

ABBREVIATIONS

Table with 2 columns of abbreviations and their corresponding full names, including terms like ABOVE, AIR CONDITIONING, AREA DRAIN, etc.

INDEX

Table listing drawing titles and their sheet numbers, such as T-1 TITLE SHEET / COVER SHEET, A-1.1 1ST FLOOR PLAN, etc.

BUILDING CODE COMPLIANCE / PROJECT INFORMATION

Text detailing building code compliance, project information, and construction type (Type VB).

Text stating that all consultant drawings accompanying these GMD Design Group Carolinas, Inc. drawings have not been prepared by or under the direction of GMD Design Group Carolinas, Inc.

THE BILTMORE

Lot 200 - Oakmont Valley View



GMD DESIGN GROUP CAROLINAS, INC. 102 FOUNTAIN BROOK CIRCLE SUITE C CARY, NC 27511

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Table with columns for NO., DATE, and REVISION, showing a single revision entry.

PROJECT TITLE: Biltmore

CONSTRUCTION SET

CLIENTS NAME:



PROJECT NO: B02SRAL

SHEET TITLE: TITLE SHEET

PRINT DATE: July 14, 2017

SHEET NO: T-1

GENERAL NOTES DESIGNER NORTH CAROLINA:

Text detailing general notes for the designer in North Carolina, including property ownership, construction standards, and code requirements.

BUILDER SET:

Text detailing requirements for the builder set, including window supplier verification and stair handrail specifications.

VICINITY MAP:

Text detailing the vicinity map, describing the scope of the construction documents and general notes.

CONSULTANTS:

Table listing consultant information for LOCAL JURISDICTION, MECHANICAL ENGINEERS, CIVIL ENGINEER, and STRUCTURAL ENGINEER.

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
 - WINDOW HEAD HEIGHTS:
 1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS.
 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
 ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

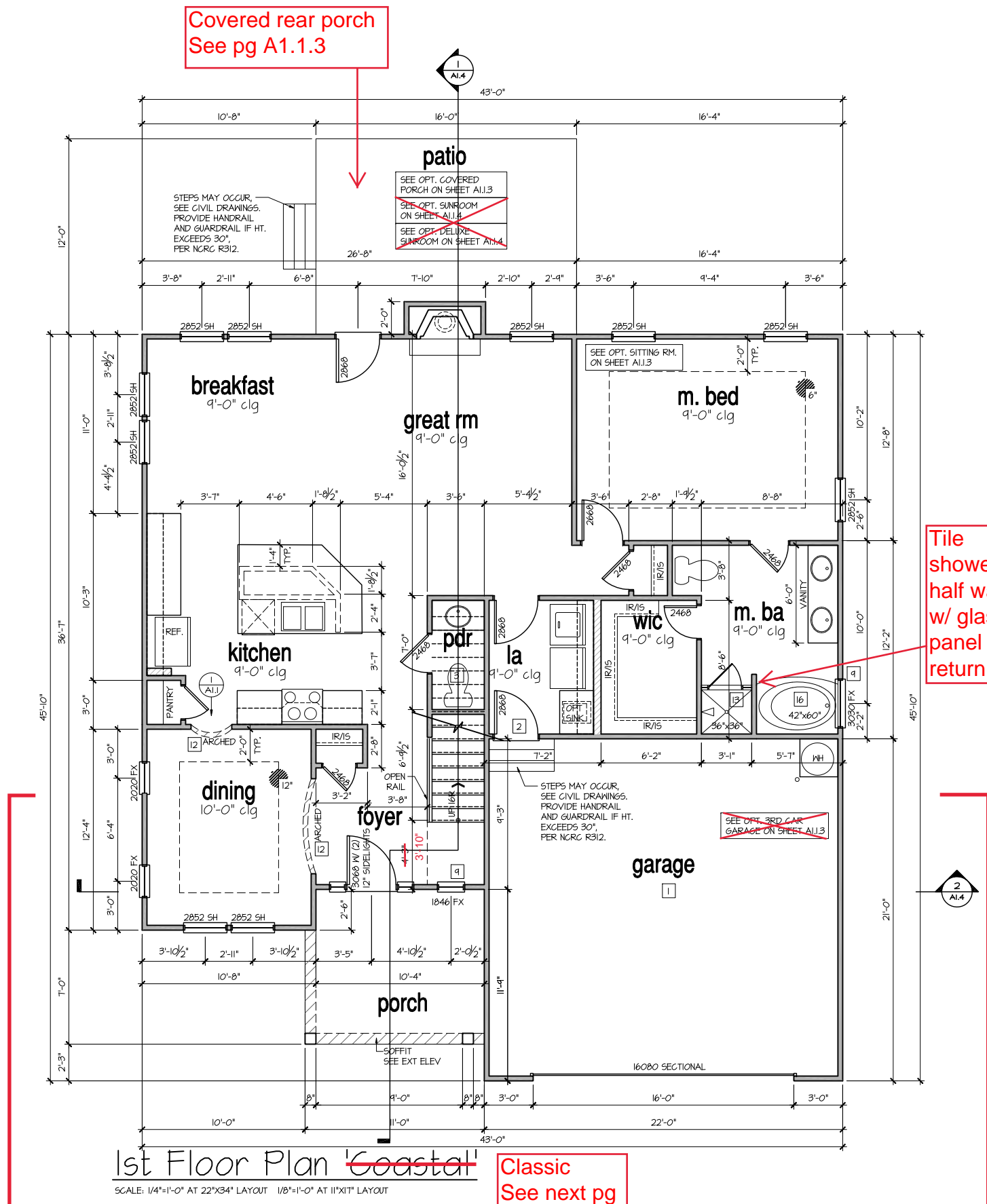
WALL LEGEND:

	FULL HEIGHT 2X4 WOOD STUD PARTITION		FULL HEIGHT 2X6 WOOD STUD PARTITION
	BRICK / STONE VENEER		STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED		DRYWALL OPENING, HEIGHT AS NOTED ON PLAN.

KEY NOTES FOR NORTH CAROLINA:

- FIRE PROTECTION:**
- HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. (PER NCRG TABLE R302.6.) GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD. (PER NCRG TABLE R302.6.)
 - HOUSE TO GARAGE DOOR SEPARATION, PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR. (PER NCRG SECTION R302.5.1.)
 - BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER NCRG SECTION R302.7.1.) IN CONCEALED SPACES BETWEEN STAIR STRINGERS PROVIDE FIREBLOCKING PER R302.1. MEPS
 - 6AS WATER HEATER ON 18" HIGH PLATFORM. (PER CHAPTER 5 NCRG-PLUMBING)
 - FAU 8'X12" PLATFORM. VERIFY WITH TRUSS MANUFACTURER.
 - AVC CONDENSER PAD. (VERIFY)
 - PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"X20". FIRE RATED ACCESS AS NOTED. (PER NCRG SECTION R807.) ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES. (25 1/2" X 54" SIZE)
- TYPICALS:**
- TEMPERED SAFETY GLASS. (PER NCRG SECTION 308.4)
 - PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER. HEIGHT AS NOTED.
 - HALF WALL, HEIGHT AS NOTED.
 - INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O.
- BATHS:**
- SHOWER. TEMPERED GLASS ENCLOSURE.
 - TUB-SHOWER COMBO. TEMPERED GLASS ENCLOSURE.
 - CERAMIC TILE SHOWER AND FLOOR. TEMPERED GLASS ENCLOSURE.
 - 42"x60" ACRYLIC TUB W/ CERAMIC PLATFORM
- KITCHEN:**
- 30" SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 30" GAS COOKTOP AND HOOD. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ELECTRIC OVEN WITH MICROWAVE OVEN.

9'-1" STAIR NOTE:
 (USE 14" T.J. WITH 3/4" PLYWOOD SUBFLOOR)
 16 TREADS AT 10" EACH VERIFY
 17 RISERS AT +/- 1.28" = 123 3/4" TOTAL RISE VERIFY



1st Floor Plan 'Coastal'
 SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x17" LAYOUT
Classic
 See next pg



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NO.	DATE	REVISION:
2	xx-xx-xx	

PROJECT TITLE:
Biltmore

CONSTRUCTION SET



PROJECT NO: 1302SRAL
SHEET TITLE:

1st FLOOR PLAN

PRINT DATE:
 July 14, 2017

SHEET NO:
A1.1.1

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NO:	DATE:	REVISION:
△	xx-xx-xx	

PROJECT TITLE:

Biltmore

CONSTRUCTION SET

CLIENTS NAME:



PROJECT NO: 1802SRAL

SHEET TITLE:

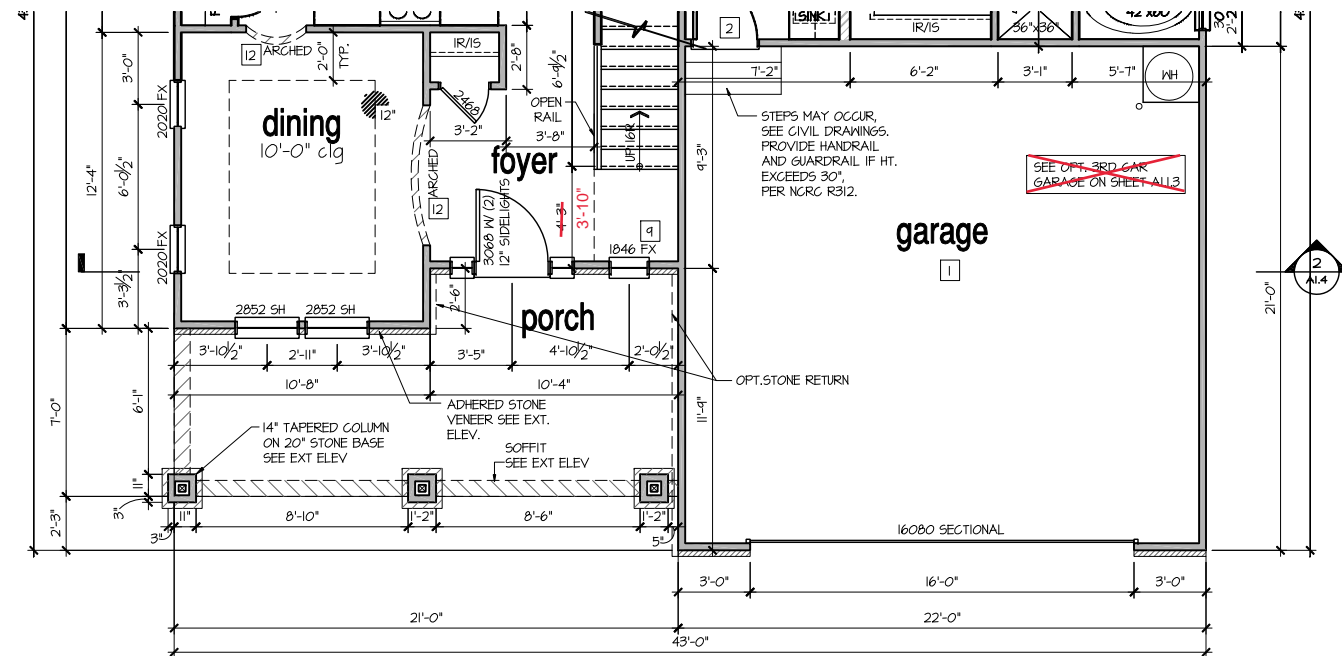
1st FLOOR PLAN

PRINT DATE:

July 14, 2017

SHEET NO:

A1.1.2



1st Floor Plan 'Classic'

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

9'-1" STAIR NOTE:







(USE 14" T.J. WITH 3/4" PLYWOOD SUBFLOOR)
16 TREADS AT 10" EACH VERIFY
17 RISERS AT +/- 1.28" = 123 3/4" TOTAL
RISE VERIFY

THE BILTMORE SQUARE FOOTAGE

AREA	CLASSIC
1st FLOOR	1301 SF
2nd FLOOR	1000 SF
TOTAL LIVING	2301 SF
GARAGE	459 SF
FRONT PORCH	173 SF
COVERED PORCH	182 SF

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
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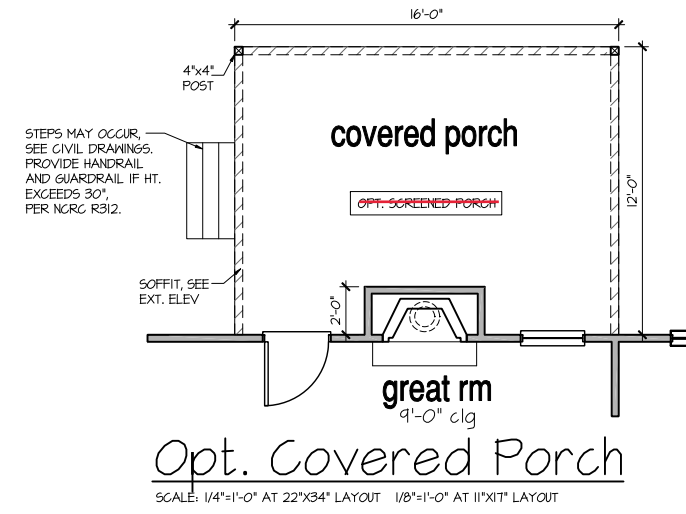
WALL LEGEND:

 FULL HEIGHT 2x4 WOOD STUD PARTITION	 FULL HEIGHT 2x6 WOOD STUD PARTITION
 BRICK / STONE VENEER	 STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
 LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED	 DRYWALL OPENING. HEIGHT AS NOTED ON PLAN.

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- MEP'S**
- GAS WATER HEATER ON 18" HIGH PLATFORM. (PER CHAPTER 5 NCRG-PLUMBING)
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 - A/C CONDENSER PAD. (VERIFY)
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NO.	DATE:	REVISION:
1	xx-xx-xx	

PROFESSIONAL SEAL:

PROJECT TITLE:
Biltmore

CONSTRUCTION SET



PROJECT NO: B02SRAL

SHEET TITLE:







1st FLOOR PLAN OPTIONS

PRINT DATE:
 December 19, 2016

SHEET NO:
A1.1.3

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
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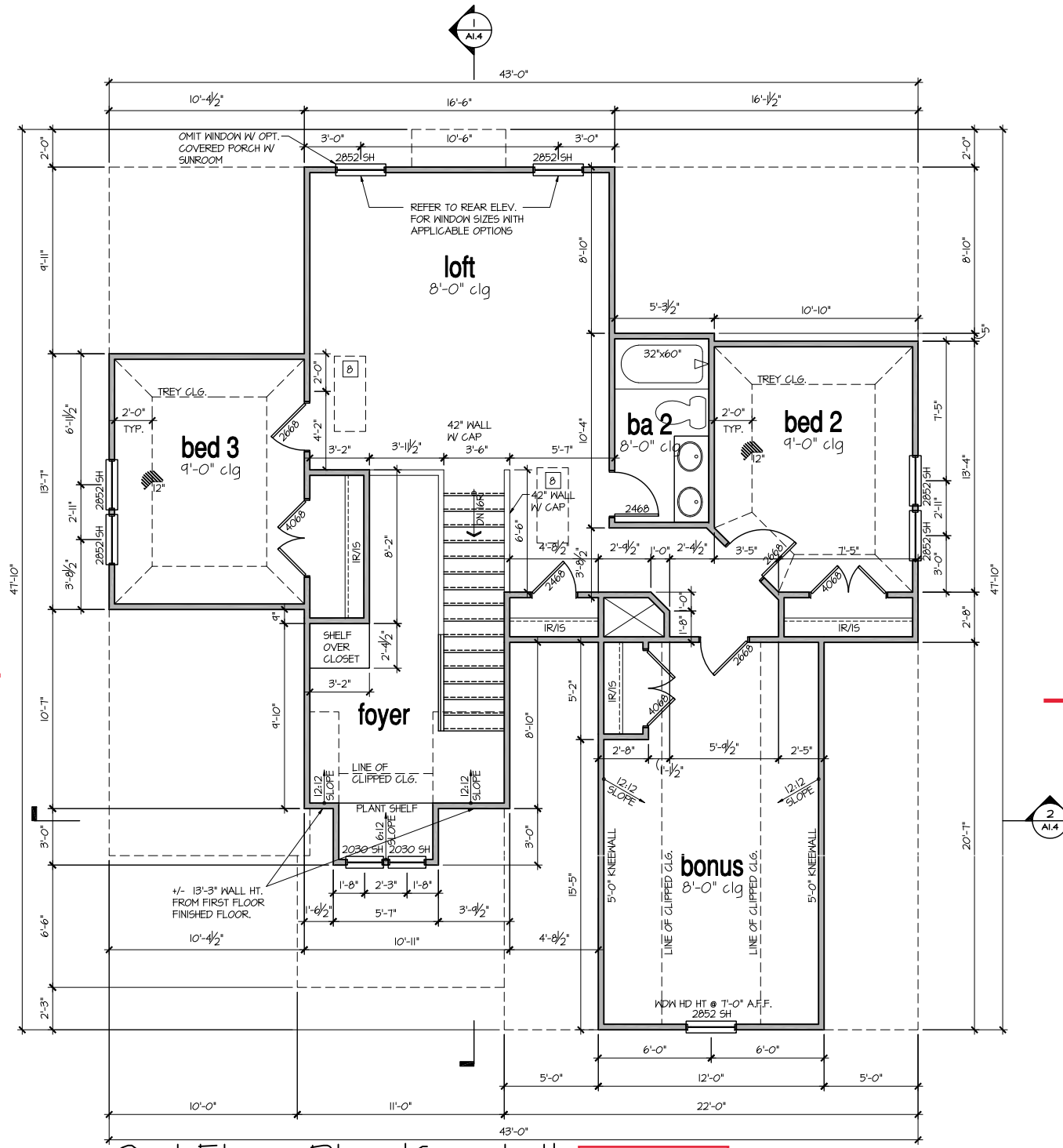
WALL LEGEND:

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9'-1" STAIR NOTE:
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 16 TREADS AT 10" EACH VERIFY
 17 RISERS AT +/- 7.28" = 123 3/4" TOTAL RISE VERIFY



2nd Floor Plan 'Coastal'

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

Classic
 See next pg



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NO.	DATE	REVISION:
1	xx-xx-xx	

PROJECT TITLE:
Biltmore

CONSTRUCTION SET



PROJECT NO: 1302SRAL
SHEET TITLE:

2nd FLOOR PLAN

PRINT DATE:
 July 14, 2017

SHEET NO:
A1.2.1

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NO:	DATE:	REVISION:
△	xx-xx-xx	

