



Initial Application Date: 1/2/19

Application # SFD 1901-0001
CU# _____

COUNTY OF HARNETT RESIDENTIAL LAND USE APPLICATION
Central Permittng .108 E. Front Street, Lillington, NC 27546 Phone: (910) 893-7525 ext:2 Fax: (910) 893-2793 www.harnett.org/permits

****A RECORDED SURVEY MAP, RECORDED DEED (OR OFFER TO PURCHASE) & SITE PLAN ARE REQUIRED WHEN SUBMITTING A LAND USE APPLICATION****

LANDOWNER: H&H Constructors of Fayetteville, LLC. Mailing Address: 2919 Breezewood Ave. Ste. 400
City: Fayetteville State: NC Zip: 28303 Contact No: 910-486-4864 Email: Stacysimmons@hhhomes.com

APPLICANT: Same As Above Mailing Address: Same As Above
City: Fayetteville State: NC Zip: 28303 Contact No: 910-486-4864 Email: Stacysimmons@hhhomes.com
*Please fill out applicant information if different than landowner

CONTACT NAME APPLYING IN OFFICE: Stacy Simmons Phone # 910-486-4864

ADDRESS: 177 Pittfield Run PIN: 9595-40-4615

DEED OR OTP: 3645-0286

PROPOSED USE:

- SFD: (Size 41 x 39) # Bedrooms: 4 # Baths: 2.5 Basement (w/wo bath): Garage: Deck: Crawl Space: Slab: Monolithic Slab:
(Is the bonus room finished? yes no w/ a closet? yes no (if yes add in with # bedrooms)
- Mod: (Size _____ x _____) # Bedrooms _____ # Baths _____ Basement (w/wo bath) Garage: Site Built Deck: On Frame Off Frame
(Is the second floor finished? yes no Any other site built additions? yes no
- Manufactured Home: SW DW TW (Size _____ x _____) # Bedrooms: _____ Garage: (site built? Deck: (site built?
- Duplex: (Size _____ x _____) No. Buildings: _____ No. Bedrooms Per Unit: _____
- Home Occupation: # Rooms: _____ Use: _____ Hours of Operation: _____ #Employees: _____
- Addition/Accessory/Other: (Size _____ x _____) Use: _____ Closets in addition? yes no

Water Supply: County _____ Existing Well _____ New Well (# of dwellings using well _____) ****Must have operable water before final (Need to Complete New Well Application at the same time as New Tank)**

Sewage Supply: _____ New Septic Tank _____ Expansion _____ Relocation _____ Existing Septic Tank County Sewer
(Complete Environmental Health Checklist on other side of application if Septic)

Does owner of this tract of land, own land that contains a manufactured home within five hundred feet (500') of tract listed above? yes no
Does the property contain any easements whether underground or overhead yes no

Structures (existing or proposed): Single family dwellings: Proposed Manufactured Homes: _____ Other (specify): _____

If permits are granted, I agree to conform to all ordinances and laws of the State of North Carolina regulating such work and the specifications of plans submitted. I hereby state that foregoing statements are accurate and correct to the best of my knowledge. Permit subject to revocation if false information is provided.

Stacy Simmons Signature of Owner or Owner's Agent Date 1/2/19

*****It is the owner/applicants responsibility to provide the county with any applicable information about the subject property, including but not limited to: boundary information; house location; underground or overhead easements, etc. The county or its employees are not responsible for any incorrect or missing information that is contained within these applications.*****

This application expires 6 months from the initial date if permits have not been issued*
APPLICATION CONTINUES ON BACK

strong roots • new growth



Application # SFD 1901-0001

Harnett County Central Permitting
PO Box 65 Lillington, NC 27546
910-893-7525 Fax 910-893-2793 www.harnett.org/permits

Each section below to be filled out by whomever performing work. Must be owner or licensed contractor. Address, company name & phone must match information on license.

Application for Residential Building and Trades Permit

Owner's Name: H&H Constructors of Fayetteville, LLC. Date: 1/2/19
Site Address: 177 Pittfield Run Phone: 910-486-4864
Subdivision: Manor @ Lexington Plantation Lot: 758
Description of Proposed Work: New Single Family Residential

General Contractor Information

H&H Constructors of Fayetteville, LLC. 910-486-4864
Building Contractor's Company Name Telephone
2919 Breezewood Ave. Ste. 400 Fayetteville, NC 28303 Stacysimmons@hhhomes.com
Address Email Address
74158

License #

Electrical Contractor Information

Description of Work Single Family Electric Service Size: 200 Amps T-Pole: Yes No
JM Pope Electric, Inc. 919-776-5144
Electrical Contractor's Company Name Telephone
409 Chatham Street Sanford, NC 27330 Electricpope@windstream.net
Address Email Address
21326

License #

Mechanical/HVAC Contractor Information

Description of Work Single Family HVAC 910-891-1239
Carolina comfort Air, Inc. Telephone
Mechanical Contractor's Company Name Carolinacomfortair@yahoo.com
703 N. Clinton Ave. Dunn, NC 28334 Email Address
Address
29077 H-3-1

License #

Plumbing Contractor Information

Description of Work Single Family Plumbing # Baths 2.5
Dell Haire Plumbing 910-429-9939
Plumbing Contractor's Company Name Telephone
PO Box 65048/ 620 Gillespie St. Fay. NC 28306 dellhaireplumbing@hotmail.com
Address Email Address
32886 P-1

License #

Insulation Contractor Information

Tricity Insulation Inc. 418 Person St. Fay. NC 28301 910-486-8855
Insulation Contractor's Company Name & Address Telephone

*NOTE: General Contractor / owner must fill out and sign the second page of this application.

