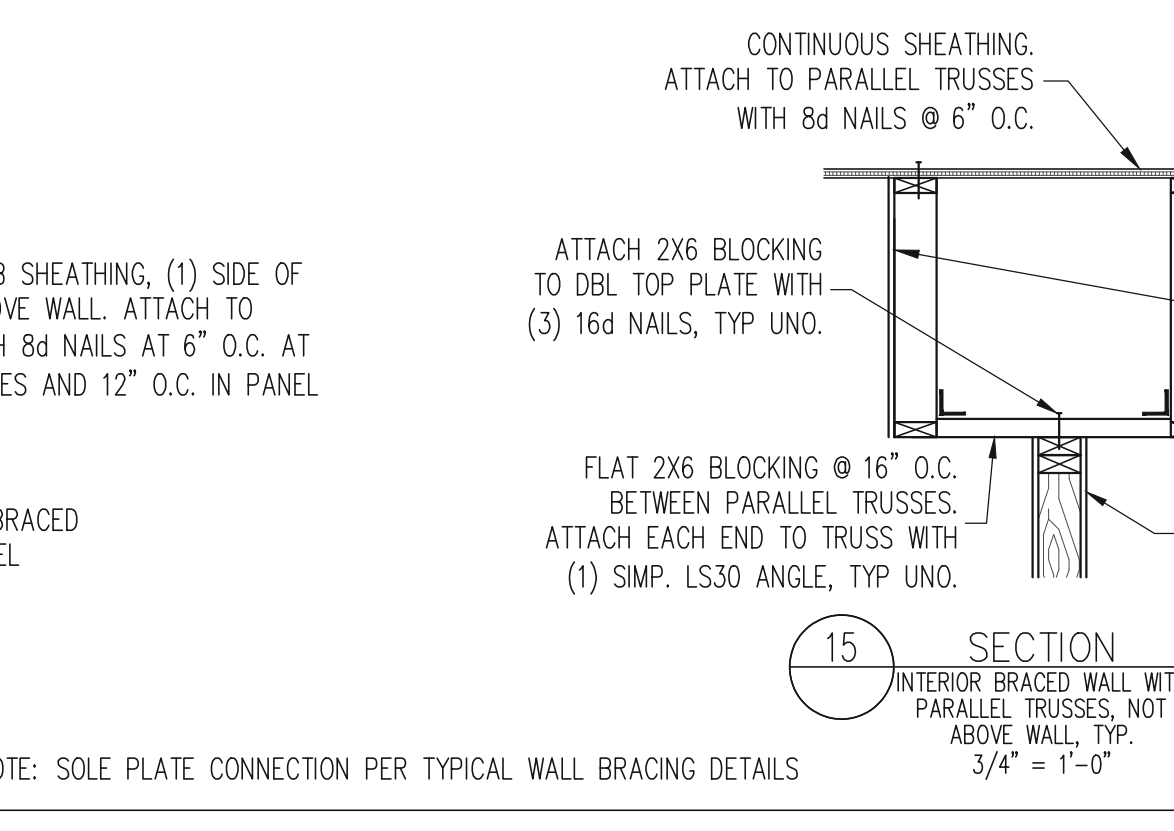
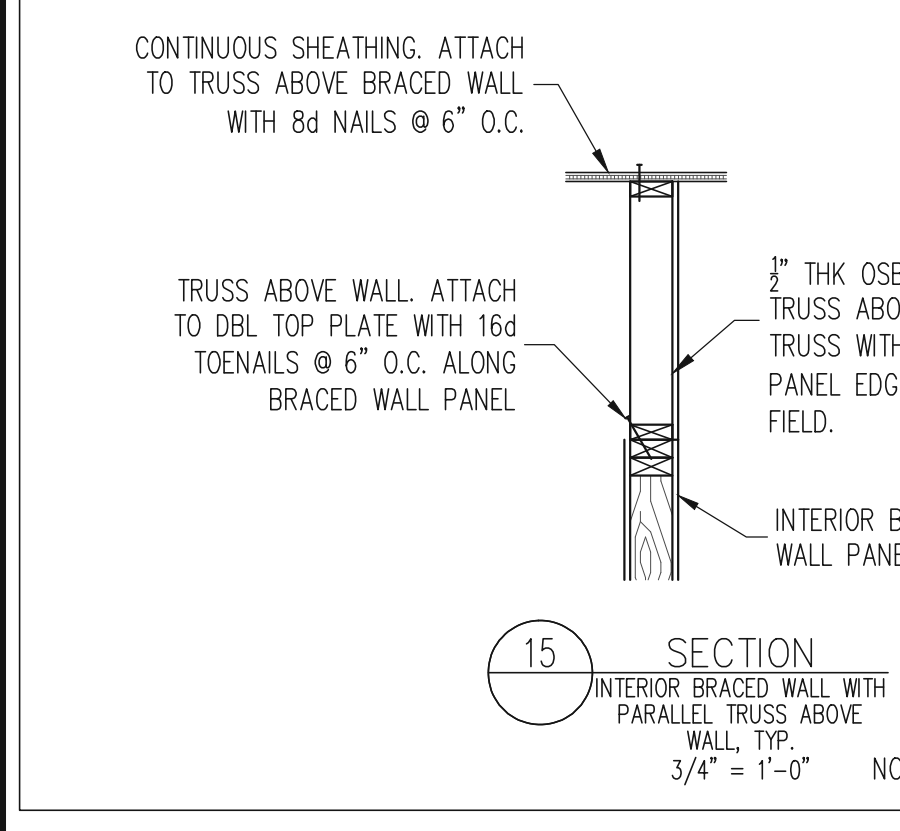
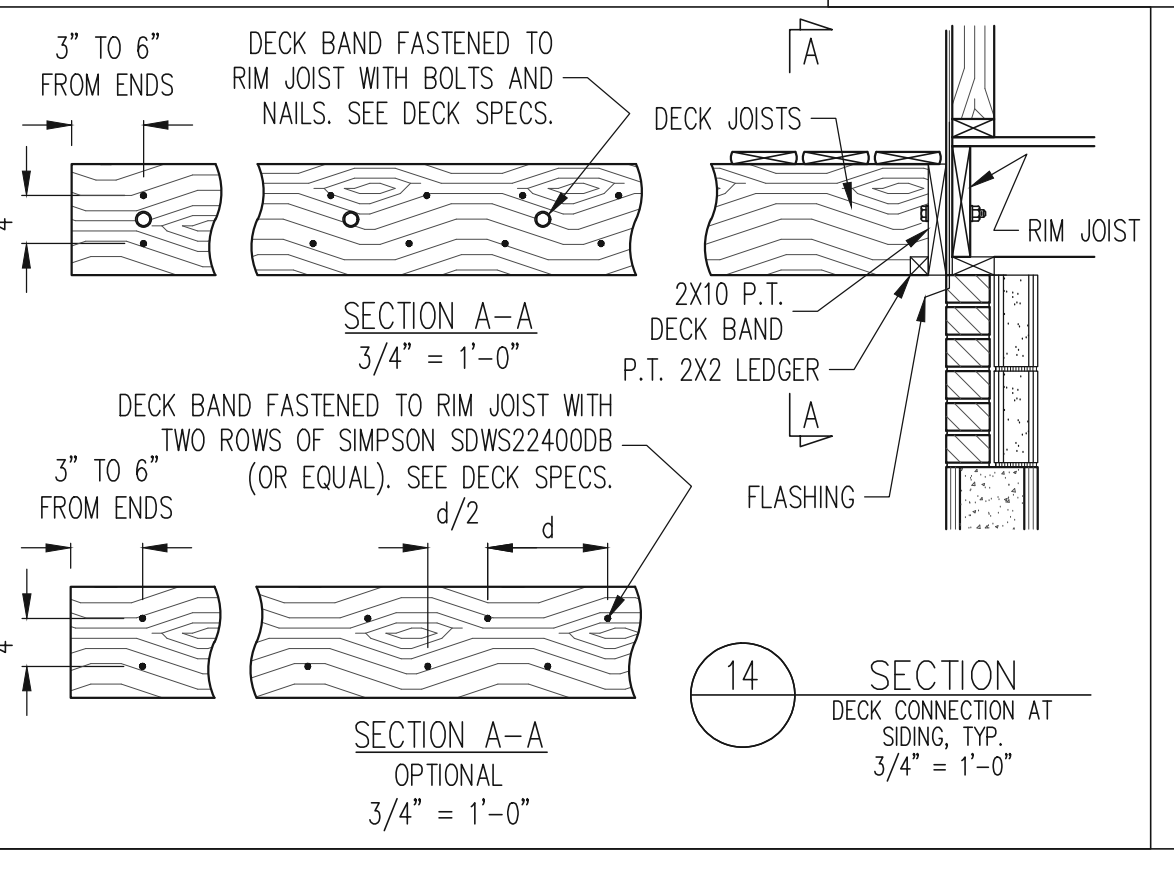
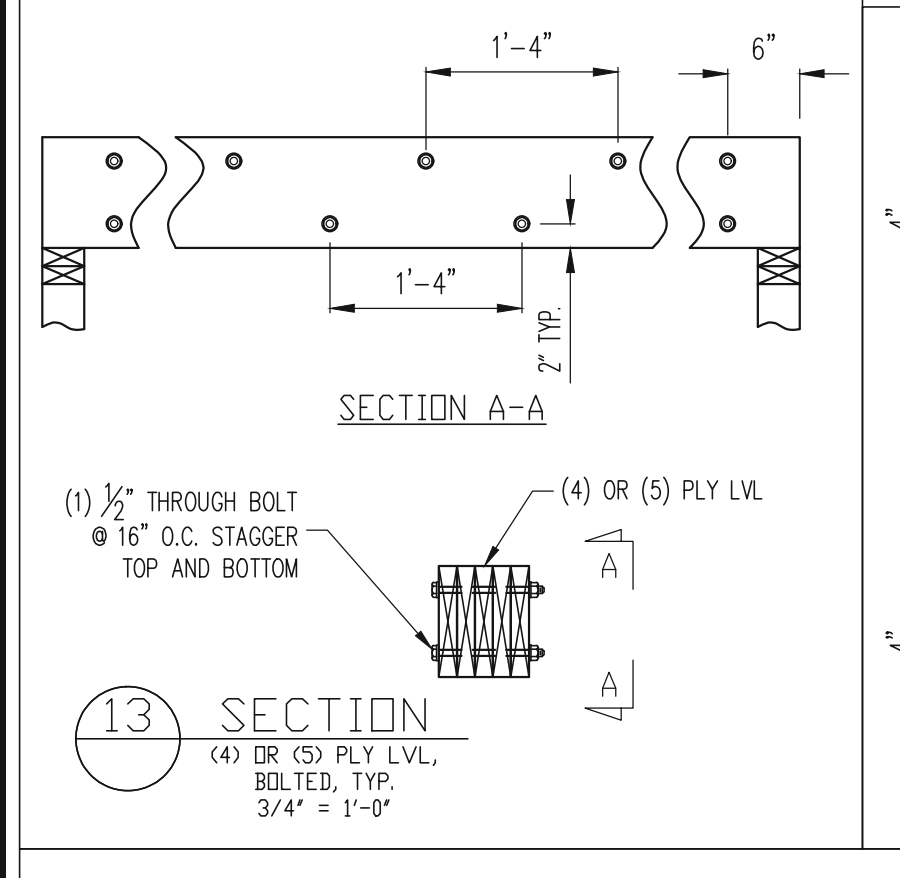
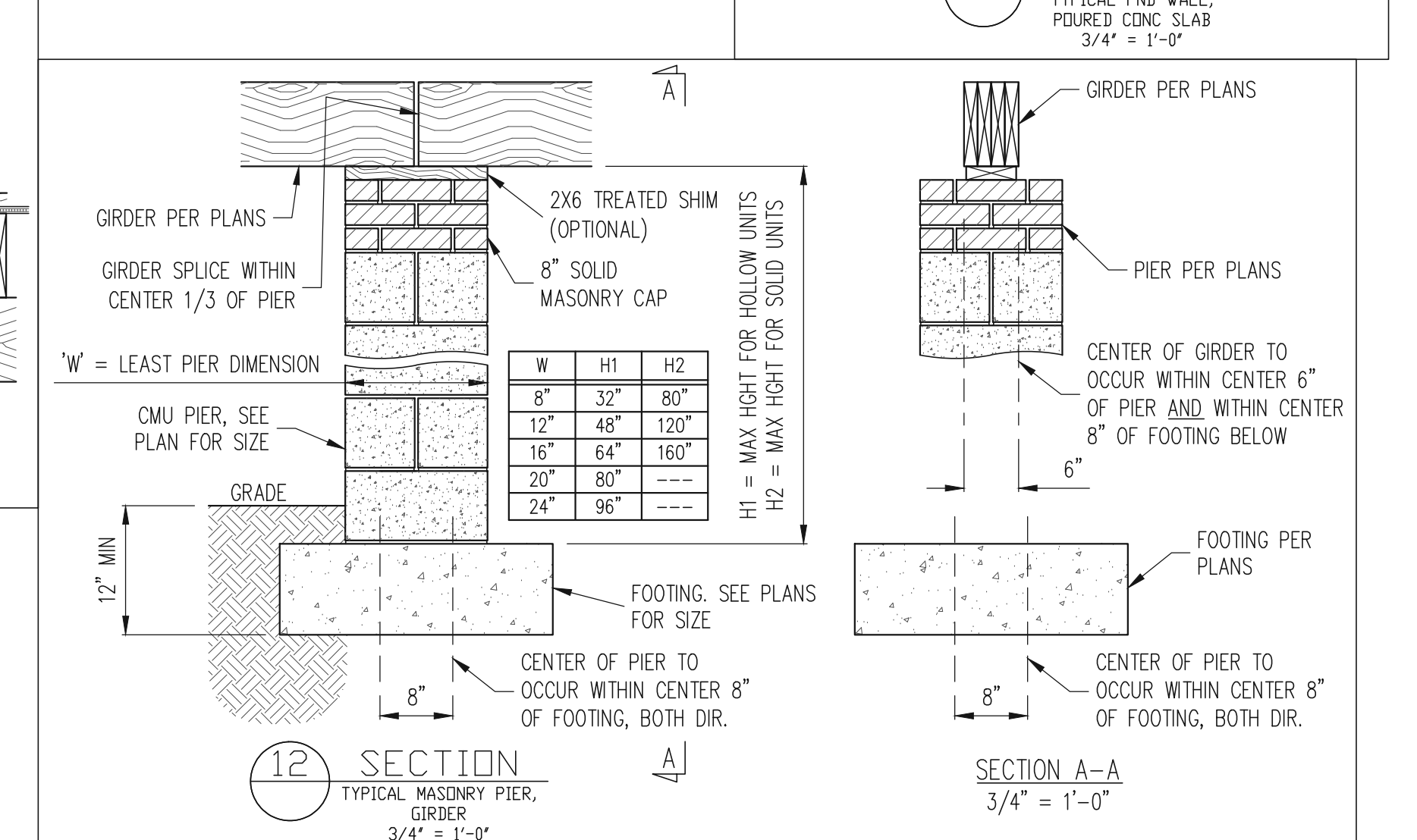