PROJECT TITLE:
Biltmore

CONSTRUCTION SET

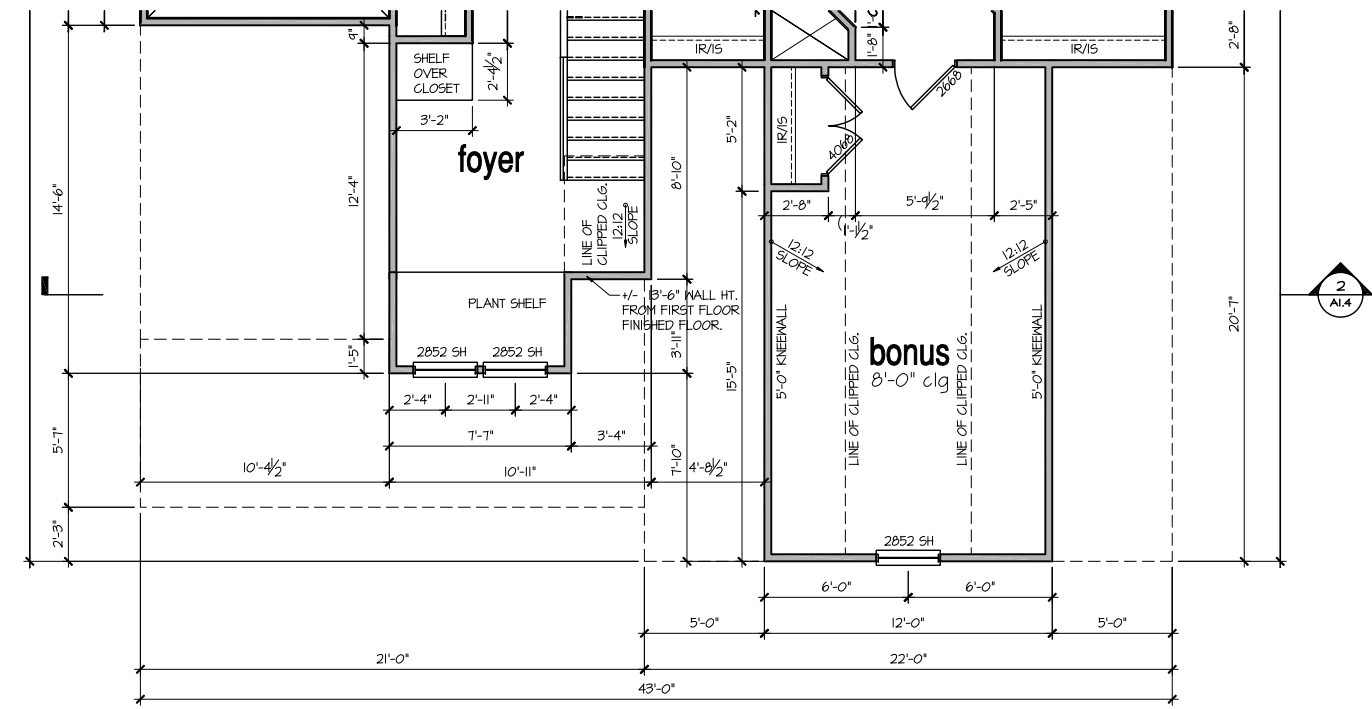
CLIENTS NAME:

PROJECT NO: 1802R1

SHEET TITLE:
2nd FLOOR PLAN

PRINT DATE:
July 14, 2017

SHEET NO:
A1.2.2



2nd Floor Plan 'Classic'

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

9'-1" STAIR NOTE:
(USE 1 1/2" T.J. WITH 3/4" PLYWOOD SUBFLOOR)
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RISE VERIFY

AREA	CLASSIC
1st FLOOR	1301 SF
2nd FLOOR	1000 SF
TOTAL LIVING	2301 SF
GARAGE	454 SF
FRONT PORCH	173 SF
COVERED PORCH	182 SF

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NO:	DATE:	REVISION:
△	xx-xx-xx	

PROJECT TITLE:

Biltmore

CONSTRUCTION SET

CLIENTS NAME:



PROJECT NO: B025RAL

SHEET TITLE:

**BUILDING
SECTIONS**

PRINT DATE:

July 14, 2017

SHEET NO:

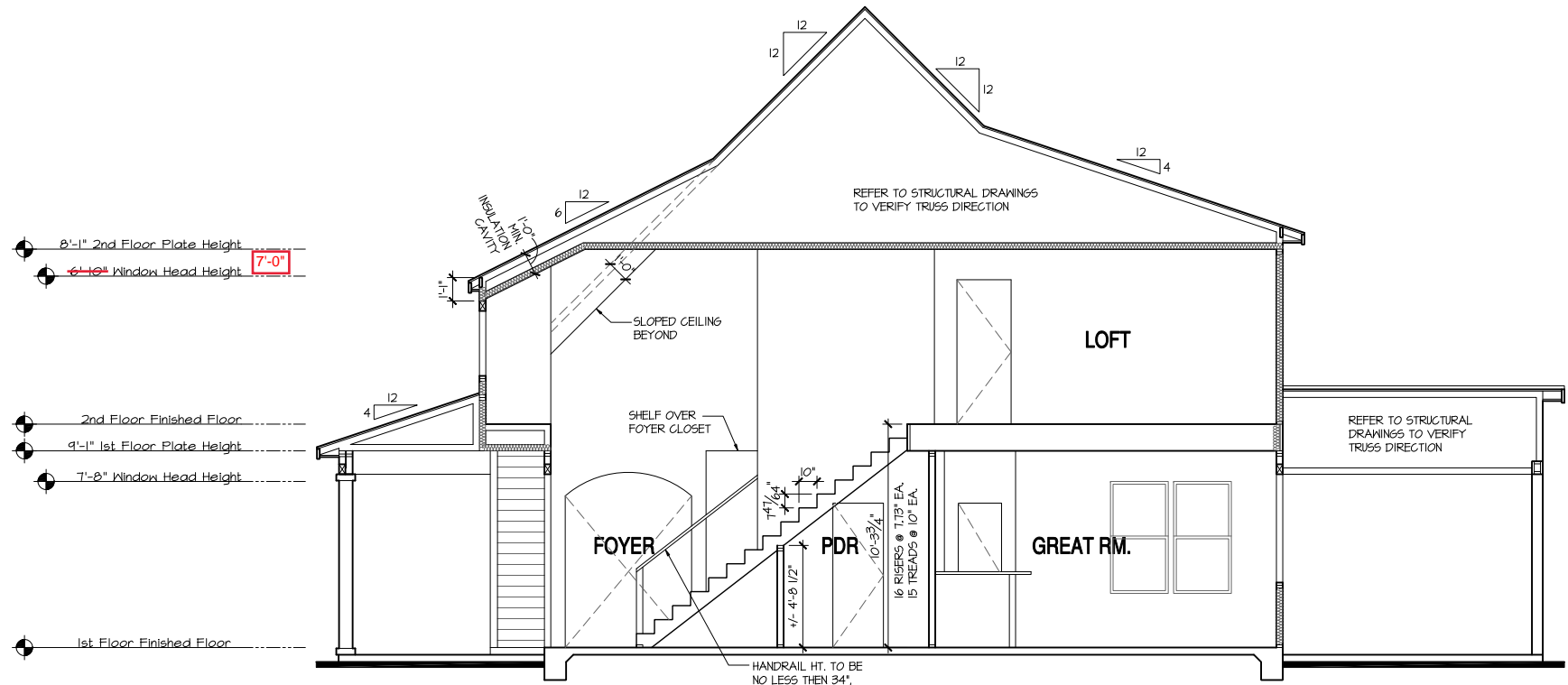
A1.4.1

NOTES:

- REFER TO FLOOR PLAN NOTES FOR TYPICAL FIRE PROTECTION NOTES AND LOCATIONS.
- THESE BUILDING SECTIONS MAY VARY AT ALTERNATE ELEVATION STYLES AND AT "PLAN OPTION" CONDITIONS. REFER TO MAIN FLOOR PLAN AND ALTERNATE FLOOR PLANS FOR INFORMATION NOT SHOWN HERE.
- BUILDING SECTIONS SHOWN HERE DEPICT VOLUME SPACES WITHIN THE STRUCTURE. REFER TO STRUCTURAL DRAWINGS, TRUSS DRAWINGS, STRUCTURAL DETAILS AND CALCULATIONS BY OTHER FOR ALL STRUCTURAL INFO.
- ROOFING: PITCHED SHINGLE ROOF. REFER TO ROOF PLAN FOR TYPICALS.
- WOOD FLOORS: FLOOR SHEATHING OVER FLOOR JOIST. REFER TO STRUCTURAL AND TRUSS DRAWINGS BY OTHERS.
- VERIFY STAIRS MINIMUM AND MAXIMUM REQUIREMENTS FOR CONSTRUCTION CLEARANCES WITH LOCAL CODES.
- INSULATION:
EXTERIOR WALLS ZONE 3: R-13 BATTIS MINIMUM. VERIFY
EXTERIOR WALLS ZONE 4: R-15 BATTIS MINIMUM. VERIFY
CEILING WITH ATTIC ABOVE COMPRESSED INSULATION: R-30 BATTIS MINIMUM. VERIFY
CEILING WITH ATTIC ABOVE UNCOMPRESSED INSULATION (HEELS IN TRUSSES): R-30 BATTIS MINIMUM. VERIFY
FLOOR OVER GARAGE: R-19 BATTIS MINIMUM. VERIFY
ATTIC KNEEWALL: R-19 BATTIS MINIMUM. VERIFY

PER STATE RESIDENTIAL CODE COMPLIANCE METHOD TO BE DETERMINED BY BUILDER.

