

# ABBREVIATIONS

ABV ABOVE	L LENGTH
AC AIR CONDITIONING	LA LAUNDRY
AD AREA DRAIN	LAV LAVATORY
ADJ ADJUSTABLE	LVR LOWER
ALT ALTERNATE	MAX MAXIMUM
ALUM ALUMINUM	MCA MECHANICAL
ARCH ARCHITECTURAL	MFG MANUFACTURER
BA BATHROOM	MIN MINIMUM
BD BOARD	MISC MISCELLANEOUS
BF BIFOLD (DOOR)	N NORTH
BLDG BUILDING	N.T.S. NOT TO SCALE
BLK BLOCK (CMU)	O.S.D. OVERHEAD GARAGE DOOR
BLM BELM	OH OVERHEAD
BM BEAM	OPT OPTIONAL
BP BI-PASS (DOOR)	PAR PARALLEL
BOT BOTTOM	P.B. PUSH BUTTON
BTRN BETWEEN	PDR POWDER
CAB CABINET	PED PEDESTAL
CER CERAMIC	PL PLATE
C.J. CONTR. JOINT OR CONSTRUCTION JOINT	PR PAIR
CL CLOSET OR CENTER LINE	P.T. PRESSURE TREATED WOOD
CLS CEILING	P.V.C. POLYVINYL CHLORIDE PIPE
CLR CLEAR	P.V.M.T. PAVEMENT
CMU CONCRETE MASONRY UNIT	P.W. PRES. WIRE
COL COLUMN	P.W.D. PLYWOOD
CONC CONCRETE	R RISER
C CARPET	RAG RETURN AIR GRILL
CR CORROSION RESISTANT	REF REFERENCE
CSMT CASEMENT	REFR REFRIGERATOR
C.T. CERAMIC TILE	REQ REQUIRED
D DRYER	S SOUTH
DE DOUBLE	SD SMOKE DETECTOR
DH DOUBLE HUNG	S.F. SQUARE FEET
DM DIMENSION	S.G.D. SLIDING GLASS DOOR
DISP DISPOSAL	SH SINGLE HING OR SHELF
DN DOWN	SHLAR SHOWER
DR DOOR	SL SLOPE / SLIDING
DS DOWNSPOUT	SHL SHELF AND POLE
DW DISH WASHER	SPEC SPECIFICATIONS
DWG DRAWING	STD STANDARD
E EAST	STR STRUCTURAL
EA EACH	SQ SQUARE
ELEV ELEVATION	SYM SYMBOL
ELEC ELECTRICAL	S4S SMOOTH FOUR SIDES
EQ EQUAL	T TREAD (AT STAIRS) OR TILE
EXT EXTERIOR	T.B. TONEL BAR
FAU FORCED AIR UNIT	TEMP TEMPERED (GLASS)
F.C. FLOOR CHANGE	T&G TONGUE & GROOVE
F.D. FLOOR DRAIN	T.O.C. TOP OF CURB
F.FL FINISH FLOOR LINE	TV TELEVISION
F.G. FINISHED GRADE	TYP TYPICAL
FLR FLOORING	UNO. UNLESS NOTED OTHERWISE
FL FLOURESCENT (LIGHT)	V.B. VAPOR BARRIER
FND FOUNDATION	VERT VERTICAL
F.O.S. FACE OF STUD	V.T.R. VENT THRU ROOF
FTG FOOTING	W WASHING MACHINE
FX FIXED GLASS	WD WOOD
GALV GALVANIZED	WDM WINDOW
GAR GARAGE	WH WATER HEATER
G.B. GYPSUM BOARD	W HROUGHT IRON
GD GRADE OR GRADING	W.C. WALK-IN CLOSET
G.D.O. GARAGE DOOR OPENER	W.N.O. WITH OR WITHOUT
GFI GROUND FAULT INTERRUPTER	W.P. WATERPROOFING
GL GLASS OR GLAZING	W.M. WELDED WIRE MESH
GYP BD GYPSUM BOARD	Ø PROPERTY LINE
HD HOSE BIBB	Ø ROUND / DIAMETER
HD HEAD OR HARD	∅ AND
HDR HEADER	∅ CENTERLINE
HGT HEIGHT	∅ FOUND / NUMBER
HVAC HEATING/VENTILATING/AIR COND.	
HHD HARDWOOD	
INT INTERIOR	
JST JOIST	
JT JOINT	
KIT KITCHEN	

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43 TOTAL SHEETS

# THE WINSTON

Lot 291 - Oakmont Valley View



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NO:	DATE:	REVISION:
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PROFESSIONAL SEAL:

PROJECT TITLE:

The Winston

FOR CONSTRUCTION

CLIENTS NAME:



PROJECT NO: 1006RAL

SHEET TITLE:  
TITLE SHEET

PRINT DATE:  
November 28, 2016

SHEET NO:  
T-1

## BUILDING CODE COMPLIANCE / PROJECT INFORMATION

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

APPLICABLE CODES:  
FOLLOW ALL APPLICABLE STATE AND LOCAL CODES.  
2012 NORTH CAROLINA STATE SUPPLEMENTS AND AMENDMENTS

CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

PRODUCT:  
SINGLE FAMILY RESIDENCE / 3 STORY TOWNHOMES

OCCUPANCY CLASSIFICATION  
RESIDENTIAL R-3

CONSTRUCTION TYPE:  
TYPE VB (2 HOUR DWELLING SEPARATION BETWEEN UNITS)

ALL CONSULTANT DRAWINGS ACCOMPANYING THESE GMD DESIGN GROUP DRAWINGS HAVE NOT BEEN PREPARED BY OR UNDER THE DIRECTION OF GMD DESIGN GROUP, INC. GMD DESIGN GROUP, INC. THEREFORE ASSUMES NO LIABILITY FOR THE COMPLETENESS OR CORRECTNESS OF THESE DRAWINGS.

## CONSULTANTS:

<b>LOCAL JURISDICTION:</b> NAME STREET ADDRESS CITY, STATE ZIP CODE PHONE: (XXX)XXX-XXXX CONTACT: XXXX XXXXX EMAIL: XXXXXXXX	<b>BUILDER:</b> MCKEE HOMES 120 NANDINA COURT FAYETTEVILLE, NC 28311 CONTACT: XXXX XXXXX EMAIL: XXXXXXXX	<b>DESIGNER:</b> GMD DESIGN GROUP 108 S. SALEM ST. SUITE 203 APEX, NC 27502 PHONE: (919) 320-3022 CONTACT: SCOTT GARDNER EMAIL: SCOTT@GMDDESIGNGROUP.COM
<b>MEP ENGINEERS:</b> NAME STREET ADDRESS CITY, STATE ZIP CODE PHONE: (XXX)XXX-XXXX CONTACT: XXXX XXXXX EMAIL: XXXXXXXX	<b>CIVIL ENGINEER:</b> NAME STREET ADDRESS CITY, STATE ZIP CODE PHONE: (XXX)XXX-XXXX CONTACT: XXXX XXXXX EMAIL: XXXXXXXX	<b>STRUCTURAL ENGINEER:</b> NAME STREET ADDRESS CITY, STATE ZIP CODE PHONE: (XXX)XXX-XXXX CONTACT: XXXX XXXXX EMAIL: XXXXXXXX

## GENERAL NOTES DESIGNER NORTH CAROLINA:

THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR REVISED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK.

ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION IMMEDIATELY.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.

ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.

ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.

ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.

PROVIDE FIREBLOCKING. (PER LOCAL CODES)

ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.

PROVIDE BLOCKING AND/OR BACKING AT ALL TONEL BAR, TONEL RING AND/OR TOILET PAPER HOLDER LOCATIONS, AS SHOWN PER PLAN. TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK.

ELASTOMERIC SHEET WATERPROOFING: FURNISH AND INSTALL ALL WATERPROOFING COMPLETE. A 40 MIL. SELF-ADHERING MEMBRANE OF RUBBERIZED ASPHALT INTEGRALLY BONDED TO POLYETHYLENE SHEETING, OR EQUAL. INSTALL PER MANUFACTURER'S AND TRADE ASSOCIATION'S PRINTED INSTALLATION INSTRUCTIONS. 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES.

TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.

SHOP DRAWING REVIEW AND DISTRIBUTION, ALONG WITH PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT.

DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.

THE BUILDER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOILS REPORT), ON THE STUDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOILS CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE CRITERIA.

ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL OTHER AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.

PROVIDE AN APPROVED WASHER DRAIN PAN AT SECOND FLOOR ONLY THAT DRAINS TO EXTERIOR.

WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR OPENABLE AREA OF 4.0 SQ FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 22" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". GLAZING TOTAL AREA OF NET LESS THAN 5.0 SQ FT IN THE CASE OF A GROUND WINDOW AND NOT LESS THAN 5.1 SQ FT IN THE CASE OF AN UPPER STORY WINDOW. (PER N.C.R.C. SECTION R310.1.1)

ALL HANDRAIL BALLUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALLUSTERS. (PER LOCAL CODES)

PROVIDE STAIR HANDRAILS AND GUARDRAILS PER LOCAL CODES.

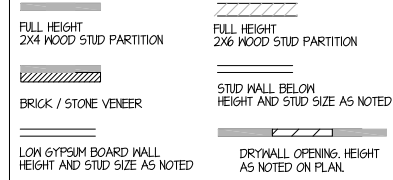
## BUILDER SET:

THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A 'BUILDER'S SET' OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HERINAFTER REFERRED TO AS 'PLANS'. THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS, AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THEY ARE NOT INTENDED TO SPECIFY PARTICULAR PRODUCTS OR OTHER METHODS OF ANY SPECIFIC MATERIALS, PRODUCT OR METHOD. THE IMPLEMENTATION OF THE PLANS REQUIRES A CLIENT / CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.

CONSTRUCTION REQUIREMENTS AND QUALITY: PROVIDE WORK OF THE SPECIFIC QUALITY; WHERE QUALITY LEVEL IS NOT INDICATED, PROVIDE WORK OF QUALITY CUSTOMARY IN SIMILAR TYPES OF WORK. WHERE THE PLANS AND SPECIFICATIONS, CODES, LAWS, REGULATIONS, MANUFACTURER'S RECOMMENDATIONS OR INDUSTRY STANDARDS REQUIRE WORK OF HIGHER QUALITY OR PERFORMANCE, PROVIDE WORK COMPLYING WITH THOSE REQUIREMENTS AND QUALITY. WHERE TWO OR MORE QUALITY PROVISIONS OF THOSE REQUIREMENTS CONFLICT WITH THE MOST STRINGENT REQUIREMENT; WHERE REQUIREMENTS ARE DIFFERENT BUT APPARENTLY EQUAL, AND WHERE IT IS UNCERTAIN WHICH REQUIREMENT IS MOST STRINGENT, OBTAIN CLARIFICATION FROM THE GMD DESIGN GROUP BEFORE PROCEEDING.

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.  
 - WINDOW HEAD HEIGHTS:  
 1ST FLOOR = 7'-8" U.N.O. ON ELEVATIONS.  
 2ND FLOOR = 6'-10" U.N.O. ON ELEVATIONS.  
 ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

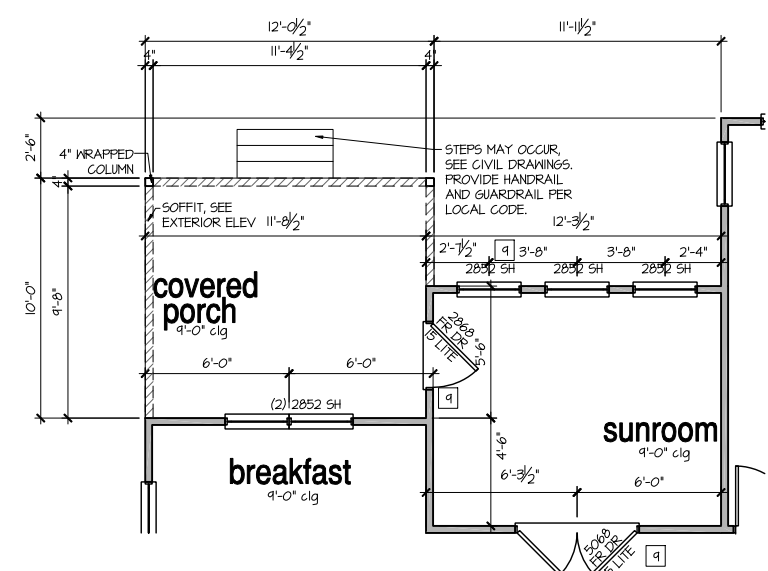
**WALL LEGEND:**



**KEY NOTES FOR NORTH CAROLINA:**

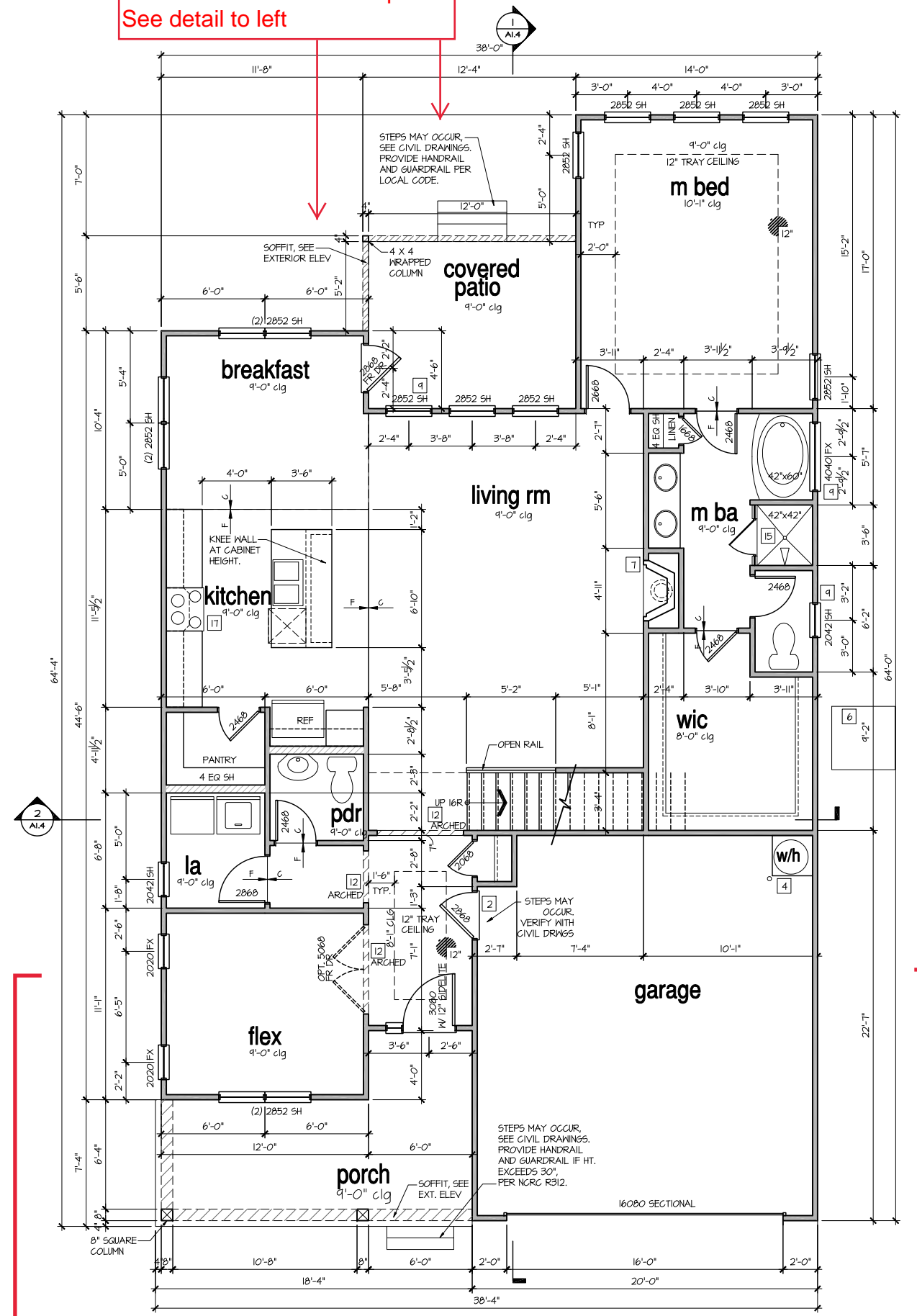
- FIRE PROTECTION:**
- HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. (PER NCR TABLE R302.6)
  - HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR. (PER NCR SECTION R302.5.1)
  - BENEATH STAIRS AND LANDINGS. 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER NCR SECTION R302.1)
  - IN CONCEALED SPACES BETWEEN STAIR STRINGERS PROVIDE FIREBLOCKING PER R302.1.
  - MEP'S
  - GAS WATER HEATER ON 18" HIGH PLATFORM. (PER CHAPTER 5 NCR-PLUMBING)
  - FAU 8'X12' PLATFORM. VERIFY WITH TRUSS MANUFACTURER.
  - A/C CONDENSER PAD. (VERIFY)
  - PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"X20". FIRE RATED ACCESS AS NOTED. (PER NCR SECTION R807.1)
  - ATTIC ACCESS LADDER. VERIFY LOCATION AND SIZE WITH TRUSSES. (25 1/2" X 54" SIZE.)
- TYPICALS:**
- TEMPERED SAFETY GLASS. (PER NCR SECTION 308.4)
  - PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER. HEIGHT AS NOTED.
  - HALF WALL. HEIGHT AS NOTED.
  - INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O.
- BATHS:**
- SHOWER. TEMPERED GLASS ENCLOSURE.
  - TUB-SHOWER COMBO. TEMPERED GLASS ENCLOSURE.
  - CERAMIC TILE SHOWER AND FLOOR. TEMPERED GLASS ENCLOSURE.
  - 42"x60" ACRYLIC TUB IN CERAMIC PLATFORM
- KITCHEN:**
- 30" SLIDE-IN ELECTRICAL RANGE IV HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - 36" GAS COOKTOP AND HOOD. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - ELECTRIC OVEN WITH MICROWAVE OVEN.

**9'-1" STAIR NOTE:**  
 (USE 14" TJI WITH 3/4" PLYWOOD SUBFLOOR)  
 16 TREADS AT 10" EACH VERIFY  
 17 RISERS AT +/- 1.28" = 123 3/4" TOTAL  
 RISE VERIFY



**Opt. Sunroom**  
 SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

Sunroom w/ covered rear porch  
 See detail to left



**1st Floor Plan 'Coastal'**  
 SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

Craftsman  
 See next pg



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**The Winston**

**FOR CONSTRUCTION**

CLIENTS NAME:



PROJECT NO: 16066AL

SHEET TITLE:







**1st FLOOR PLAN**

PRINT DATE:  
 November 28, 2016

SHEET NO:  
**A1.1**

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.  
 - WINDOW HEAD HEIGHTS:  
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**WALL LEGEND:**

 FULL HEIGHT 2X4 WOOD STUD PARTITION	 FULL HEIGHT 2X6 WOOD STUD PARTITION
 BRICK / STONE VENEER	 STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
 LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED	 DRYWALL OPENING, HEIGHT AS NOTED ON PLAN.

**KEY NOTES FOR NORTH CAROLINA:**

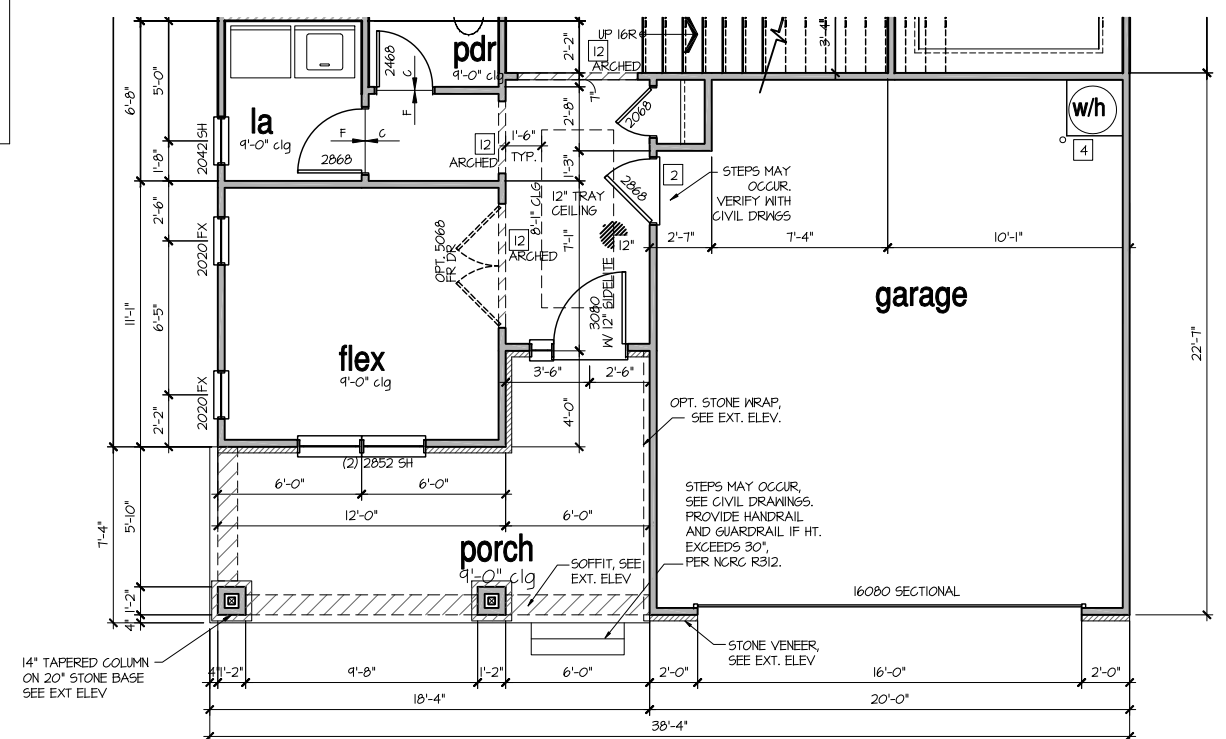
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  - HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR. (PER NCRG SECTION R302.5.1.)
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 RISE VERIFY

'THE WINSTON' - CRAFTSMAN SF

AREA	ELEV
1st FLOOR	1442 SF
2nd FLOOR	733 SF
TOTAL LIVING	2225 SF
GARAGE	436 SF
PORCH	150 SF

OPT. SUNROOM	122 SF
PORCH W/ OPT. SUNROOM	119 SF



**1st Floor Plan 'Craftsman'**  
 SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT



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**The Winston**

CLIENTS NAME:



PROJECT NO: 1506RAL

SHEET TITLE:

**1st FLOOR PLAN**







PRINT DATE:  
 November 28, 2016

SHEET NO:  
**A1.1.1**

**FOR CONSTRUCTION**

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.  
 - WINDOW HEAD HEIGHTS:  
 1ST FLOOR = 7'-8" U.N.O. ON ELEVATIONS.  
 2ND FLOOR = 6'-10" U.N.O. ON ELEVATIONS.  
 ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

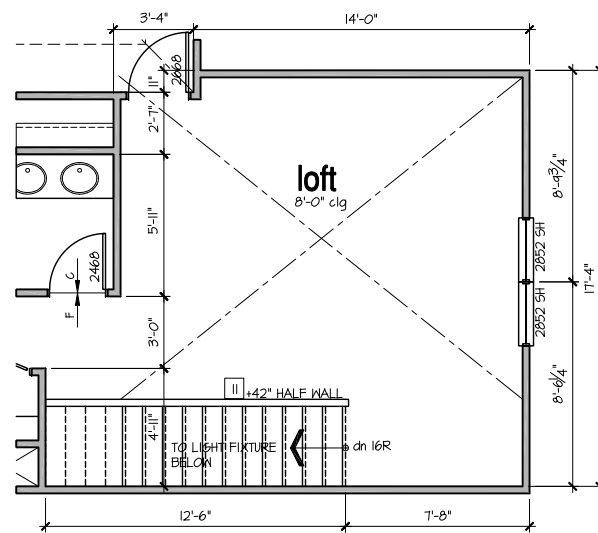
**WALL LEGEND:**

 FULL HEIGHT 2X4 WOOD STUD PARTITION	 FULL HEIGHT 2X6 WOOD STUD PARTITION
 BRICK / STONE VENEER	 STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
 LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED	 DRYWALL OPENING, HEIGHT AS NOTED ON PLAN.