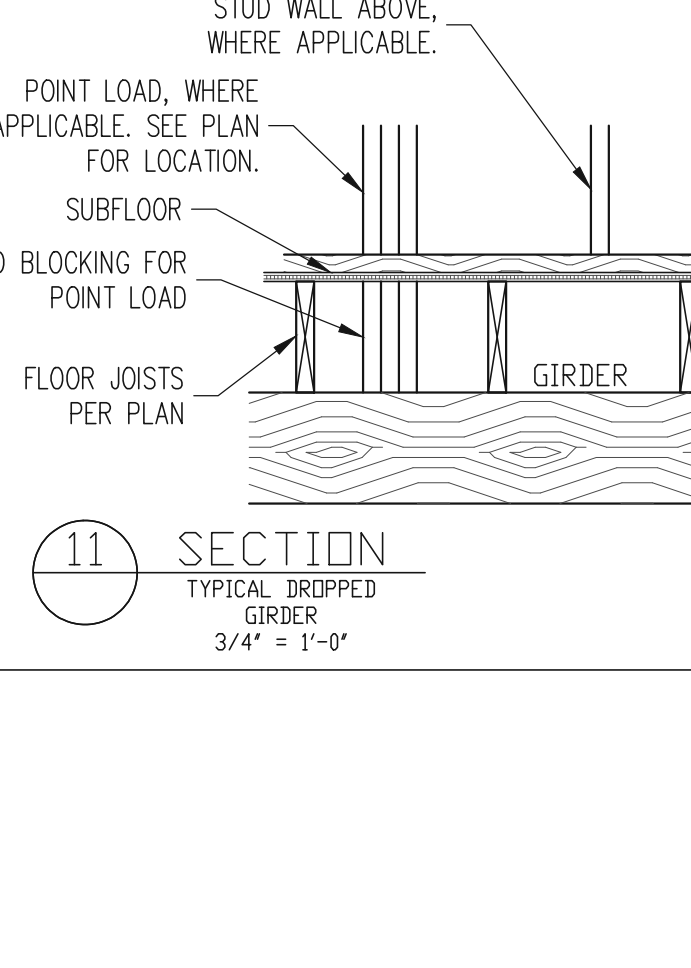
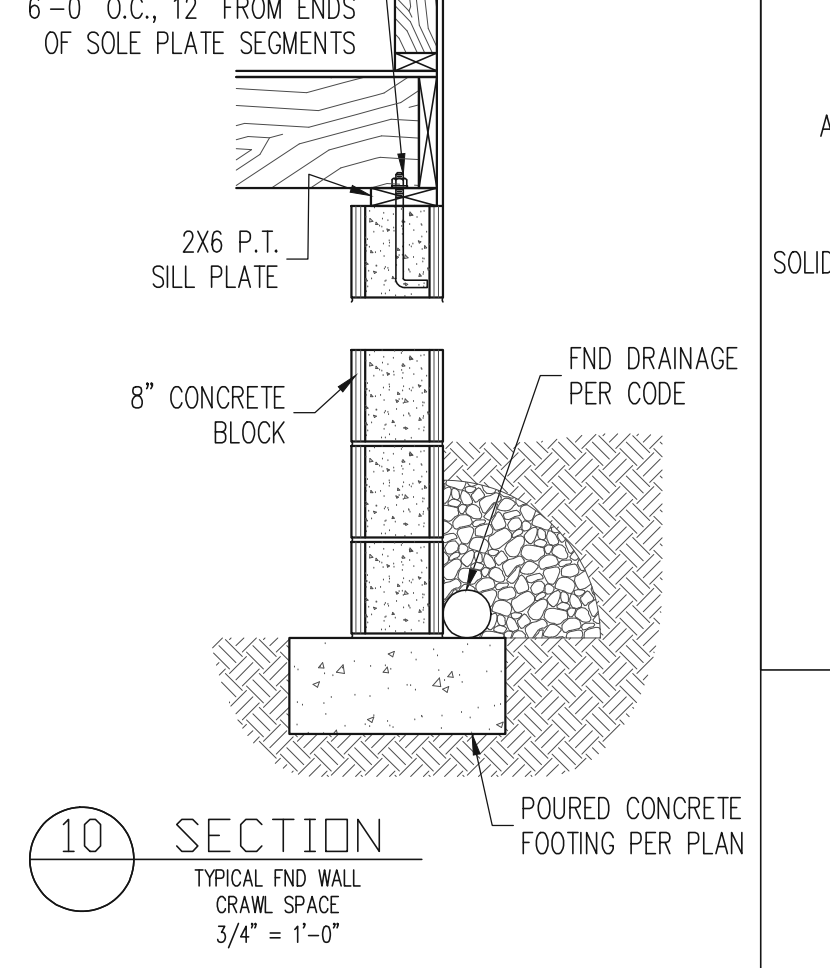
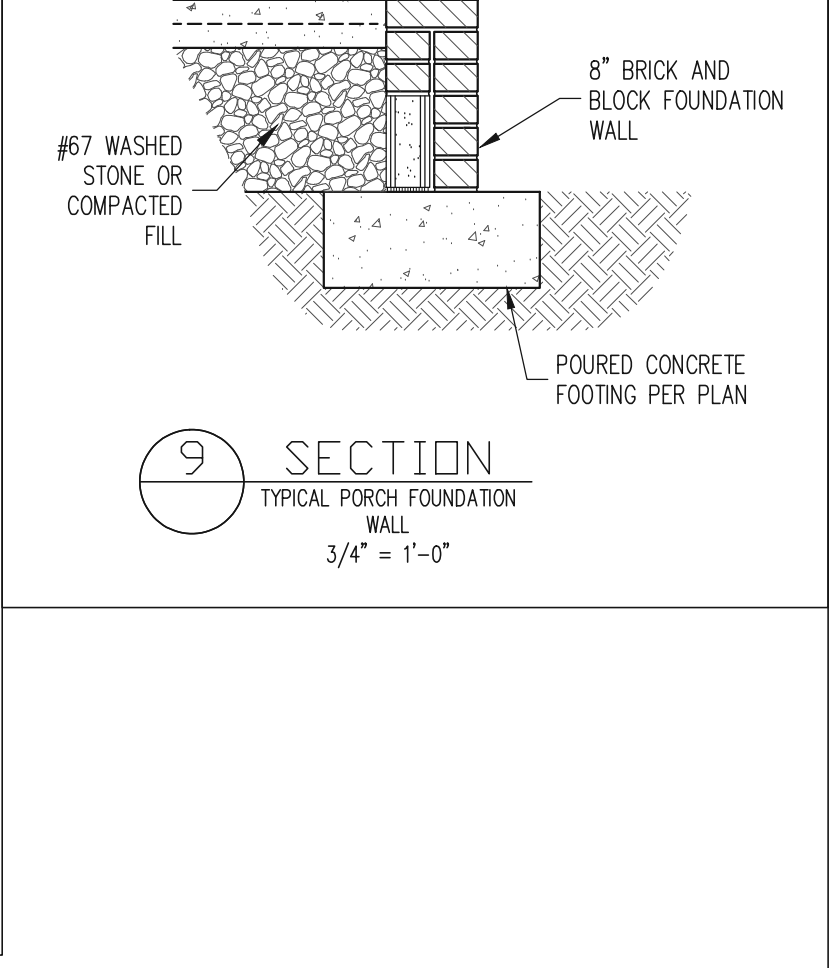
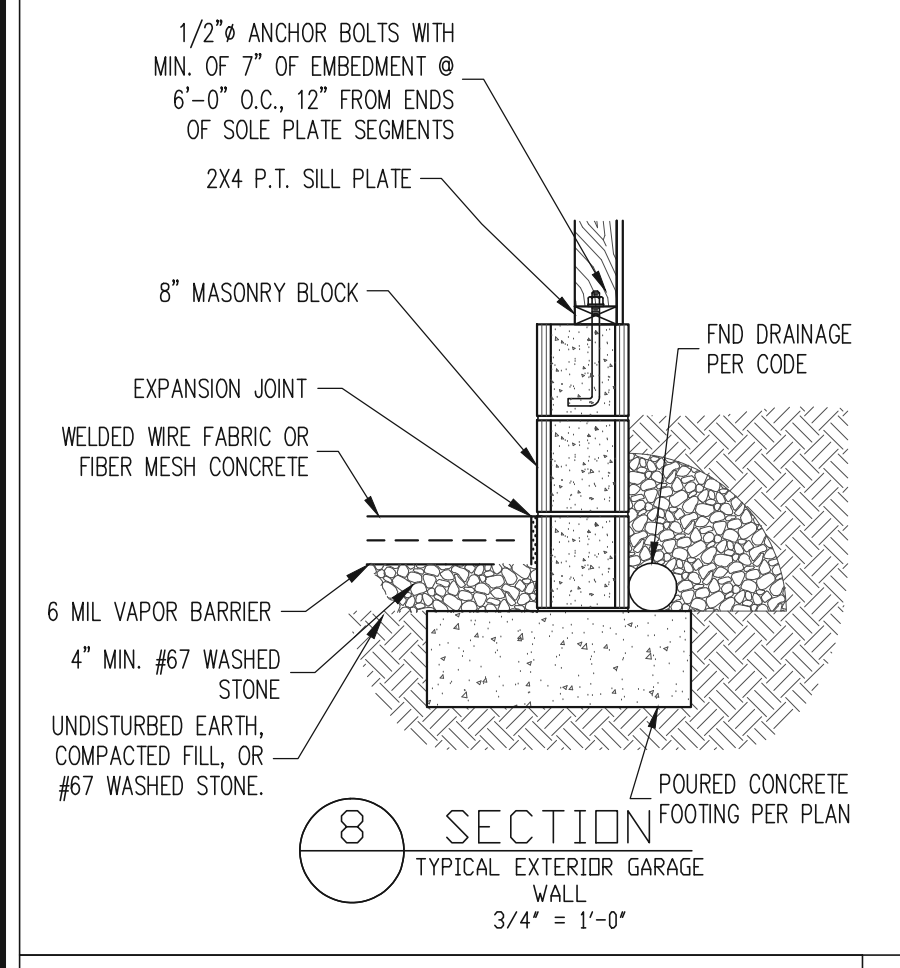