I hereby certify that I have the authority to make necessary application, that the application is correct and that the construction will conform to the regulations in the Building, Electrical, Plumbing and Mechanical codes, and the Harnett County Zoning Ordinance. I state the information on the above contractors is correct as known to me and that by signing below I have obtained all subcontractors permission to obtain these permits and if any changes occur including listed contractors, site plan, number of bedrooms, building and trade plans, Environmental Health permit changes or proposed use changes, I certify it is my responsibility to notify the Harnett County Central Permitting Department of any and all changes.

EXPIRED PERMIT FEES - 6 Months to 2 years permit re-issue fee is \$150.00. After 2 years re-issue fee is as per current fee schedule:

Hugh Jones
Signature of Owner/Contractor/Officer(s) of Corporation

1/2/19
Date

Affidavit for Worker's Compensation N.C.G.S. 87-14

The undersigned applicant being the:

General Contractor Owner Officer/Agent of the Contractor or Owner

Do hereby confirm under penalties of perjury that the person(s), firm(s) or corporation(s) performing the work set forth in the permit:

Has three (3) or more employees and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) who has their own policy of workers' compensation insurance covering themselves.

Has no more than two (2) employees and no subcontractors.

While working on the project for which this permit is sought it is understood that the Central Permitting Department issuing the permit may require certificates of coverage of worker's compensation insurance prior to issuance of the permit and at any time during the permitted work from any person, firm or corporation carrying out the work.

Sign w/Title: *Hugh Jones / Permit Coordinator* Date: 1/2/19

SITE PLAN APPROVAL

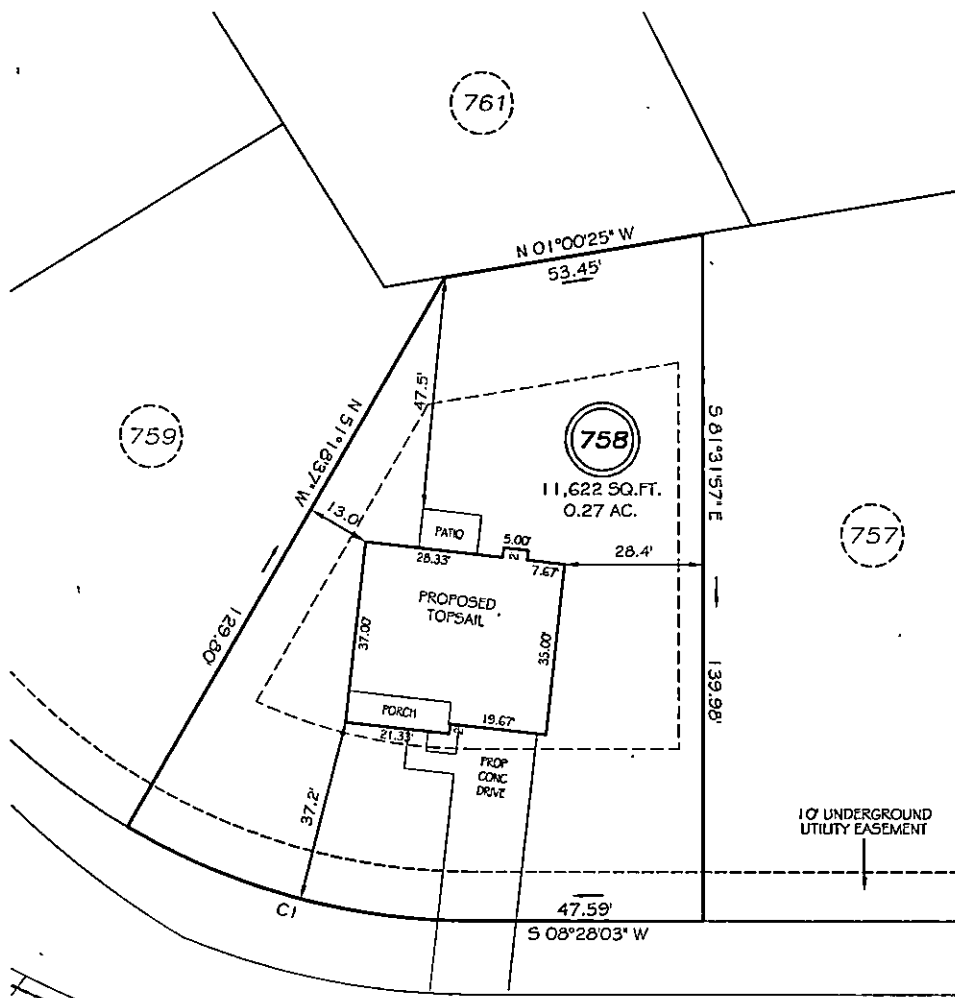
DISTRICT RA-20 USE SFD

#BEDROOMS 4 beds / 2.5 baths

Chaszycki 01102/17

I, MICHAEL P. GRIFFIN, certify that under my direction and supervision this map was drawn from an actual field survey; that the error of closure of the survey as calculated by coordinates is 1:10,000+; that the area shown hereon was calculated by coordinates. Witness my hand and seal this day of MONTH 2018.

MAP 2017 PGS 98-99 HARNETT CO. REGISTRY



PITTFIELD RUN
50' PUBLIC UTILITY RAW

SETBACKS

FRONT	35'
REAR	25'
SIDE (ONE SIDE)	5'
SIDE (ONE SIDE)	10'
CORNER SIDE	20'

REVISION: 8' LEFT 12/7/18

CI R=140.00' L=73.77' N23°35'37"E 72.92'

PRELIMINARY
NOT FOR RECORDATION,
SALES OR CONVEYANCE

LEGEND

EIP	EXISTING IRON PIPE	FES	FLARED END SECTION
IPS	IRON PIPE SET	WM	WATER METER
RAW	RIGHT OF WAY	CO	CLEAN OUT
N/F	NOW OR FORMERLY	FH	FIRE HYDRANT
EIS	EXISTING IRON STAKE	CB	CATCH BASIN



GRIFFIN LAND SURVEYING, INC.