**KEY NOTES FOR NORTH CAROLINA:**

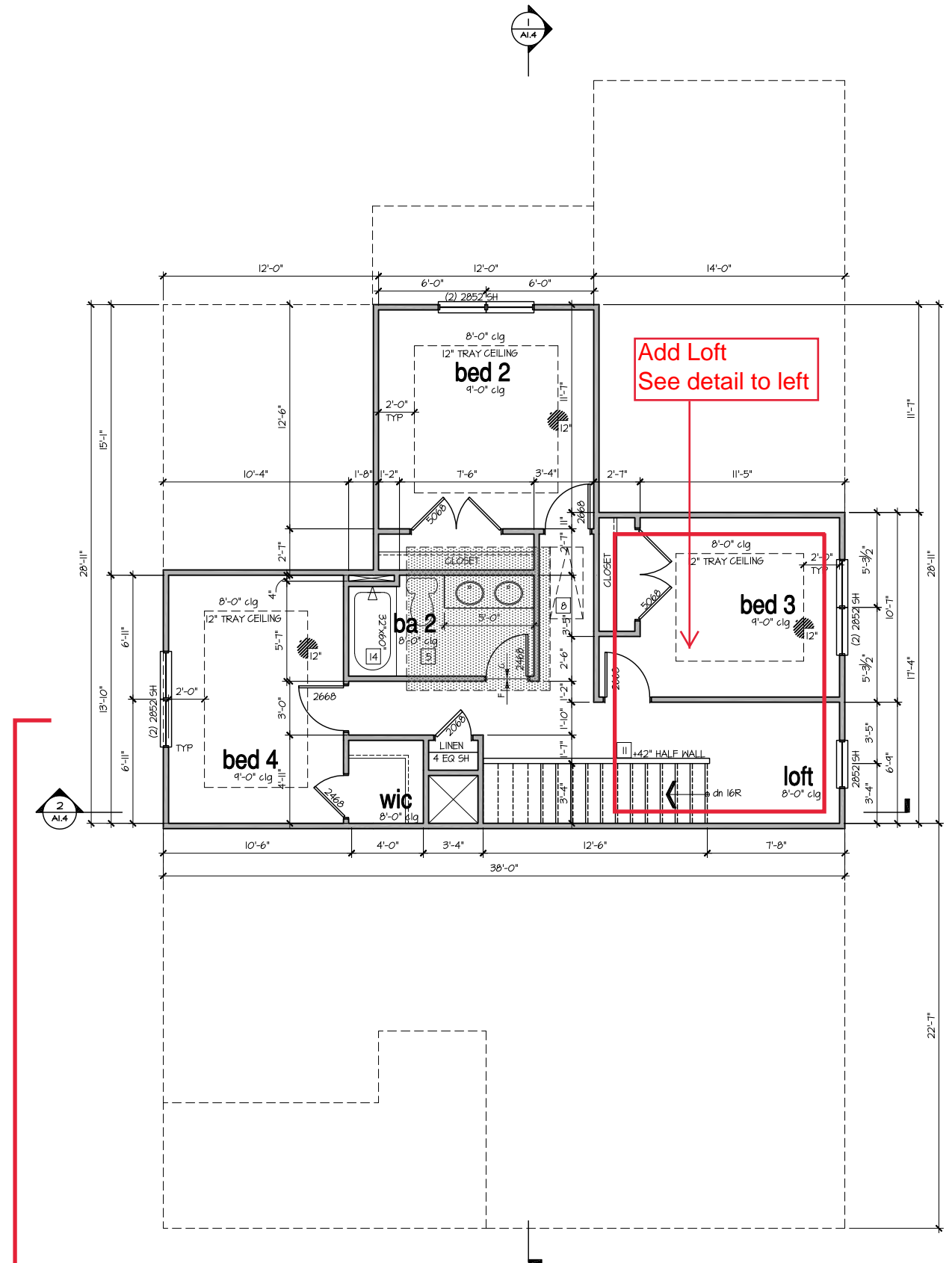
- FIRE PROTECTION:**
- HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. (PER NRC TABLE R302.6.) GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD. (PER NRC TABLE R302.6.)
  - HOUSE TO GARAGE DOOR SEPARATION, PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR. (PER NRC SECTION R302.5.1.)
  - BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER NRC SECTION R302.1.) IN CONCEALED SPACES BETWEEN STAIR STRINGERS PROVIDE FIREBLOCKING PER R302.1.
- MEP'S:**
- GAS WATER HEATER ON 18" HIGH PLATFORM. (PER CHAPTER 5 NRC-PLUMBING)
  - FAU 8'X12' PLATFORM, VERIFY WITH TRUSS MANUFACTURER.
  - A/C CONDENSER PAD. (VERIFY)
  - PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"X20". FIRE RATED ACCESS AS NOTED. (PER NRC SECTION R801.) ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES. (25 1/2" X 54" SIZE.)**
- TYPICALS:**
- TEMPERED SAFETY GLASS. (PER NRC SECTION 308.4)
  - PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER. HEIGHT AS NOTED.
  - HALF WALL, HEIGHT AS NOTED.
  - INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O.
- BATHS:**
- SHOWER, TEMPERED GLASS ENCLOSURE.
  - TUB-SHOWER COMBO, TEMPERED GLASS ENCLOSURE.
  - CERAMIC TILE SHOWER AND FLOOR, TEMPERED GLASS ENCLOSURE.
  - 42"X60" ACRYLIC TUB W/ CERAMIC PLATFORM
- KITCHEN:**
- 30" SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - 36" GAS COOKTOP AND HOOD. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - ELECTRIC OVEN WITH MICROWAVE OVEN.

**9'-1" STAIR NOTE:**  
 (USE 14" T.J. WITH 3/4" PLYWOOD SUBFLOOR)  
 16 TREADS AT 10" EACH VERIFY  
 17 RISERS AT +/- 1.28" = 123 3/4" TOTAL  
 RISE VERIFY



*Opt Loft*

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X11" LAYOUT



**2nd Floor Plan Coastal**

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X11" LAYOUT

**Craftsman**  
 See next pg



GMD DESIGN GROUP  
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1	xx-xx-xx	

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PROJECT TITLE:  
**The Winston**

**FOR CONSTRUCTION**



CLIENTS NAME:  
 PROJECT NO: 15066RAL  
 SHEET TITLE:

**2nd FLOOR PLAN**







PRINT DATE:  
 November 28, 2016

SHEET NO:  
**A1.2**

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.

- WINDOW HEAD HEIGHTS:  
 1ST FLOOR = 7'-8" U.N.O. ON ELEVATIONS.  
 2ND FLOOR = 6'-10" U.N.O. ON ELEVATIONS.  
 ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

**WALL LEGEND:**

 FULL HEIGHT 2x4 WOOD STUD PARTITION	 FULL HEIGHT 2x6 WOOD STUD PARTITION
 BRICK / STONE VENEER	 STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
 LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED	 DRYWALL OPENING, HEIGHT AS NOTED ON PLAN.

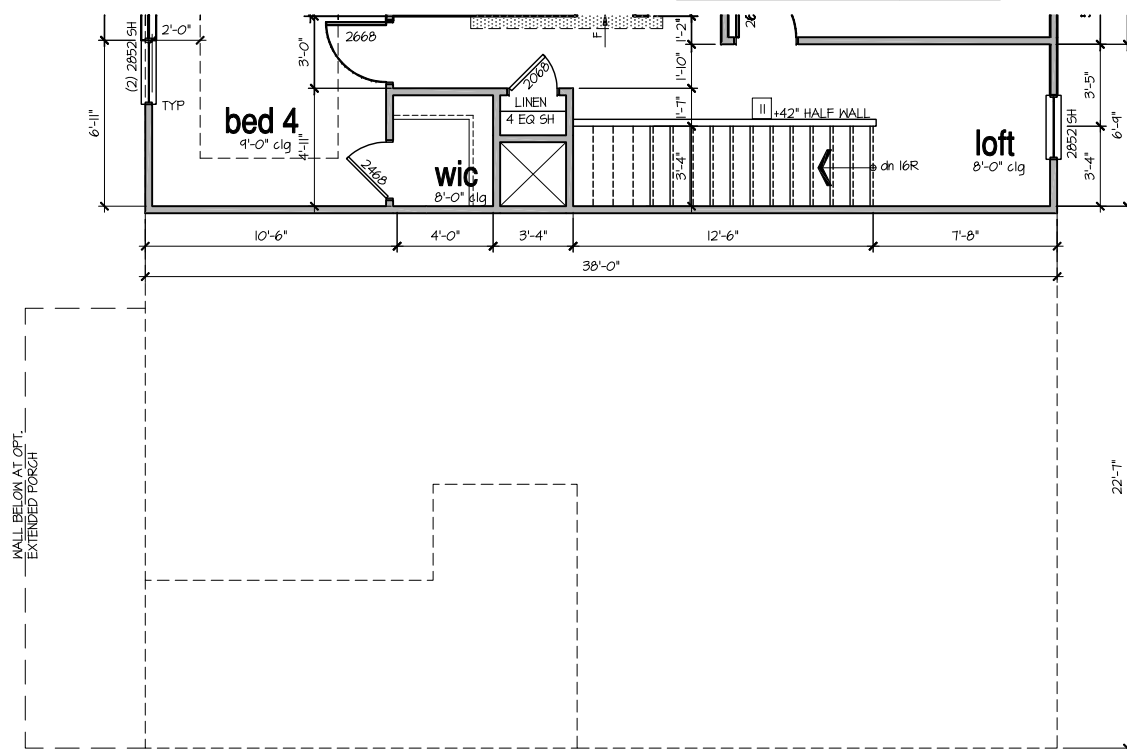
**KEY NOTES FOR NORTH CAROLINA:**

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  - HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR. (PER NCRG SECTION R302.5.1.)
  - BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER NCRG SECTION R302.7.) IN CONCEALED SPACES BETWEEN STAIR STRINGERS PROVIDE FIREBLOCKING PER R302.1. MEPS
  - GAS WATER HEATER ON 18" HIGH PLATFORM. (PER CHAPTER 5 NCRG-PLUMBING)
  - FAU 8'X12' PLATFORM. VERIFY WITH TRUSS MANUFACTURER.
  - A/C CONDENSER PAD. (VERIFY)
  - PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"x20". FIRE RATED ACCESS AS NOTED. (PER NCRG SECTION R807.) ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES. (25 1/2" X 54" SIZE.)
- TYPICALS:**
- TEMPERED SAFETY GLASS. (PER NCRG SECTION 308.4)
  - PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER. HEIGHT AS NOTED.
  - HALF WALL, HEIGHT AS NOTED.
  - INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O. BATHS:
  - SHOWER. TEMPERED GLASS ENCLOSURE.
  - TUB-SHOWER COMBO. TEMPERED GLASS ENCLOSURE.
  - CERAMIC TILE SHOWER AND FLOOR. TEMPERED GLASS ENCLOSURE.
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**9'-1" STAIR NOTE:**  
 (USE 14" TJI WITH 3/4" PLYWOOD SUBFLOOR)  
 16 TREADS AT 10" EACH VERIFY  
 17 RISERS AT +/- 7.28" = 123 3/4" TOTAL RISE VERIFY

'THE WINSTON' - CRAFTSMAN SF	
AREA	ELEV
1st FLOOR	1442 SF
2nd FLOOR	733 SF
TOTAL LIVING	2225 SF
GARAGE	436 SF
PORCH	150 SF

OPT. SUNROOM	122 SF
PORCH W/ OPT. SUNROOM	114 SF



**2nd Floor Plan 'Craftsman'**  
 SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT



GMD DESIGN GROUP  
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PROFESSIONAL SEAL:

PROJECT TITLE:  
**The Winston**

**FOR CONSTRUCTION**



CLIENTS NAME:  
 PROJECT NO: 1306RAL  
 SHEET TITLE:

**2nd FLOOR PLAN**

PRINT DATE:  
 November 28, 2016

SHEET NO:  
**A1.2.1**

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1	XX-XX-XX	

PROFESSIONAL SEAL:

PROJECT TITLE:

**The Winston**

**FOR CONSTRUCTION**

CLIENTS NAME:



PROJECT NO: 1506RAL

SHEET TITLE:

**BUILDING SECTIONS**

PRINT DATE:

November 28, 2016

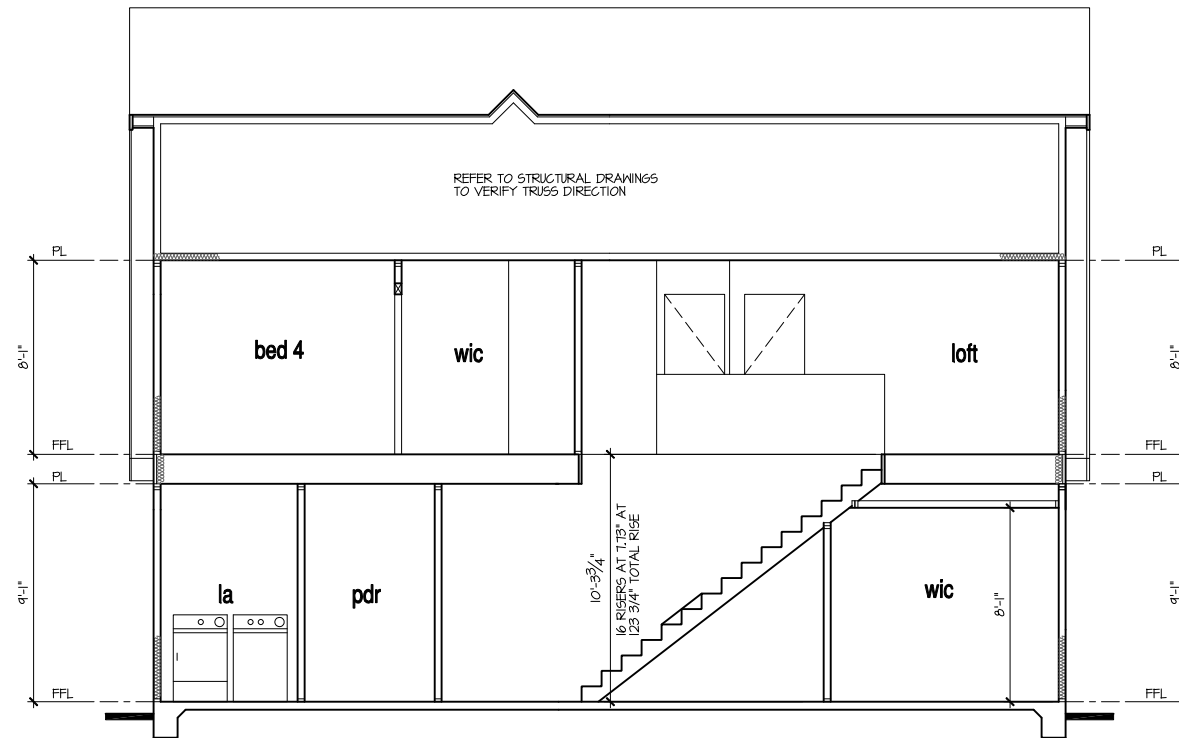
SHEET NO:

**A1.4**



**Building Section 1**

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT



**Building Section 2**

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT

**NOTES:**

- REFER TO FLOOR PLAN NOTES FOR TYPICAL FIRE PROTECTION NOTES AND LOCATIONS.
- THESE BUILDING SECTIONS MAY VARY AT ALTERNATE ELEVATION STYLES AND AT "PLAN OPTION" CONDITIONS. REFER TO MAIN FLOOR PLAN AND ALTERNATE FLOOR PLANS FOR INFORMATION NOT SHOWN HERE.
- BUILDING SECTIONS SHOWN HERE DEPICT VOLUME SPACES WITHIN THE STRUCTURE. REFER TO STRUCTURAL DRAWINGS, TRUSS DRAWINGS, STRUCTURAL DETAILS AND CALCULATIONS BY OTHER FOR ALL STRUCTURAL INFO.
- ROOFING: PITCHED SHINGLE ROOF. REFER TO ROOF PLAN FOR TYPICALS.
- FLOOR FLOORS: FLOOR SHEATHING OVER FLOOR JOIST. REFER TO STRUCTURAL AND TRUSS DRAWINGS BY OTHERS.
- VERIFY STAIRS MINIMUM AND MAXIMUM REQUIREMENTS FOR CONSTRUCTION CLEARANCES WITH LOCAL CODES.
- INSULATION:
  - EXTERIOR WALLS ZONE 3: R-13 BATTS MINIMUM. VERIFY
  - EXTERIOR WALLS ZONE 4: R-15 BATTS MINIMUM. VERIFY
  - CEILING WITH ATTIC ABOVE COMPRESSED INSULATION: R-38 BATTS MINIMUM. VERIFY
  - CEILING WITH ATTIC ABOVE UNCOMPRESSED INSULATION (HEELS IN TRUSSES): R-30 BATTS MINIMUM. VERIFY
  - FLOOR OVER GARAGE: R-14 BATTS MINIMUM. VERIFY
  - ATTIC KNEEWALL: R-14 BATTS MINIMUM. VERIFY

PER STATE RESIDENTIAL CODE COMPLIANCE METHOD TO BE DETERMINED BY BUILDER.

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PROJECT TITLE:

**The Winston**

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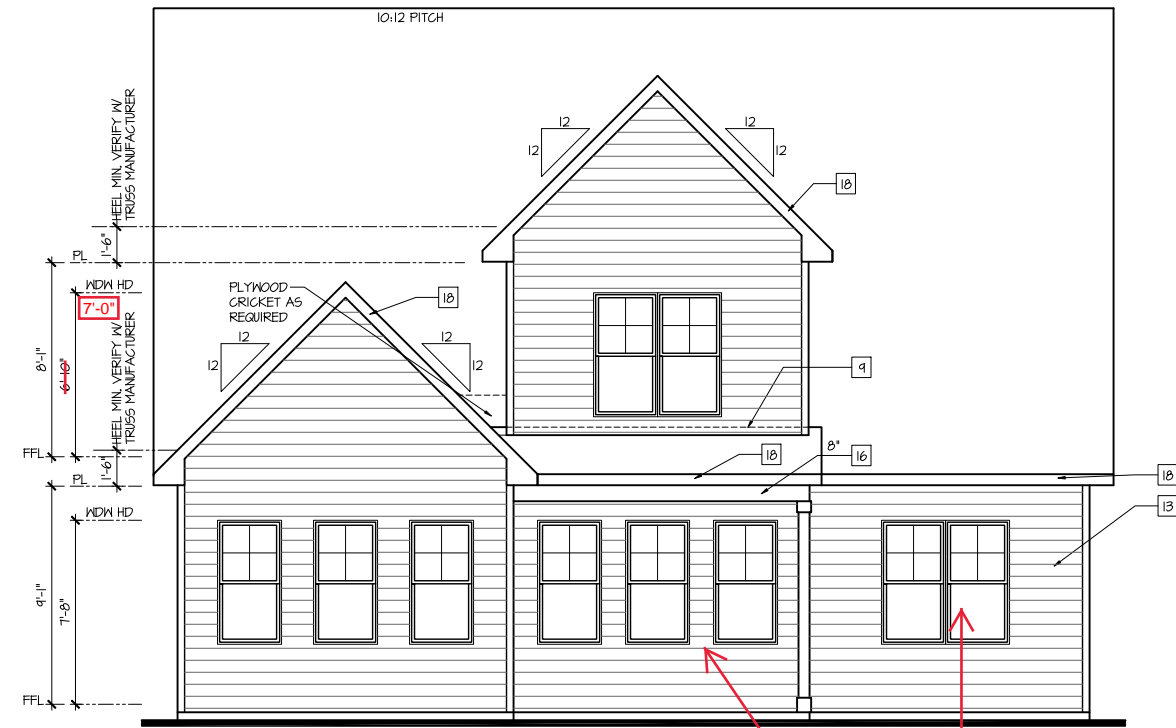
PROJECT NO: E0266RAL

SHEET TITLE:  
**CRAFTSMAN  
EXTERIOR  
ELEVATIONS**

PRINT DATE:  
November 28, 2016

SHEET NO:  
**A1.7.0**

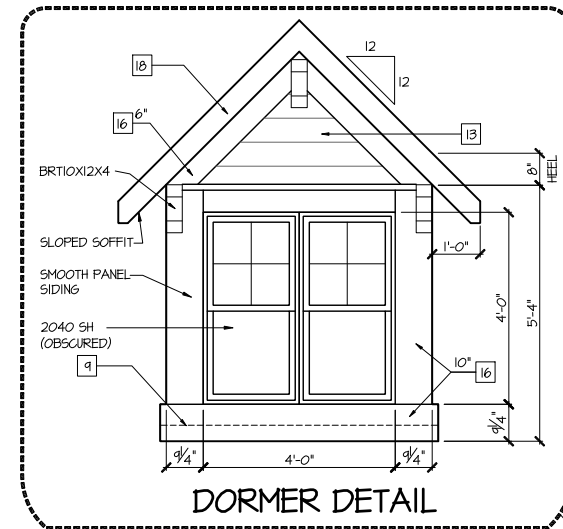
**FOR  
CONSTRUCTION**



**Rear Elevation 'Craftsman'**

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT

Sunroom w/ covered rear porch  
See pg A1.7.6

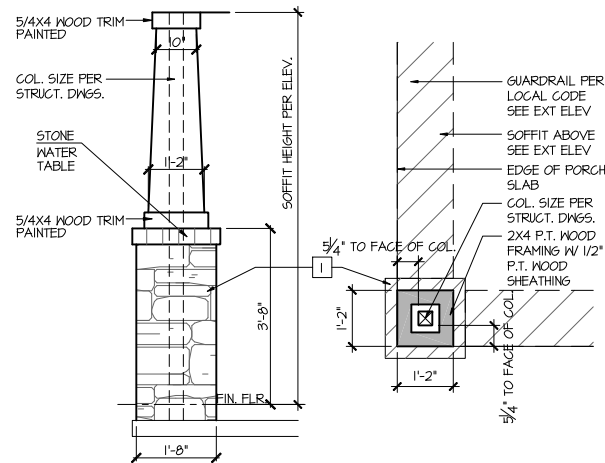


**DORMER DETAIL**



**Front Elevation 'Craftsman'**

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



**Column Detail**

SCALE: 1/2"=1'-0" AT 22'X34" LAYOUT 1/4"=1'-0" AT 11'X11" LAYOUT

**NOTES:**

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:  
1ST FLOOR = 1'-8" UNO. ON ELEVATIONS.  
2ND FLOOR = 6'-10" UNO. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY: PER NCRG R311J (ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE)

**KEY NOTES:**

- MASONRY:**
- 1 ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
  - 2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
  - 3 MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
  - 4 8" SOLDIER COURSE.
  - 5 ROWLOCK COURSE
  - 6 DECORATIVE KEY. SEE DETAIL.
- TYPICALS:**
- 7 CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
  - 8 CODE APPROVED TERMINATION CHIMNEY CAP.
  - 9 CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS. (SIDE WALL-STEP FLASHING IS REQUIRED IN NC R405.2.B.3)
  - 10 STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - 11 DECORATIVE WROUGHT IRON. SEE DETAILS.
- SIDING:**
- 12 FIBER CEMENT SHAKE SIDING PER DEVELOPER  
W/ 5/4X4 CORNER TRIM BOARDS OR VINYL EQUIVALENT W/ VINYL CORNER TRIM.
  - 13 FIBER CEMENT LAP SIDING PER DEVELOPER  
W/ 5/4X4 CORNER TRIM BOARDS OR VINYL EQUIVALENT W/ VINYL CORNER TRIM.
  - 14 FIBER CEMENT WAVY SIDING PER DEVELOPER  
W/ 5/4X4 CORNER TRIM BOARDS OR VINYL EQUIVALENT W/ VINYL CORNER TRIM.
  - 15 FIBER CEMENT PANEL SIDING W/ 1X3 BATTIS AT 12" O.C.  
(VINYL BOARD AND BATT SIDING)
  - 16 5/4X FIBER CEMENT TRIM OR 5/4X WOOD TRIM W/ VINYL CAP OR COIL STOCK, SIZE AS NOTED  
(SIZES SHOWN ARE NOMINAL WIDTHS)
  - 17 FALSE WOOD SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.
  - 18 1X6 FIBER CEMENT BOARD FACIA OVER 2X4 SUB-FACIA  
OR 2X6 FACIA W/ VINYL CAP OR COIL STOCK.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 NCRG SECTION R612.3 AND 612.4.