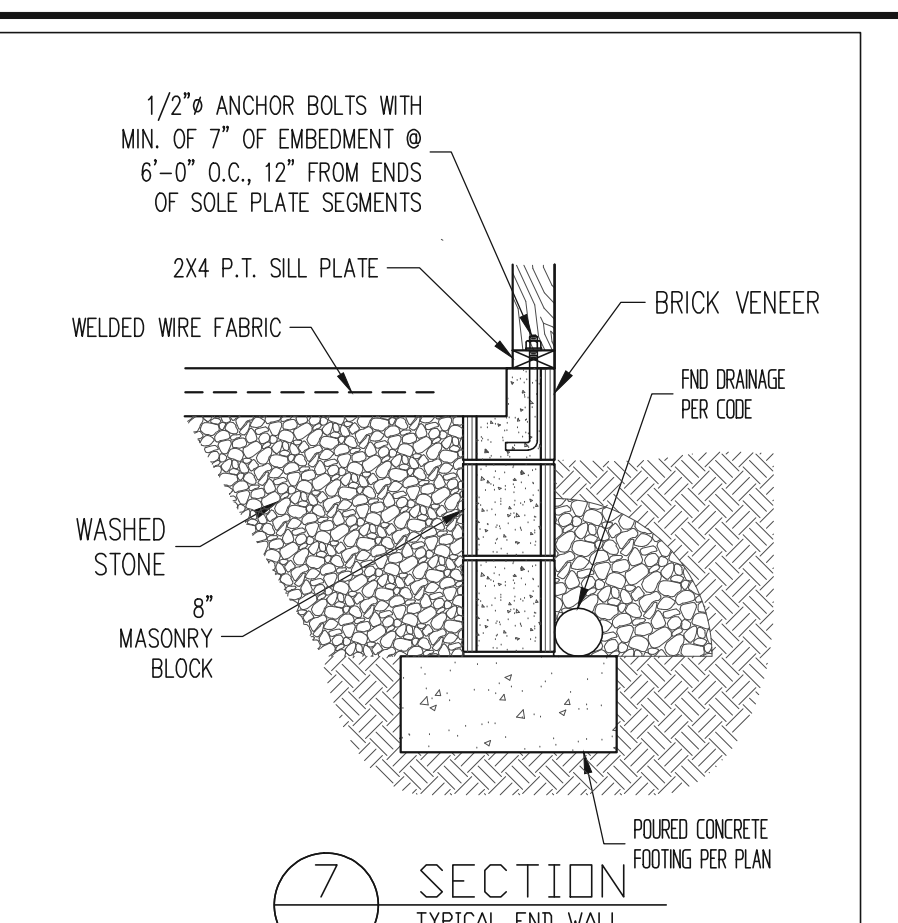
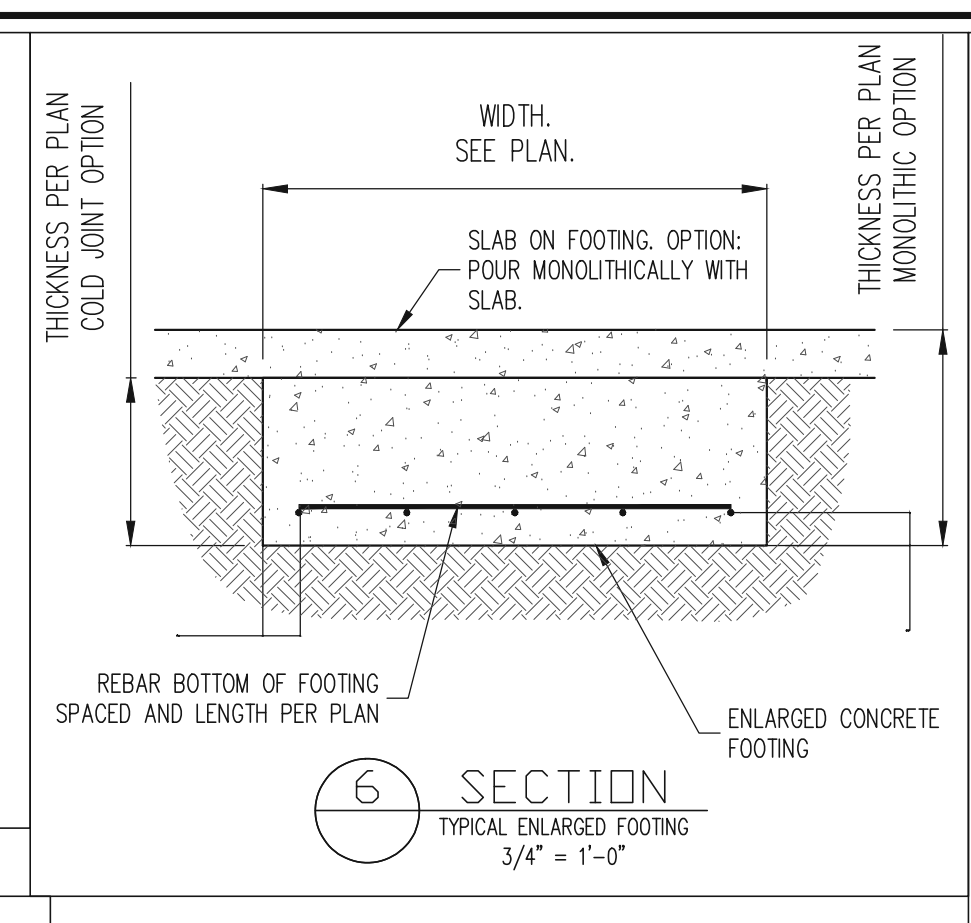
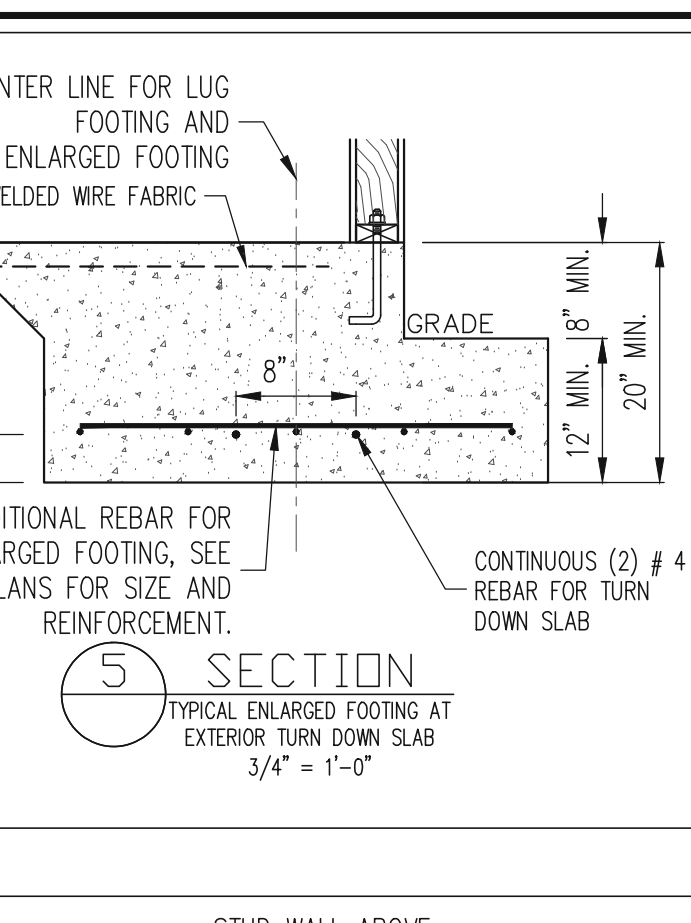
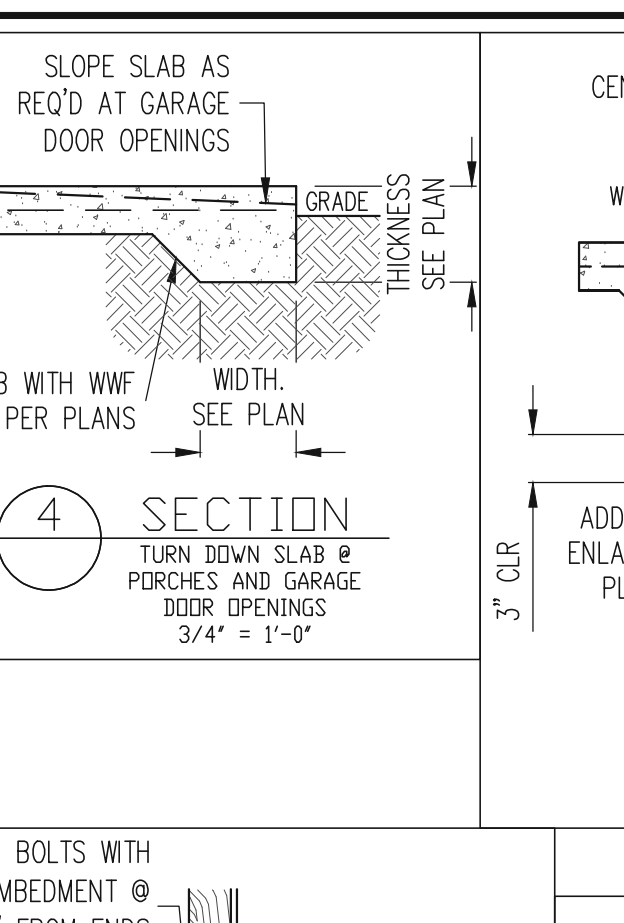
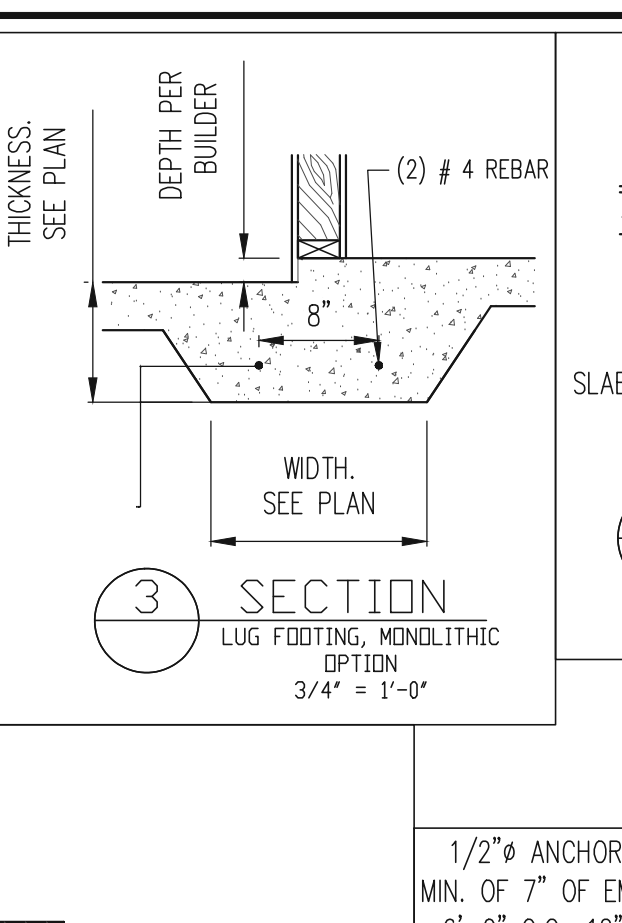