P.O. BOX 148
FUQUAY-VARINA, NC 27526
(919) 567-1963

PLOT PLAN
FOR

H & H HOMES

LEXINGTON PLANTATION

LOT 758

PITTFIELD RUN

NORTH CAROLINA

HARNETT COUNTY ANDERSON CREEK TOWNSHIP

DRAWN BY NMF

DATE 11/15/18

CHECKED BY MPG

SCALE 1" = 30'

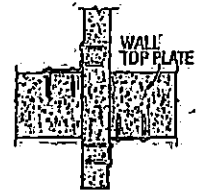
Truss/Rafter to Wood Double Top Plates



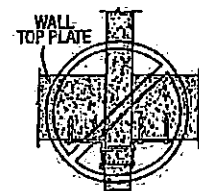
Model No.	Qty Req'd	Fasteners		DF/SP Allowable Loads				SPF Allowable Loads			
		To Rafter	To Plates	Uplift		Parallel to Plate (F ₁) (133/160)	Perp. to Plate (F ₂) (133/160)	Uplift		Parallel to Plate (F ₁) (133/160)	Perp. to Plate (F ₂) (133/160)
				(133)	(160)			(133)	(160)		
H2.5	1	5-8d	5-8d	415	415	150	150	365	365	130	130
H5A	1	3-8d	3-8d	350	420	115	180	245	245	100	120
HGA10	1	4-SDS \times 1/2	4-SDS \times 3	435	435	1165	940	375	375	870	815
H5	1	4-8d	4-8d	455	465	115	200	285	265	100	170
H1	1	6-8d \times 1 1/2	4-8d	490	585	485	165	400	400	415	140
H2.5A	1	5-8d	5-8d	600	600	110	110	620	635	110	110
LTS12	1	6-10d \times 1 1/2	6-10d \times 1 1/2	720	720	75	125	620	620	75	125
H6	1	5-10d \times 1 1/2	6-10d \times 1 1/2	620	745	—	—	530	565	—	—
H10-2	1	6-10d	6-10d	760	760	455	395	655	655	390	340
H2.5	2	10-8d	10-8d	830	830	300	300	730	730	260	260
H5	2	8-8d	8-8d	910	930	290	400	530	530	200	340
H10	1	8-8d \times 1 1/2	8-8d \times 1 1/2	905	990	585	525	780	850	505	450
MTS12	1	7-10d \times 1 1/2	7-10d \times 1 1/2	840	1000	75	125	730	860	75	125
H1	2	12-8d \times 1 1/2	8-8d	980	1170	970	330	800	800	830	280
H2.5A	2	10-8d	10-8d	1200	1200	220	220	1040	1070	220	220
LTS12	2	12-10d \times 1 1/2	12-10d \times 1 1/2	1440	1440	150	250	1240	1240	150	250
HTS20	1	12-10d \times 1 1/2	12-10d \times 1 1/2	1450	1450	75	125	1245	1245	75	125
H16S	1	2-10d \times 1 1/2	10-10d \times 1 1/2	1470	1470	—	—	1265	1265	—	—
H16	1	2-10d \times 1 1/2	10-10d \times 1 1/2	1470	1470	—	—	1265	1265	—	—
H10	1	6-8d \times 1 1/2	6-8d \times 1 1/2	1640	1980	1170	1050	1660	1700	1010	900
MTS12	2	14-10d \times 1 1/2	14-10d \times 1 1/2	1660	2000	150	250	1460	1720	150	250



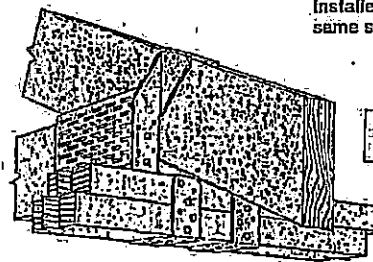
Hurricane Tie Installations to Achieve Twice the Load (Top View)



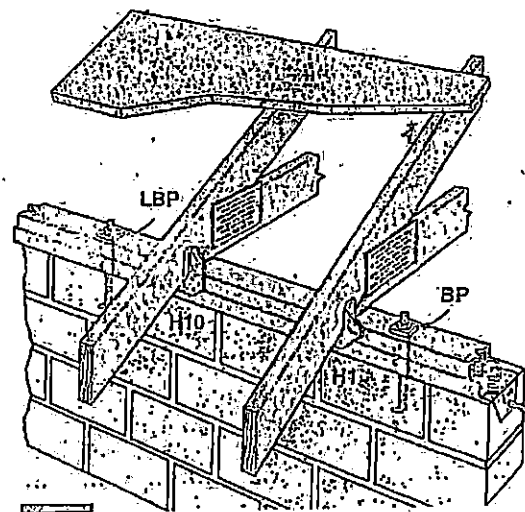
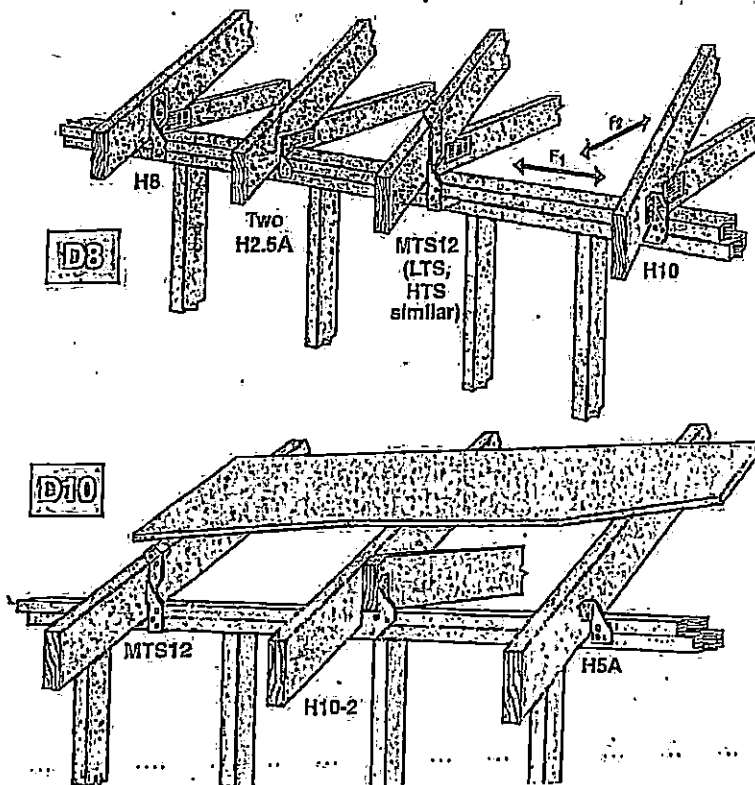
Install diagonally across from each other for minimum 2x truss.