NO:	DATE:	REVISION:
△	xx-xx-xx	

PROFESSIONAL SEAL:

PROJECT TITLE:

**The Winston**

CLIENTS NAME:



PROJECT NO: 1506RAL

SHEET TITLE:  
**CRAFTSMAN  
EXTERIOR  
ELEVATIONS**

PRINT DATE:  
November 28, 2016

SHEET NO:  
**A1.7.1**

FOR CONSTRUCTION



Sunroom w/ covered rear porch  
See pg A1.7.6

**Left Elevation 'Craftsman'**

SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X17' LAYOUT



**Right Elevation 'Craftsman'**

SCALE: 1/4"=1'-0" AT 22'X34' LAYOUT 1/8"=1'-0" AT 11'X17' LAYOUT

**NOTES:**

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:  
1ST FLOOR = 7'-8" U.N.O. ON ELEVATIONS.  
2ND FLOOR = 6'-10" U.N.O. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
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**KEY NOTES:**

- MASONRY:**
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  - 2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
  - 3 MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
  - 4 8" SOLDIER COURSE.
  - 5 ROWLOCK COURSE
  - 6 DECORATIVE KEY. SEE DETAIL.
- TYPICALS:**
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  - 8 CODE APPROVED TERMINATION CHIMNEY CAP.
  - 9 CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS. (SIDE WALL-STEP FLASHING IS REQUIRED IN NC R405.2.B.3)
  - 10 STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - 11 DECORATIVE WROUGHT IRON. SEE DETAILS.
- SIDING:**
- 12 FIBER CEMENT SHAKE SIDING PER DEVELOPER  
W/ 5/4x4 CORNER TRIM BOARDS OR VINYL EQUIVALENT W/ VINYL CORNER TRIM.
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W/ 5/4x4 CORNER TRIM BOARDS OR VINYL EQUIVALENT W/ VINYL CORNER TRIM.
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NO:	DATE:	REVISION:
△	xx-xx-xx	

PROFESSIONAL SEAL:

PROJECT TITLE:

**The Winston**

**FOR CONSTRUCTION**

CLIENTS NAME:

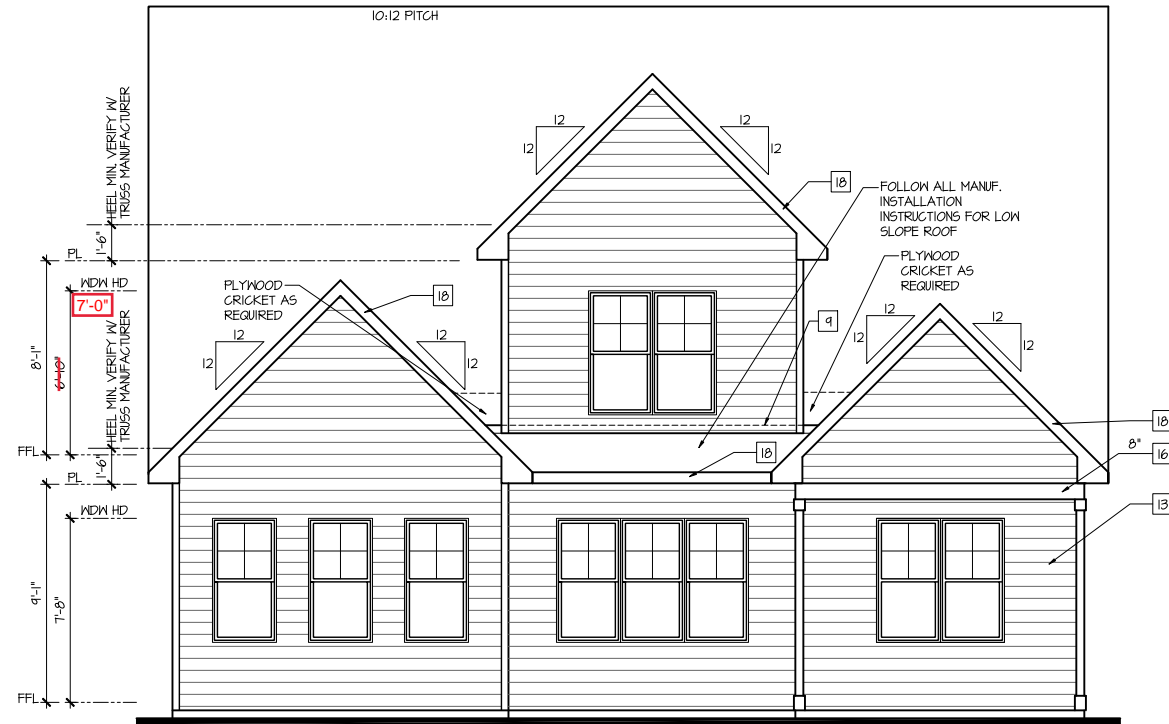


PROJECT NO: 10069AL

SHEET TITLE:  
**CRAFTSMAN  
EXTERIOR  
ELEVATIONS**

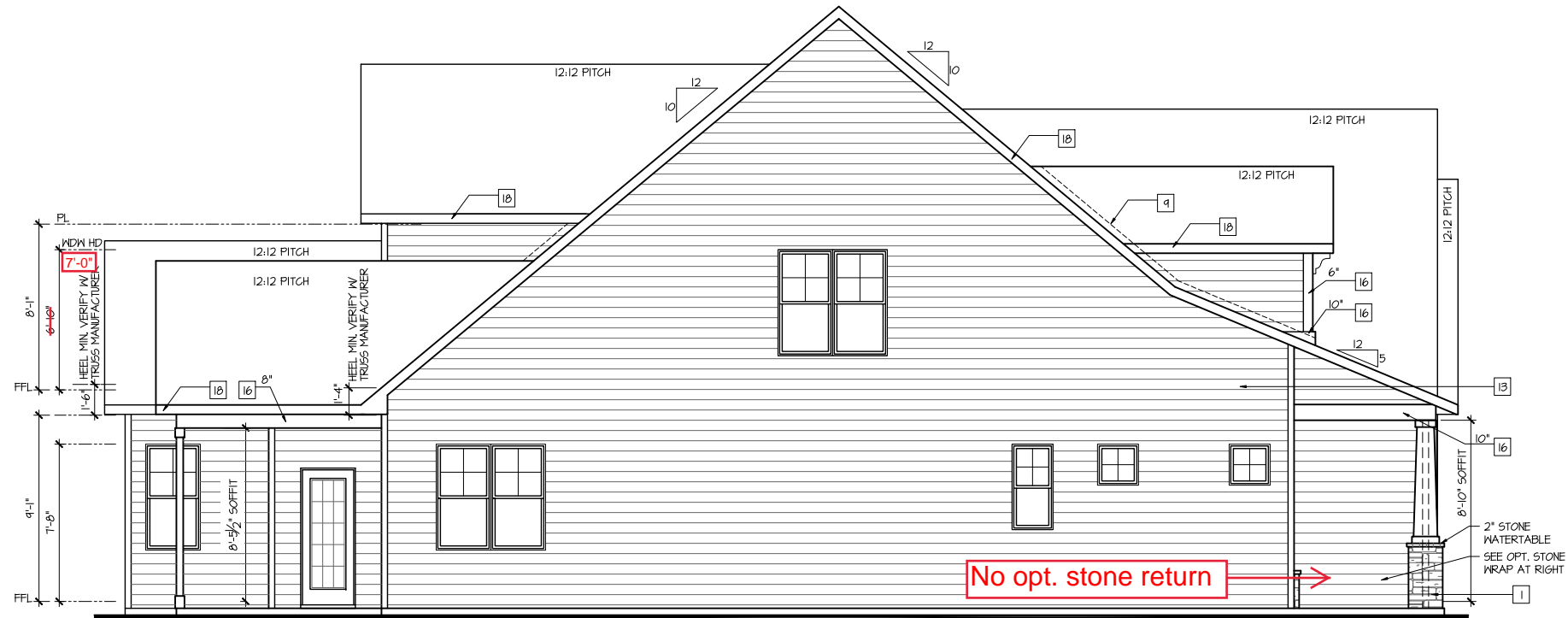
PRINT DATE:  
November 28, 2016

SHEET NO:  
**A1.7.6**



Rear Elevation w/ Opt.  
Sunroom 'Craftsman'

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT



Left Elevation w/ Opt.  
Sunroom 'Craftsman'

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT

**NOTES:**

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**KEY NOTES:**

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- 7 CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
  - 8 CODE APPROVED TERMINATION CHIMNEY CAP.
  - 9 CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS. (SIDE WALL-STEP FLASHING IS REQUIRED IN NC R405.2.B.3)
  - 10 STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - 11 DECORATIVE WROUGHT IRON. SEE DETAILS.
- SIDING:**
- 12 FIBER CEMENT SHAKE SIDING PER DEVELOPER
  - 13 W/ 5/4X4 CORNER TRIM BOARDS OR VINYL EQUIVALENT W/ VINYL CORNER TRIM.
  - 14 FIBER CEMENT LAP SIDING PER DEVELOPER
  - 15 W/ 5/4X4 CORNER TRIM BOARDS OR VINYL EQUIVALENT W/ VINYL CORNER TRIM.
  - 16 FIBER CEMENT WAVY SIDING PER DEVELOPER
  - 17 W/ 5/4X4 CORNER TRIM BOARDS OR VINYL EQUIVALENT W/ VINYL CORNER TRIM.
  - 18 FIBER CEMENT PANEL SIDING W/ 1X3 BATTIS AT 12" O.C. (VINYL BOARD AND BATT SIDING)
  - 19 5/4X FIBER CEMENT TRIM OR 5/4X WOOD TRIM W/ VINYL CAP OR COIL STOCK, SIZE AS NOTED (SIZES SHOWN ARE NOMINAL WIDTHS)
  - 20 FALSE WOOD SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.
  - 21 1X6 FIBER CEMENT BOARD FACIA OVER 2X4 SUB-FACIA OR 2X6 FACIA W/ VINYL CAP OR COIL STOCK.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 NCRG SECTION R612.3 AND 612.4.

N.C ATTIC VENT CALC. FOR WINSTON 'CRAFTSMAN': 1:150 RATIO.

THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, PROVIDED THAT AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

(PER 2012 NCRG SECTION R806.2)  
1 SQUARE INCH VENT FOR EVERY 150 SQUARE INCHES OF CEILING  
\*144 SQ. IN. = 1 SQ. FT.  
BLDG. CEILING (SF) X 144 = BLDG (SQ. IN.)  
BLDG. (SQ. IN.) / 150 = SQ. IN. OF VENT REQ'D  
SQ. IN. OF VENT REQUIRED / 2 = 50% AT HIGH & 50% AT LOW

EXCEPTIONS:  
1. ENCLOSED ATTIC/RAFTER SPACES REQUIRING LESS THAN 1 SQ. FT. OF VENTILATION MAY BE VENTED WITH CONTINUOUS SOFFIT VENTILATION ONLY.  
2. ENCLOSED ATTIC/RAFTER SPACES OVER UNCONDITIONED SPACE MAY BE VENTED WITH CONTINUOUS SOFFIT VENT ONLY.

**ROOF AREA 1:** = 2200 SF  
2200 SQ. FT. X 144 = 316800 SQ. IN.  
316800 SQ. IN. / 150 = 2112 SQ. IN. OF VENT REQ'D  
2112 SQ. IN. / 2 = 1056 SQ. IN.  
1056 SQ. IN. OF VENT AT HIGH & 1056 SQ. IN. OF VENT AT LOW REQUIRED.

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

**ROOF AREA 2:** = 244 SF  
244 SQ. FT. X 144 = 35056 SQ. IN.  
35056 SQ. IN. / 150 = 234.04 SQ. IN. OF VENT REQ'D  
234.04 SQ. IN. / 2 = 117.02 SQ. IN.  
117.02 SQ. IN. OF VENT AT HIGH & 117.02 SQ. IN. OF VENT AT LOW REQUIRED.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.

**ROOF AREA 3:** = 110 SF  
110 SQ. FT. X 144 = 15840 SQ. IN.  
15840 SQ. IN. / 150 = 105.6 SQ. IN. OF VENT REQ'D  
105.6 SQ. IN. / 2 = 52.8 SQ. IN.  
52.8 SQ. IN. OF VENT AT HIGH & 52.8 SQ. IN. OF VENT AT LOW REQUIRED.

PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

NOTES:

- ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.
- DASHED LINES INDICATE WALL BELOW.
- LOCATE GUTTER AND DOWNSPOUTS PER BUILDER.
- PITCHED ROOFS AS NOTED.

- TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALC'S AND SHOP DRAWINGS TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS.
- ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE.

N.C. ATTIC VENT CALC. FOR WINSTON 'CRAFTSMAN': 1:300 RATIO

AS AN ALTERNATE TO THE 1/150 RATIO LISTED ABOVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM - IN - WINTER SIDE OF THE CEILING.

(PER 2012 NCRG SECTION R806.2)  
1 SQUARE INCH VENT FOR EVERY 300 SQUARE INCHES OF CEILING  
\*144 SQ. IN. = 1 SQ. FT.  
BLDG. CEILING (SF) X 144 = BLDG (SQ. IN.)  
BLDG. (SQ. IN.) / 300 = SQ. IN. OF VENT REQUIRED  
SQ. IN. OF VENT REQUIRED / 2 = 50% AT HIGH & 50% AT LOW

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

**ROOF AREA 1:** = 2200 SF  
2200 SQ. FT. X 144 = 316800 SQ. IN.  
316800 SQ. IN. / 300 = 1056 SQ. IN. OF VENT REQ'D  
1056 SQ. IN. / 2 = 528 SQ. IN.  
528 SQ. IN. OF VENT AT HIGH & 528 SQ. IN. OF VENT AT LOW REQUIRED.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.

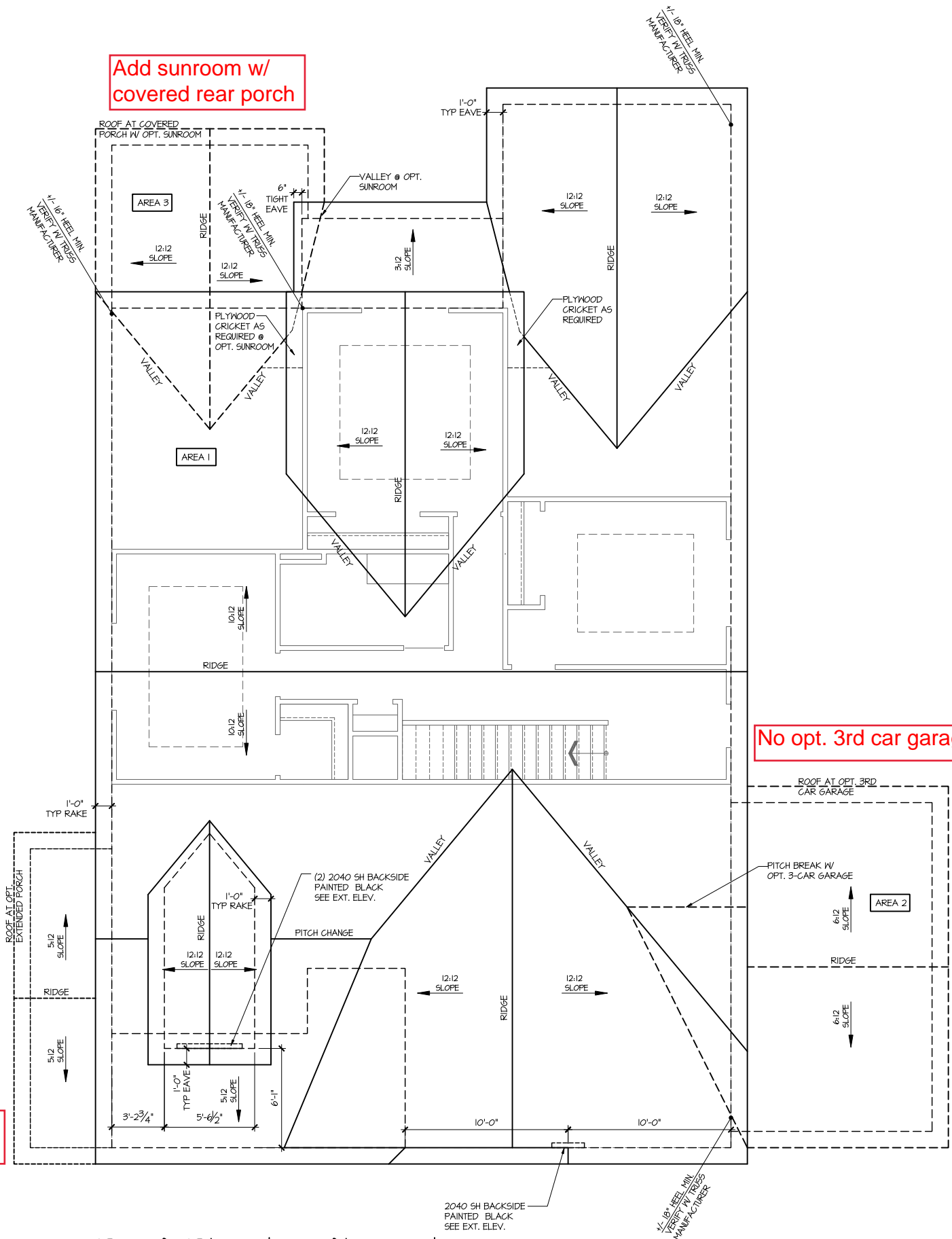
**ROOF AREA 2:** = 244 SF  
244 SQ. FT. X 144 = 35056 SQ. IN.  
35056 SQ. IN. / 300 = 116.85 SQ. IN. OF VENT REQ'D  
116.85 SQ. IN. / 2 = 58.43 SQ. IN.  
58.43 SQ. IN. OF VENT AT HIGH & 58.43 SQ. IN. OF VENT AT LOW REQUIRED.

PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED ARCHITECTURAL POP-OUTS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

**ROOF AREA 3:** = 110 SF  
110 SQ. FT. X 144 = 15840 SQ. IN.  
15840 SQ. IN. / 300 = 52.8 SQ. IN. OF VENT REQ'D  
52.8 SQ. IN. / 2 = 26.4 SQ. IN.  
26.4 SQ. IN. OF VENT AT HIGH & 26.4 SQ. IN. OF VENT AT LOW REQUIRED.

AT SINGLE FAMILY DETACHED PLANS:  
PREFINISHED VENTED SOFFIT AT EAVE PER MANUFACTURER. (VERIFY FIRE SEPARATION DISTANCE FOR SOFFIT PROTECTION PER 2012 NCRG SECTION R703.11.3 AND TABLE R302.1)

No opt. extended wrap porch



Roof Plan 'Craftsman'

SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x11" LAYOUT

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△	xx-xx-xx	

PROFESSIONAL SEAL:

PROJECT TITLE:

The Winston

No opt. 3rd car garage

FOR CONSTRUCTION

CLIENTS NAME:



PROJECT NO: B066RAL

SHEET TITLE:  
CRAFTSMAN  
ROOF PLAN

PRINT DATE:  
November 28, 2016

SHEET NO:  
A1.7.7

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PROFESSIONAL SEAL:

PROJECT TITLE:  
**The Winston**

CLIENTS NAME:



PROJECT NO: 10069AL

SHEET TITLE:

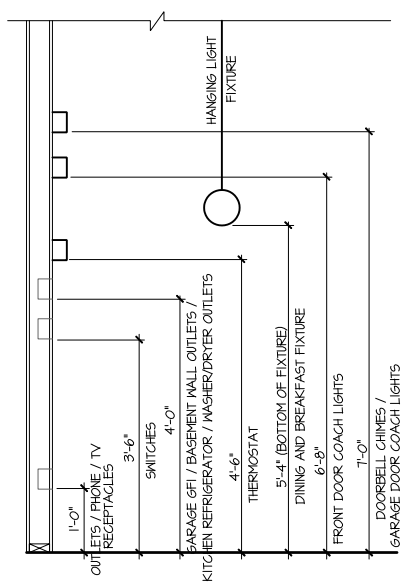
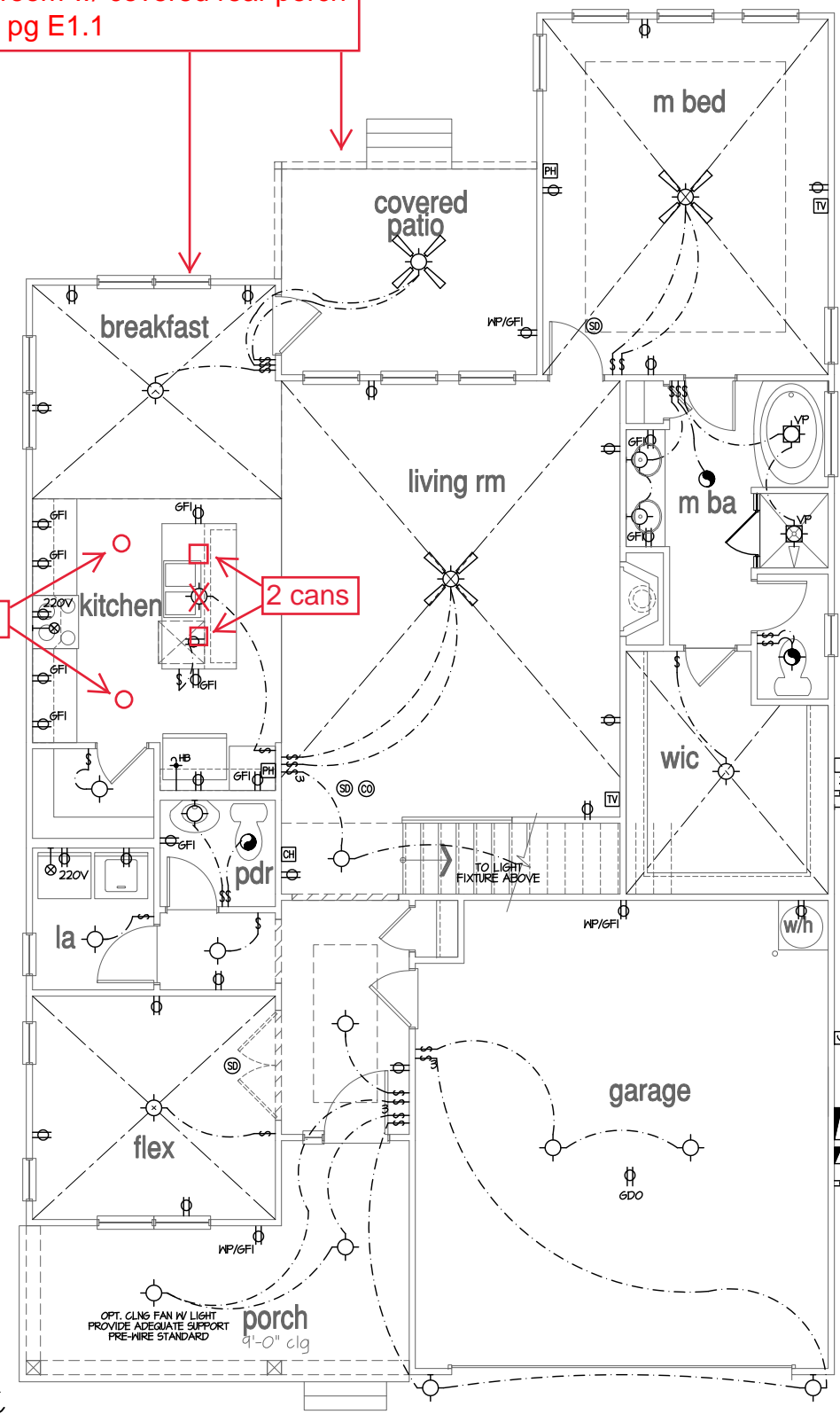
**1st FLOOR  
UTILITY PLAN**

PRINT DATE:  
November 28, 2016

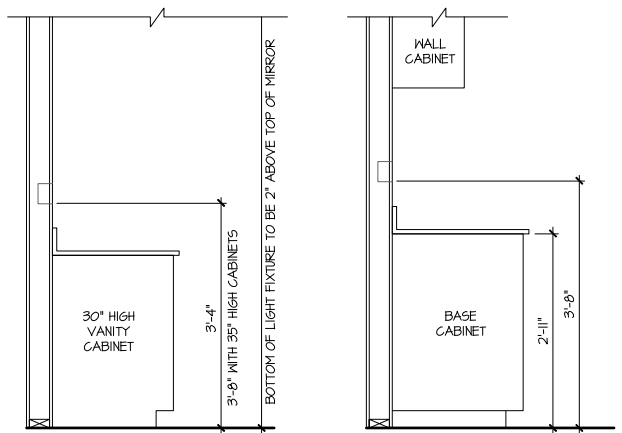
SHEET NO:  
**E1.0**

Sunroom w/ covered rear porch  
See pg E1.1

Flush mounts  
2 cans



STANDARD ELECTRICAL BOX HEIGHTS



SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS

SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS

**1st Floor Plan Utility Basic**  
SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x11" LAYOUT

- NOTES:**
- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
  - PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
  - ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS.
  - FANLIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
  - ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
  - PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
  - PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
  - ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
  - HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
  - ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
  - PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

**LEGEND:**

⊕	DUPLEX OUTLET	⊙	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE	⊠	CHIMES	⊗	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
⊕WP/GFI	WEATHERPROOF GFI DUPLEX OUTLET	⊙	WALL MOUNTED INCANDESCENT LIGHT FIXTURE	⊠	PUSHBUTTON SWITCH	⊗	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕GFI	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET	⊙	RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF	⊕	110V SMOKE DETECTOR W/ BATTERY BACKUP	⊗	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕	HALF-SWITCHED DUPLEX OUTLET	⊙	EXHAUST FAN (VENT TO EXTERIOR)	⊕	CO2 DETECTOR	⊕	GAS SUPPLY WITH VALVE
⊕220V	220 VOLT OUTLET	⊙	EXHAUST FANLIGHT COMBINATION (VENT TO EXTERIOR)	⊕	THERMOSTAT	⊕	HOSE BIBB
⊕	REINFORCED JUNCTION BOX	⊙	FLUORESCENT LIGHT FIXTURE	⊕	TELEPHONE	⊕	1/4" WATER STUB OUT
⊕	WALL SWITCH	⊙	TECH HUB SYSTEM	⊕	TELEVISION	⊕	WALL SCONE
⊕3	THREE-WAY SWITCH			⊕	ELECTRIC METER		
⊕4	FOUR-WAY SWITCH			⊕	ELECTRIC PANEL		
				⊕	DISCONNECT SWITCH		

**FOR CONSTRUCTION**

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△	xx-xx-xx	

PROFESSIONAL SEAL:

PROJECT TITLE:

**The Winston**

CLIENTS NAME:



PROJECT NO: 1006RAL

SHEET TITLE:

**1st FLOOR  
UTILITY PLAN**

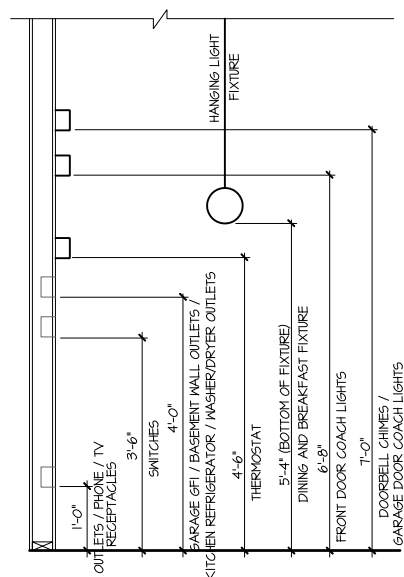
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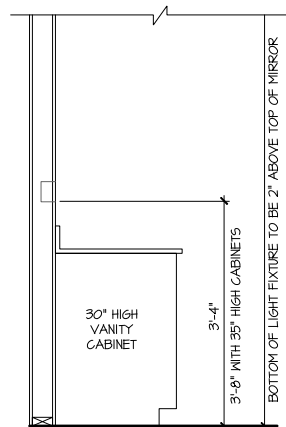
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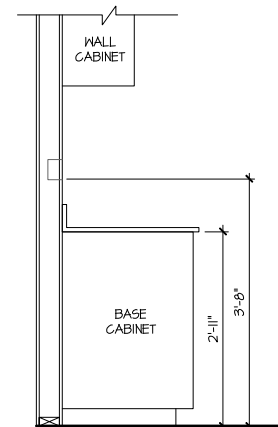
**FOR CONSTRUCTION**