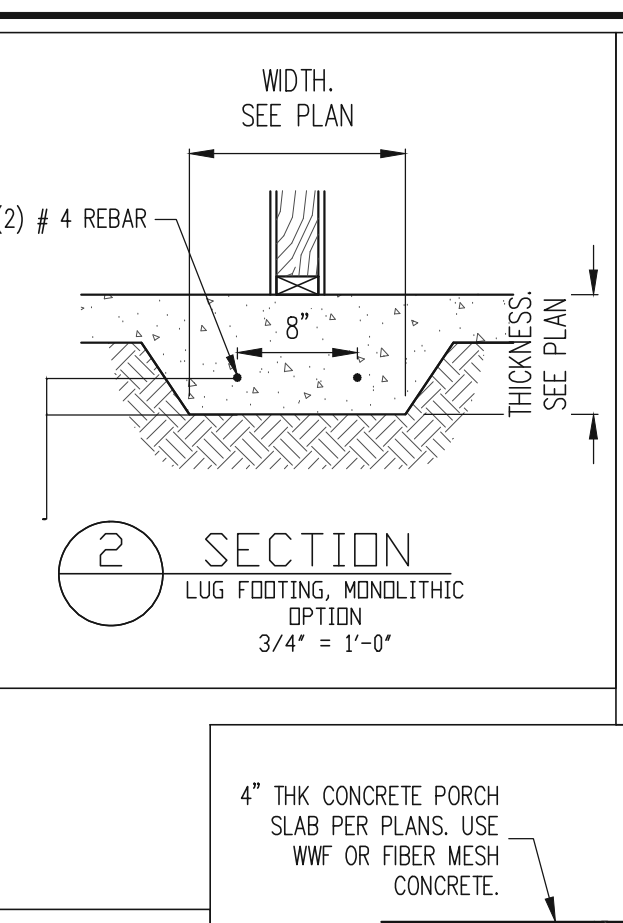
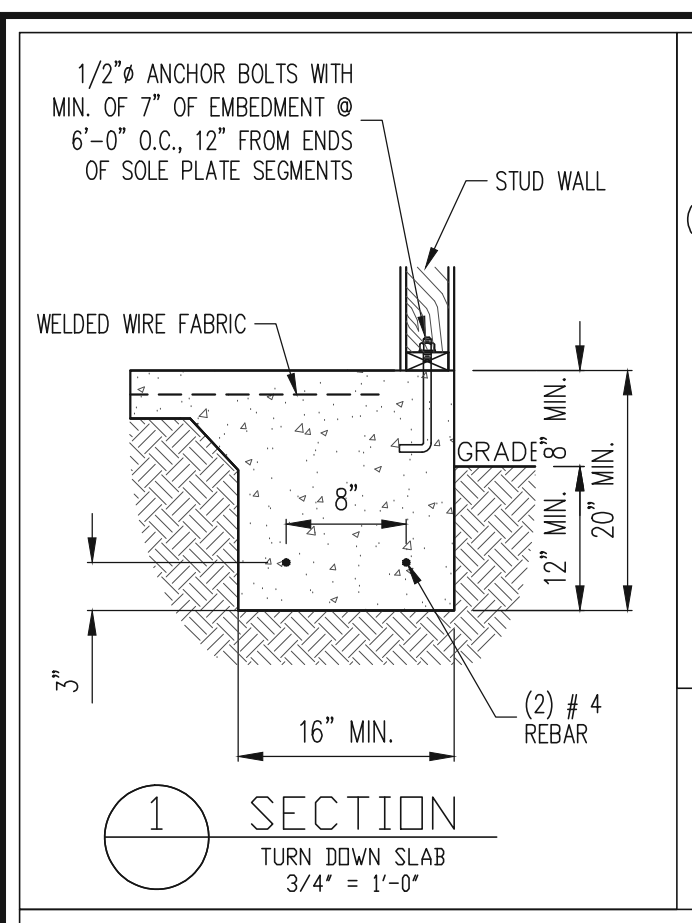
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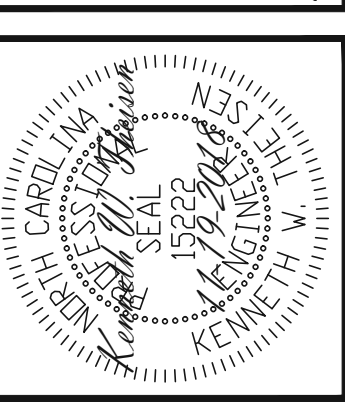
PLAN NO.  
NELSON RH