9'-1" STAIR NOTE:
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16 TREADS AT 10" EACH VERIFY
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Building Section I
SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x11" LAYOUT

NO:	DATE:	REVISION:
△	xx-xx-xx	

PROJECT TITLE:

Biltmore

CONSTRUCTION SET

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PROJECT NO: B02SRAL

SHEET TITLE:

BUILDING SECTIONS

PRINT DATE:

July 14, 2017

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A1.4.2

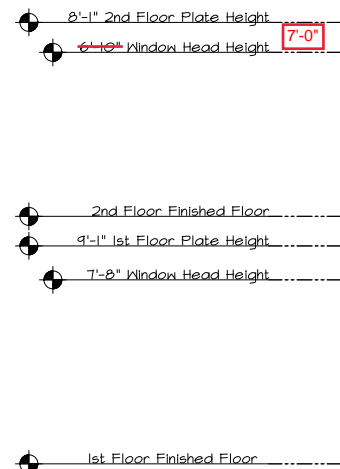
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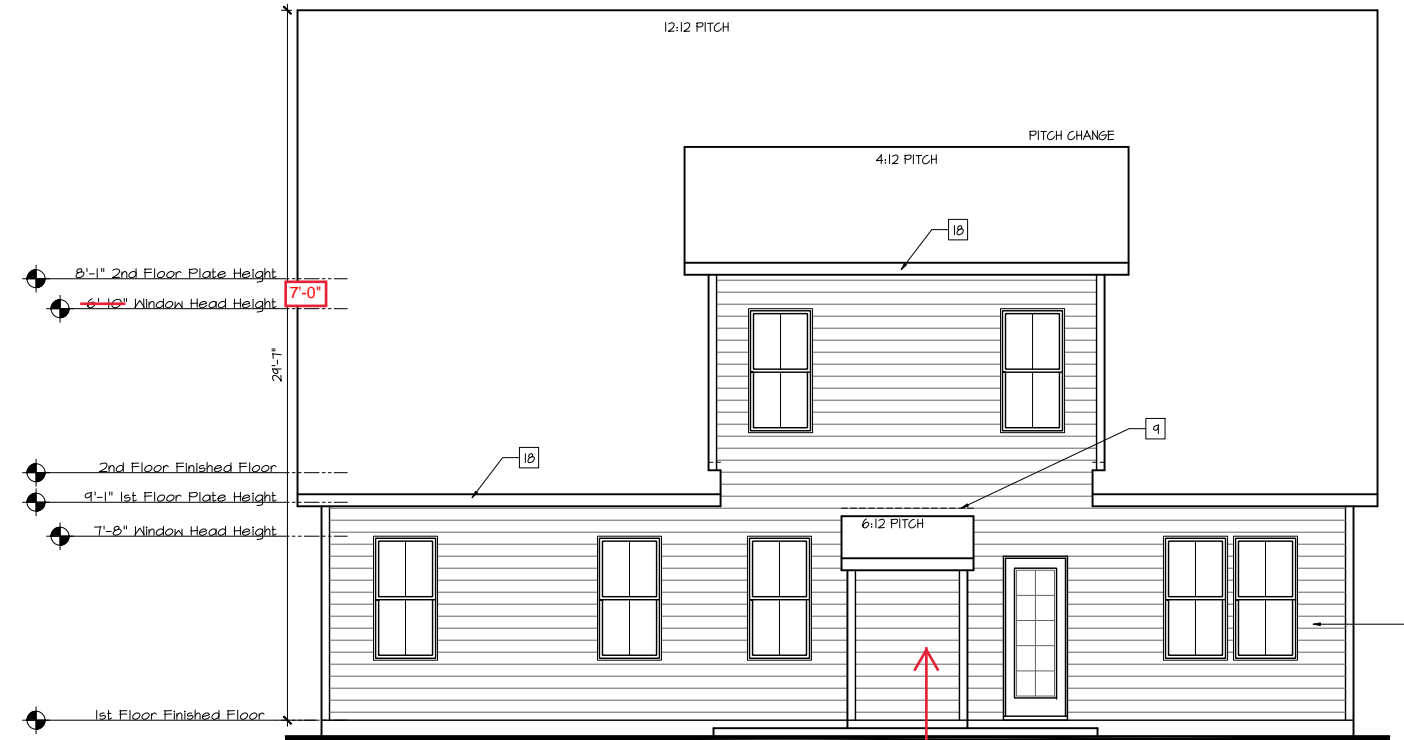


Building Section 2 'Classic'

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT

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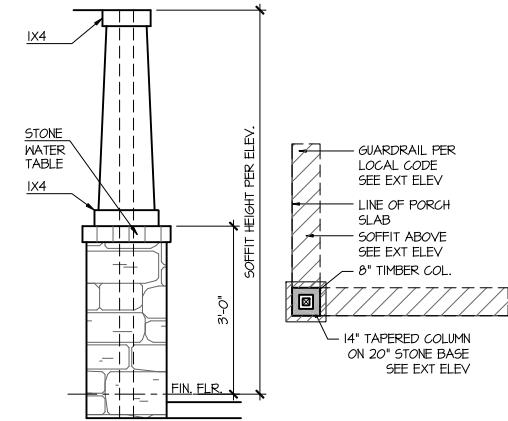
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Rear Elevation 'Classic'

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

Covered rear porch
See pg A1.9.4



Column Detail

SCALE: 1/2"=1'-0" AT 22"X34" LAYOUT 1/4"=1'-0" AT 11"X17" LAYOUT

NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS.
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY: PER NCRG R311J (ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)

KEY NOTES:

- MASONRY:
- ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 8" SOLDIER COURSE.
 - ROWLOCK COURSE
 - DECORATIVE KEY. SEE DETAIL.
- TYPICALS:
- CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
 - CODE APPROVED TERMINATION CHIMNEY CAP.
 - CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS. (SIDE WALL-STEP FLASHING IS REQUIRED IN NC R405.2.B.3)
 - STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - DECORATIVE WROUGHT IRON. SEE DETAILS.
- SIDING:
- FIBER CEMENT SHAKE SIDING PER DEVELOPER
W/ 5/4x4 CORNER TRIM BOARDS.
 - FIBER CEMENT LAP SIDING PER DEVELOPER
W/ 5/4x4 CORNER TRIM BOARDS.
 - FIBER CEMENT WAVY SIDING PER DEVELOPER
W/ 5/4x4 CORNER TRIM BOARDS.
 - FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C.
(VINYL BOARD AND BATT SIDING)
 - 1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
 - FALSE WOOD SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 NCRG SECTION R612.3 AND 612.4.



Front Elevation 'Classic'

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

PROJECT TITLE:

Biltmore

CONSTRUCTION SET

CLIENTS NAME:



PROJECT NO:

1502RAL

SHEET TITLE:

CLASSIC
EXTERIOR
ELEVATIONS

PRINT DATE:

July 14, 2017

SHEET NO:

A1.9.0

NO:	DATE:	REVISION:
△	xx-xx-xx	

PROJECT TITLE:

Biltmore

CONSTRUCTION SET

CLIENTS NAME:

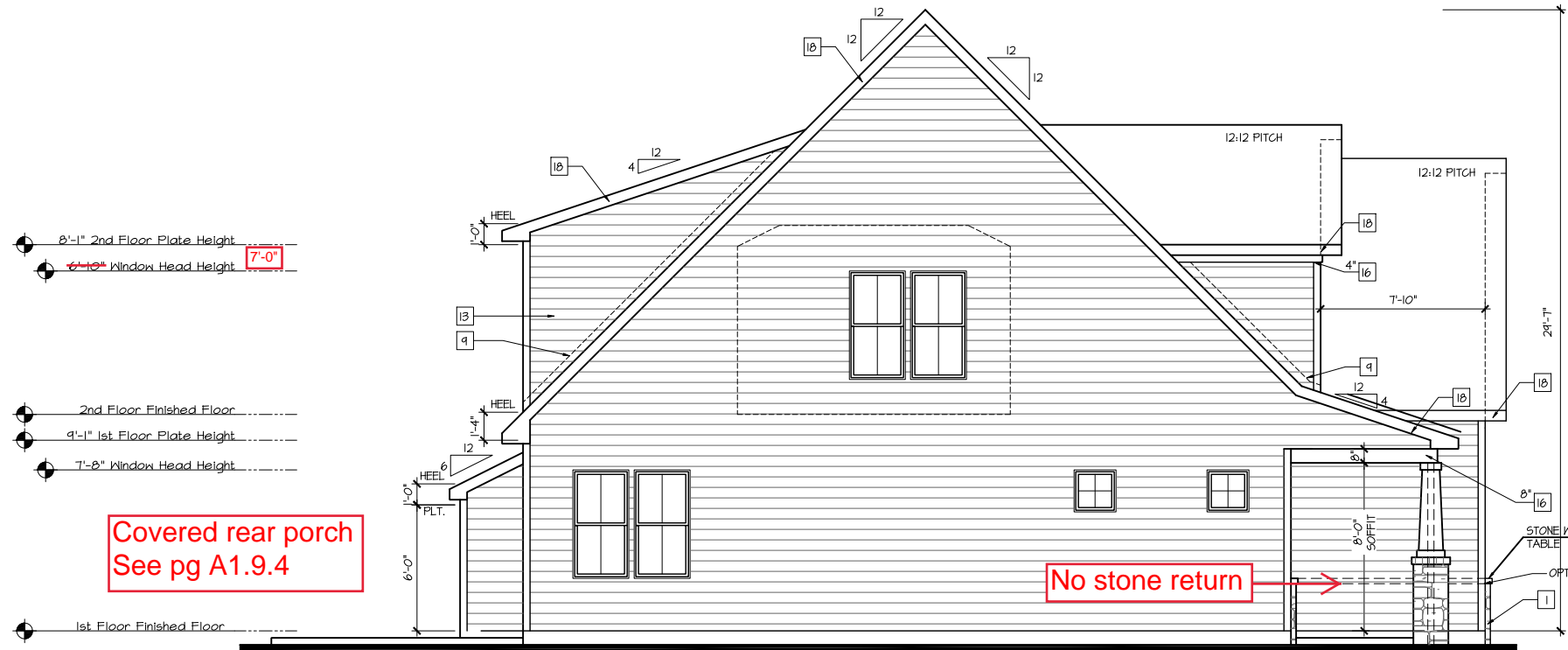


PROJECT NO: B02SRAL

SHEET TITLE:
**CLASSIC
EXTERIOR
ELEVATIONS**

PRINT DATE:
July 14, 2017

SHEET NO:
A1.9.1



Left Elevation 'Classic'

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT

NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS.
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS.
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY: PER NCRG R311J (ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)

KEY NOTES:

- MASONRY:**
- 1 ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 3 MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 4 8" SOLDIER COURSE.
 - 5 ROWLOCK COURSE
 - 6 DECORATIVE KEY. SEE DETAIL.
- TYPICALS:**
- 7 CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
 - 8 CODE APPROVED TERMINATION CHIMNEY CAP.
 - 9 CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS. (SIDE WALL-STEP FLASHING IS REQUIRED IN NC R405.2.B.3)
 - 10 STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 11 DECORATIVE WROUGHT IRON. SEE DETAILS.
- SIDING:**
- 12 FIBER CEMENT SHAKE SIDING PER DEVELOPER
W/ 5/4x4 CORNER TRIM BOARDS.
 - 13 FIBER CEMENT LAP SIDING PER DEVELOPER
W/ 5/4x4 CORNER TRIM BOARDS.
 - 14 FIBER CEMENT WAVY SIDING PER DEVELOPER
W/ 5/4x4 CORNER TRIM BOARDS.
 - 15 FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C.
(VINYL BOARD AND BATT SIDING)
 - 16 1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
 - 17 FALSE WOOD SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 NCRG SECTION R612.3 AND 612.4.