**STANDARD ELECTRICAL BOX HEIGHTS**



**SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS**



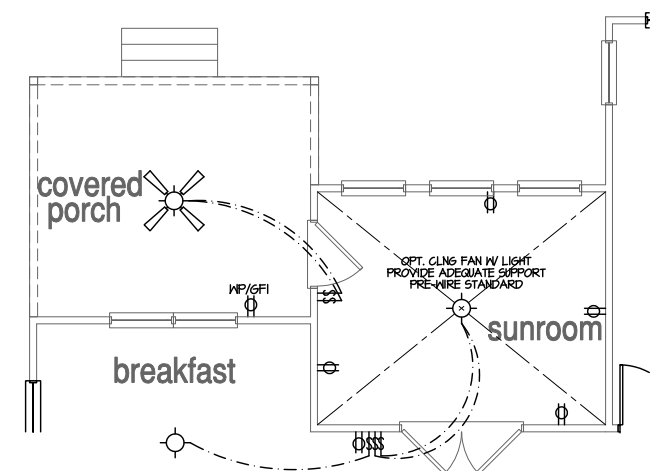
**SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS**

**NOTES:**

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS.
- FAN/LIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

**LEGEND:**

⊕	DUPLEX OUTLET	☉	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE	☒	CHIMES	☼	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
⊕ WP/GFI	WEATHERPROOF GFI DUPLEX OUTLET	☉	WALL MOUNTED INCANDESCENT LIGHT FIXTURE	⊞	PUSHBUTTON SWITCH	☼	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕ GFI	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET	☉	RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF	⊞	110V SMOKE DETECTOR W/ BATTERY BACKUP	⊞	CO2 DETECTOR
⊕	HALF-SWITCHED DUPLEX OUTLET	☉	EXHAUST FAN (VENT TO EXTERIOR)	⊞	THERMOSTAT	⊞	GAS SUPPLY WITH VALVE
⊕ 220V	220 VOLT OUTLET	☉	EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)	⊞	TELEPHONE	⊞	HOSE BIBB
⊕	REINFORCED JUNCTION BOX	☉	FLUORESCENT LIGHT FIXTURE	⊞	TELEVISION	⊞	1/4" WATER STUB OUT
⊕	WALL SWITCH	☉	TECH HUB SYSTEM	⊞	ELECTRIC METER	⊞	WALL SCORCE
⊕ 3	THREE-WAY SWITCH			⊞	ELECTRIC PANEL		
⊕ 4	FOUR-WAY SWITCH			⊞	DISCONNECT SWITCH		



**Opt. Sunroom**

SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x17" LAYOUT

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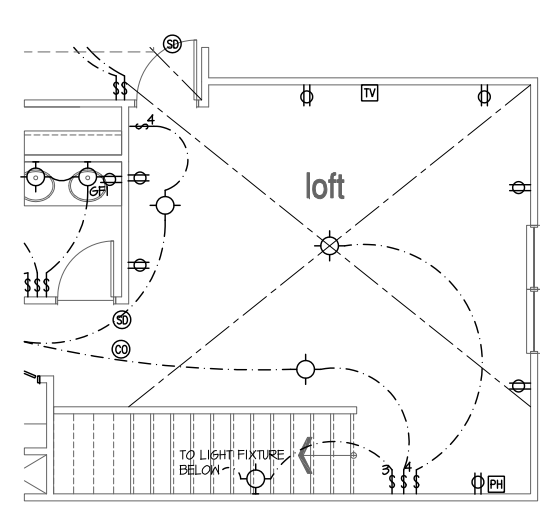
PROJECT NO: 1006RAL

SHEET TITLE:

**2nd FLOOR  
UTILITY PLAN**

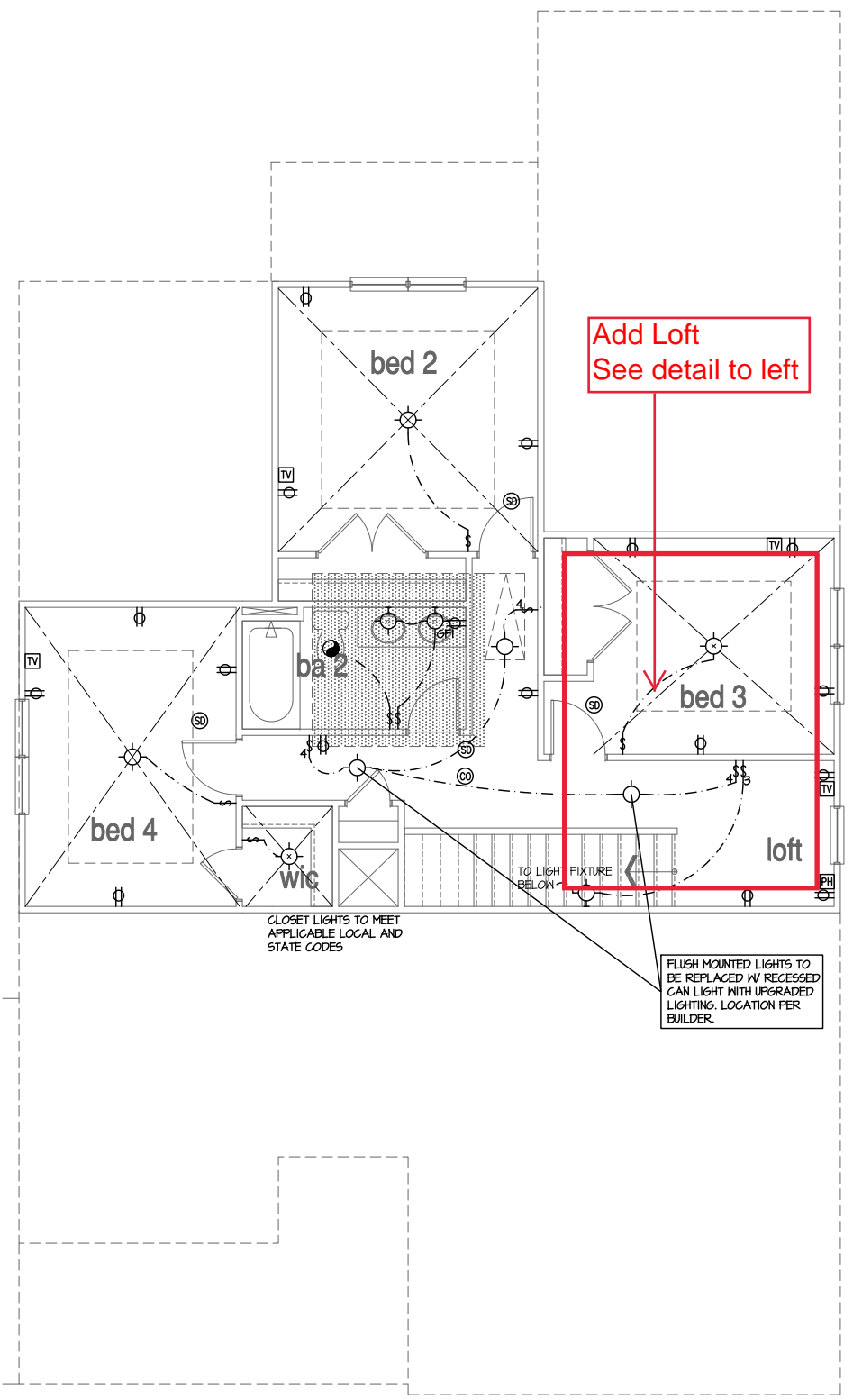
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SHEET NO:  
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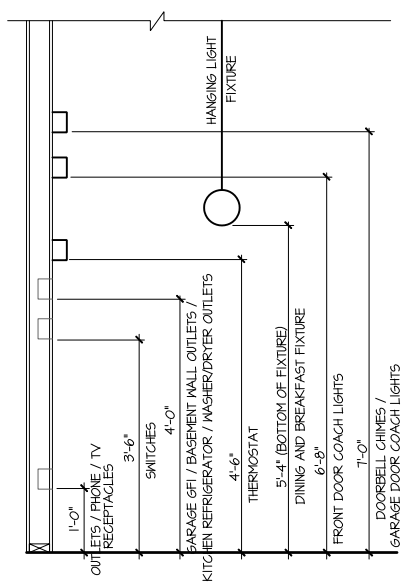
**Opt Loft**

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X11" LAYOUT

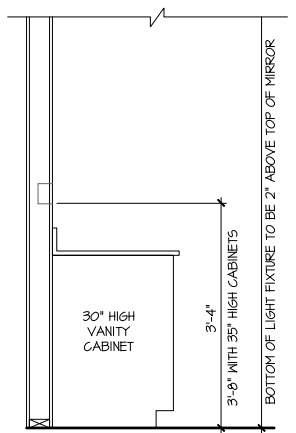


**2nd Floor Plan Utility Basic**

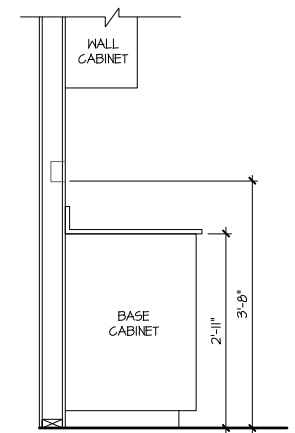
SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X11" LAYOUT



**STANDARD ELECTRICAL BOX HEIGHTS**



**SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS**



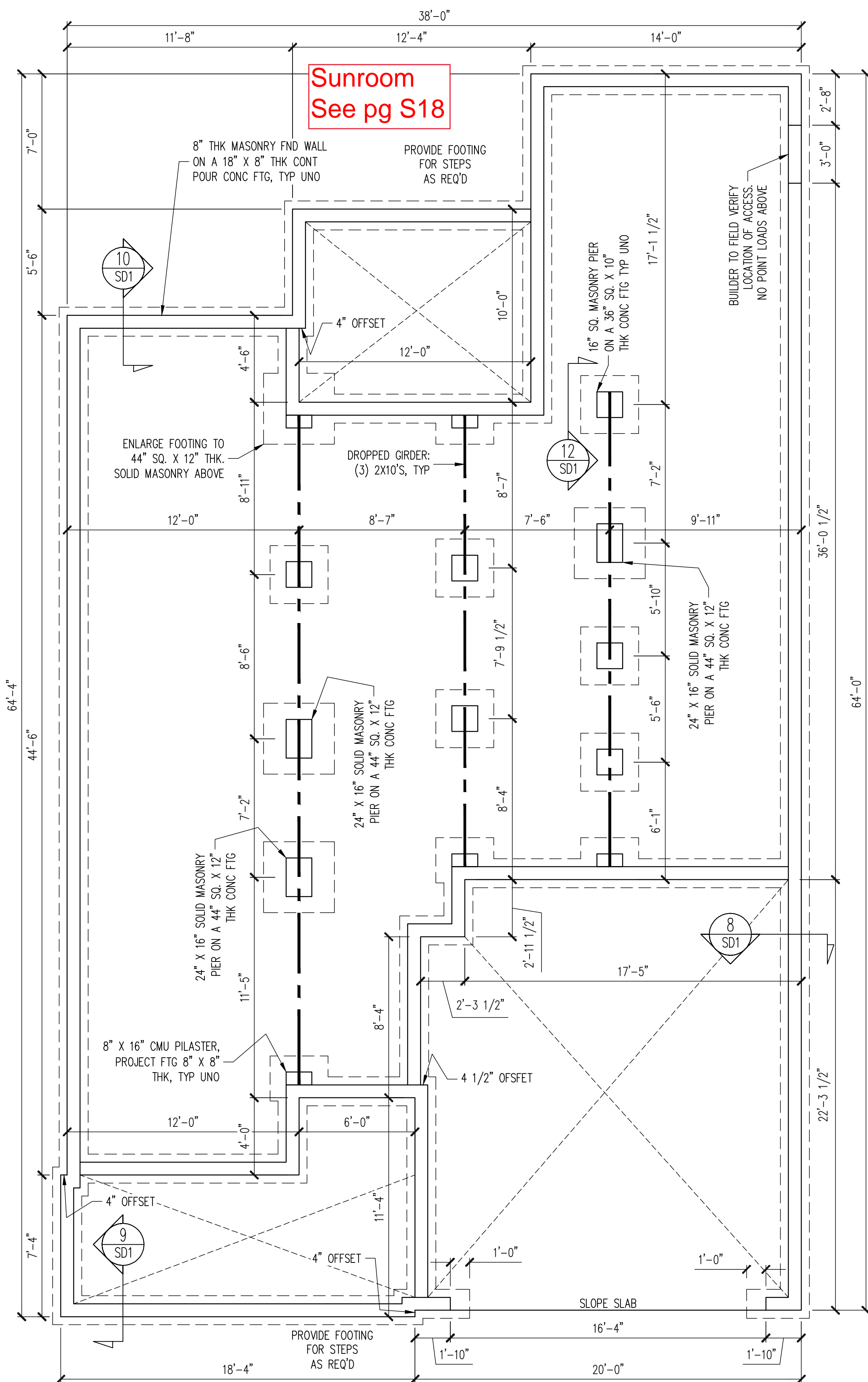
**SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS**

- NOTES:**
- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
  - PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
  - ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS.
  - FANLIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
  - ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
  - PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
  - PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
  - ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
  - HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
  - ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
  - PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

**LEGEND:**

⊕	DUPLEX OUTLET	⊙	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE	⊠	CHIMES	⊗	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
⊕WP/GFI	WEATHERPROOF GFI DUPLEX OUTLET	⊙	WALL MOUNTED INCANDESCENT LIGHT FIXTURE	⊠	PUSHBUTTON SWITCH	⊗	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕GFI	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET	⊙	RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF	⊕	110V SMOKE DETECTOR W/ BATTERY BACKUP	⊕	GAS SUPPLY WITH VALVE
⊕	HALF-SWITCHED DUPLEX OUTLET	⊙	EXHAUST FAN (VENT TO EXTERIOR)	⊕	CO2 DETECTOR	⊕	HOSE BIBB
⊕220V	220 VOLT OUTLET	⊙	EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)	⊕	THERMOSTAT	⊕	1/4" WATER STUB OUT
⊕	REINFORCED JUNCTION BOX	⊕	FLUORESCENT LIGHT FIXTURE	⊕	TELEPHONE	⊕	WALL SCORCE
⊕	WALL SWITCH	⊕	TECH HUB SYSTEM	⊕	TELEVISION		
⊕3	THREE-WAY SWITCH			⊕	ELECTRIC METER		
⊕4	FOUR-WAY SWITCH			⊕	ELECTRIC PANEL		
				⊕	DISCONNECT SWITCH		

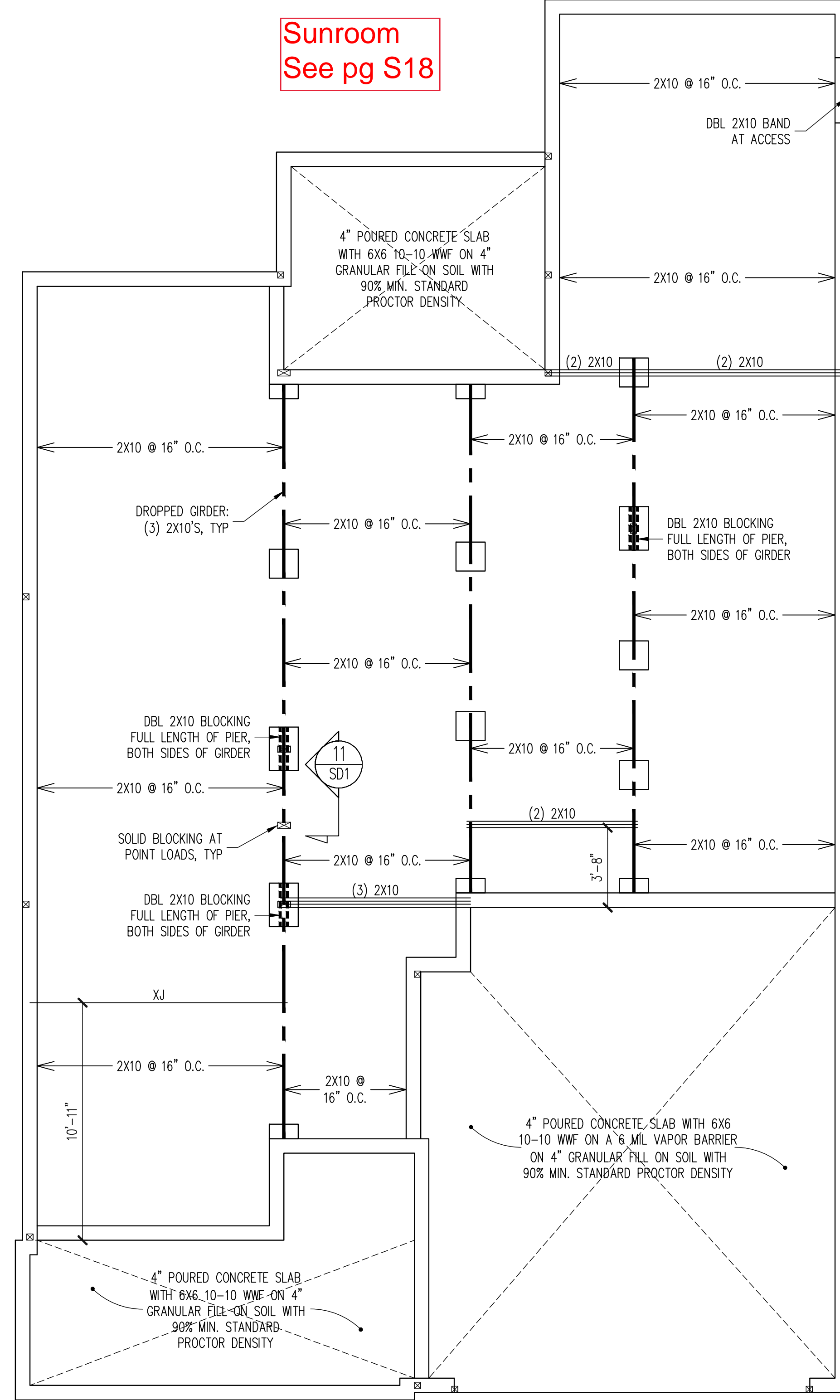
**FOR CONSTRUCTION**



FOUNDATION PLAN  
CRAWLSPACE OPTION  
~~COASTAL~~ ELEVATION  
1/4" = 1'-0"

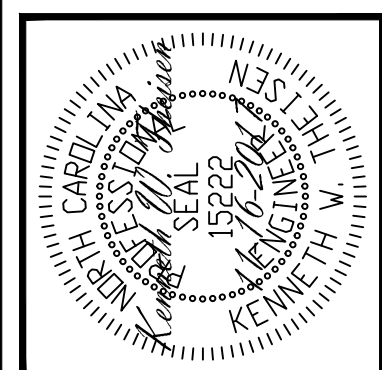
Craftsman  
See pg S7

NOTES:  
- HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION.  
- FIBER MESH REINFORCED CONCRETE MAY BE USED IN LIEU OF WELDED WIRE FABRIC. SEE SECTION 6.01 OF THE CONSTRUCTION SPECIFICATIONS FOR ALLOWABLE SUBSTITUTION DETAILS.



CRAWL SPACE FRAMING PLAN  
~~COASTAL~~ ELEVATION  
1/4" = 1'-0"  
Craftsman  
See pg S8

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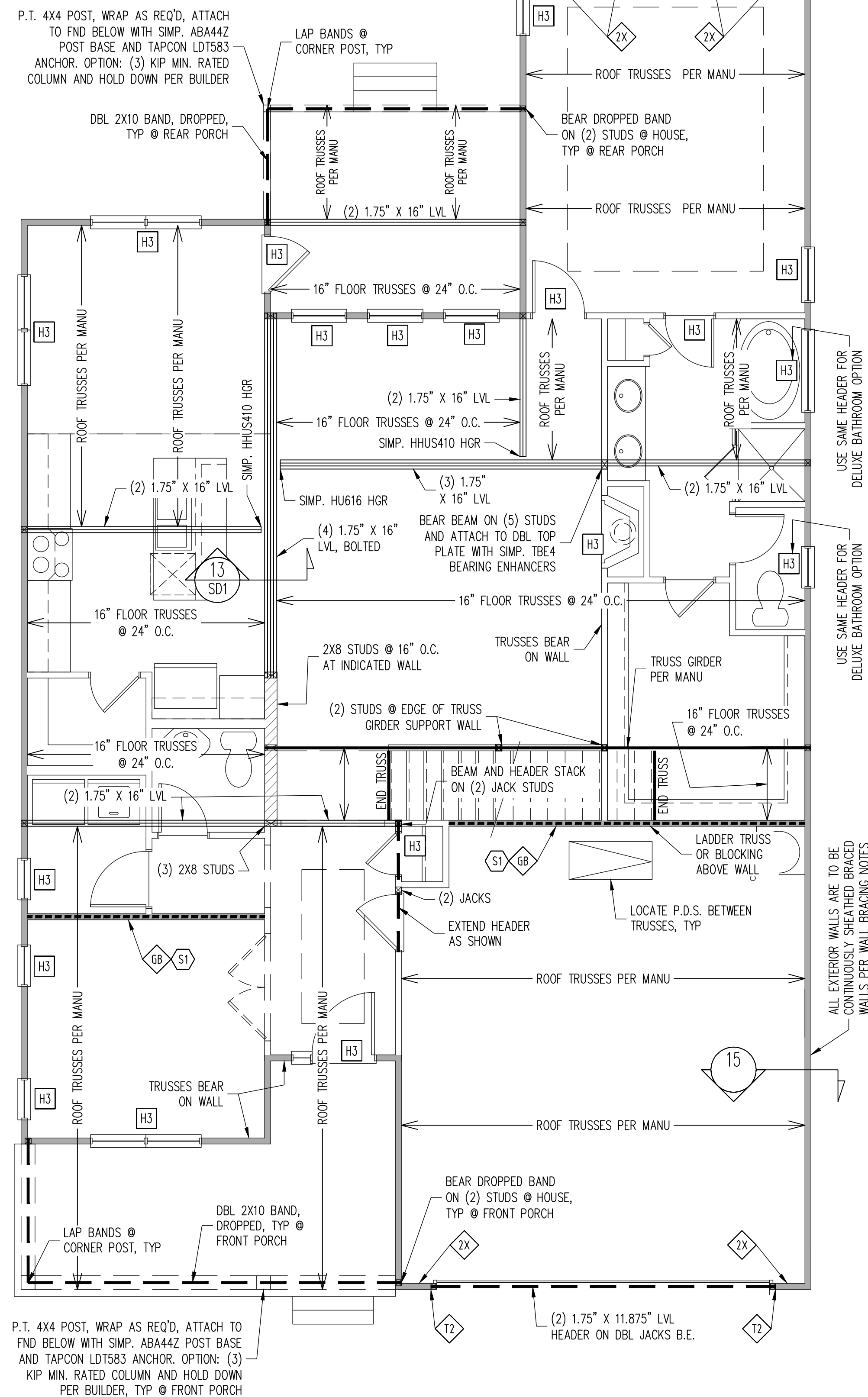
CLIENT:	MCKEE HOMES, INC.
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	ENG. KW1/DTN
REV:	REV.
DATE:	DATE: 11-16-2017

PLAN NO.  
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S2

**Sunroom**  
See pg S18



**1ST FLOOR FRAMING PLAN**  
~~COASTAL~~ ELEVATION  
WALLS AND CEILING  
1/4" = 1'-0"

**Craftsman**  
See pg S9

**WALL BRACING**  
1ST FLOOR ONLY

ALL EXTERIOR STUD WALLS ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD. BLOCKING AT HORIZONTAL JOINTS IN BRACED WALL LINES ONLY REQUIRED AT SHADED WALLS, UNO

SHADED WALLS:

GB - INTERIOR BRACED WALL WITH GYPSUM BOARD. 1/2" GB BOTH SIDES OF WALL ATTACHED TO PANEL EDGES, INCLUDING TOP AND BOTTOM PLATES, AT 7" O.C.

2X - SHEATH BOTH SIDES OF STUD WALL WITH 7/16 APA RATED OSB, NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

T2 - SIMPSON LTT19 HOLDOWN SECURED AS UPLIFT DEVICE TO CORNER STUDS OR KING/JACKS STUDS. ATTACH TO FOUNDATION OR SLAB THROUGH P.T. SILL PLATE WITH 1/2" DIA. ANCHOR BOLT.

BUILDER PERMITTED TO SUBSTITUTE INTERIOR OSB SHEATHING WITH THERMO-PLY BLUE PROTECTIVE SHEATHING. REFERENCE TECHNICAL EVALUATION REPORT COL#10-38 PROVIDED BY DRJ ENGINEERING, LLC AND SEALED BY RYAN DEXTER, P.E.

PROVIDED CONTINUOUS SHEATHING = 221" MIN.

-WALL BRACING IS BY ENGINEERED DESIGN AND NOT PRESCRIPTIVE PER SECTION 602.10 OF THE 2012 NCR. CONTINUOUS SHEATHING HAS BEEN PROVIDED, ALONG WITH ALTERNATIVE METHODS TO INSURE THE MINIMUM INTENT OF SECTION 602.10 OF THE 2012 NCR HAS BEEN MET AND EXCEEDED.