PROJECT NO.  
18-29-064R

SHEET NO.  
S20



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18-29-064R

SHEET NO.  
SD1

### CONSTRUCTION SPECIFICATIONS

#### PART 1: GENERAL

- CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
- STRUCTURAL STEEL SHALL MEET THE REQUIREMENTS OF THE AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
- REINFORCED CAST IN PLACE CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF ACI 318, LATEST EDITION.
- MASONRY CONSTRUCTION SHALL CONFORM TO THE SPECIFICATIONS OF ACI 530-95, LATEST EDITION.
- METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND INSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.

#### PART 2: DIMENSIONS

- DIMENSIONS SHOWN SHALL GOVERN OVER SCALE ON THESE DRAWINGS.

#### PART 3: DESIGN LOADS

- DESIGN LOADS SHALL CONFORM WITH THE TABLE BELOW:

USE	LIVE LOAD (PSF)	DEAD LOAD (PSF)
BALCONIES, DECKS, ATTICS WITH FIXED STAIR ACCESS, DWELLING UNITS (INCLUDING SLEEPING ROOMS), ATTICS WITH FIXED STAIR ACCESS, STAIRS, FIRE ESCAPES	40	10
GARAGES (PASSENGER CARS ONLY)	50	---
ATTICS (NO STORAGE, LESS THAN 5' HEADROOM)	10	10
ATTICS (WITH STORAGE)	20	10
ROOF	20	10 (15 FOR VAULTS)

- NOTES: - UNIFORM STAIR TREADS ARE TO BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300 LB. CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQ. IN. WHICH EVER PRODUCES THE GREATER STRESS.  
 - GUARD RAILS AND HAND RAILS ARE TO BE DESIGNED FOR A SINGLE CONCENTRATED LOAD OF 200 LB. APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.  
 - BUILDER TO VERIFY DEAD LOAD DOES NOT EXCEED 10 PSF WHEN HEAVY FLOOR OR ROOF FINISHES SUCH AS TILE OR SLATE ARE UTILIZED.
- INTERIOR WALLS: 5 PSF LATERAL.
  - BASIC WIND DESIGN VELOCITY OF 100 MPH.
  - LOAD DURATION FACTOR FOR ROOF STRUCTURAL MEMBERS IS 1.15.
  - SOIL BEARING CAPACITY 2000 PSF (PRESUMPTIVE).

