

Initial Application Date: 2/6/19

Application # SFD1908-0017

COUNTY OF HARNETT RESIDENTIAL LAND USE APPLICATION
Central Permitting 108 E. Front Street, Lillington, NC 27548 Phone: (910) 893-7525 Fax: (910) 893-2793 www.harnett.org/permits

LANDOWNER: MSP Construction & Development, LLC Mailing Address: PO Box 2067

City: Fayetteville State: NC Zip: 28302 Home #: _____ Contact #: 910-988-6404

APPLICANT: _____ Mailing Address: _____

City: _____ State: _____ Zip: _____ Home #: _____ Contact #: _____
*Please fill out applicant information if different than landowner

CONTACT NAME APPLYING IN OFFICE: Michael Pleasant Phone #: 910-988-6404

PROPERTY LOCATION: Subdivision w/phase or section: Anderson Creek Club Lot #: 135 Lot Acreage: 0.66 acres

State Road #: 475 State Road Name: Whispering Pines Dr. Map Book & Page: 02001, 00601

Parcel: 01053507 0100 14 PIN: 0505-99-6827.000

Zoning: R200-R Flood Zone: N/A Watershed: N/A Deed Book & Page: 3667, 0770 Power Company: South River EMC

*New homes with Progress Energy as service provider need to supply premise number _____ from Progress Energy.

SPECIFIC DIRECTIONS TO THE PROPERTY FROM LILLINGTON: Hwy 27 to Nursery Rd (L) on to
Alibic Way W; Go around Inner Circle to Whispering Pines
Dr.; house on L

PROPOSED USE:

- SFD (Size 55 x 64) # Bedrooms 4 # Baths 3.5 Basement (w/w/o bath) N/A Garage Yes Deck Yes Circle: Crawl Space / Slab
(Is the bonus room finished? _____ w/ a closet _____ if so add in with # bedrooms)
- Mod (Size _____ x _____) # Bedrooms _____ # Baths _____ Basement (w/w/o bath) _____ Garage _____ Site Built Deck _____ ON Frame / OFF: _____
(Is the second floor finished? _____ Any other site built additions? _____)
- Manufactured Home: _____ SW _____ DW _____ TW (Size _____ x _____) # Bedrooms _____ Garage _____ (site built? _____) Deck _____ (site built? _____)
- Duplex (Size _____ x _____) No. Buildings _____ No. Bedrooms/Unit _____
- Home Occupation # Rooms _____ Use _____ Hours of Operation: _____ # Employees _____
- Addition/Accessory/Other (Size _____ x _____) Use _____ Closets in addition () yes () no

Water Supply: () County () Well (No. dwellings _____) MUST have operable water before final

Sewage Supply: () New Septic Tank (Complete Checklist) () Existing Septic Tank (Complete Checklist) () County Sewer

Property owner of this tract of land own land that contains a manufactured home w/in five hundred feet (500') of tract listed above? () YES () NO

Structures (existing & proposed): Stick Built/Modular _____ Manufactured Homes _____ Other (specify) _____

Required Residential Property Line Setbacks:	Minimum	Actual	Comments:
Front	<u>35</u>	<u>45</u>	
Rear	<u>20</u>	<u>108</u>	
Closest Side	<u>10</u>	<u>15</u>	
Distance to street/corner lot			
Distance to nearest Building same lot			

Permits are granted I agree to conform to all ordinances and laws of the State of North Carolina regulating such work and the specifications of plans submitted. I hereby state that foregoing statements are accurate and correct to the best of my knowledge. Permit subject to revocation if false information is provided.