**FRAMING SCHEDULE**  
1ST FLOOR ONLY

S1 TRUSS OR BLOCKING REQUIRED ABOVE AND BELOW ALL BRACED WALLS. NAIL SUBFLOOR ABOVE WALL TO TRUSS / BLOCKING WITH 8d NAILS @ 6" O.C. TOE NAIL TRUSS / BLOCKING ABOVE WALL TO TOP PLATE WITH 16d TOE NAILS @ 6" O.C. ATTACH SOLE PLATE OF BRACED WALL TO FOUNDATION BELOW PER BRACED WALL DETAILS

**REQUIRED STUDS FOR BEAM SUPPORT**

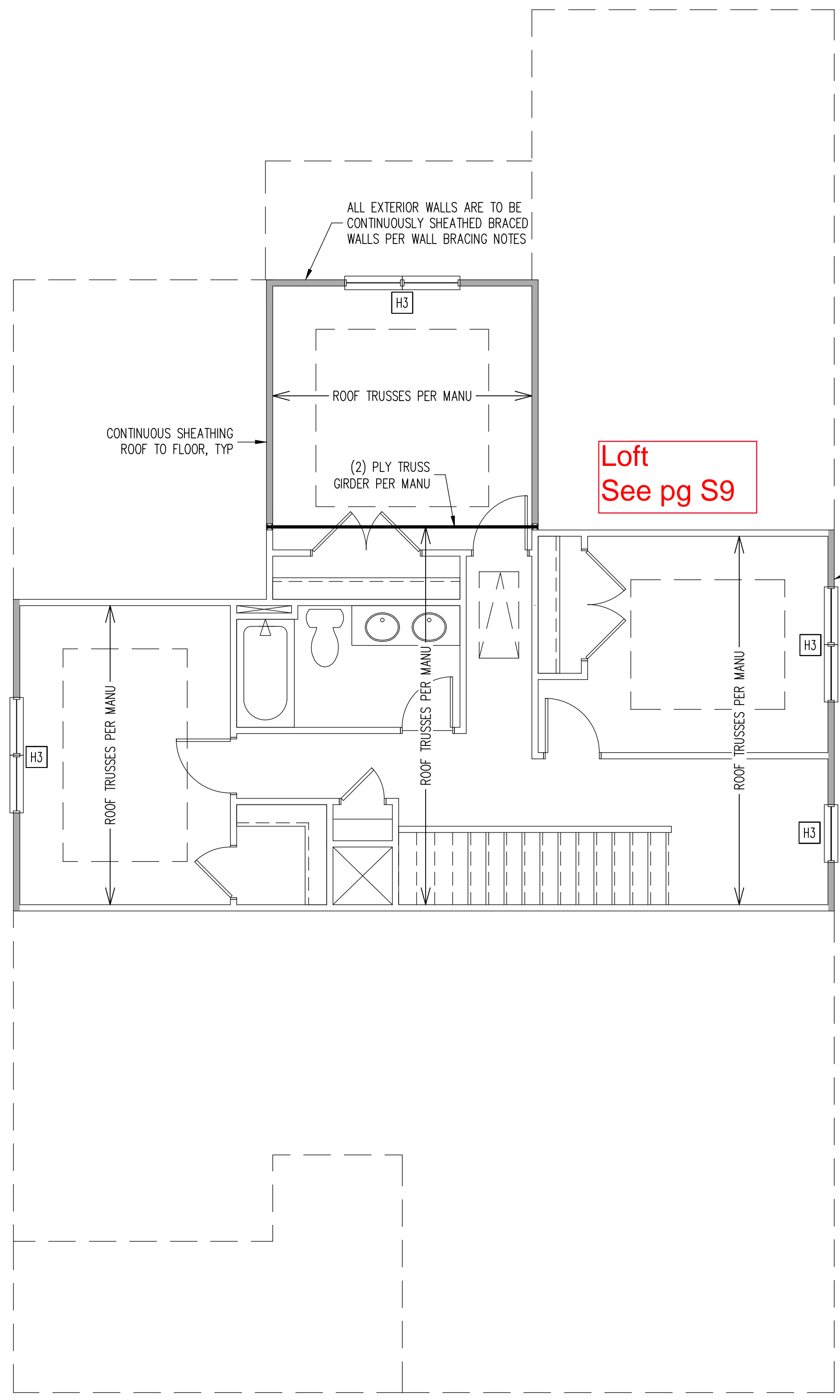
REFER TO SECTIONS 5.02 - 5.06 OF THE CONSTRUCTION SPECIFICATIONS FOR REQUIRED NUMBER OF STUDS FOR BEAM SUPPORT, TYP UNO.

**HEADER SCHEDULE**

H1 SINGLE 2X4 TURNED FLAT (A)  
H2 (2) 2X4'S ON SINGLE JACKS (B)  
H3 (2) 2X10'S ON SINGLE JACKS (C)  
H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS

(A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.  
(B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.  
(C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:  
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.  
\*REQUIRED NUMBER OF KING STUDS FOR EXTERIOR HEADERS DETERMINED BY NCRBC TABLE 602.3(5) UNLESS NOTED OTHERWISE ON PLAN.



**2ND FLOOR FRAMING PLAN**  
ALL ELEVATIONS  
WALLS AND CEILING  
1/4" = 1'-0"

**WALL BRACING**  
2ND FLOOR ONLY

ALL EXTERIOR STUD WALLS ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

TRUSS OR BLOCKING REQUIRED ABOVE AND BELOW ALL BRACED WALLS. NAIL SUBFLOOR ABOVE WALL TO BLOCKING WITH 8d NAILS @ 6" O.C. TOE NAIL TRUSS / BLOCKING ABOVE WALL TO TOP PLATE WITH 16d TOE NAILS @ 6" O.C. NAIL SOLE PLATE OF BRACED WALL TO TRUSS / BLOCKING BELOW WALL WITH (3) 16d NAILS @ 16" O.C. BLOCKING AT HORIZONTAL JOINTS IN BRACED WALL LINES ONLY REQUIRED AT SHADED WALLS, UNO

SHADED WALLS:

-PROVIDED CONTINUOUS SHEATHING = 67" MIN.

-WALL BRACING IS BY ENGINEERED DESIGN AND NOT PRESCRIPTIVE PER SECTION 602.10 OF THE 2012 NCR. CONTINUOUS SHEATHING HAS BEEN PROVIDED, ALONG WITH ALTERNATIVE METHODS TO INSURE THE MINIMUM INTENT OF SECTION 602.10 OF THE 2012 NCR HAS BEEN MET AND EXCEEDED.

**REQUIRED STUDS FOR BEAM SUPPORT**

REFER TO SECTIONS 5.02 - 5.06 OF THE CONSTRUCTION SPECIFICATIONS FOR REQUIRED NUMBER OF STUDS FOR BEAM SUPPORT, TYP UNO.

**HEADER SCHEDULE**

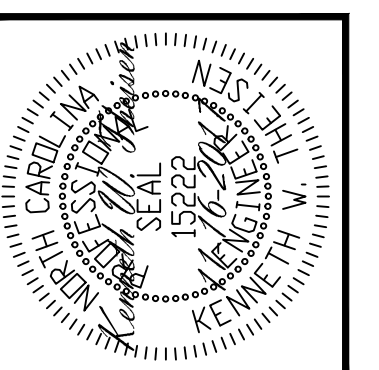
H1 SINGLE 2X4 TURNED FLAT (A)  
H2 (2) 2X4'S ON SINGLE JACKS (B)  
H3 (2) 2X10'S ON SINGLE JACKS (C)  
H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS

(A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.  
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NOTES:  
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SCOPE:	STRUCTURAL ADDENDUM	LOT #:			

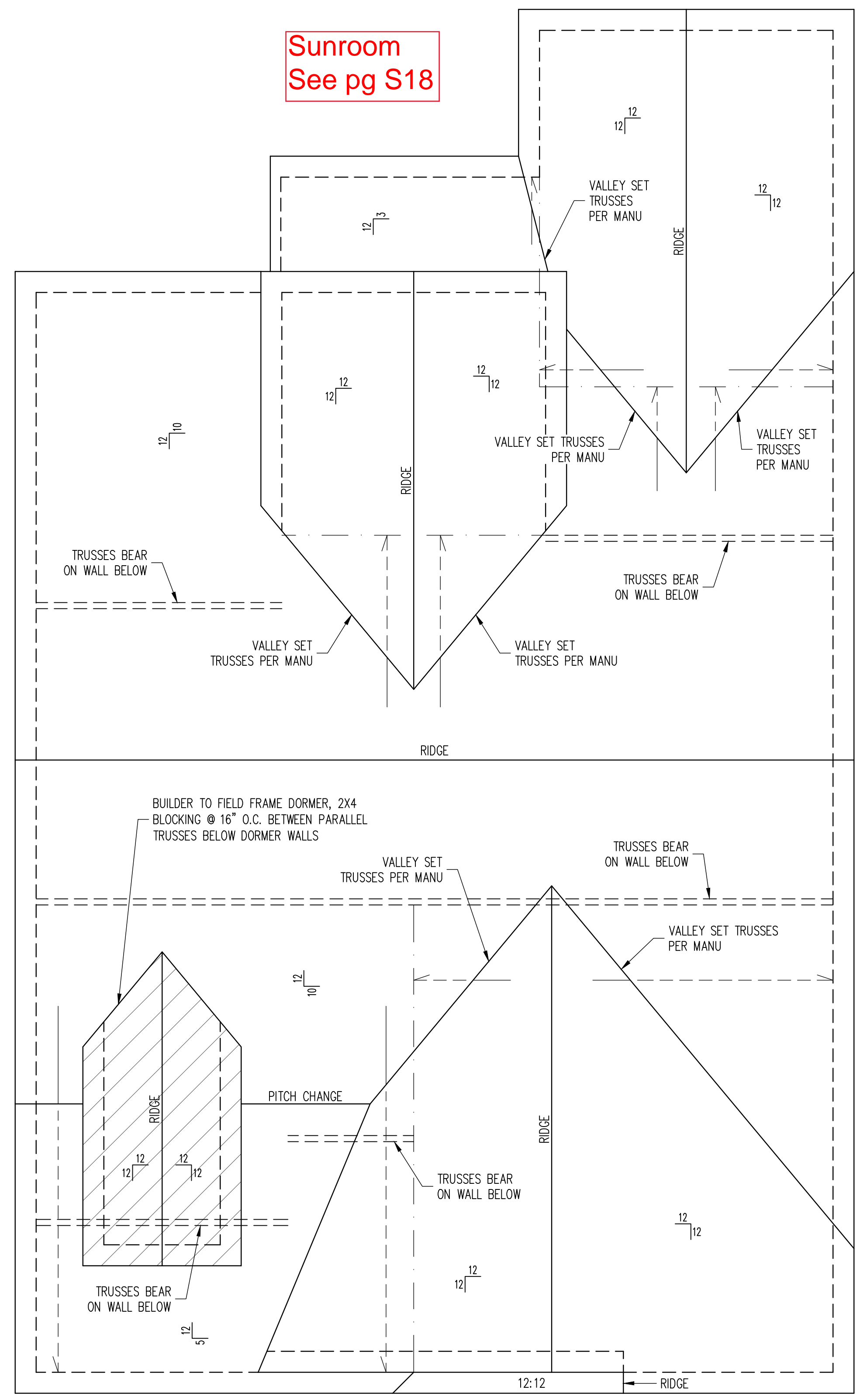
PLAN NO.  
WINSTON RH

PROJECT NO.  
17-29-113R

SHEET NO.  
S3

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Sunroom  
See pg S18

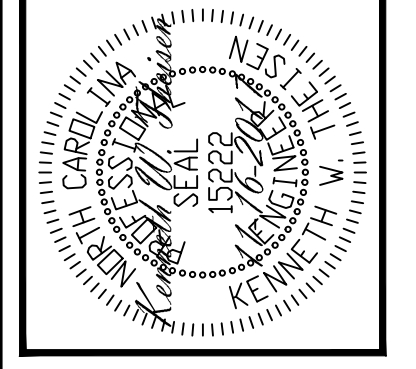


ROOF FRAMING PLAN  
CRAFTSMAN ELEVATION  
1/4" = 1'-0"

FRAMING NOTES  
ROOF ONLY  
-ROOF TRUSSES PER MANU TYPICAL UNO  
-VERIFY ALL ARCHITECTURAL OVERHANGS, ROOF PITCHES, AND KNEEWALL HEIGHTS PRIOR TO CONSTRUCTION

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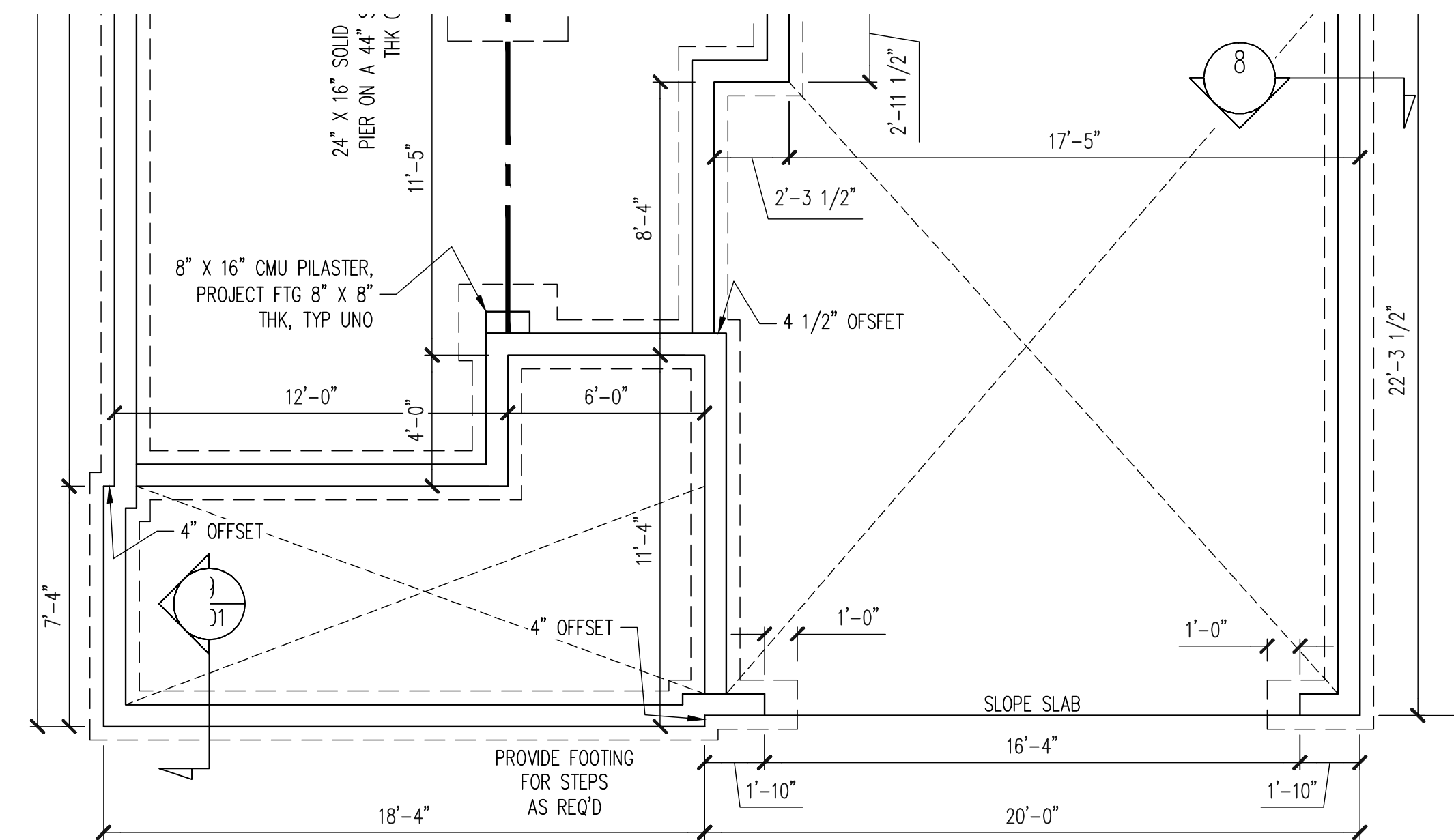
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FOUNDATION PLAN  
CRAWLSPACE OPTION  
CRAFTSMAN ELEVATION  
1/4" = 1'-0"

REFER TO SHEET NO. S2  
FOR ALL STRUCTURAL  
NOTES AND SCHEDULES

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SCOPE:	STRUCTURAL ADDENDUM
LOT #:	ENG. KWT/DTN REV:
DATE:	11-16-2017

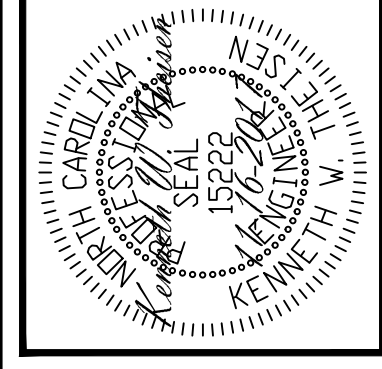
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17-29-113R

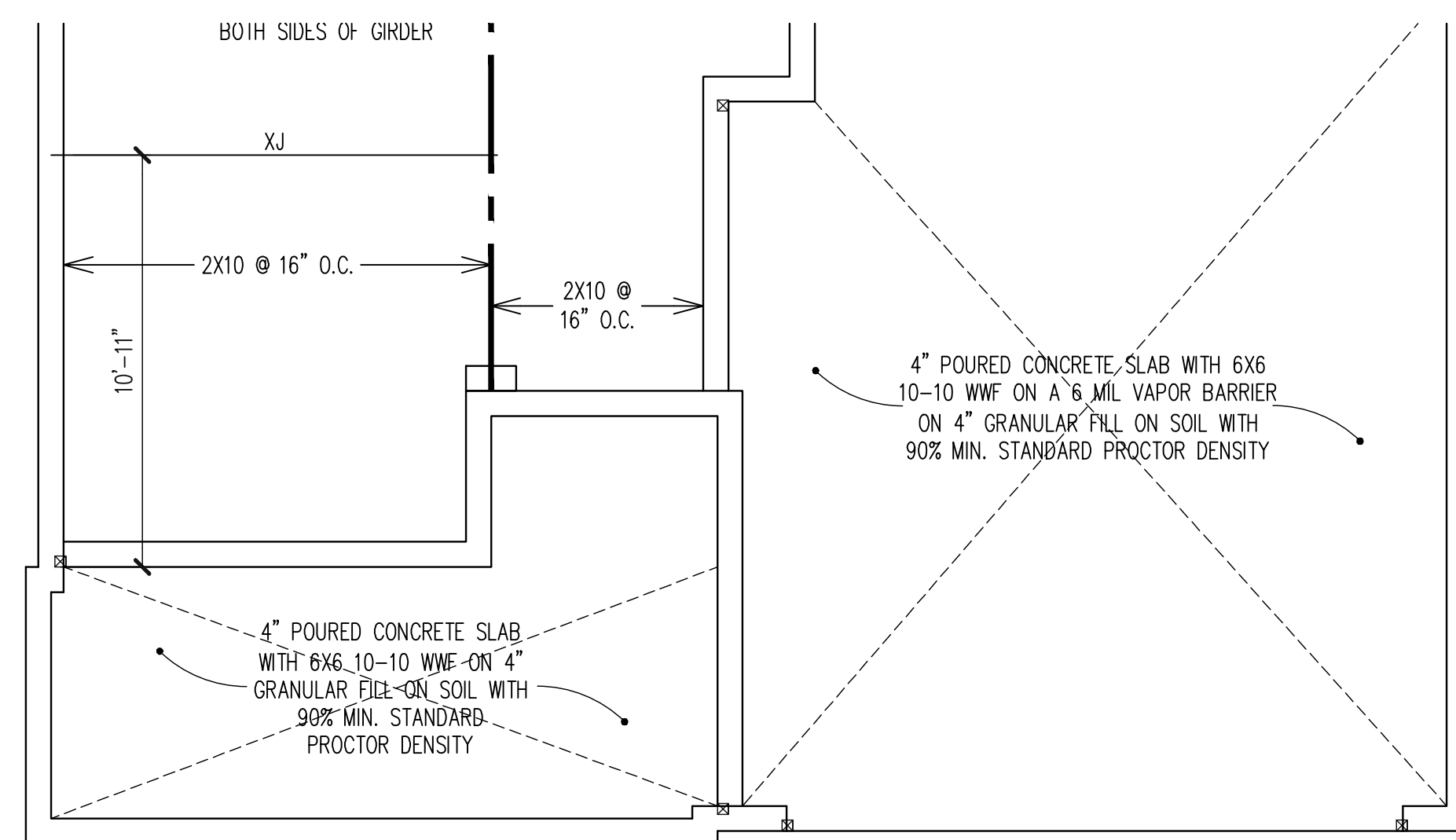
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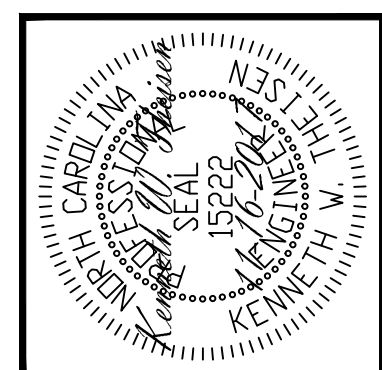
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CRAWL SPACE FRAMING PLAN  
 CRAFTSMAN ELEVATION  
 1/4" = 1'-0"

REFER TO SHEET NO. S2  
 FOR ALL STRUCTURAL  
 NOTES AND SCHEDULES

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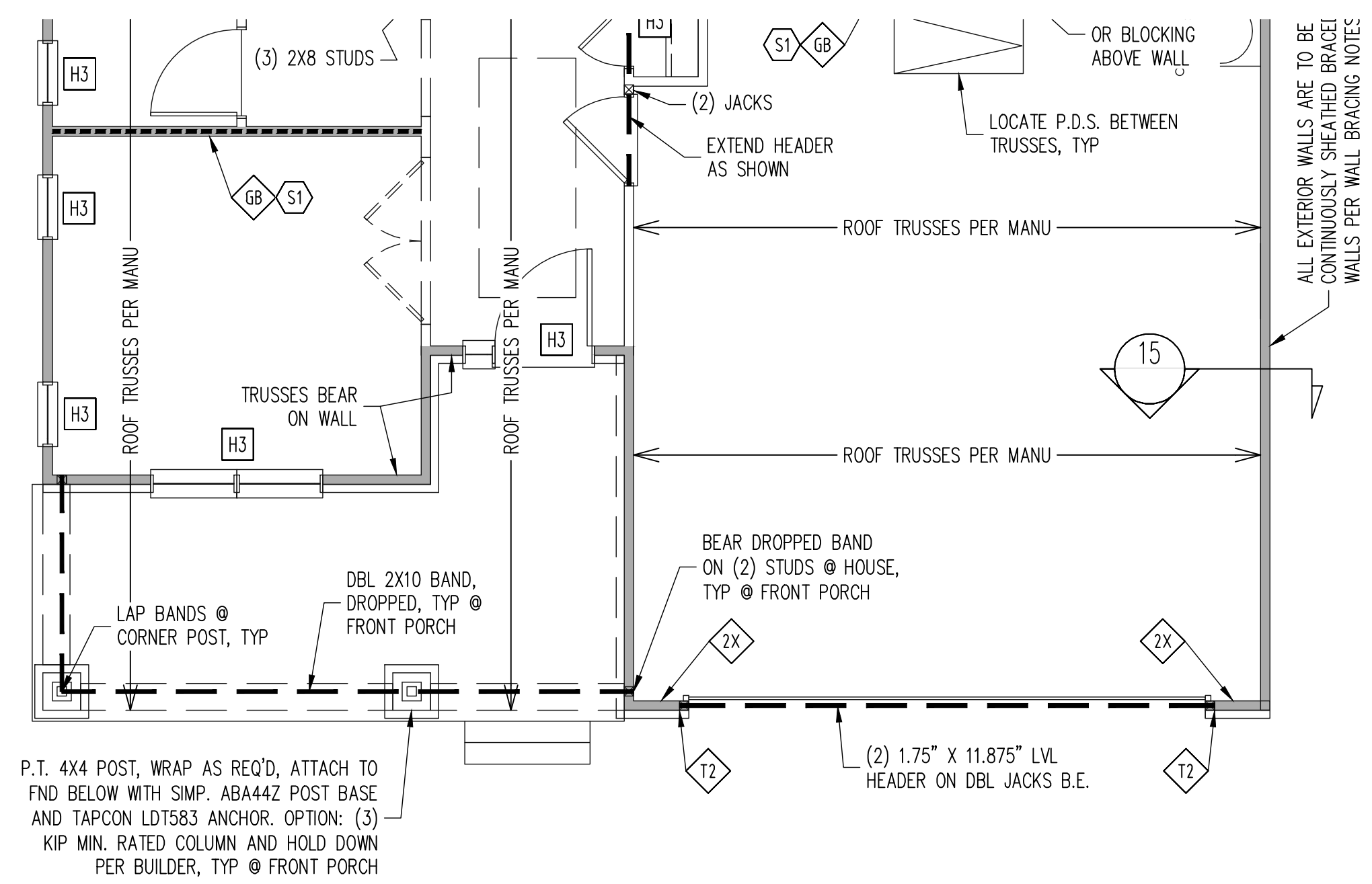
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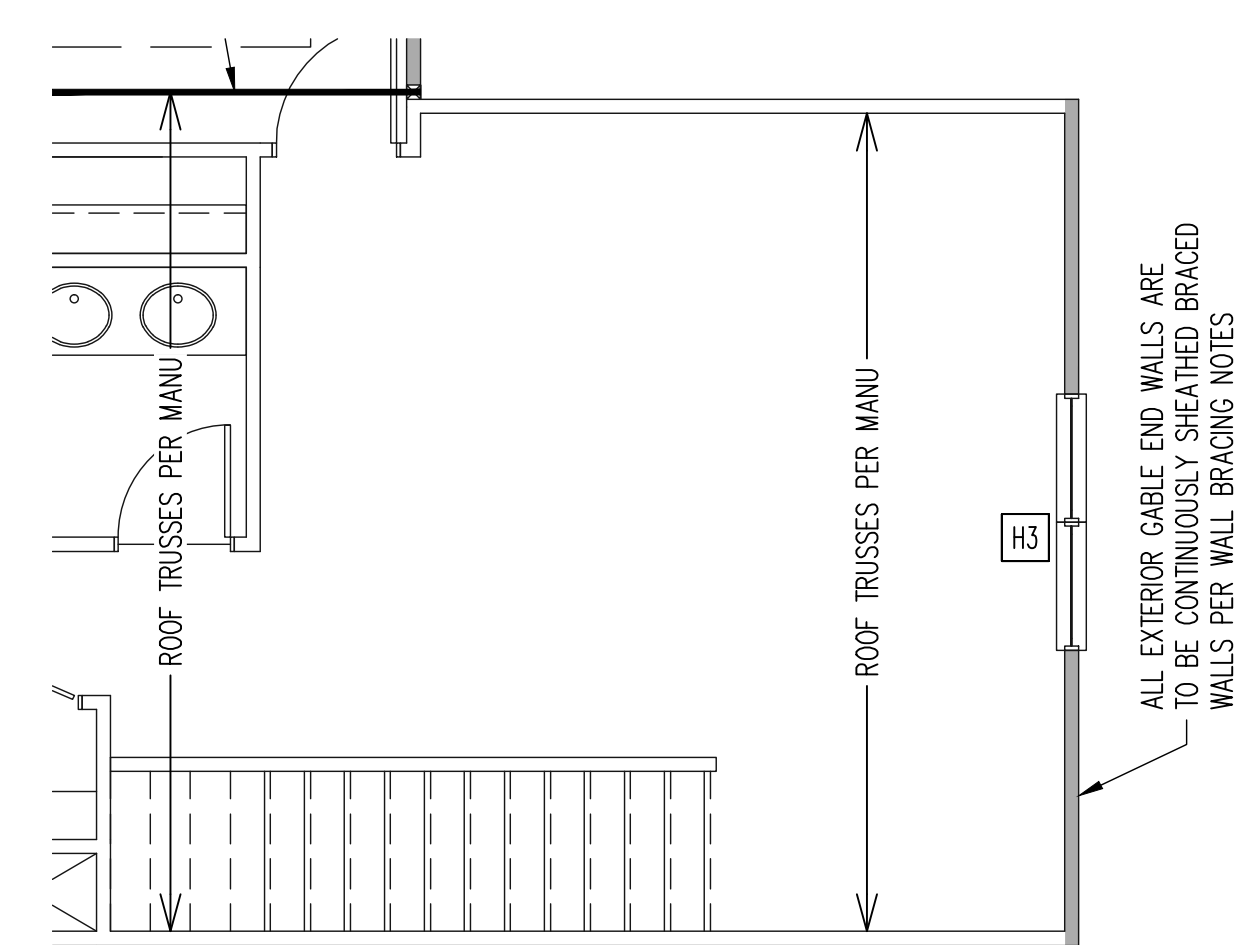
SHEET NO.  
 S8