#### PART 4: MATERIALS

- STRUCTURAL STEEL SQUARE AND RECTANGULAR TUBING SHALL CONFORM TO ASTM A500 GRADE B MINIMUM GRADE. ALL OTHER STRUCTURAL STEEL SHALL CONFORM TO ASTM A992 MINIMUM GRADE TYP UNO.
- REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615 GRADE 60 TYP UNO.
- SOLID SAWN WOOD FRAMING DESIGN IS BASED ON NO. 2 SPRUCE PINE FIR FOR JOISTS, RAFTERS, WOOD GIRDERS/BELLS, STUDS, ETC. ALLOWANCE HAS BEEN MADE FOR S/P SUBSTITUTION TYP UNO.
- LVL OR PSL MINIMUM ALLOWABLE DESIGN STRESSES ARE AS FOLLOWS:  
 $E = 1.3 \times 10^6$  PSI,  $F_b = 2600$  PSI,  $F_v = 285$  PSI,  $F_c = 750$  PSI
- LSL MINIMUM ALLOWABLE DESIGN STRESSES ARE AS FOLLOWS:  
 $E = 1.3 \times 10^6$  PSI,  $F_b = 1700$  PSI,  $F_v = 400$  PSI,  $F_c = 680$  PSI
- BOLTS SHALL CONFORM TO ASTM A307 MINIMUM GRADE TYP UNO.
- WELDING ELECTRODES SHALL BE E70XX.
- LUMBER IN CONTACT WITH THE GROUND, CONCRETE OR MASONRY SHALL BE PRESSURE TREATED IN ACCORDANCE WITH ANFA STANDARD C-15. ALL OTHER EXPOSED LUMBER SHALL BE TREATED IN ACCORDANCE WITH ANFA STANDARD C-2 OR BY ANY METHOD GIVING EQUAL PROTECTION. THE BUILDING CODE OFFICE MAY ALSO APPROVE A NATURAL DECAY RESISTANT WOOD PER SECTION 19-6(A).

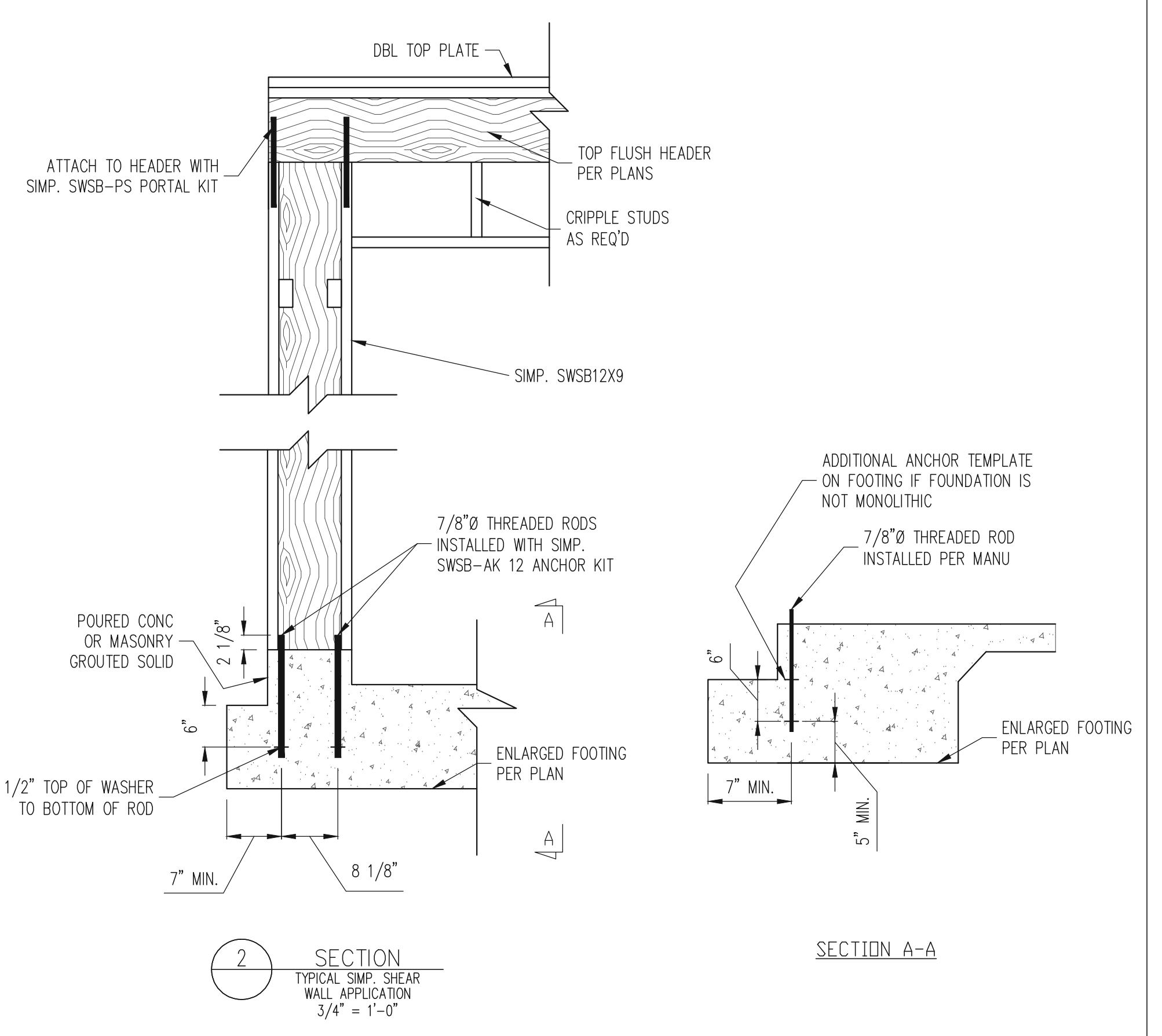
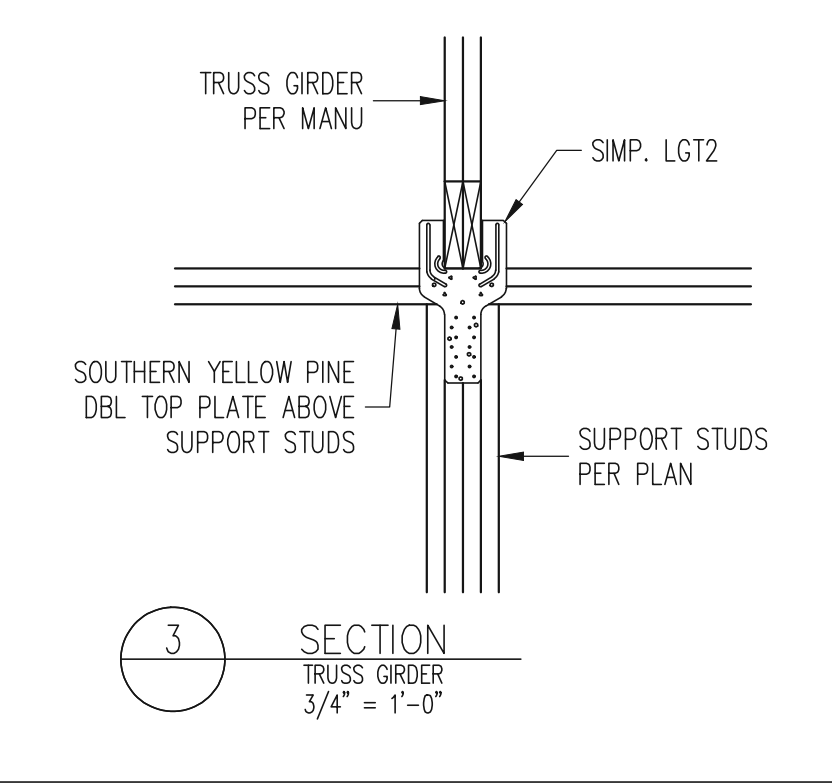
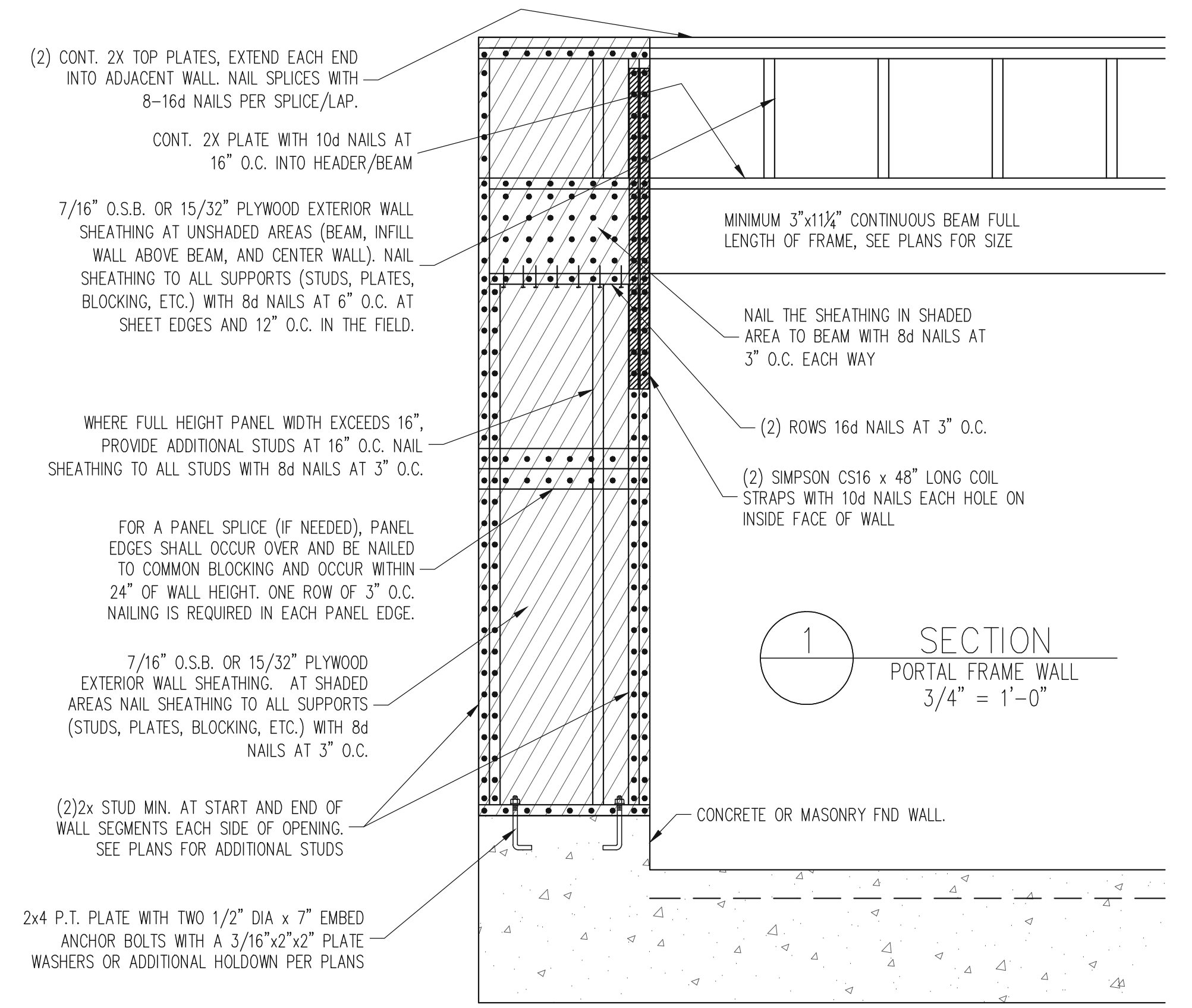
- CAST IN PLACE CONCRETE SHALL BE OF NORMAL WEIGHT AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS TYP UNO.
- CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C 90 OR ASTM C 55.
- MORTAR SHALL BE TYPE S CONFORMING TO ASTM C 476.
- NAILS SHALL BE COMMON WIRE NAILS TYP UNO.
- LAG SCREWS SHALL CONFORM TO ANS/ASME STANDARD B18.21-1981.