Michael Pleasant
Signature of Owner or Owner's Agent

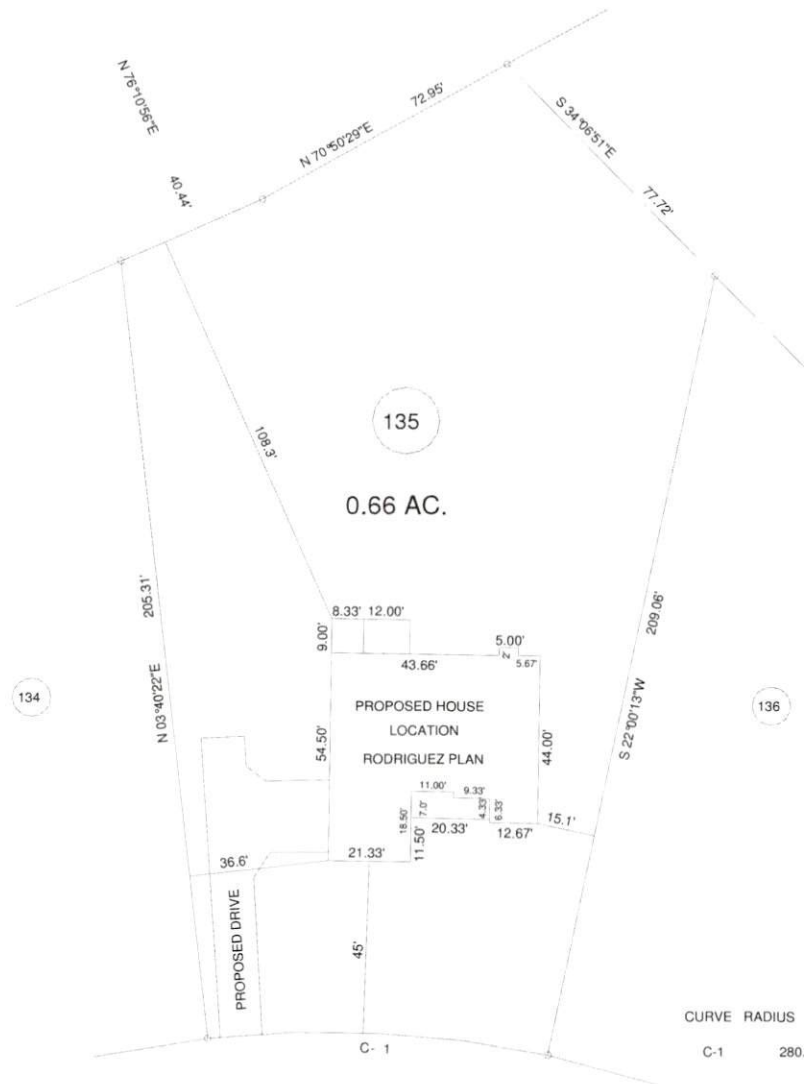
2/6/19
Date

This application expires 6 months from the initial date if no permits have been issued

A RECORDED SURVEY MAP, RECORDED DEED (OR OFFER TO PURCHASE) AND PLAT ARE REQUIRED WHEN APPLYING FOR LAND USE APPLICATION

Please use Blue or Black Ink ONLY

MAP BK 2001-621



*
LBR

D REFERENCE: DEED BK 3667, PAGE 770

P REFERENCE: MAP NO. 2001-621

CURVE	RADIUS	LENGTH	CHORD	CH.BEARING
C-1	280.00'	89.18'	88.80'	N 77°11'21"W

WHISPERING PINES DRIVE 60' R/W

OWNER: MSP CONSTRUCTION & DEVELOPMENT

MINIMUM BUILDING SETBACKS

- FRONT YARD — 35'
- REAR YARD — 20'
- SIDE YARD — 10'
- CORNER LOT SIDE YARD — 20'
- MAXIMUM HEIGHT — 35'
- FRONT WITH 60' R/W ROAD - 30'

475 WHISPERING PINES DR. SPRING LAKE, NC 28390



SURVEY FOR:		BENNETT SURVEYS		F-1304	
PROPOSED PLOT PLAN - LOT - 135		1662 CLARK RD., LILLINGTON, N.C. 27546			
ANDERSON CREEK CLUB, PHASE-1-MAP-5		(910) 893-5252			
TOWNSHIP	ANDERSON CREEK	COUNTY	HARNETT	12.5' 0 25'	SURVEYED BY:
STATE:	NORTH CAROLINA	DATE:	JANUARY 26, 2019	SCALE: 1"= 50'	DRAWN BY:
ZONED	WATERSHED DISTRICT	PID #	0505-99-6827.000	CHECKED & CLOSURE BY:	FIELD BOOK
		PIN #			DRAWING NO.
					19031

Print this page



Property Description:

LOT#135 ANDERSON CREEK CLUB I MAP#2001-621

Harnett County GIS

PID: 01053507 0100 14

PIN: 0505-99-6827.000

REID: 0056067

Subdivision:

Taxable Acreage: 1.000 LT ac

Caclulated Acreage: 0.66 ac

Account Number: 1500030223

Owners: MSP CONSTRUCTION AND DEV

Owner Address : 475 WHISPERING PINES DR SPRING LAKE, NC 28390-7036

Property Address: 475 WHISPERING PINES DR SPRING LAKE, NC 28390

City, State, Zip: SPRING LAKE, NC, 28390

Building Count: 0

Township Code: 01

Fire Code:

Parcel Building Value: \$0

Parcel Outbuilding Value : \$0

Parcel Land Value : \$100000

Parcel Special Land Value : \$0

Total Value : \$100000

Parcel Deferred Value : \$0

Total Assessed Value : \$100000

Neighborhood: 00134

Actual Year Built:

TotalAcutalAreaHeated: Sq/Ft

Sale Month and Year: 1 / 2019

Sale Price: \$88000

Deed Book & Page: 3667-0770

Deed Date: 2019/01/16

Plat Book & Page: 02001-00621

Instrument Type: WD

Vacant or Improved:

QualifiedCode: Q

Transfer or Split: T

Prior Building Value: \$0

Prior Outbuilding Value : \$0

Prior Land Value : \$100000

Prior Special Land Value : \$0

Prior Deferred Value : \$0

Prior Assessed Value : \$100000