Nailing into both sides of a single ply 2x truss may cause the wood to split. A minimum rafter thickness of 2 1/2" must be used when connectors are installed on the same side.



H16





REScheck Software Version 4.6.2.1 Compliance Certificate

Project Title: Topsail plan slab - worst case

Energy Code: North Carolina Energy Conservation Code
Location: Lillington, North Carolina
Construction Type: Single Family
Project Type: New construction
Building Orientation: Bldg. faces 0 deg. from North
Glazing Area Percentage: 11%
Heating Degree Days: 3502
Climate Zone: 4

Construction Site:
NC

Owner/Agent:
H&H Homes
2919 Breezewood Ave, Suite 400
Fayetteville, NC 28303

Designer/Contractor:
Justin Smith
Southern Energy Management
101 Kitty Hawk Dr
Morrisville, NC 27560
(919) 836-0330
jsmith@southern-energy.com

Compliance: Passes using UA trade-off

Compliance: 1.5% Better Than Code **Maximum UA: 454** **Your UA: 447** **Maximum SHGC: 0.30** **Your SHGC: 0.27**

The % Better or Worse Than Code index reflects how close to compliance the house is based on code trade-off rules.
 It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Glazing or Door U-Factor	UA
Ceiling 1: Flat Ceiling or Scissor Truss	1376	26.0	12.0		37
Wall 1: Wood Frame, 16" o.c. Orientation: Front	697	19.0	0.0		34
Window 1: Vinyl Frame:Double Pane with Low-E SHGC: 0.27 Orientation: Front	95			0.350	33
Door 1: Solid Orientation: Front	20			0.200	4
Door 2: Solid Orientation: Front	18			0.200	4
Wall 2: Wood Frame, 16" o.c. Orientation: Left Side	581	19.0	0.0		33
Window 2: Vinyl Frame:Double Pane with Low-E SHGC: 0.27 Orientation: Left Side	30			0.350	11
Wall 3: Wood Frame, 16" o.c. Orientation: Right Side	581	19.0	0.0		33
Window 3: Vinyl Frame:Double Pane with Low-E SHGC: 0.27 Orientation: Right Side	28			0.350	10
Wall 4: Wood Frame, 16" o.c. Orientation: Back	697	19.0	0.0		34
Window 4: Vinyl Frame:Double Pane with Low-E SHGC: 0.27 Orientation: Back	124			0.350	43
slab: Slab-On-Grade:Unheated Insulation depth: 0.0'	144		0.0		150
over garage: All-Wood Joist/Truss:Over Unconditioned Space	416	19.0	0.0		20
over ambient: All-Wood Joist/Truss:Over Outside Air	11	19.0	0.0		1

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the North Carolina Energy Conservation Code requirements in REScheck Version 4.6.2.1 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title

Justin Smith

Signature



Digitally signed by Justin Smith

DN: cn=Justin Smith, o=SEM, ou,
email=jsmith@southern-energy.com,

c=US

Date: 2016.04.29 12:40:33 -04'00'



REScheck Software Version 4.6.2.1 Inspection Checklist

Energy Code: North Carolina Energy Conservation Code
 Location: Lillington, North Carolina
 Construction Type: Single Family
 Project Type: New construction
 Building Orientation: Bldg. faces 0 deg. from North
 Glazing Area Percentage: 11%
 Heating Degree Days: 3502
 Climate Zone: 4

Ceilings:

- Ceiling 1: Flat Ceiling or Scissor Truss, R-26.0 cavity + R-12.0 continuous insulation
 Comments: _____

Above-Grade Walls:

- Wall 1: Wood Frame, 16" o.c., R-19.0 cavity insulation
 Comments: _____
- Wall 2: Wood Frame, 16" o.c., R-19.0 cavity insulation
 Comments: _____
- Wall 3: Wood Frame, 16" o.c., R-19.0 cavity insulation
 Comments: _____
- Wall 4: Wood Frame, 16" o.c., R-19.0 cavity insulation
 Comments: _____

Windows:

- Window 1: Vinyl Frame:Double Pane with Low-E, U-factor: 0.350, SHGC: 0.27,
 For windows without labeled U-factors, describe features:
 #Panes ____ Frame Type _____ Thermal Break? ____ Yes ____ No
 Comments: _____
- Window 2: Vinyl Frame:Double Pane with Low-E, U-factor: 0.350, SHGC: 0.27,
 For windows without labeled U-factors, describe features:
 #Panes ____ Frame Type _____ Thermal Break? ____ Yes ____ No
 Comments: _____
- Window 3: Vinyl Frame:Double Pane with Low-E, U-factor: 0.350, SHGC: 0.27,
 For windows without labeled U-factors, describe features:
 #Panes ____ Frame Type _____ Thermal Break? ____ Yes ____ No
 Comments: _____
- Window 4: Vinyl Frame:Double Pane with Low-E, U-factor: 0.350, SHGC: 0.27,
 For windows without labeled U-factors, describe features:
 #Panes ____ Frame Type _____ Thermal Break? ____ Yes ____ No
 Comments: _____