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1ST FLOOR FRAMING PLAN  
 CRAFTSMAN ELEVATION  
 WALLS AND CEILING  
 1/4" = 1'-0"

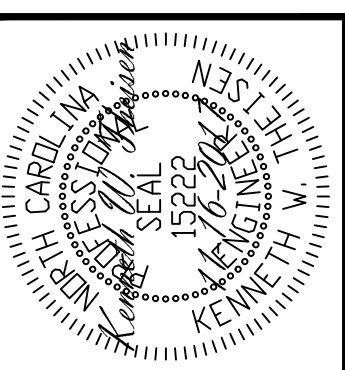
REFER TO SHEET NO. S3  
 FOR ALL STRUCTURAL  
 NOTES AND SCHEDULES



2ND FLOOR FRAMING PLAN  
 LOFT OPTION  
 ALL ELEVATIONS  
 WALLS AND CEILING  
 1/4" = 1'-0"

REFER TO SHEET NO. S3  
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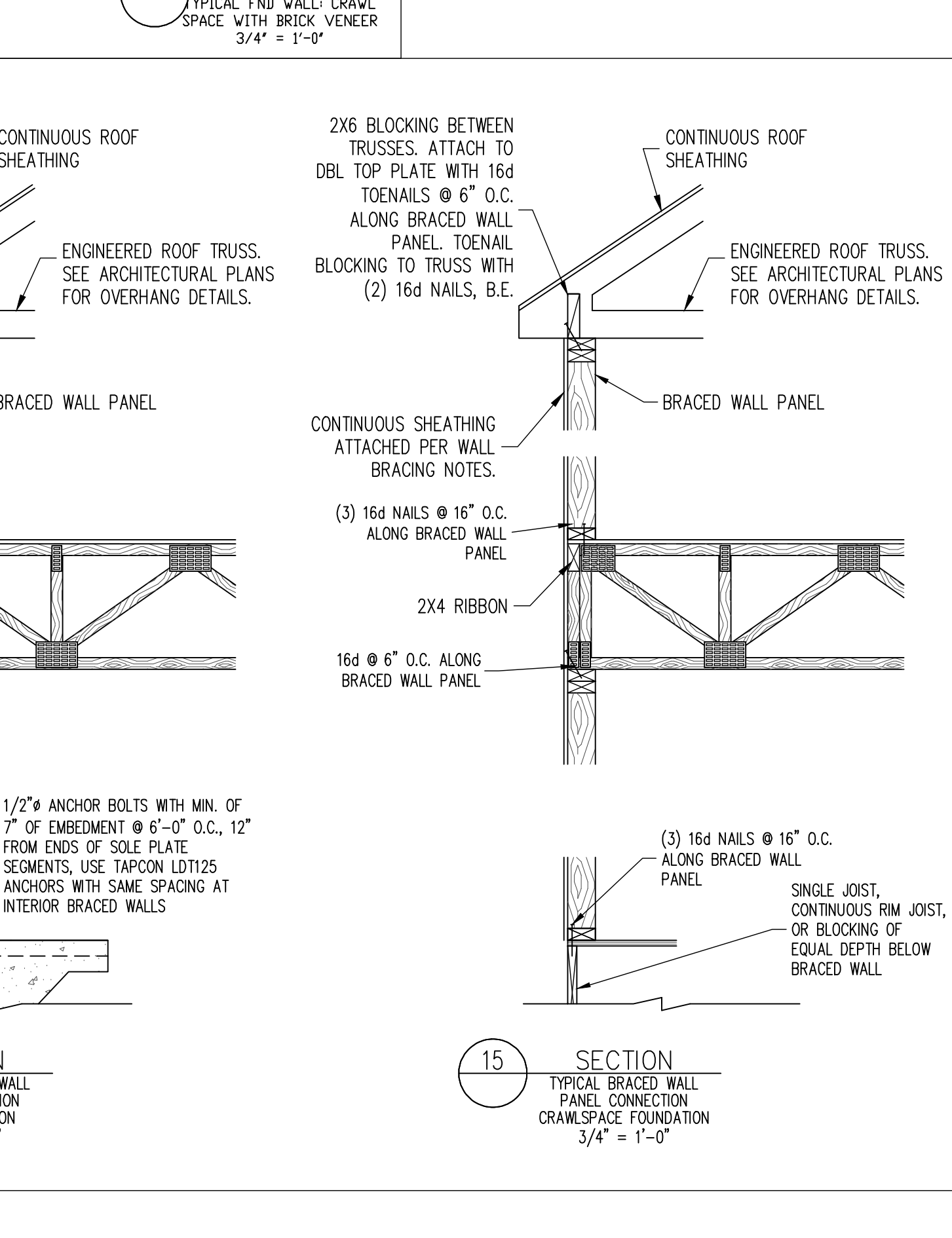
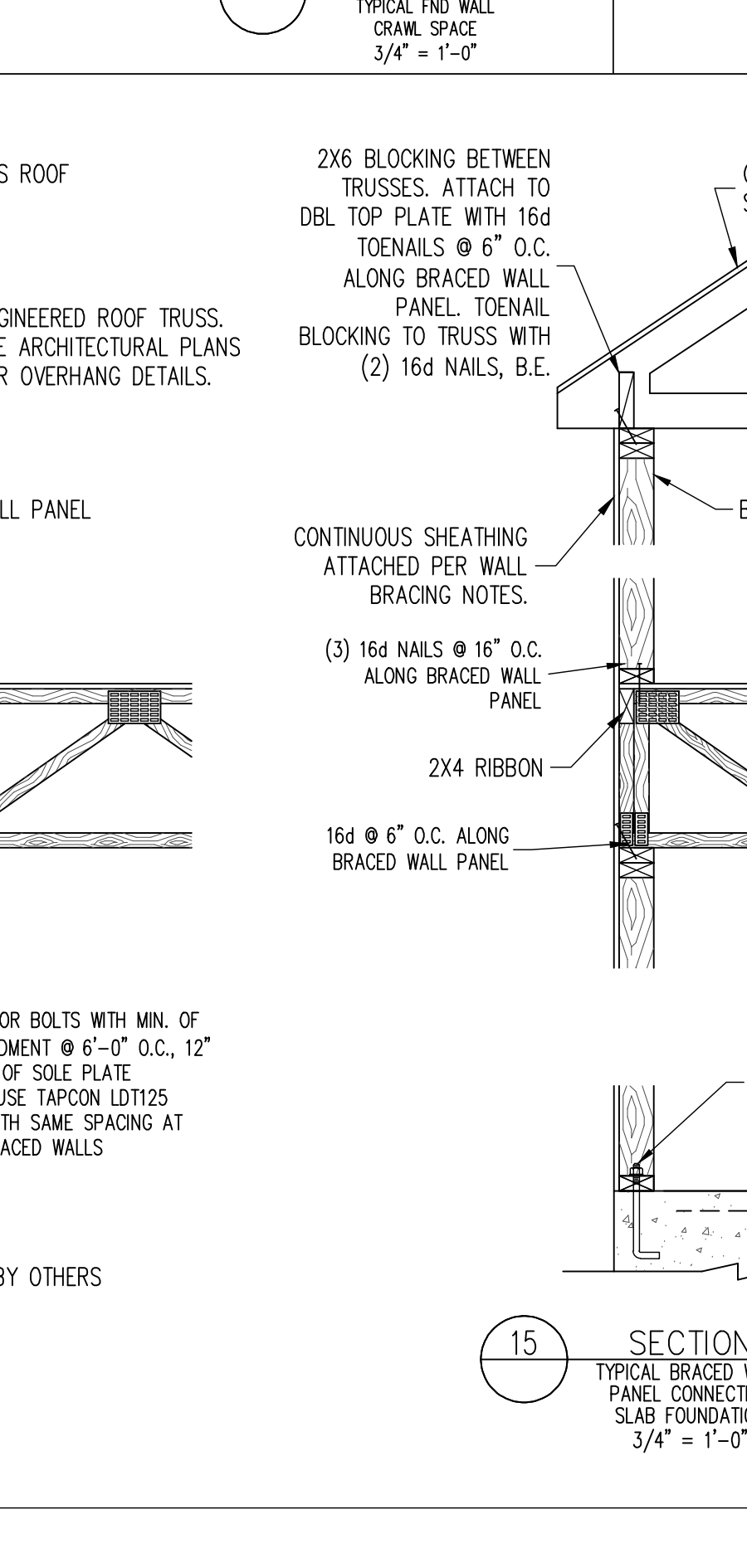
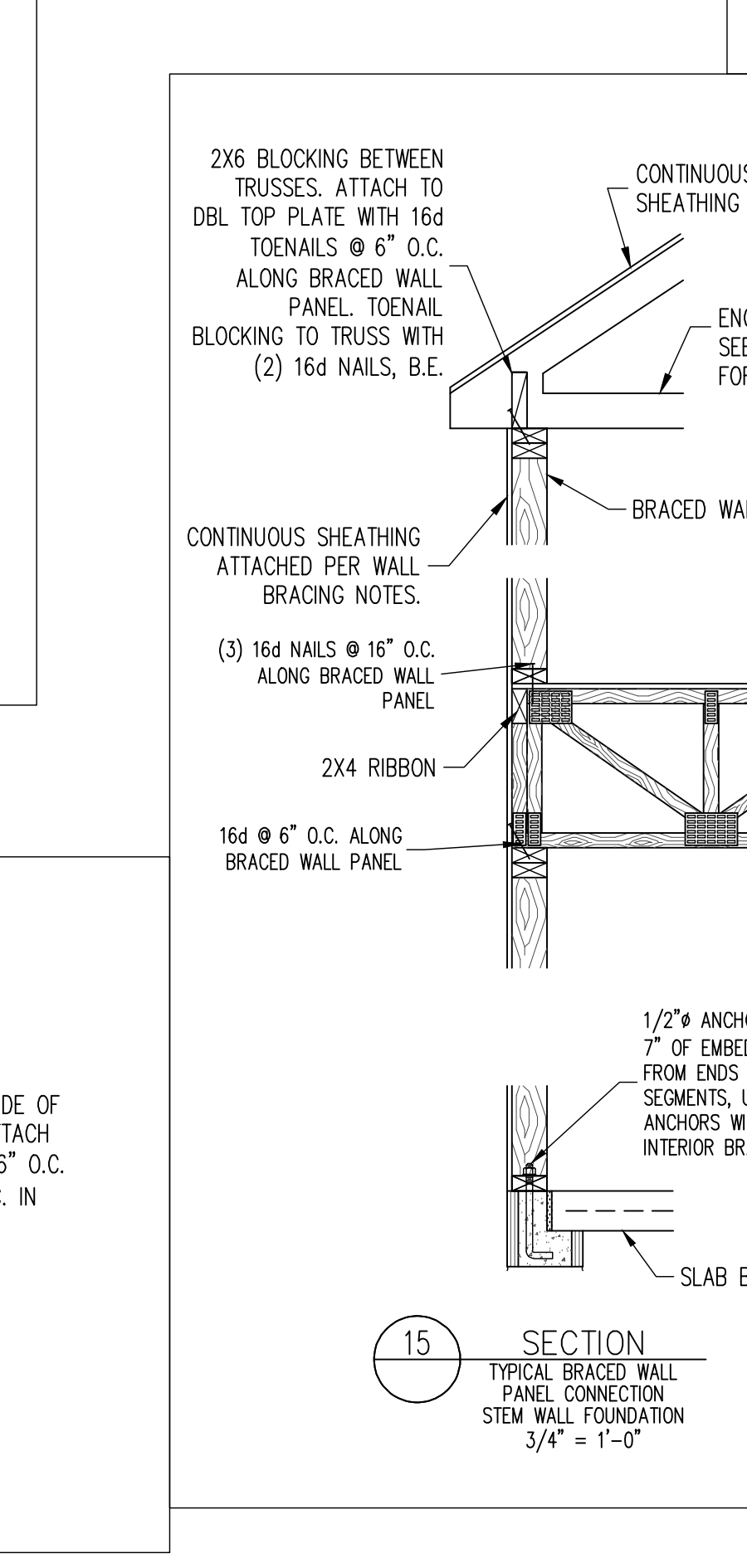
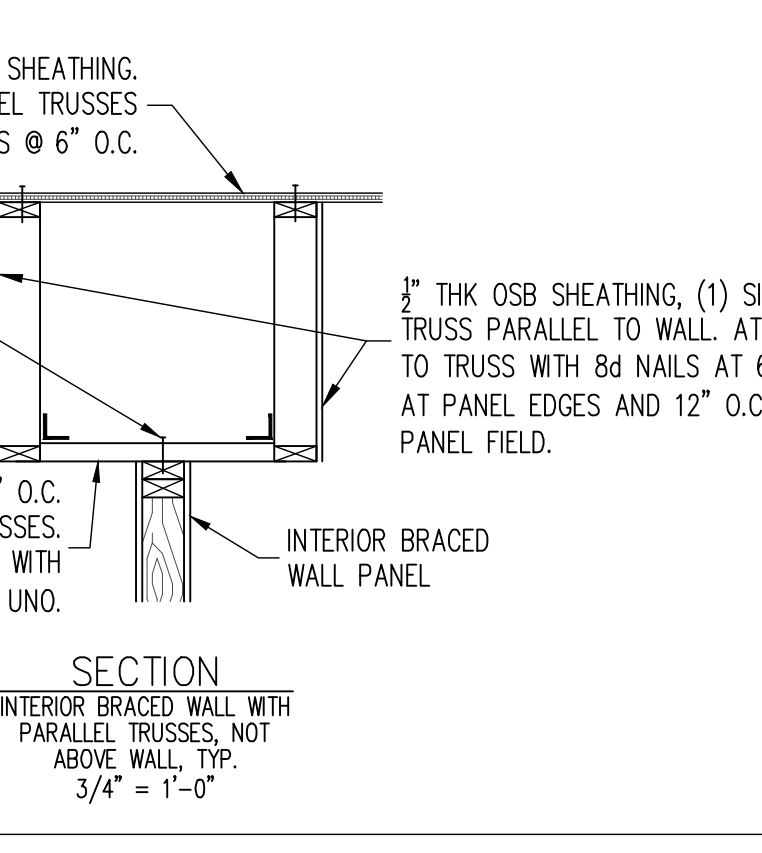
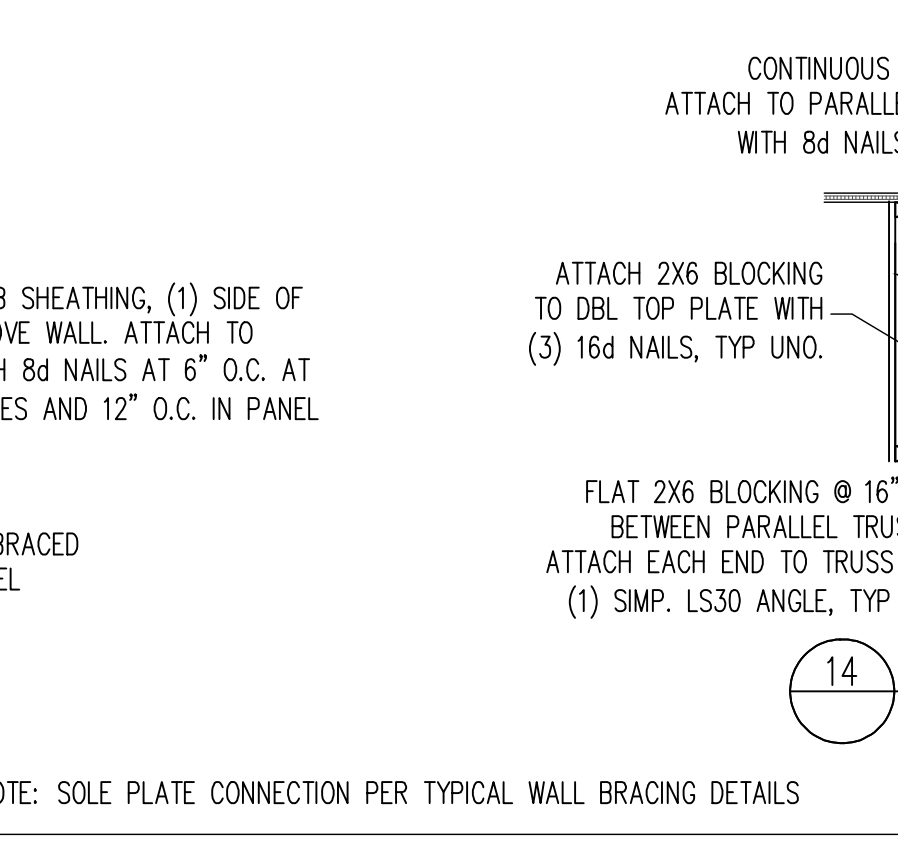