Right Elevation 'Classic'

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT

NO:	DATE:	REVISION:
△	xx-xx-xx	

PROJECT TITLE:

Biltmore

CONSTRUCTION SET

CLIENTS NAME:



PROJECT NO: B02SRAL

SHEET TITLE:

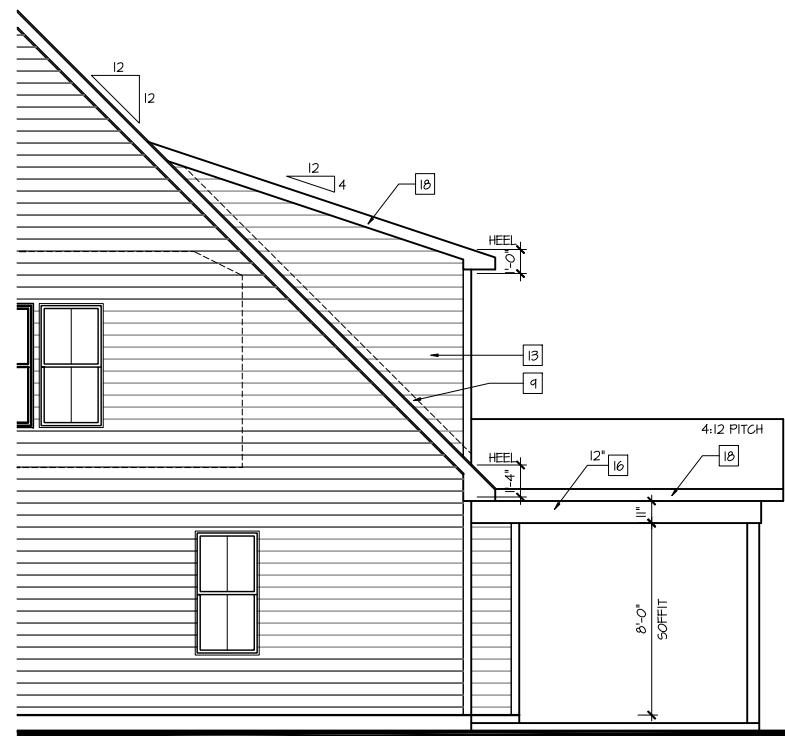
**OPTIONAL
EXTERIOR
ELEVATIONS**

PRINT DATE:

July 14, 2017

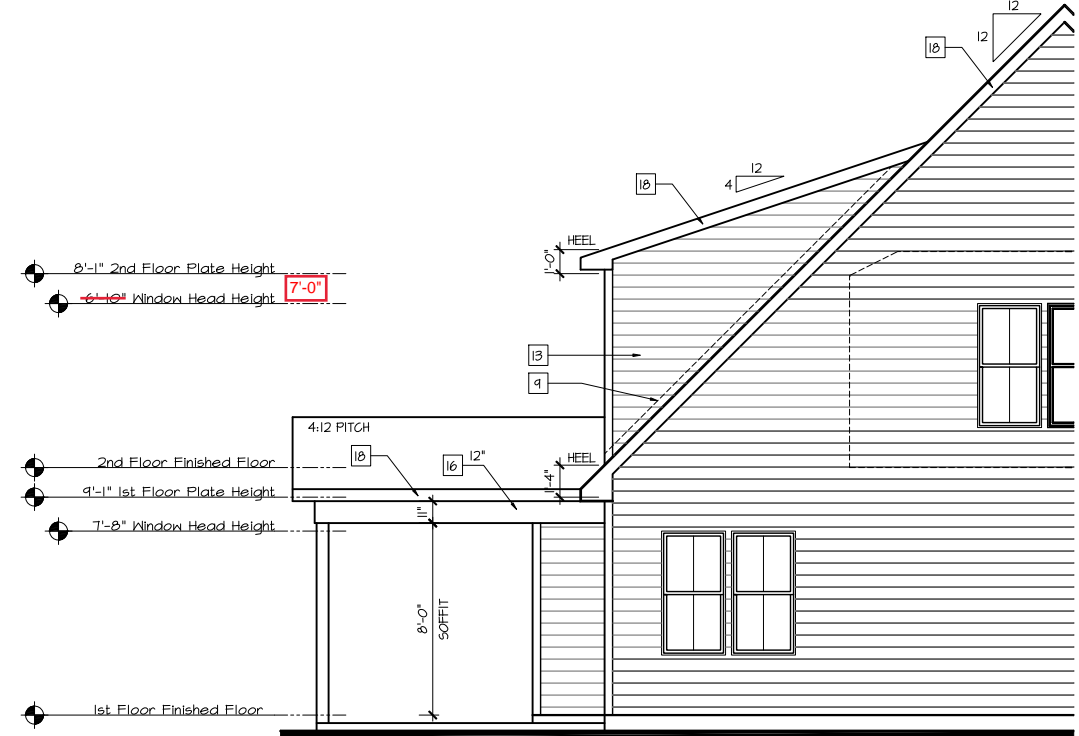
SHEET NO:

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Opt. Covered Porch
Right Elevation 'Classic'

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X11" LAYOUT



Opt. Covered Porch
Left Elevation 'Classic'

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X11" LAYOUT

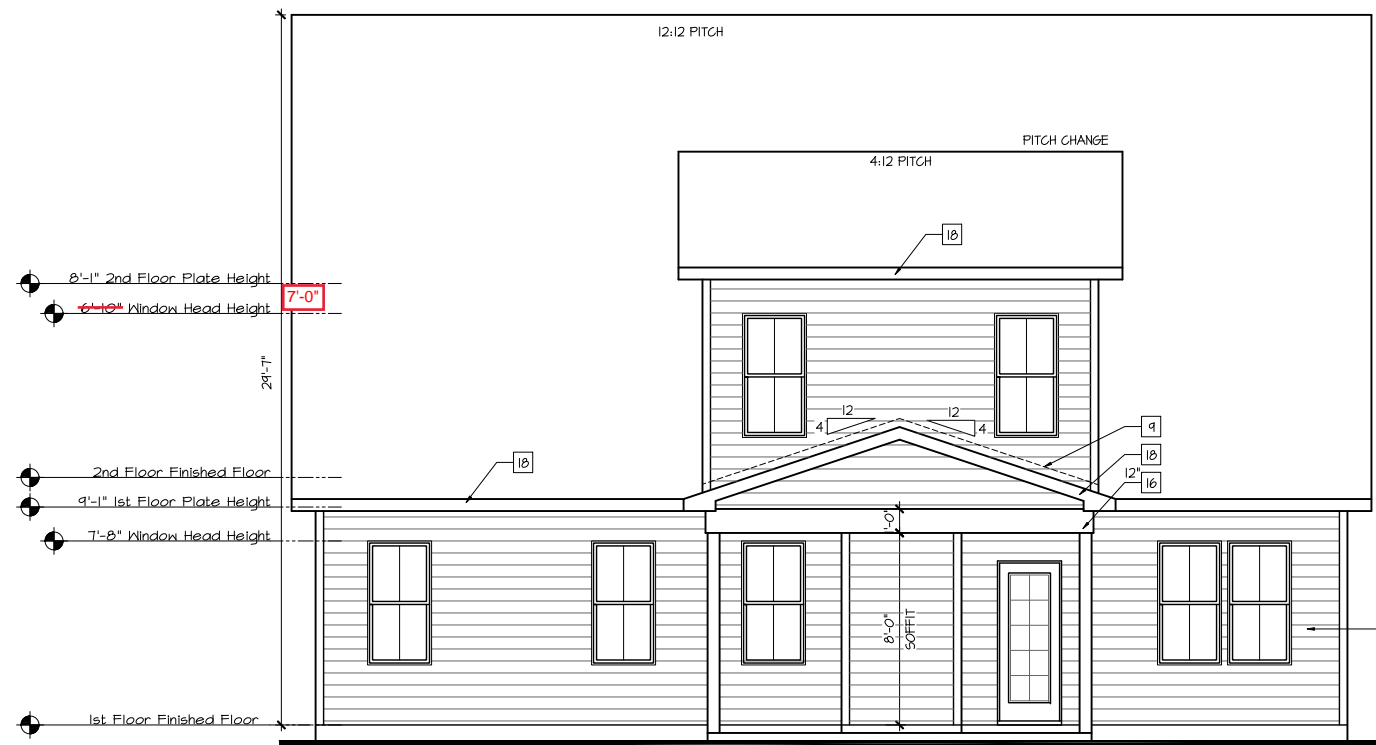
NOTES:

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS.
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS.
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROTECTION AGAINST DECAY: PER NCRG R311J
(ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)

KEY NOTES:

- MASONRY:**
- 1 ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 3 MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
 - 4 8" SOLDIER COURSE.
 - 5 ROWLOCK COURSE.
 - 6 DECORATIVE KEY. SEE DETAIL.
- TYPICALS:**
- 7 CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
 - 8 CODE APPROVED TERMINATION CHIMNEY CAP.
 - 9 CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS. (SIDE WALL-STEP FLASHING IS REQUIRED IN NC R405.2.B.3)
 - 10 STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 11 DECORATIVE WROUGHT IRON. SEE DETAILS.
- SIDING:**
- 12 FIBER CEMENT SHAKE SIDING PER DEVELOPER
W/ 5/4x4 CORNER TRIM BOARDS.
 - 13 FIBER CEMENT LAP SIDING PER DEVELOPER
W/ 5/4x4 CORNER TRIM BOARDS.
 - 14 FIBER CEMENT WAVY SIDING PER DEVELOPER
W/ 5/4x4 CORNER TRIM BOARDS.
 - 15 FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C.
(VINYL BOARD AND BATT SIDING)
 - 16 1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
 - 17 FALSE WOOD SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 NCRG SECTION R612.3 AND 612.4.