#### PART 5: CONSTRUCTION

- FLUTCH PLATE BEAMS SHALL CONSIST OF A CONTINUOUS STEEL PLATE BOLTED BETWEEN TWO PIECES OF CONTINUOUS LUMBER AS SIZED ON THE PLANS. BOLT PEECS TOGETHER USING 1/2" # 8 BOLTS SPACED AT 24" O.C. STAGGERED TOP TO BOTTOM OF THE BEAM. MAINTAIN A 2" EDGE DISTANCE. PLACE TWO BOLTS, ONE ABOVE THE OTHER, 6" FROM EACH END OF THE BEAM.
- STEEL, LVL AND FLUTCH PLATE BEAMS BEARING ON A STUD WALL PERPENDICULAR TO THE BEAM SHALL BEAR FULL WIDTH ON THE SUPPORTING WALL INDICATED AND SHALL BE SUPPORTED BY A MINIMUM OF THREE GANGED STUDS, OR A GANGED STUD COLUMN WITH A NUMBER OF STUDS SUCH THAT THE STUD COLUMN IS AT LEAST AS WIDE AS THE BEAM BEING SUPPORTED, WHICHEVER IS GREATER, TYP UNO.
- STEEL, LVL AND FLUTCH PLATE BEAMS BEARING ONTO THE END OF A STUD WALL PARALLEL TO THE BEAM SHALL BEAR A MINIMUM OF 4 1/2" ONTO THE WALL AND BE SUPPORTED BY A TRIP. STUD GANGED COLUMN TYP UNO.
- SOLID SAWN LUMBER GANGED BEAMS BEARING ON A STUD WALL PERPENDICULAR TO THE BEAM SHALL BEAR FULL WIDTH ON THE SUPPORTING WALL INDICATED (LESS 1 1/2" TO ALLOW FOR A CONTINUOUS RM JOIST) AND SHALL BE SUPPORTED BY A GANGED STUD COLUMN THE SAME WIDTH AS THE BEAM TYP UNO.
- SOLID SAWN LUMBER GANGED BEAMS BEARING ONTO THE END OF A STUD WALL PARALLEL TO THE BEAM SHALL BEAR A MINIMUM OF 4 1/2" ONTO THE WALL AND BE SUPPORTED BY A TRIP. STUD GANGED COLUMN TYP UNO.
- EXTRA JOISTS OR SINGLE LVL MEMBERS OF 1 1/2" OR LESS WIDTH, BEARING ON A STUD WALL PERPENDICULAR TO THE BEAM SHALL BEAR ON A STUD WALL WITH A MINIMUM OF 2" AND SHALL BE SUPPORTED BY ONE ADDITIONAL STUD.
- SOLID SAWN LUMBER JOISTS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM NAILED TOGETHER WITH THREE ROWS OF 10d NAILS @ 16" O.C.
- LVL MEMBERS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM FASTENED TOGETHER PER MANUFACTURERS RECOMMENDATIONS, TYP UNO.
- STUDS THAT ARE GANGED TO FORM A COLUMN SHALL HAVE ADJACENT STUDS WITHIN THE COLUMN NAILED TOGETHER WITH ONE ROW OF 10d NAILS AT 8" O.C. (TWO ROWS OF 10d NAILS @ 8" O.C. 3" APART, FOR 2X8 OR 2X10 STUDS) ALL COLUMNS SHALL BE CONTINUOUS DOWN TO THE FOUNDATION OR OTHER PROPERLY DESIGNED STRUCTURAL ELEMENT SUCH AS A BEAM. COLUMNS TRANSFERRING LOADS THROUGH FLOOR LEVELS SHALL BE SOLID BLOKED FOR THE FULL WIDTH OF THE STUD COLUMN WITHIN THE CAVITY FORMED BY THE FLOOR JOISTS.
- STUD WALLS SHALL CONSIST OF 2X4 STUDS SPACED AT 16" O.C. UNO STUDS SHALL BE CONTINUOUS FROM SOLE PLATE AT FLOOR TO DOUBLE TOP PLATE AT THE CEILING OR ROOF. NO INTERMEDIATE BANDS OR PLATES SHALL CAUSE DISCONTINUITIES IN A STUD WALL EXCEPT AS REQUIRED FOR DOOR OR WINDOW OPENINGS. THE KING STUDS FOR SUCH OPENINGS SHALL BE CONTINUOUS.
- PILOT HOLES SHALL BE USED FOR LAG SCREW INSTALLATION AND SHALL BE BORED ACCORDING TO NDS SPECIFICATIONS.
- ALL WELDING SHALL BE PERFORMED BY AN AWS CERTIFIED WELDER.
- ALL CONCRETE, INCLUDING CONCRETE FOR FOOTINGS, IS TO BE CAST IN PLACE, TYP UNO.
- BOLTS AND LAG SCREWS USED FOR BOLTING WOOD MEMBERS SHALL HAVE STANDARD WASHERS INSTALLED FOR THE NUTS AND BOLT / SCREW HEADS.

#### PART 6: SUBSTITUTIONS

- IN LIEU OF WELDED WIRE FABRIC IN SLABS, SYNTHETIC POLYPROPYLENE FIBRILLATED MICRO FIBERS, FIBER LENGTH 1 1/2", DOSAGE RATE 1 1/2 LBS./CU. YD.
- OTHER MATERIAL OR MEMBER SIZE SUBSTITUTIONS REQUIRE THE WRITTEN AUTHORIZATION OF THE DESIGNERS. UNAUTHORIZED DEVIATIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



### DECK SPECIFICATIONS

- A DECK IS AN EXPOSED EXTERIOR WOOD FLOOR STRUCTURE WHICH MAY BE ATTACHED TO A STRUCTURE OR BE FREE STANDING. ROOF PORCHES, OPEN OR SCREENED IN, MAY BE CONSTRUCTED USING THESE PROVISIONS.
- SUPPORT POSTS SHALL BE SUPPORTED BY A FOOTING.
- WHEN ATTACHED TO A STRUCTURE, THE STRUCTURE TO WHICH ATTACHED SHALL HAVE A TREATED WOOD BAND FOR THE LENGTH OF THE DECK, OR CORROSION RESISTANT FLASHING SHALL BE USED TO PREVENT MOISTURE FROM COMING IN CONTACT WITH THE UNTREATED FRAMING OF THE STRUCTURE. THE DECK BAND AND THE STRUCTURE BAND SHALL BE CONSTRUCTED IN CONTACT WITH EACH OTHER EXCEPT AT BRICK VENEER AND WHERE FLYWOOD SHEATHING IS REQUIRED AND PROPERLY FLASHED. SPONG SHALL NOT BE INSTALLED BETWEEN THE STRUCTURE AND THE DECK BAND. IF ATTACHED TO A BRICK VENEER STRUCTURE, NEITHER FLASHING NOR A TREATED BAND FOR THE BRICK STRUCTURE IS REQUIRED. IN ADDITION, THE TREATED DECK BAND SHALL BE CONSTRUCTED IN CONTACT WITH THE BRICK VENEER.
- WHEN THE DECK IS SUPPORTED AT THE STRUCTURE BY ATTACHING THE DECK TO THE STRUCTURE, THE FOLLOWING ATTACHMENT SCHEDULES SHALL APPLY FOR ATTACHING THE DECK BAND TO THE STRUCTURE.