Doors:

- Door 1: Solid, U-factor: 0.200
 Comments: _____
- Door 2: Solid, U-factor: 0.200
 Comments: _____

Floors:

- slab: Slab-On-Grade:Unheated, R-0 (uninsulated)

Comments: _____

Slab insulation extends down from the top of the slab to at least 0.0 ft. OR down to at least the bottom of the slab then horizontally for a total distance of 0.0 ft. Slab edge insulation must have a 2 inch termite inspection gap.

- over garage: All-Wood Joist/Truss:Over Unconditioned Space, R-19.0 cavity insulation

Comments: _____

Floor insulation is installed to maintain permanent continuous contact with the underside of the subfloor decking, and insulation ends are blocked. Insulation supports that are noncontinuous (i.e., tension support wires) are spaced no more than 18 inches apart and are within 6 inches from each end of the insulation.

- over ambient: All-Wood Joist/Truss:Over Outside Air, R-19.0 cavity insulation

Comments: _____

Floor insulation is installed to maintain permanent continuous contact with the underside of the subfloor decking, and insulation ends are blocked. Insulation supports that are noncontinuous (i.e., tension support wires) are spaced no more than 18 inches apart and are within 6 inches from each end of the insulation.

Solar Heat Gain Coefficient:

- Solar Heat Gain Coefficient (SHGC) values are determined in accordance with the NFRC test procedure or taken from the default table.

Air Leakage:

- Joints (including rim joist junctions), attic access openings, penetrations, and all other such openings in the building envelope that are sources of air leakage are sealed with caulk, gasketed, weatherstripped or otherwise sealed with an air barrier material, suitable film or solid material.
- Air barrier and sealing exists on common walls between dwelling units, on exterior walls behind tubs/showers, and in openings between window/door jambs and framing.
- Recessed lights in the building thermal envelope are 1) type IC rated and ASTM E283 labeled and 2) sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.
- Access doors separating conditioned from unconditioned space (e.g., attic, unconditioned basements and crawlspaces) are weather-stripped and insulated (without insulation compression or damage). Where loose fill insulation exists, a wood framed or equivalent baffle is installed to maintain insulation application. Required insulation values are as follows:
- (1) Hinged vertical doors have a minimum of R-5 insulation.
 - (2) Hatches/scuttle hole covers have a minimum of R-10 insulation.
 - (3) Pull down stairs have a minimum of R-5 rigid insulation.
- Site-built masonry fireplaces have doors and comply with Section R1006 of the North Carolina Residential Code for combustion air.

Air Sealing and Insulation:

- Building envelope air tightness and insulation installation complies with one of the following (mark the method that was applied):
- (1) ___ Post rough-in blower door test result of less than or equal to 5 ACH at 50 pascals.
 - (2) ___ Post rough-in blower door test result of less than or equal to 0.30 CFM50/square foot of surface area.
 - (3) ___ Visual inspection. The following items, along with all other air leakage requirements in this report, are certified by the builder, permit holder or registered design professional as completed.
 - (a) Ceiling/attic: Sealants or gaskets provide a continuous air barrier system joining the top plate of framed walls with either the ceiling drywall or the top edge of wall drywall to prevent air leakage. Top plate penetrations are sealed.
 - (b) Ceiling/attic: For ceiling finishes that are not air barrier systems such as tongue-and-groove planks, air barrier systems (e.g., taped house wrap) are used above the finish.
 - (c) Above Grade Walls: Sill plate is gasketed or sealed to subfloor or slab.
 - (d) Windows/doors: Space between window and door jambs and framing are sealed.
 - (e) Floors: Air barrier system is installed at any exposed edge of insulation.

Sunrooms:

- Sunrooms that are thermally isolated from the building envelope have a maximum fenestration U-factor of 0.40 and the maximum skylight U-factor of 0.75.
- Sunrooms with cooling systems shall have a maximum fenestration SHGC or 0.40 for all glazing.

Materials Identification and Installation:

- Materials and equipment are installed in accordance with the manufacturer's installation instructions.
- Materials and equipment are identified so that compliance can be determined.
- Manufacturer manuals for all installed heating and cooling equipment and service water heating equipment have been provided.
- Insulation R-values and glazing U-factors are clearly marked on the building plans or specifications.

Duct Insulation:

- Supply and return ducts in unconditioned space and outdoors are insulated to R-8. Supply ducts inside semi-conditioned space are insulated to R-4.

Duct Construction and Testing:

- Building framing cavities are not used as supply ducts.
- All joints and seams of air ducts, air handlers, filter boxes, and building cavities used as return ducts are sealed. Joints and seams comply with Part V - Mechanical, Section 603.9 of the North Carolina Residential Code.
- Postconstruction total duct leakage test (including air handler enclosure) has been performed and results are less than or equal to 138.0 cfm (6 cfm per 100 ft² of conditioned floor area) pressure differential of 0.1 inches w.g. Tests are performed according to North Carolina Energy Conservation Code guidelines (Section 403.2.2).

Temperature Controls:

- Where the primary heating system is a forced air-furnace, at least one programmable thermostat is installed to control the primary heating system and has set-points initialized at 70 degree F for the heating cycle and 78 degree F for the cooling cycle.
- Heat pumps having supplementary electric-resistance heat have controls that prevent supplemental heat operation when the compressor can meet the heating load.