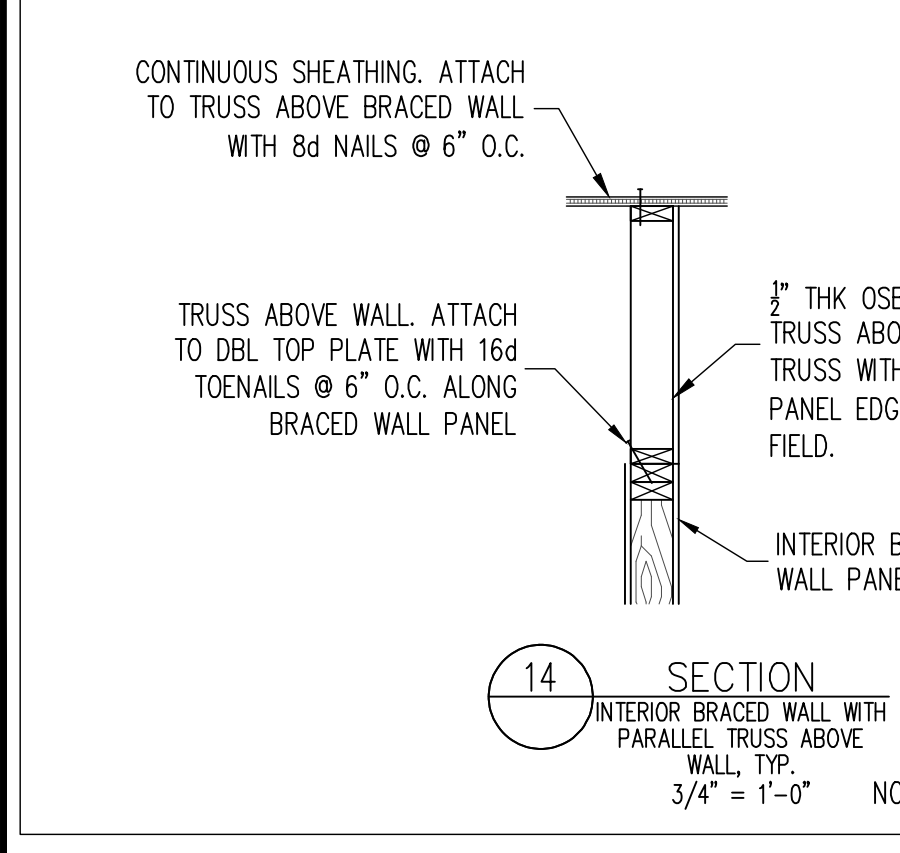
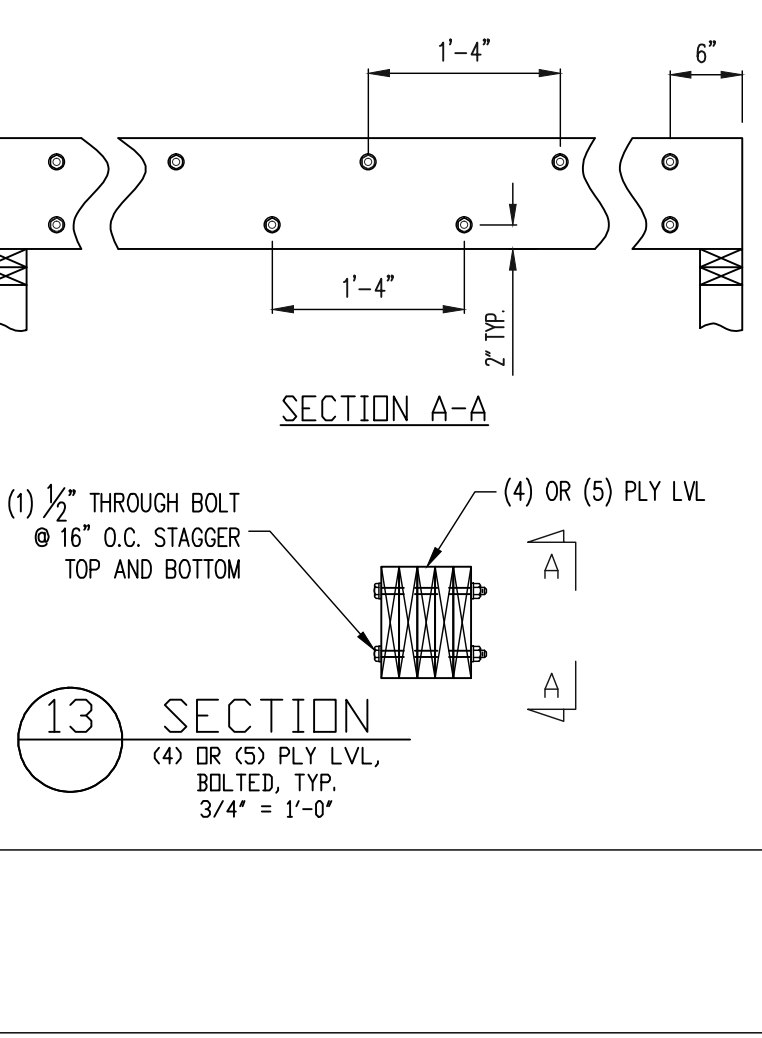
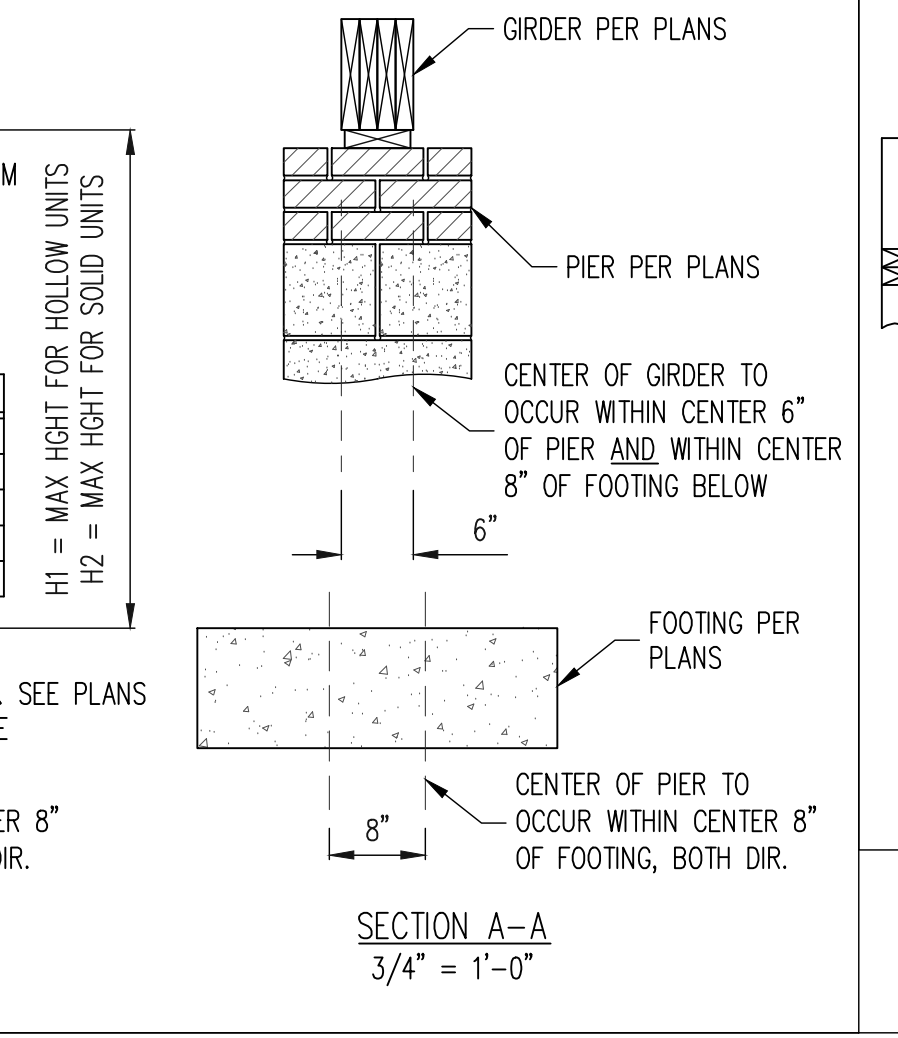
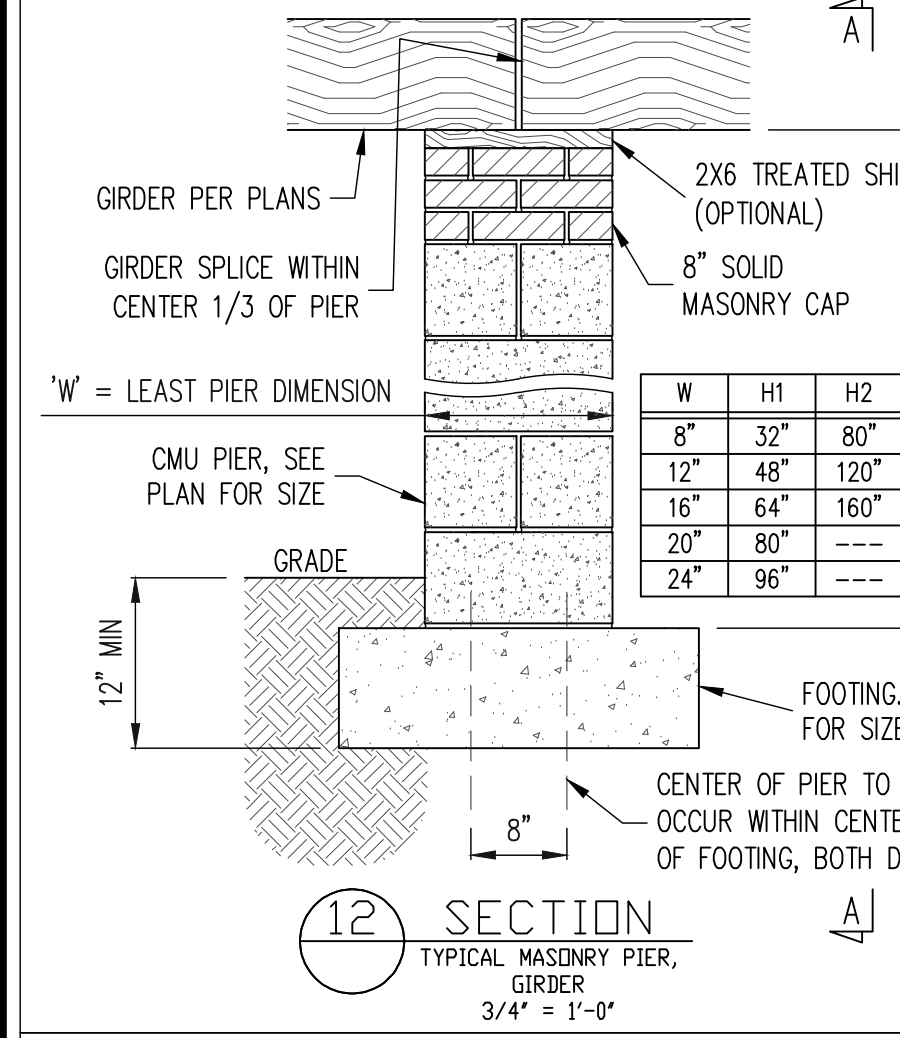
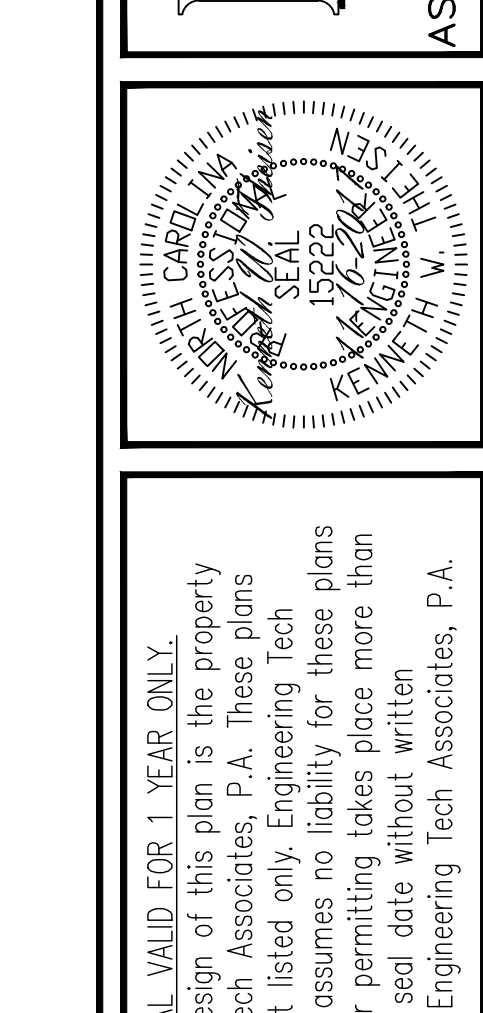
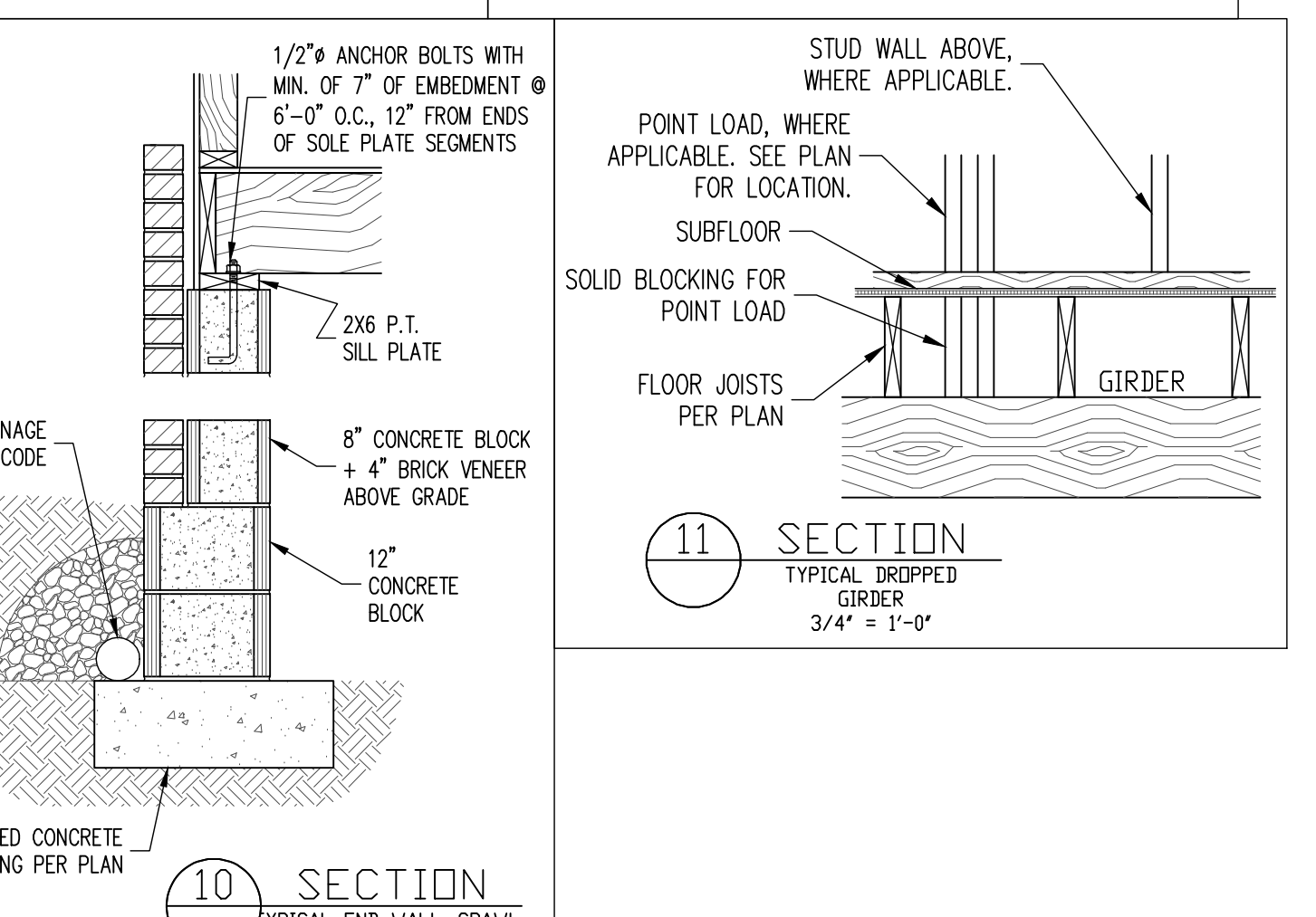
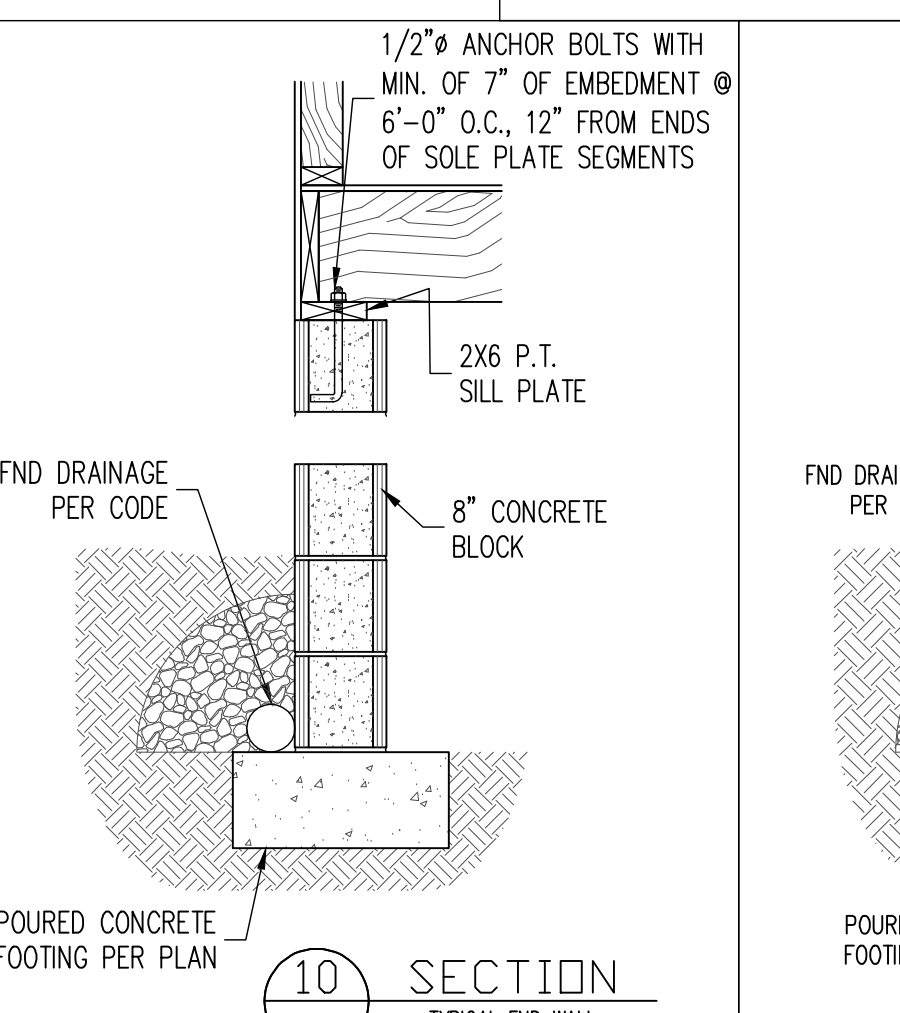
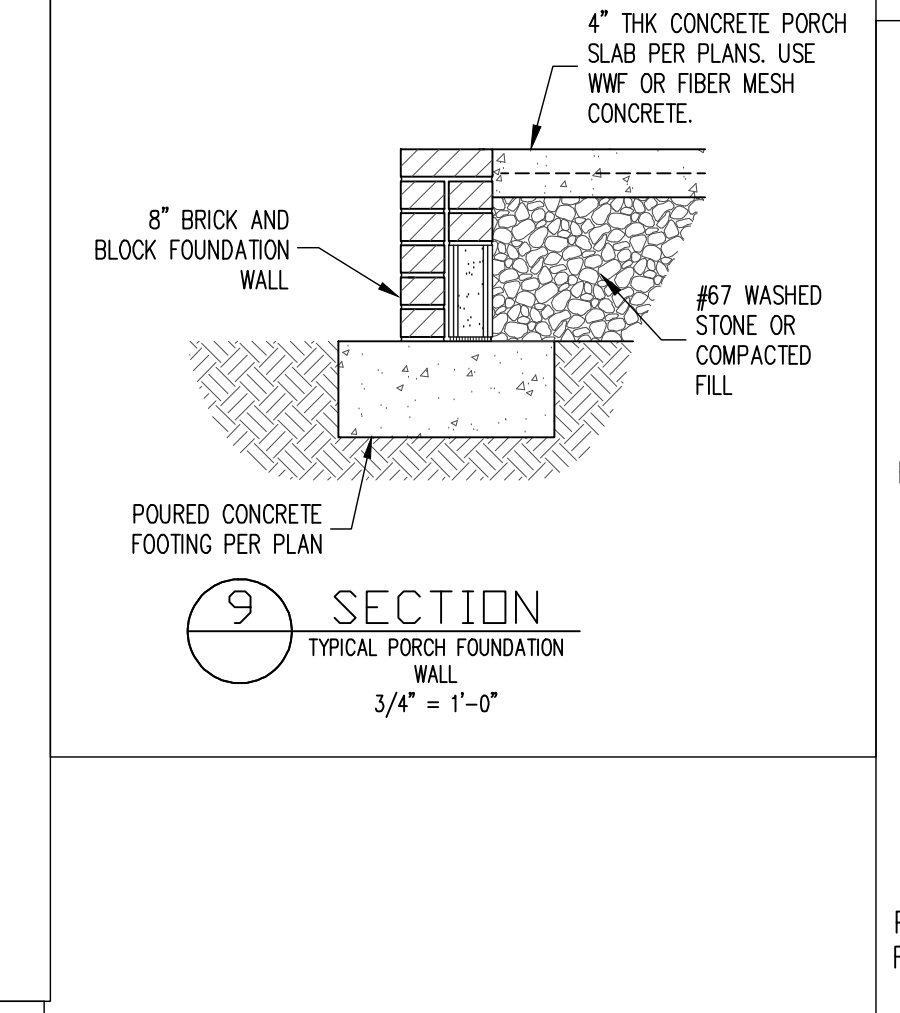
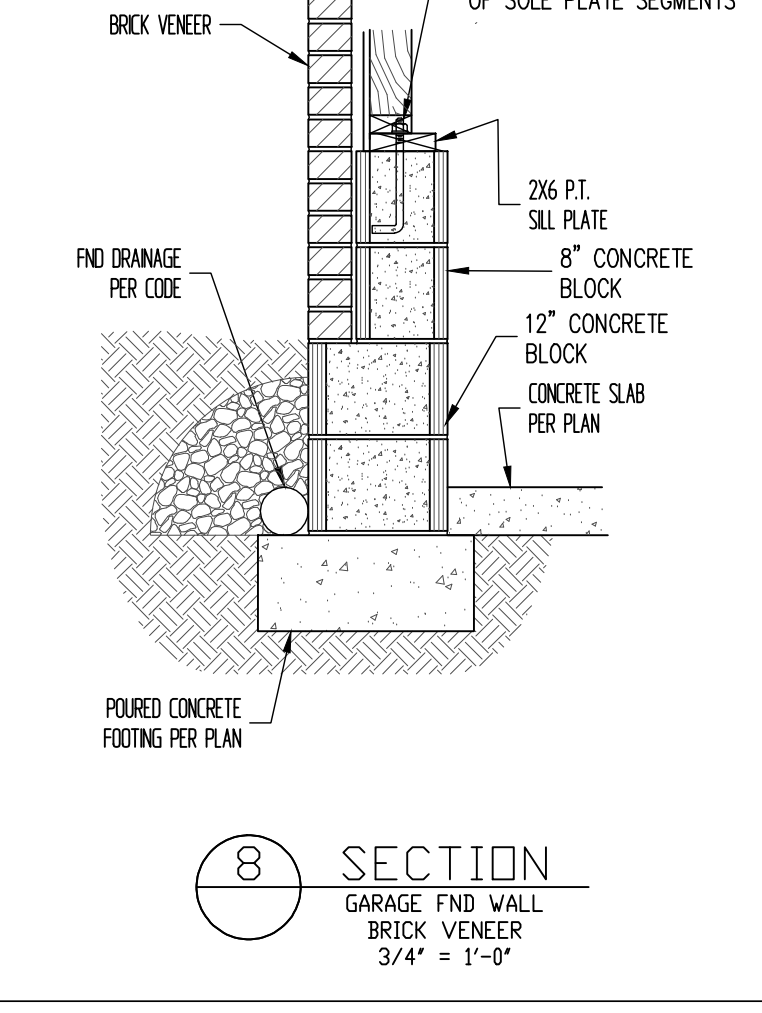
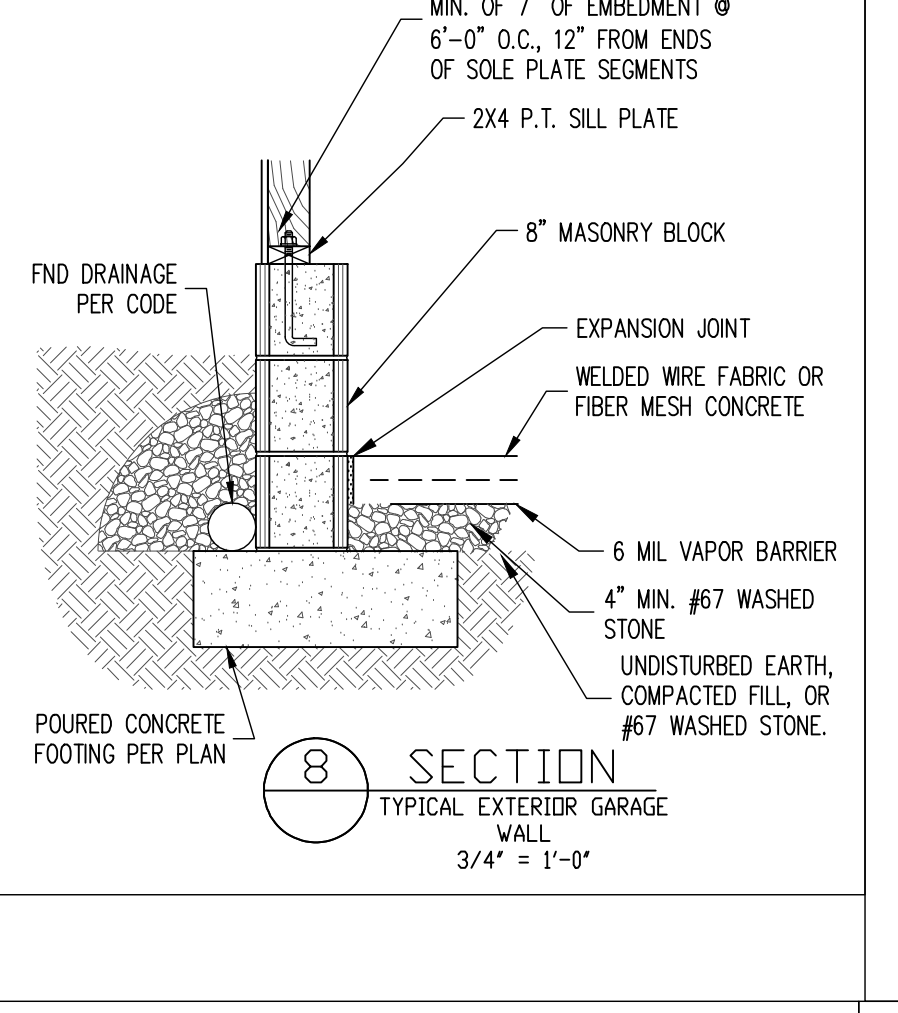
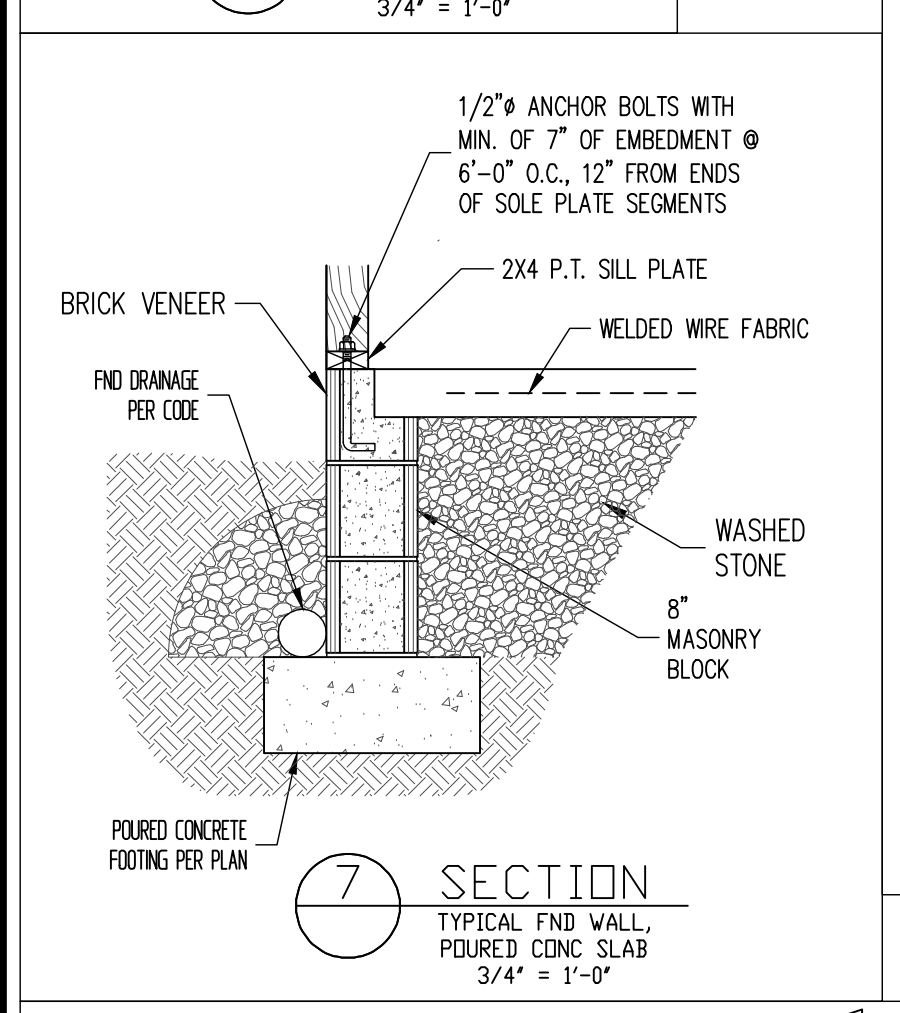
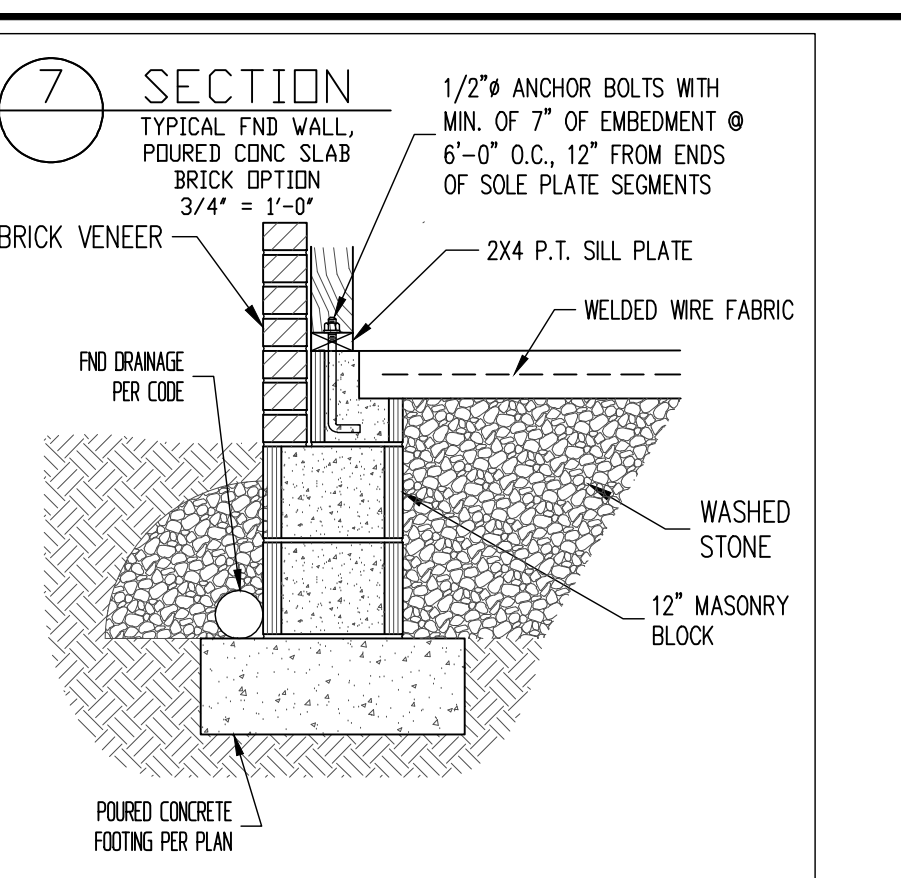
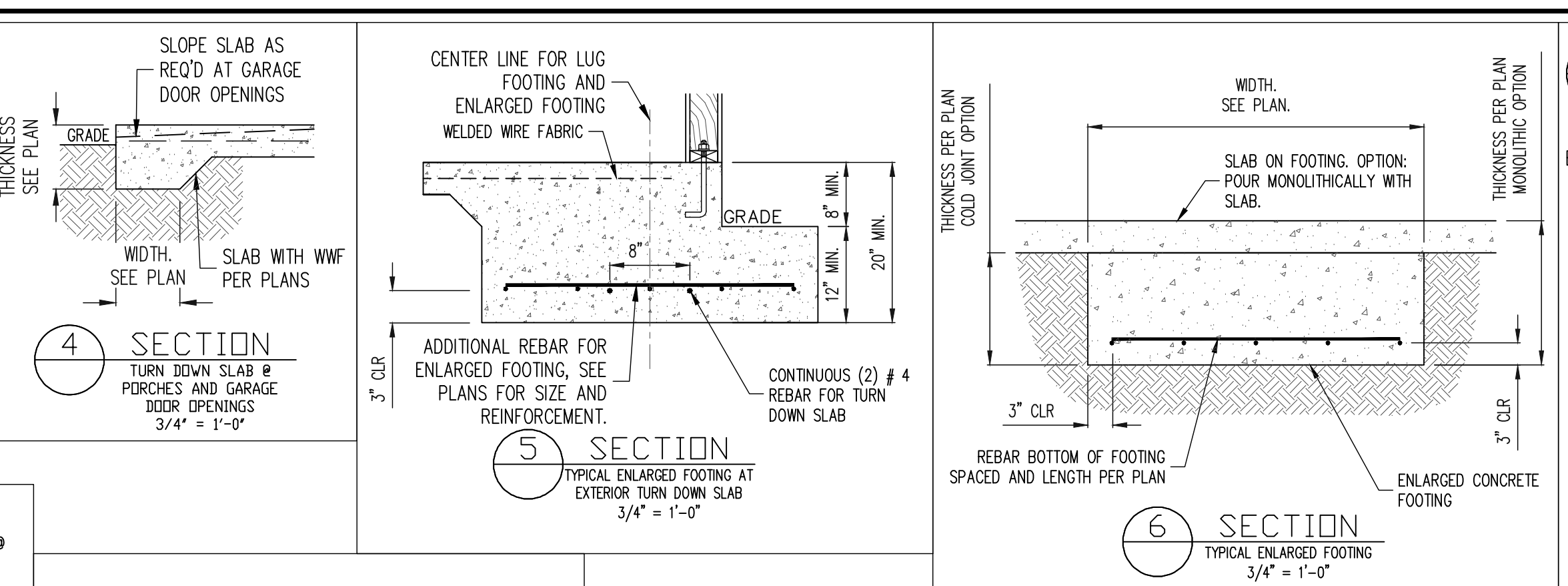
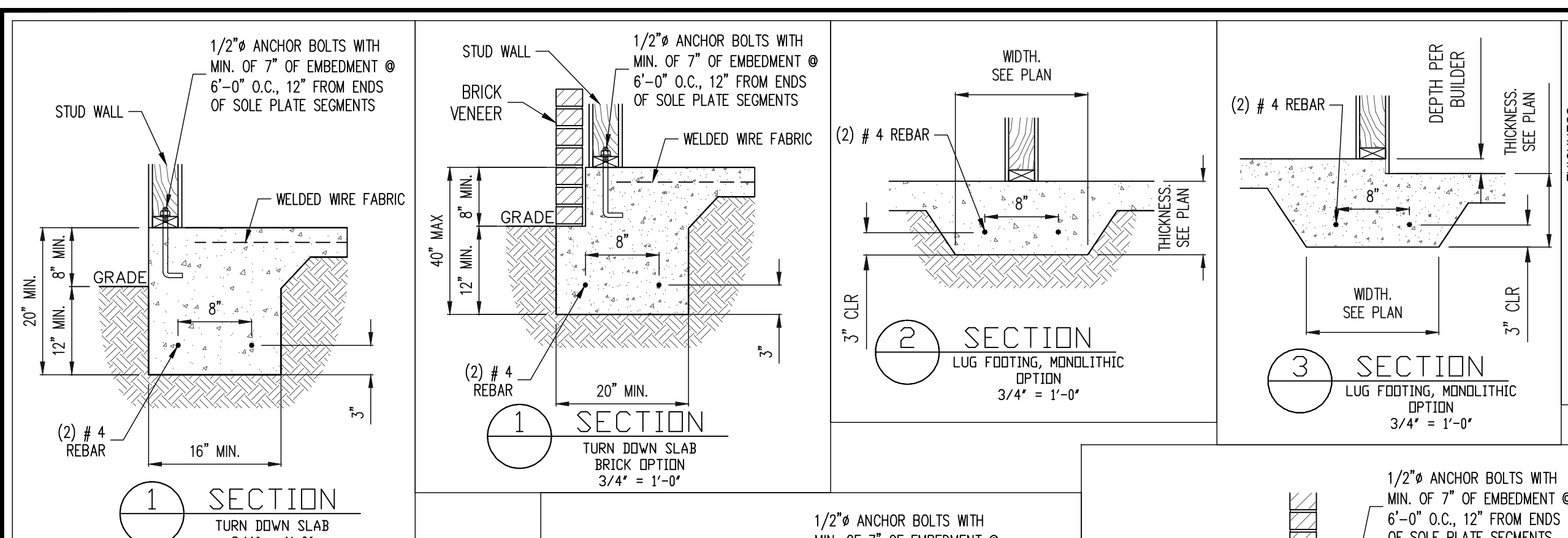
PLAN NO.  
 WINSTON RH