JOIST SPAN	DECKING
12" O.C.	1" S4S
16" O.C.	1" T&G
24" O.C.	1 1/4" S4S
32" O.C.	2" S4S

POST SIZE	MAX POST HEIGHT
4x4	8'
6x6	20'
ENGINEERED	20' +

- NOTES: 1) THIS TABLE IS BASED ON NO. 2 TREATED SOUTHERN PINE POSTS.  
 2) THIS TABLE IS BASED ON A MAXIMUM TRIBUTARY AREA OF 128 SQ. FT.  
 3) POST HEIGHT IS FROM TOP OF FOOTING TO BOTTOM OF ORDER.

- DECKS SHALL BE BRACED TO PROVIDE LATERAL STABILITY BY ONE OF THE FOLLOWING METHODS:
  - WHEN THE DECK FLOOR HEIGHT IS LESS THAN 4'-0" AND THE DECK IS ATTACHED TO THE STRUCTURE IN ACCORDANCE WITH SECTION 4, LATERAL BRACING IS NOT REQUIRED.
  - 4x4 WOOD KNEE BRACES MAY BE PROVIDED ON EACH COLUMN IN BOTH DIRECTIONS. THE KNEE BRACES SHALL ATTACH TO EACH POST AT A POINT NOT LESS THAN 1/3 OF THE POST LENGTH FROM THE TOP OF THE POST, AND THE BRACES SHALL BE ANGLED BETWEEN 45° AND 60° FROM THE HORIZONTAL. KNEE BRACES SHALL BE ATTACHED AT THE ENDS TO THE GIRDER AND THE POST WITH ONE - 5/8" BOLT.
  - FOR FREE STANDING DECKS WITHOUT KNEE BRACES OR DIAGONAL BRACING, LATERAL STABILITY MAY BE PROVIDED BY EMBEDDING THE POSTS IN CONCRETE IN ACCORDANCE WITH THE FOLLOWING:

POST SIZE	TRIBUT. AREA	POST HEIGHT	EMB. DEPTH	CONC. DIAM.
4x4	48 SQ. FT.	4'-0"	2'-6"	1'-0"
6x6	120 SQ. FT.	6'-0"	3'-6"	1'-0"

- D. 2X6 DIAGONAL VERTICAL CROSS BRACING SHALL BE PROVIDED IN TWO PERPENDICULAR DIRECTIONS FOR FREE STANDING DECKS OR PARALLEL TO THE STRUCTURE AT THE EXTERIOR COLUMN LINE FOR ATTACHED DECKS. THE BRACES SHALL BE ATTACHED TO THE POSTS WITH ONE - 5/8" BOLT AT EACH END OF THE BRACE.
- NOTES: 1) ALL NAILS AND BOLTS ARE TO BE HOT DIPPED GALVANIZED.  
 2) MINIMUM EDGE DISTANCE FOR BOLTS IS 2 1/2".  
 3) NAILS MUST PENETRATE THE SUPPORTING STRUCTURE BAND A MINIMUM OF 1 1/2".

- IF THE DECK BAND IS SUPPORTED BY A 1/2" MINIMUM MASONRY LEDGE ALONG THE FOUNDATION WALL, 5/8" BOLTS SPACED @ 48" O.C. MAY BE USED FOR SUPPORT.
- OTHER MEANS OF SUPPORT, SUCH AS JOIST HANGERS, MAY BE USED TO CONNECT DECK JOISTS TO A TREATED STRUCTURE BAND.
- GIRDERS SHALL BEAR DIRECTLY ON POSTS OR BE CONNECTED TO THE SIDES OF POSTS WITH 2- 5/8" BOLTS.
- FLOOR DECKING SHALL BE NO. 2 GRADE TREATED SOUTHERN PINE OR EQUIVALENT. THE MINIMUM FLOOR DECKING THICKNESS SHALL BE AS FOLLOWS:

REQUIRED FASTENERS	JOIST LENGTH	
	UP TO 8' MAX.	UP TO 16' MAX.
A. BRICK VENEER STRUCTURES	ONE - 5/8" # BOLT @ 42" O.C. AND (2) ROWS OF 12d NAILS @ 8" O.C. OR TWO ROWS OF SIMPSON SDWS24000B @ 6" O.C. STAGGERED	ONE - 5/8" # BOLT @ 20" O.C. AND (3) ROWS OF 12d NAILS @ 6" O.C. OR TWO ROWS OF SIMPSON SDWS24000B @ 6" O.C. STAGGERED
	ONE - 5/8" # BOLT @ 28" O.C.	ONE - 5/8" # BOLT @ 16" O.C.

### NOTES

ALL WORK IS TO BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES. THE BUILDER IS RESPONSIBLE FOR REVIEWING PLANS PRIOR TO CONSTRUCTION. IF ENGINEERING SERVICES HAS BEEN PROVIDED THE BUILDER SHALL VERIFY THAT THE FOUNDATION AND STRUCTURAL PLANS HAVE BEEN SEALED BY AN ENGINEER REGISTERED BY THE STATE. IF THE PLANS HAVE NOT BEEN SEALED AND SEALED, THE BUILDER SHALL IMMEDIATELY CONTACT ENGINEERING TECH BEFORE PROCEEDING FURTHER. ANY ERRORS DUE TO A FAILURE TO FOLLOW THE ABOVE PROCEDURES SHALL NOT BE THE RESPONSIBILITY OF ENGINEERING TECH. ALL FINAL SETS OF THE SAME PLAN ISSUED TO A BUILDER SHOULD BE REVIEWED FOR UNIFORMITY, ESPECIALLY IF PRIOR SETS OF PLANS HAVE BEEN ISSUED AS STUDY COPIES.

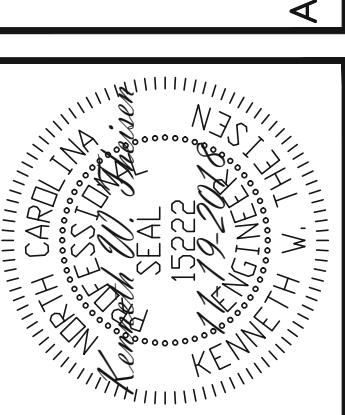
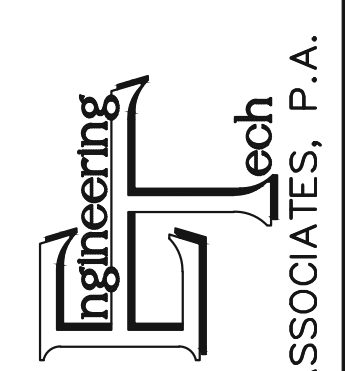
ENGINEERING TECH DOES NOT PERFORM FENESTRATION, ROOF VENT, OR ATTIC CALCULATIONS OR ANY OTHER AREA CALCULATIONS THAT ARE NOT RELATED TO STRUCTURAL ENGINEERING.

TRUSSES TO BE DESIGNED BY AN ENGINEER REGISTERED IN NORTH CAROLINA. FINAL TRUSS DRAWING SHOULD BE SUBMITTED TO ENGINEERING TECH ASSOCIATES, PA FOR REVIEW.

### ABBREVIATIONS

ABV ABOVE	FND FOUNDATION	TJ TRIPLE JOIST
B BOTH	FTG FOOTING	TYP TYPICAL
B.E. BOTH ENDS	HDC HOT DIPPED	TRPL TRIPLE
BTWN BETWEEN	GALV GALVANIZED	TSP TRIPLE STUD POCKET
CONC CONCRETE	HGR HANGER	UNO UNLESS NOTED OTHERWISE
CS CONTINUOUS SHEATHING	LVL LAMINATED VENEER LUMBER	XJ EXTRA JOIST
DIA DIAMETER	NTS NOT TO SCALE	
DBL DOUBLE	O.C. ON CENTER	
DJ DOUBLE JOIST	PSL PARALLEL STRAND LUMBER	
DSP DBL STUD POCKET	PT PRESSURE TREATED	
EA EACH	QJ QUAD JOIST	
FLG FLANGE	SP STUD POCKET	
FL PL FLUTCH PLATE	SQ SQUARE	
FLR FLOOR		

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