Heating and Cooling Equipment Sizing:

- Heating and cooling equipment shall be sized in accordance with the North Carolina Mechanical Code.
- For systems serving multiple dwelling units documentation has been submitted demonstrating compliance with 2009 IECC Commercial Building Mechanical and/or Service Water Heating (Sections 503 and 504).

Circulating Service Hot Water Systems:

- Circulating service hot water pipes are insulated to R-2.
- Circulating service hot water systems include an automatic or accessible manual switch to turn off the circulating pump when the system is not in use.

Heating and Cooling Piping Insulation:

- HVAC piping conveying fluids above 105 degrees F or chilled fluids below 55 degrees F are insulated to R-3.

Swimming Pools:

- Heated swimming pools have an on/off heater switch.
- Pool heaters operating on natural gas or LPG have an electronic pilot light.
- Timer switches on pool heaters and pumps are present.

Exceptions:

Where public health standards require continuous pump operation.

Where pumps operate within solar- and/or waste-heat-recovery systems.

- Heated swimming pools and in-ground permanently installed spas have a vapor-retardent cover.

Exceptions:

Covers are not required when 70% of the heating energy is from site-recovered energy or solar energy source.

Lighting Requirements:

- A minimum of 75 percent of the lamps in permanently installed lighting fixtures can be categorized as one of the following:
 - (a) Compact fluorescent
 - (b) T-8 or smaller diameter linear fluorescent
 - (c) 40 lumens per watt for lamp wattage ≤ 15
 - (d) 50 lumens per watt for lamp wattage > 15 and ≤ 40
 - (e) 60 lumens per watt for lamp wattage > 40

Other Requirements:

- Snow- and ice-melting systems with energy supplied from the service to a building shall include automatic controls capable of shutting off the system when a) the pavement temperature is above 50 degrees F, b) no precipitation is falling, and c) the outdoor temperature is above 40 degrees F (a manual shutoff control is also permitted to satisfy requirement 'c').

Certificate:

- A permanent certificate is provided on or in the electrical distribution panel listing the predominant insulation R-values; window U-factors; type and efficiency of space-conditioning and water heating equipment. The certificate does not cover or obstruct the visibility of the circuit directory label, service disconnect label or other required labels.

NOTES TO FIELD: (Building Department Use Only)



North Carolina Energy Efficiency Certificate

Insulation Rating	R-Value
Ceiling / Roof	38.00
Above-Grade Wall	19.00
Below-Grade Wall	0.00
Floor	19.00
Ductwork (unconditioned spaces):	_____

Glass & Door Rating	U-Factor	SHGC
Window	0.35	0.27
Door	0.20	NÁ

Heating & Cooling Equipment	Efficiency
Heating System: _____	_____
Cooling System: _____	_____
Water Heater: _____	_____

Building Air Leakage and Duct Test Results	
Air Leakage Compliance Method:	<input type="checkbox"/> Visual Inspection <input type="checkbox"/> Air Leakage Test
Building Air Leakage Test Results	_____
Name of Air Leakage Tester	_____
Duct Tightness Test Results	_____
Name of Duct Tester	_____

Name: _____ Date: _____

Comments:

DO NOT REMOVE!

Details: Appointment of Lien Agent

Entry #: 966486

Filed on: 12/18/2018

Initially filed by: meaganbradshaw

Designated Lien Agent

First American Title Insurance Company

Online: www.liensnc.com

Address: 19 W. Hargett St, Suite 507 /

Raleigh, NC 27601

Phone: 888-690-7384

Fax: 913-489-5231

Email: support@liensnc.com

Owner Information

H & H Constructors of Fayetteville, LLC

2919 Breezewood Avenue Suite 400

Fayetteville, NC 28303

United States

Email: stacysimmons@hhtomes.com

Phone: 910-486-4864

Project Property

MLP000758 Lot 758 Manor at Lexington

177 Pittfield Run

Cameron, NC 28326

Harnett County

Property Type

1-2 Family Dwelling

Date of First Furnishing

11/15/2018

Print & Post



Contractors:

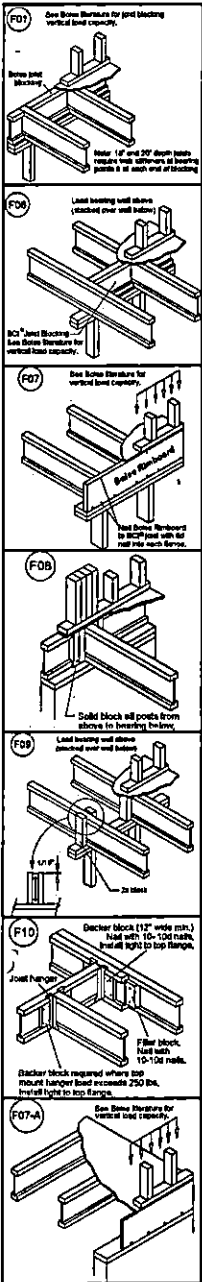
Please post this notice on the Job Site.

Suppliers and Subcontractors:

Scan this image with your smart phone to view this filing. You can then file a Notice to Lien Agent for this project.