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 17-29-113R

SHEET NO.  
 S9

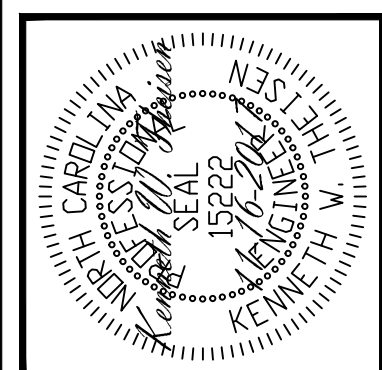
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REV:	
DATE:	11-16-2017

PLAN NO.  
WINSTON RH

PROJECT NO.  
17-29-113R

SHEET NO.  
SD1  
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CONSTRUCTION SPECIFICATIONS

PART 1: GENERAL

- 1.01 CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE, 2012 EDITION.
- 1.02 STRUCTURAL STEEL SHALL MEET THE REQUIREMENTS OF THE AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
- 1.03 REINFORCED CAST IN PLACE CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF ACI 318, LATEST EDITION.
- 1.04 MASONRY CONSTRUCTION SHALL CONFORM TO THE SPECIFICATIONS OF ACI 530-95, LATEST EDITION.
- 1.05 METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND INSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.

PART 2: DIMENSIONS

- 2.01 DIMENSIONS SHOWN SHALL GOVERN OVER SCALE ON THESE DRAWINGS.

PART 3: DESIGN LOADS

- 3.01 DESIGN LOADS SHALL CONFORM WITH THE TABLE BELOW:

USE	LIVE LOAD (PSF)	DEAD LOAD (PSF)
BALCONIES, DECKS, ATTICS WITH FIXED STAIR ACCESS, DWELLING UNITS (INCLUDING SLEEPING ROOMS), ATTICS WITH FIXED STAIR ACCESS, STAIRS, FIRE ESCAPES	40	10
GARAGES (PASSENGER CARS ONLY)	50	---
ATTICS (NO STORAGE, LESS THAN 5' HEADROOM)	10	10
ATTICS (WITH STORAGE)	20	10
ROOF	20	10 (15 FOR VAULTS)

- NOTES: - INDIVIDUAL STAIR TREADS ARE TO BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300 LB. CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQ. IN., WHICHEVER PRODUCES THE GREATER STRESS.
- GUARD RAILS AND HAND RAILS ARE TO BE DESIGNED FOR A SINGLE CONCENTRATED LOAD OF 200 LB. APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.
- BUILDER TO VERIFY DEAD LOAD DOES NOT EXCEED 10 PSF WHEN HEAVY FLOOR OR ROOF FINISHES SUCH AS TILE OR SLATE ARE UTILIZED.

- 3.02 INTERIOR WALLS: 5 PSF LATERAL.
- 3.03 BASIC WIND DESIGN VELOCITY OF 100 MPH.
- 3.04 LOAD DURATION FACTOR FOR ROOF STRUCTURAL MEMBERS IS 1.15.
- 3.05 SOIL BEARING CAPACITY 2000 PSF (PRESUMPTIVE).

PART 4: MATERIALS

- 4.01 STRUCTURAL STEEL SQUARE AND RECTANGULAR TUBING SHALL CONFORM TO ASTM A500 GRADE B MINIMUM GRADE. ALL OTHER STRUCTURAL STEEL SHALL CONFORM TO ASTM A500 MINIMUM GRADE. TYP. UNO.
- 4.02 REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615 GRADE 60 TYP. UNO.
- 4.03 SOLID SAWN WOOD FRAMING DESIGN IS BASED ON NO. 2 SPRUCE PINE FIR FOR JOISTS, RAFTERS, WOOD GIRDERS/BEAMS, STUDS, ETC. ALLOWANCE HAS BEEN MADE FOR SYP #2 SUBSTITUTION TYP. UNO.
- 4.04 LVL OR PSL MINIMUM ALLOWABLE DESIGN STRESSES ARE AS FOLLOWS:  
E = 1.9 X 10<sup>6</sup> PSI, F<sub>b</sub> = 2800 PSI, F<sub>v</sub> = 285 PSI, F<sub>c</sub> = 750 PSI
- 4.05 LVL MINIMUM ALLOWABLE DESIGN STRESSES ARE AS FOLLOWS:  
E = 1.3 X 10<sup>6</sup> PSI, F<sub>b</sub> = 1700 PSI, F<sub>v</sub> = 400 PSI, F<sub>c</sub> = 680 PSI
- 4.06 BOLTS SHALL CONFORM TO ASTM A307 MINIMUM GRADE TYP. UNO.
- 4.07 WELDING ELECTRODES SHALL BE E70XX
- 4.08 LUMBER IN CONTACT WITH THE GROUND, CONCRETE OR MASONRY SHALL BE PRESSURE TREATED IN ACCORDANCE WITH ANPA STANDARD C-15. ALL OTHER EXPOSED LUMBER SHALL BE TREATED IN ACCORDANCE WITH ANPA STANDARD C-2 OR BY ANY METHOD GIVING EQUAL PROTECTION. THE BUILDING CODE OFFICE MAY ALSO APPROVE A NATURAL DECAY RESISTANT WOOD PER SECTION 19-6(A).

- 4.09 CAST IN PLACE CONCRETE SHALL BE OF NORMAL WEIGHT AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS TYP. UNO.
- 4.10 CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C 90 OR ASTM C 55.
- 4.11 MORTAR SHALL BE TYPE S CONFORMING TO ASTM C 476.
- 4.12 NAILS SHALL BE COMMON WIRE NAILS TYP. UNO.
- 4.13 LAG SCREWS SHALL CONFORM TO ANSI/ASME STANDARD B18.2.1-1981.

PART 5: CONSTRUCTION

- 5.01 FLITCH PLATE BEAMS SHALL CONSIST OF A CONTINUOUS STEEL PLATE BOLTED BETWEEN TWO PIECES OF CONTINUOUS LUMBER AS SIZED ON THE PLANS. BOLT PIECES TOGETHER USING 1/2" BOLTS SPACED AT 24" O.C. STAGGERED TOP TO BOTTOM OF THE BEAM. MAINTAIN A 2" EDGE DISTANCE. PLACE TWO BOLTS, ONE ABOVE THE OTHER, 6" FROM EACH END OF THE BEAM.
- 5.02 STEEL, LVL, AND FLITCH PLATE BEAMS BEARING ON A STUD WALL PERPENDICULAR TO THE BEAM SHALL BEAR FULL WIDTH ON THE SUPPORTING WALL INDICATED AND SHALL BE SUPPORTED BY A MINIMUM OF THREE GANGED STUDS, OR A GANGED STUD COLUMN WITH A NUMBER OF STUDS SUCH THAT THE STUD COLUMN IS AT LEAST AS WIDE AS THE BEAM BEING SUPPORTED, WHICHEVER IS GREATER, TYP. UNO.
- 5.03 STEEL, LVL, AND FLITCH PLATE BEAMS BEARING ONTO THE END OF A STUD WALL PARALLEL TO THE BEAM SHALL BEAR A MINIMUM OF 4 1/2" ONTO THE WALL AND BE SUPPORTED BY A TRIP STUD GANGED COLUMN TYP. UNO.
- 5.04 SOLID SAWN LUMBER GANGED BEAMS BEARING ON A STUD WALL PERPENDICULAR TO THE BEAM SHALL BEAR FULL WIDTH ON THE SUPPORTING WALL INDICATED (LESS 1 1/2" TO ALLOW FOR A CONTINUOUS RM JOIST) AND SHALL BE SUPPORTED BY A GANGED STUD COLUMN THE SAME WIDTH AS THE BEAM TYP. UNO.
- 5.05 SOLID SAWN LUMBER GANGED BEAMS BEARING ONTO THE END OF A STUD WALL PARALLEL TO THE BEAM SHALL BEAR A MINIMUM OF 5" ONTO THE WALL AND BE SUPPORTED BY A DBL STUD GANGED COLUMN TYP. UNO.
- 5.06 EXTRA JOISTS OR SINGLE LVL MEMBERS OF 1.75" OR LESS WIDTH BEARING ON A STUD WALL PERPENDICULAR TO THE BEAM SHALL BEAR ON THE WALL A MINIMUM OF 2" AND SHALL BE SUPPORTED BY ONE ADDITIONAL STUD.
- 5.07 SOLID SAWN LUMBER JOISTS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM NAILED TOGETHER WITH THREE ROWS OF 10d NAILS @ 16" O.C.
- 5.08 LVL MEMBERS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM FASTENED TOGETHER PER MANUFACTURER'S RECOMMENDATIONS, TYP. UNO.
- 5.09 STUDS THAT ARE GANGED TO FORM A COLUMN SHALL HAVE ADJACENT STUDS WITHIN THE COLUMN NAILED TOGETHER WITH ONE ROW OF 10d NAILS AT 8" O.C. (TWO ROWS OF 10d NAILS @ 8" O.C., 3" APART, FOR 200 OR 240 STUDS) ALL COLUMNS SHALL BE CONTINUOUS DOWN TO THE FOUNDATION OR OTHER PROPERLY DESIGNED STRUCTURAL ELEMENT SUCH AS A BEAM. COLUMNS TRANSFERRING LOADS THROUGH FLOOR LEVELS SHALL BE SOLIDLY BLOCKED FOR THE FULL WIDTH OF THE STUD COLUMN WITHIN THE CAVITY FORMED BY THE FLOOR JOISTS.
- 5.10 STUD WALLS SHALL CONSIST OF 2X4 STUDS SPACED AT 16" O.C. UNO. STUDS SHALL BE CONTINUOUS FROM SOLE PLATE AT FLOOR TO DOUBLE TOP PLATE AT THE CEILING OR ROOF. NO INTERMEDIATE BANDS OR PLATES SHALL CAUSE DISCONTINUITIES IN A STUD WALL EXCEPT AS REQUIRED FOR DOOR OR WINDOW OPENINGS. THE KING STUDS FOR SUCH OPENINGS SHALL BE CONTINUOUS.
- 5.11 PILOT HOLES SHALL BE USED FOR LAG SCREW INSTALLATION AND SHALL BE BORED ACCORDING TO NDS SPECIFICATIONS.
- 5.12 ALL WELDING SHALL BE PERFORMED BY AN AWS CERTIFIED WELDER
- 5.13 ALL CONCRETE, INCLUDING CONCRETE FOR FOOTINGS, IS TO BE CAST IN PLACE, TYP. UNO.
- 5.14 BOLTS AND LAG SCREWS USED FOR BOLTING WOOD MEMBERS SHALL HAVE STANDARD WASHERS INSTALLED FOR THE NUTS AND BOLT / SCREW HEADS

PART 6: SUBSTITUTIONS

- 6.01 IN LIEU OF WELDED WIRE FABRIC IN SLABS, SYNTHETIC POLYPROPYLENE FIBRILLATED MICRO FIBERS, FIBER LENGTH 1 1/2", DOSAGE RATE 1 1/2 LBS/CU YD.
- 6.02 OTHER MATERIAL OR MEMBER SIZE SUBSTITUTIONS REQUIRE THE WRITTEN AUTHORIZATION OF THE DESIGNERS. UNAUTHORIZED DEVIATIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

NOTES

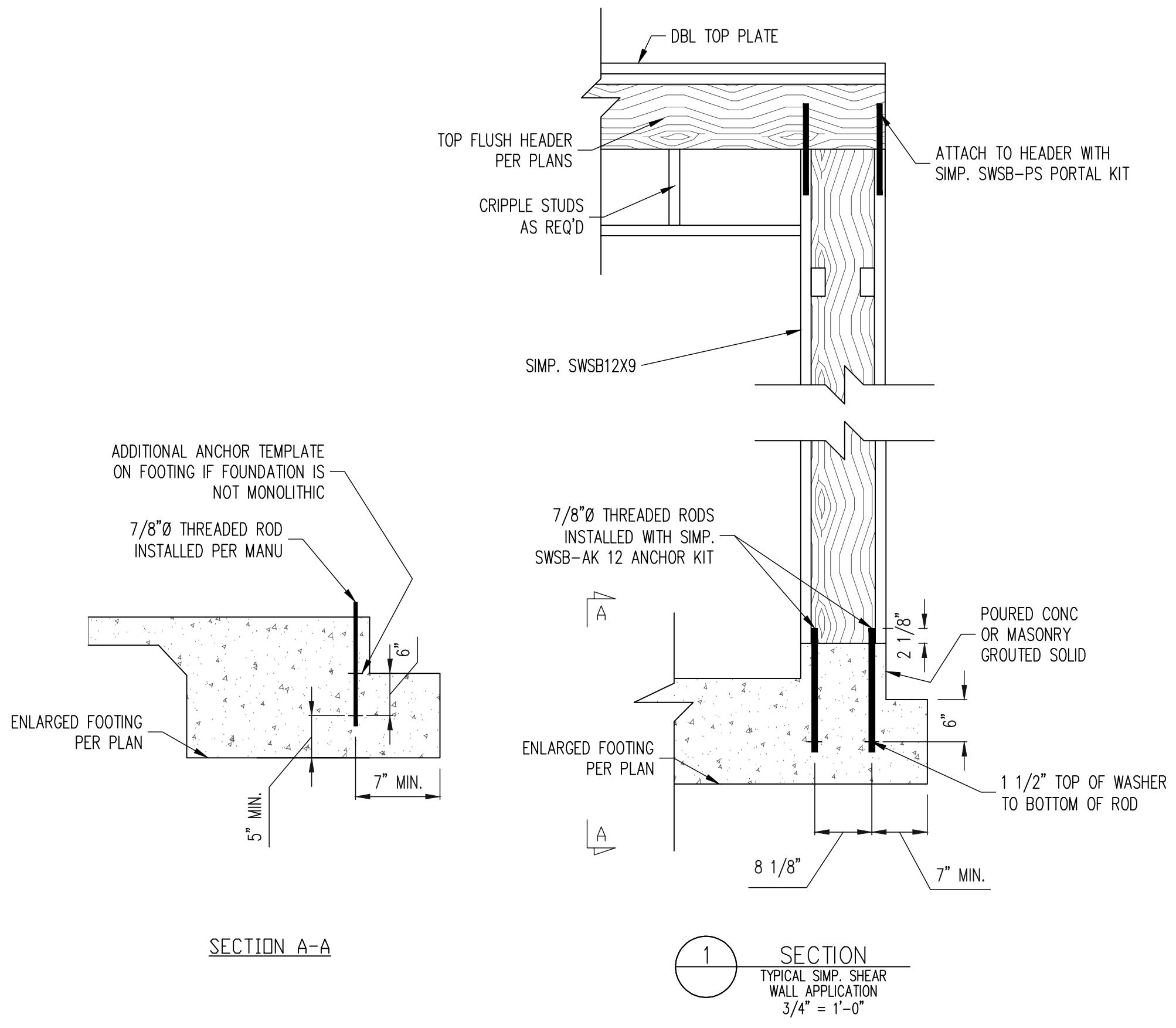
ALL WORK IS TO BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES. THE BUILDER IS RESPONSIBLE FOR REVIEWING PLANS PRIOR TO CONSTRUCTION. IF ENGINEERING SERVICES HAS BEEN PROVIDED THE BUILDER SHALL VERIFY THAT THE FOUNDATION AND STRUCTURAL PLANS HAVE BEEN SEALED BY AN ENGINEER REGISTERED BY THE STATE. IF THE PLANS HAVE NOT BEEN SEALED AND SEALED, THE BUILDER SHALL IMMEDIATELY CONTACT ENGINEERING TECH BEFORE PROCEEDING FURTHER. ANY ERRORS DUE TO A FAILURE TO FOLLOW THE ABOVE PROCEDURES SHALL NOT BE THE RESPONSIBILITY OF ENGINEERING TECH. ALL FINAL SETS OF THE SAME PLAN ISSUED TO A BUILDER SHOULD BE REVIEWED FOR UNIFORMITY, ESPECIALLY IF PRIOR SETS OF PLANS HAVE BEEN ISSUED AS STUDY COPIES.

ENGINEERING TECH DOES NOT PERFORM PENETRATION, ROOF VENT, OR ATTIC CALCULATIONS OR ANY OTHER AREA CALCULATIONS THAT ARE NOT RELATED TO STRUCTURAL ENGINEERING.

TRUSSES TO BE DESIGNED BY AN ENGINEER REGISTERED IN NORTH CAROLINA. FINAL TRUSS DRAWING SHOULD BE SUBMITTED TO ENGINEERING TECH ASSOCIATES, PA FOR REVIEW

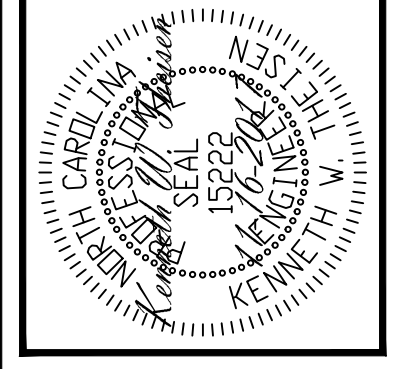
ABBREVIATIONS

ABV ABOVE	FND FOUNDATION	TJ TRIPLE JOIST
B BOTH	FTG FOOTING	TYP TYPICAL
B.E. BOTH ENDS	HDG HOT DIPPED	TRPL TRIPLE
B/TM BETWEEN	GLV GALVANIZED	TSP TRIPLE STUD POCKET
CONC CONCRETE	HOR HANGER	UNO UNLESS NOTED
CS CONTINUOUS SHEATHING	LVL LAMINATED VENEER	OTHERWISE
DIA DIAMETER	LUM LUMBER	XJ EXTRA JOIST
DBL DOUBLE	NTS NOT TO SCALE	
DJ DOUBLE JOIST	O.C. ON CENTER	
DSP DBL STUD POCKET	PSL PARALLEL STRAND	
EQ EQUAL	LUM LUMBER	
EA EACH	PT PRESSURE TREATED	
FLG FLANGE	QJ QUAD JOIST	
FL PL FLITCH PLATE	SP STUD POCKET	
FLR FLOOR	SQ SQUARE	



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CLIENT:	MCKEE HOMES, INC.
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	ENG: KWT/DTN
REV:	REV:
DATE:	11-16-2017

PLAN NO.  
WINSTON RH

PROJECT NO.  
17-29-113R

SHEET NO.  
SD2

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