[View Comments \(0\)](#)

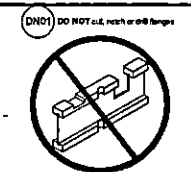
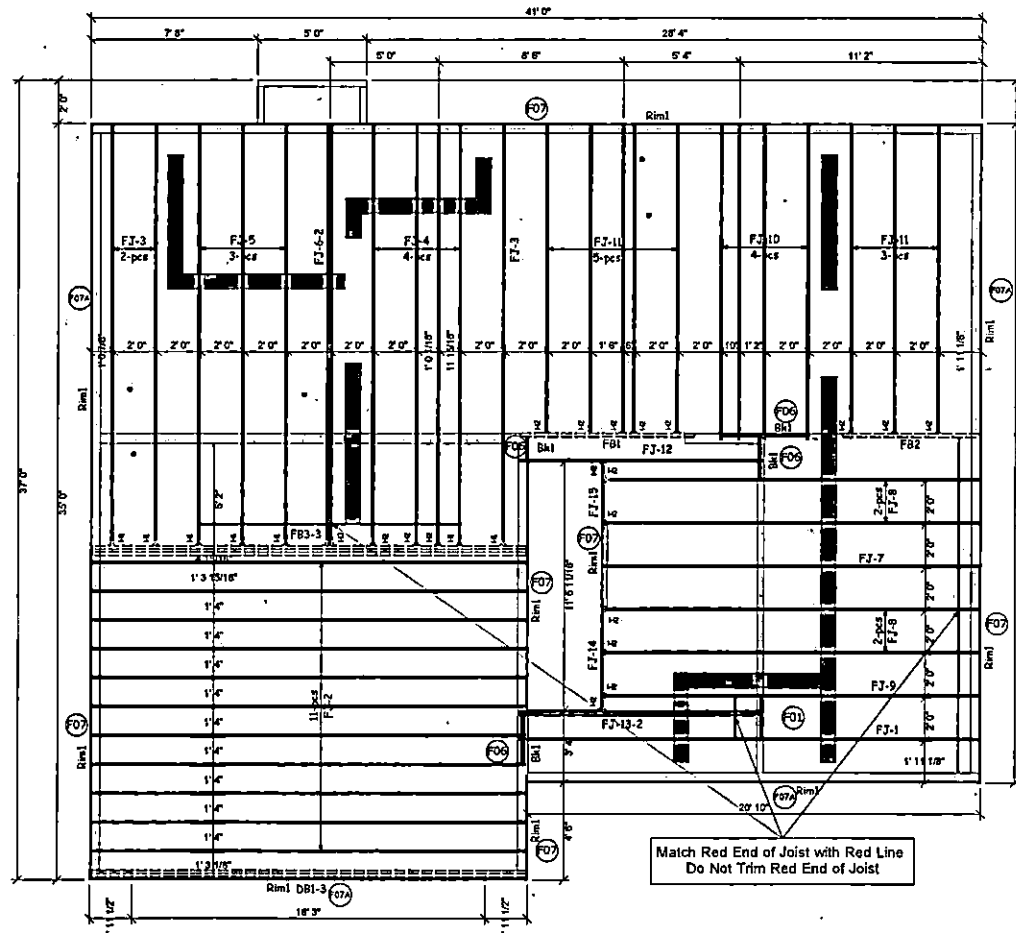
Technical Support Hotline: (888) 690-7384



Products				
Net Qty	Piles	Product	Length	PlotID
1	1	14" BC# 4500s-1.8	21' 2 1/2"	FJ-1
11	1	14" BC# 4500s-1.8	20' 0"	FJ-2
3	1	14" BC# 4500s-1.8	19' 5 3/4"	FJ-3
4	1	14" BC# 4500s-1.8	19' 5 3/4"	FJ-4
3	1	14" BC# 4500s-1.8	19' 5 3/4"	FJ-5
2	2	14" BC# 4500s-1.8	19' 5 3/4"	FJ-6-2
1	1	14" BC# 4500s-1.8	17' 4"	FJ-7
4	1	14" BC# 4500s-1.8	17' 3 1/4"	FJ-8
1	1	14" BC# 4500s-1.8	17' 3 1/4"	FJ-9
4	1	14" BC# 4500s-1.8	14' 7"	FJ-10
8	1	14" BC# 4500s-1.8	14' 3 1/2"	FJ-11
1	1	14" BC# 4500s-1.8	11' 3 1/2"	FJ-12
2	2	14" BC# 4500s-1.8	11' 3 1/2"	FJ-13-2
1	1	14" BC# 4500s-1.8	5' 1 1/2"	FJ-14
1	1	14" BC# 4500s-1.8	3' 1 3/4"	FJ-15
3	3	1-3/4" x 11-7/8" VERSA-LAM# 2.0 3100 SP	21' 0"	DB1-3
1	1	1-3/4" x 14" VERSA-LAM# 2.0 3100 SP	8' 0"	FB1
1	1	1-3/4" x 14" VERSA-LAM# 2.0 3100 SP	7' 0"	FB2
3	3	1-3/4" x 16" VERSA-LAM# 2.0 3100 SP	20' 0"	FB3-3
14	1	1" x 14" BC RIM BOARD OSB	12' 0"	Rim1
5	1	14" BC# 4500s-1.8	2' 0"	Bk1

Hangers			
Product	Manuf	Qty	PlotID
HU 14	Simpson	7	H1
IUS 1.81/14	Simpson	18	H2
MIU 3.58/14	Simpson	1	H3

TOPSAIL
SEAL DATE 10-26-17
2nd FLOOR JOIST LAYOUT .



Builders FirstSource
www.bldr.com
1133 ROBINSON STREET
FAYETTEVILLE, NC 28405
V (910) 485-1111

7601 BOEING DRIVE
GREENSBORO, NC 27409
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3189 NC HIGHWAY 7
ABERDEEN NC 28315
V (910) 944-2516

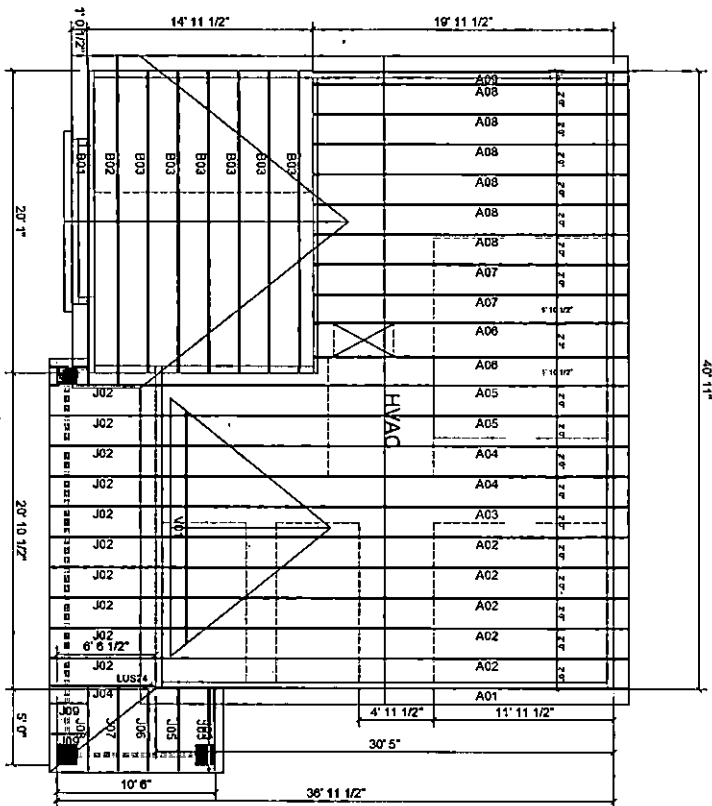
This layout and associated materials list has been prepared based on project plans and/or information provided by the builder, architect, designer, or other responsible parties to make this information as accurate as possible. It is the responsibility of the user to verify that it is appropriate, accurate, complete and complies with applicable building code.

GENERAL NOTES:
1) READ THE INSTALLATION GUIDE BEFORE FRAMING.
2) OTHERS: WALLS NOT SHOWN ARE CONSIDERED.
3) MINIMUM BEARING CAPACITY SHALL BE 400 LBS PER SQ FT.
4) SPACE BETWEEN JOISTS SHALL BE 16" ON CENTER UNLESS OTHERWISE NOTED.
5) ULTIMATE OR ALTERNATIVE JOIST USE TO DO SO MAY RESULT IN COSTLY REPAIRS.

H & H HOMES
TOPSAIL - SWP-195
2nd FLOOR EWP PLACEMENT PLAN
Builders FirstSource, Central Carolina Markets
DRAWN BY: CORY D DRIETZ DATE: 2/26/21
SCALE: NOT TO SCALE JOB NUMBER:

MINIMUM DESIGN DATA
LIVE LOAD 40 PSF
DEAD LOAD 10 PSF
TOTAL LOAD 50 PSF
DCL = 100%
DEFLECTION CRITERIA
L/480 (R/180)
ARCHITECTURAL PLAN DATE
XX-XX-XX
REVISED ARCH. PLAN DATE
1-27-17

Sheet
2 of 2



ALL DIMENSIONS IN INCH UNLESS OTHERWISE NOTED

○	TRUSS	-
△	TRUSS	-
□	TRUSS	-
○	TRUSS	-
○	TRUSS	-

GENERAL NOTES

1. This placement plan has been prepared by a truss technician and is not an engineered drawing.
2. The responsibilities and duties of the truss designer and truss manufacturer shall be according to VPI 1 as referenced by the building code unless otherwise defined by contract as agreed upon by the parties involved.
3. The wood components on this drawing are assumed to be used in a dry service, when environmental application, unless noted otherwise. The metal plates and hangers are galvanized to meet or exceed G50.
4. Specific truss information can be located on the truss design drawings.
5. Locate all plumbing, HVAC, and floor-calling openings prior to placing trusses. Trusses may be fitted a maximum of 3" for plumbing drops. DO NOT CUT, DRILL, OR NOTCH TRUSSES.
6. The building designer shall specify connections between two or more members when one or more of the members are not designed by the truss designer.
7. This truss placement plan and design drawings are the property of Builders FirstSource and may not be reproduced or used in any way without the written authorization of Builders FirstSource.
8. Some field framing may be required to achieve final appearance shown on construction documents.
9. Field framing, including valley rafters, installed over trusses shall have a knee brace from the rafter to the truss top chord at intervals of 4ft on members such that the loads are distributed on multiple truss bottoms and not concentrated at one location or along one truss. Truss top chords shall be braced or have strand bracing (pinning) installed at intervals of 4ft on center. Truss bottom chords must be done at intervals of 4ft on center or less. Bottom chord bracing shall not exceed the maximum shown on the truss design drawing.
10. This placement diagram is prepared assuming the support structure is structurally adequate for the design loads. It is not intended to be used for member sizing, load transfer, bearing conditions, and fastener compliance to applicable building codes for Building Designer responsibility.
11. If aluminum trusses are included in this job, please refer to the truss package connection detail provided in the truss line package, received upon truss delivery.

WARNING

Until the building is completely sheathed in accordance with the construction documents, the trusses are unstable and may present a safety hazard. Truss loading may increase with building wind, weight and height.

Buildings under construction are vulnerable to high winds and present a safety hazard. It is the responsibility of the building owner to recognize weather conditions and take prompt and appropriate action to protect life.

Refer to the Building Component Safety Information (BCSI) document produced by WPCA and VPI.

IMPORTANT

This diagram and any other truss placement or dimension diagrams provided by Builders FirstSource are for the sole purpose of aiding the Builder FirstSource and are not meant to replace the architectural in any way. Refer to architectural for AAV dimensions or details.

REVISIONS	
1	X
2	X
3	X
4	X

H&H Homes
 Topsail A
 Base + WAP
 LOT - SUB
 Roof Truss

SUMTER TRUSS PLANT
 P.O. BOX 1546
 SUMTER, SC 29151
 PHONE: (803) 778-1921
 FAX: (803) 773-4731

DRAWN BY	JR
DATE	3/30/15
JOB NUMBER	MASTER
SHEET NUMBER	1 OF 1