Opt. Covered Porch
Rear Elevation 'Classic'

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X11" LAYOUT

N.C ATTIC VENT CALC 'BILTMORE - CLASSIC': 1:150 RATIO.

THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/50 OF THE AREA OF THE SPACE VENTILATED, PROVIDED THAT AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATING PROVIDED BY EAVE OR CORNICE VENTS.

(PER 2012 NCRG SECTION R806.2)

1 SQUARE INCH VENT FOR EVERY 150 SQUARE INCHES OF CEILING
 *144 SQ. IN. = 1 SQ. FT.
 BLDG. CEILING (SF) X 144 = BLDG (SQ. IN.)
 BLDG. (SQ. IN.) / 150 = SQ. IN. OF VENT REQ'D
 SQ. IN. OF VENT REQUIRED / 2 = 50% AT HIGH & 50% AT LOW

ROOF AREA 2: = 74 SF

74 SQ. FT. X 144 = 10656 SQ. IN.
 10656 SQ. IN. / 150 = 71.04 SQ. IN. OF VENT REQ'D
 71.04 SQ. IN. / 2 = 35.52 SQ. IN.

35.52 SQ. IN. OF VENT AT HIGH & 35.52 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 3: = 249 SF

249 SQ. FT. X 144 = 35856 SQ. IN.
 35856 SQ. IN. / 150 = 239.04 SQ. IN. OF VENT REQ'D
 239.04 SQ. IN. / 2 = 119.52 SQ. IN.

119.52 SQ. IN. OF VENT AT HIGH & 119.52 SQ. IN. OF VENT AT LOW REQUIRED.

EXCEPTIONS:
 1. ENCLOSED ATTIC/RAFTER SPACES REQUIRING LESS THAN 1 SQ FT OF VENTILATION MAY BE VENTED WITH CONTINUOUS SOFFIT VENTILATION ONLY.
 2. ENCLOSED ATTIC/RAFTER SPACES OVER UNCONDITIONED SPACE MAY BE VENTED WITH CONTINUOUS SOFFIT VENT ONLY.

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS. PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED DECORATIVE PROJECTIONS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

NOTES:

- ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.
- DASHED LINES INDICATE WALL BELOW.
- LOCATE GUTTER AND DOWNSPOUTS PER BUILDER.
- PITCHED ROOFS AS NOTED.

- TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWINGS TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS.
- ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE.

N.C. ATTIC VENT CALC 'BILTMORE - CLASSIC': 1:300 RATIO.

AS AN ALTERNATE TO THE 1/50 RATIO LISTED ABOVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM - IN - WINTER SIDE OF THE CEILING.

(PER 2012 NCRG SECTION R806.2)

1 SQUARE INCH VENT FOR EVERY 300 SQUARE INCHES OF CEILING
 *144 SQ. IN. = 1 SQ. FT.
 BLDG. CEILING (SF) X 144 = BLDG (SQ. IN.)
 BLDG. (SQ. IN.) / 300 = SQ. IN. OF VENT REQ'D
 SQ. IN. OF VENT REQUIRED / 2 = 50% AT HIGH & 50% AT LOW

ROOF AREA 1: = 1751 SF

1751 SQ. FT. X 144 = 252144 SQ. IN.
 252144 SQ. IN. / 300 = 840.48 SQ. IN. OF VENT REQ'D
 840.48 SQ. IN. / 2 = 420.24 SQ. IN.

420.24 SQ. IN. OF VENT AT HIGH & 420.24 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 2: = 74 SF

74 SQ. FT. X 144 = 10656 SQ. IN.
 10656 SQ. IN. / 300 = 35.52 SQ. IN. OF VENT REQ'D
 35.52 SQ. IN. / 2 = 17.76 SQ. IN.

17.76 SQ. IN. OF VENT AT HIGH & 17.76 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 3: = 249 SF

249 SQ. FT. X 144 = 35856 SQ. IN.
 35856 SQ. IN. / 300 = 119.52 SQ. IN. OF VENT REQ'D
 119.52 SQ. IN. / 2 = 59.76 SQ. IN.

59.76 SQ. IN. OF VENT AT HIGH & 59.76 SQ. IN. OF VENT AT LOW REQUIRED.

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

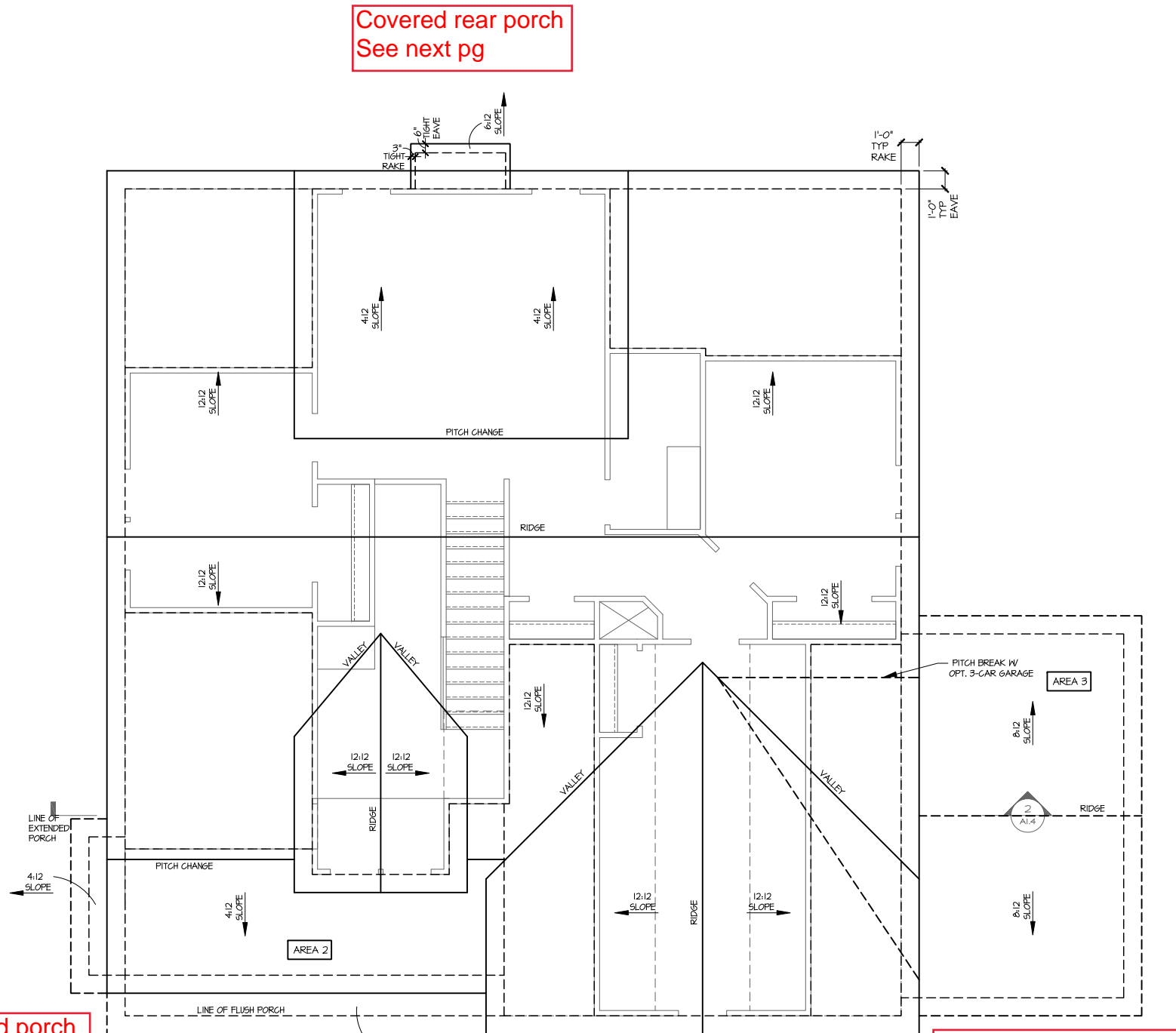
ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.

PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED DECORATIVE PROJECTIONS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

AT SINGLE FAMILY DETACHED PLANS: PREFINISHED VENTED SOFFIT AT EAVE PER MANUFACTURER. (VERIFY FIRE SEPARATION DISTANCE FOR SOFFIT PROTECTION PER 2012 NCRG SECTION R703.11.3 AND TABLE R302.1)

No opt. flush/extended porch

No opt. 3rd car garage



Roof Plan 'Classic'

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT

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NO:	DATE:	REVISION:
△	xx-xx-xx	

PROJECT TITLE:

Biltmore

CONSTRUCTION SET

CLIENTS NAME:

PROJECT NO: B02SRAL

SHEET TITLE:
 CLASSIC
 ROOF PLAN

PRINT DATE:
 July 14, 2017

SHEET NO:
 A1.9.11

N.C ATTIC VENT CALC 'OPTIONS': 1:150 RATIO.

THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/50 OF THE AREA OF THE SPACE VENTILATED, PROVIDED THAT AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

EXCEPTIONS:
1. ENCLOSED ATTIC/RAFTER SPACES REQUIRING LESS THAN 1 SQ FT OF VENTILATION MAY BE VENTED WITH CONTINUOUS SOFFIT VENTILATION ONLY.
2. ENCLOSED ATTIC/RAFTER SPACES OVER UNCONDITIONED SPACE MAY BE VENTED WITH CONTINUOUS SOFFIT VENT ONLY.

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.

PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED DECORATIVE PROJECTIONS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

(PER 2012 NCRC SECTION R806.2)

1 SQUARE INCH VENT FOR EVERY 150 SQUARE INCHES OF CEILING
*144 SQ. IN. = 1 SQ. FT.
BLDG. CEILING (SF) X 144 = BLDG (SQ. IN)
BLDG. (SQ. IN) / 150 = SQ. IN. OF VENT REQUIRED
SQ. IN. OF VENT REQUIRED / 2 = 50% AT HIGH & 50% AT LOW.

ROOF AREA 1: = 142 SF

142 SQ. FT. X 144 = 27648 SQ. IN.
27648 SQ. IN. / 150 = 184.32 SQ. IN. OF VENT REQ'D
184.32 SQ. IN. / 2 = 92.16 SQ. IN.

92.16 SQ. IN. OF VENT AT HIGH & 92.16 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 2: = 131 SF

131 SQ. FT. X 144 = 18864 SQ. IN.
18864 SQ. IN. / 150 = 125.76 SQ. IN. OF VENT REQ'D
125.76 SQ. IN. / 2 = 62.88 SQ. IN.

62.88 SQ. IN. OF VENT AT HIGH & 62.88 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 3: = 323 SF

323 SQ. FT. X 144 = 46512 SQ. IN.
46512 SQ. IN. / 150 = 310.08 SQ. IN. OF VENT REQ'D
310.08 SQ. IN. / 2 = 155.04 SQ. IN.

155.04 SQ. IN. OF VENT AT HIGH & 155.04 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 4: = 320 SF

320 SQ. FT. X 144 = 46080 SQ. IN.
46080 SQ. IN. / 150 = 307.20 SQ. IN. OF VENT REQ'D
307.20 SQ. IN. / 2 = 153.60 SQ. IN.

153.60 SQ. IN. OF VENT AT HIGH & 153.60 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 5: = 451 SF

451 SQ. FT. X 144 = 64944 SQ. IN.
64944 SQ. IN. / 150 = 432.96 SQ. IN. OF VENT REQ'D
432.96 SQ. IN. / 2 = 216.48 SQ. IN.

216.48 SQ. IN. OF VENT AT HIGH & 216.48 SQ. IN. OF VENT AT LOW REQUIRED.

NOTES:

- ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.
- DASHED LINES INDICATE WALL BELOW.
- LOCATE GUTTER AND DOWNSPOUTS PER BUILDER.
- PITCHED ROOFS AS NOTED.

- TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWINGS TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS.

- ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE.

N.C. ATTIC VENT CALC 'OPTIONS': 1:300 RATIO.

AS AN ALTERNATE TO THE 1/50 RATIO LISTED ABOVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM - IN - WINTER SIDE OF THE CEILING.

GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.

ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.

PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED DECORATIVE PROJECTIONS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.

(PER 2012 NCRC SECTION R806.2)

1 SQUARE INCH VENT FOR EVERY 300 SQUARE INCHES OF CEILING
*144 SQ. IN. = 1 SQ. FT.
BLDG. CEILING (SF) X 144 = BLDG (SQ. IN)
BLDG. (SQ. IN) / 300 = SQ. IN. OF VENT REQUIRED
SQ. IN. OF VENT REQUIRED / 2 = 50% AT HIGH & 50% AT LOW.

ROOF AREA 1: = 142 SF

142 SQ. FT. X 144 = 27648 SQ. IN.
27648 SQ. IN. / 300 = 92.16 SQ. IN. OF VENT REQ'D
92.16 SQ. IN. / 2 = 46.08 SQ. IN.

46.08 SQ. IN. OF VENT AT HIGH & 46.08 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 2: = 131 SF

131 SQ. FT. X 144 = 18864 SQ. IN.
18864 SQ. IN. / 300 = 62.88 SQ. IN. OF VENT REQ'D
62.88 SQ. IN. / 2 = 31.44 SQ. IN.

31.44 SQ. IN. OF VENT AT HIGH & 31.44 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 3: = 323 SF

323 SQ. FT. X 144 = 46512 SQ. IN.
46512 SQ. IN. / 300 = 155.04 SQ. IN. OF VENT REQ'D
155.04 SQ. IN. / 2 = 77.52 SQ. IN.

77.52 SQ. IN. OF VENT AT HIGH & 77.52 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 4: = 320 SF

320 SQ. FT. X 144 = 46080 SQ. IN.
46080 SQ. IN. / 300 = 153.60 SQ. IN. OF VENT REQ'D
153.60 SQ. IN. / 2 = 76.80 SQ. IN.

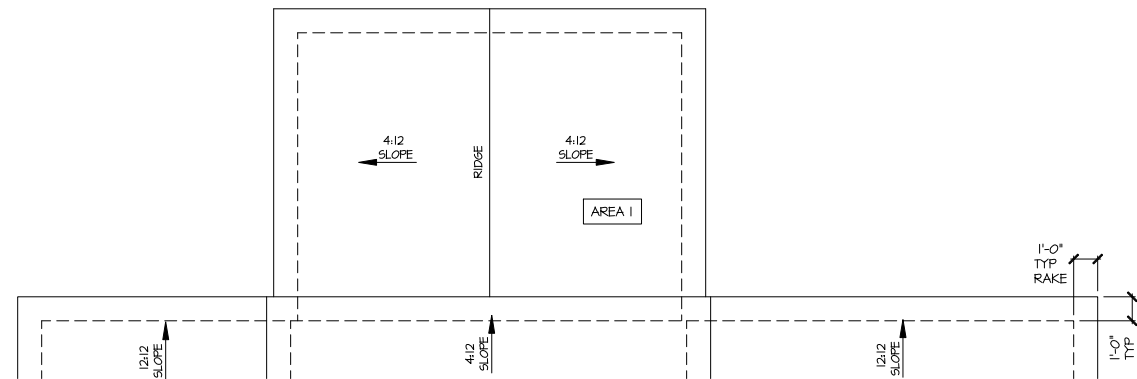
76.80 SQ. IN. OF VENT AT HIGH & 76.80 SQ. IN. OF VENT AT LOW REQUIRED.

ROOF AREA 5: = 451 SF

451 SQ. FT. X 144 = 64944 SQ. IN.
64944 SQ. IN. / 300 = 216.48 SQ. IN. OF VENT REQ'D
216.48 SQ. IN. / 2 = 108.24 SQ. IN.

108.24 SQ. IN. OF VENT AT HIGH & 108.24 SQ. IN. OF VENT AT LOW REQUIRED.

AT SINGLE FAMILY DETACHED PLANS:
PREFINISHED VENTED
SOFFIT AT EAVE PER MANUFACTURER.
(VERIFY FIRE SEPARATION DISTANCE FOR
SOFFIT PROTECTION PER 2012 NCRC
SECTION R703.11.3 AND TABLE R302.1)



Roof Plan w/ Opt. Covered Porch

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X11" LAYOUT

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NO:	DATE:	REVISION:
△	xx-xx-xx	

PROJECT TITLE:

Biltmore

CONSTRUCTION SET

CLIENTS NAME:

PROJECT NO: 18025RAL

SHEET TITLE:

**ROOF PLAN
OPTIONS**

PRINT DATE:

July 14, 2017

SHEET NO:

A1.5.12

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△	xx-xx-xx	

PROJECT TITLE:
Biltmore

CONSTRUCTION SET

CLIENTS NAME:



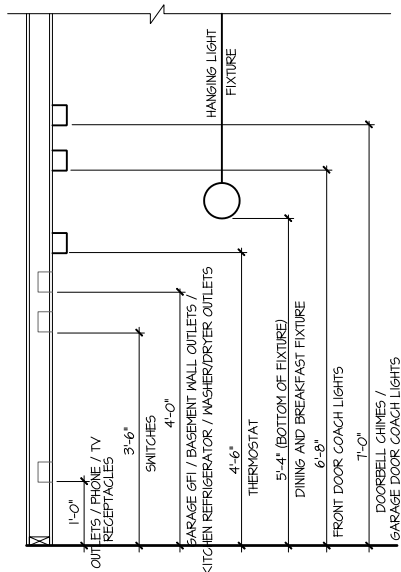
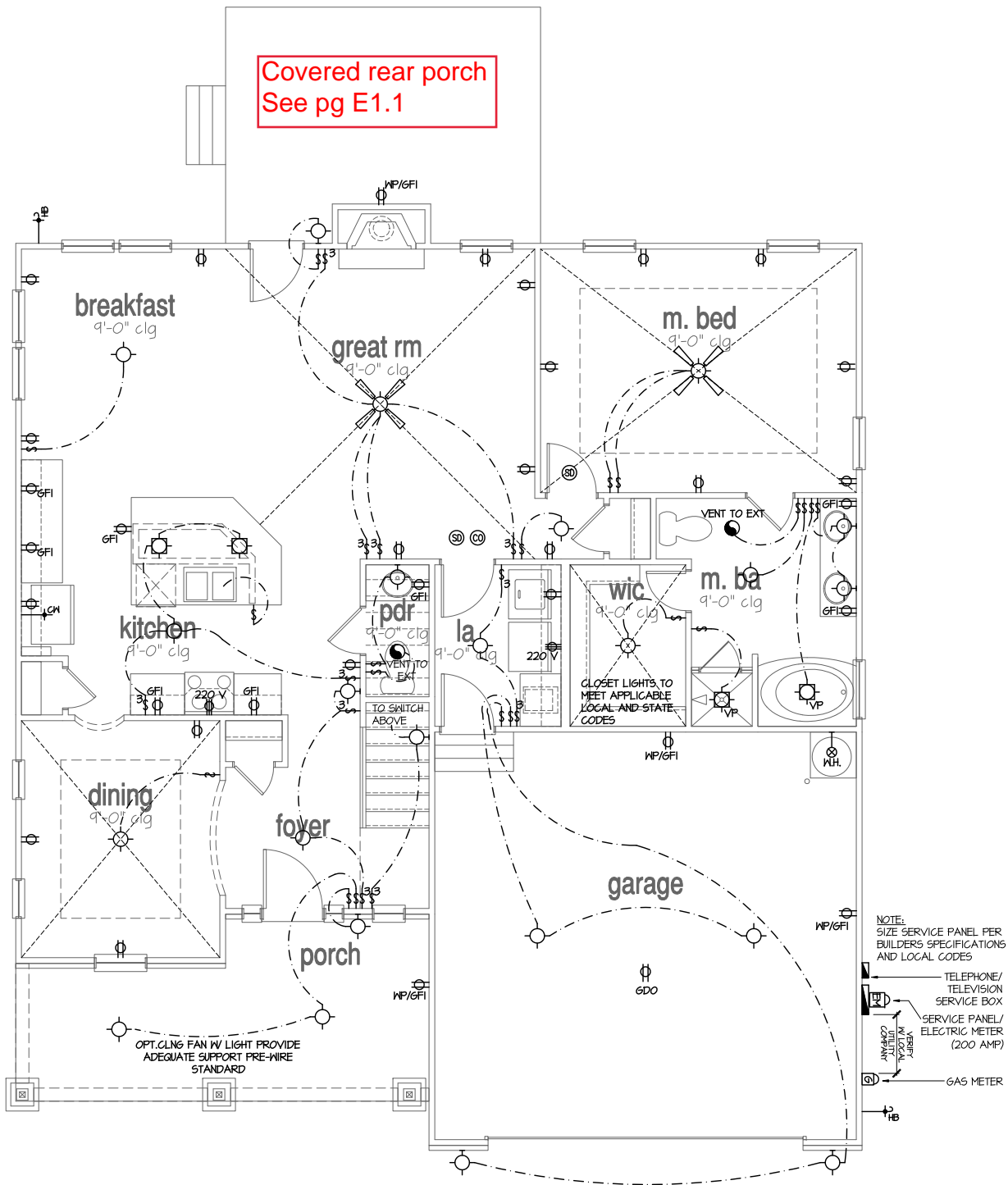
PROJECT NO: B02SRAL

SHEET TITLE:

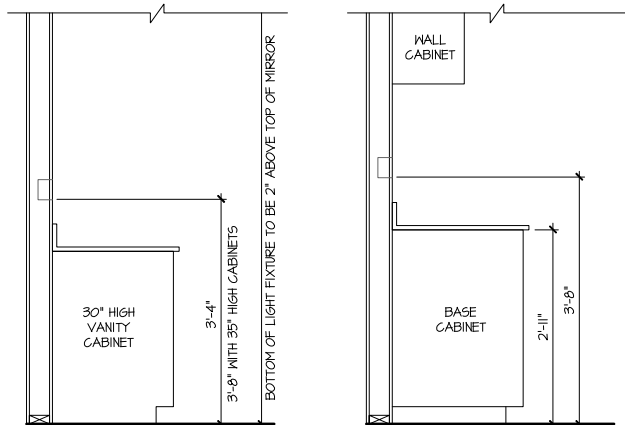
**1st FLOOR
UTILITY PLAN**

PRINT DATE:
July 14, 2017

SHEET NO:
E1.0



STANDARD ELECTRICAL BOX HEIGHTS



SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS

SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS

1st Floor Plan Utility Basic

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

Classic
See pg E1.1

NOTES:

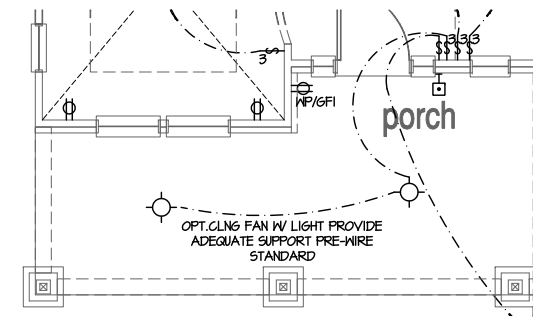
- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS.
- FANLIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

LEGEND:

⊕	DUPLEX OUTLET	⊕	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE	⊕	CHIMES	⊕	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
⊕ WP/GFI	WEATHERPROOF GFI DUPLEX OUTLET	⊕	WALL MOUNTED INCANDESCENT LIGHT FIXTURE	⊕	PUSHBUTTON SWITCH	⊕	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕ GFI	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET	⊕	RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF	⊕	110V SMOKE DETECTOR W/ BATTERY BACKUP	⊕	CO2 DETECTOR
⊕	HALF-SWITCHED DUPLEX OUTLET	⊕	EXHAUST FAN (VENT TO EXTERIOR)	⊕	THERMOSTAT	⊕	GAS SUPPLY WITH VALVE
⊕ 220V	220 VOLT OUTLET	⊕	EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)	⊕	TELEPHONE	⊕	HOSE BIBB
⊕	REINFORCED JUNCTION BOX	⊕	FLUORESCENT LIGHT FIXTURE	⊕	TELEVISION	⊕	1/4" WATER STUB OUT
⊕ 3	THREE-WAY SWITCH	⊕	TECH HUB SYSTEM	⊕	ELECTRIC METER	⊕	ELECTRIC PANEL
⊕ 4	FOUR-WAY SWITCH	⊕		⊕	DISCONNECT SWITCH	⊕	WALL SCONE

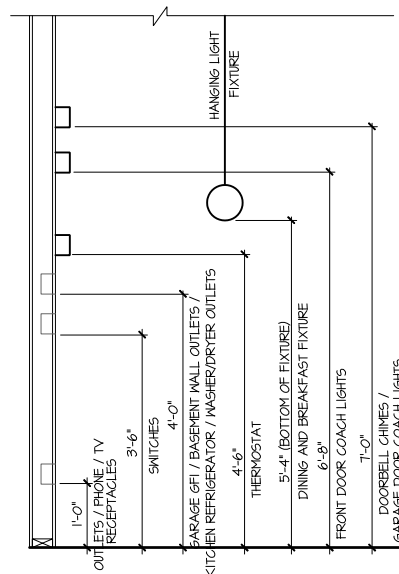
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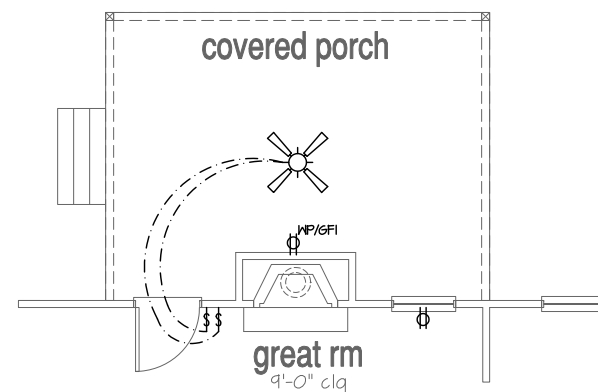


1st Floor Plan 'Classic'

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X11" LAYOUT

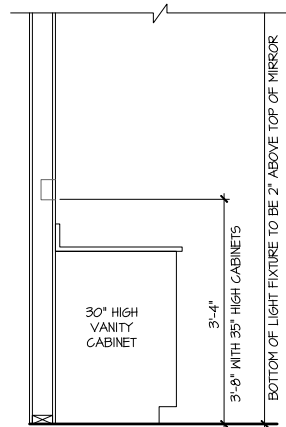


STANDARD ELECTRICAL BOX HEIGHTS

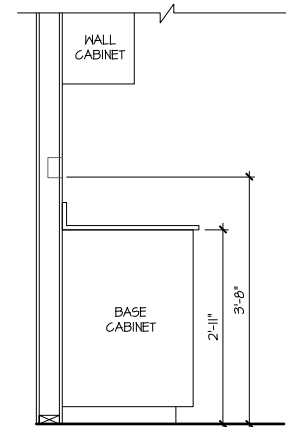


Opt. Covered Porch

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X11" LAYOUT



SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS



SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS

NOTES:

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS.
- FANLIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

LEGEND:

⊕	DUPLEX OUTLET	⊙	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE	⊠	CHIMES	⊗	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
⊕ NP/GFI	WEATHERPROOF GFI DUPLEX OUTLET	⊙	WALL MOUNTED INCANDESCENT LIGHT FIXTURE	⊠	PUSHBUTTON SWITCH	⊗	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕ GFI	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET	⊙	RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF	⊕	110V SMOKE DETECTOR W/ BATTERY BACKUP	⊕	GAS SUPPLY WITH VALVE
⊕	HALF-SWITCHED DUPLEX OUTLET	⊙	EXHAUST FAN (VENT TO EXTERIOR)	⊕	CO2 DETECTOR	⊕	HOSE BIBB
⊕ 220V	220 VOLT OUTLET	⊙	EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)	⊕	THERMOSTAT	⊕	1/4" WATER STUB OUT
⊕	REINFORCED JUNCTION BOX	⊙	FLUORESCENT LIGHT FIXTURE	⊕	TELEPHONE	⊕	WALL SCORCE
⊕	WALL SWITCH	⊙	TECH HUB SYSTEM	⊕	TELEVISION		
⊕ 3	THREE-WAY SWITCH	⊕		⊕	ELECTRIC METER		
⊕ 4	FOUR-WAY SWITCH	⊕		⊕	ELECTRIC PANEL		
		⊕		⊕	DISCONNECT SWITCH		

PROJECT TITLE:

Biltmore

CONSTRUCTION SET

CLIENTS NAME:



PROJECT NO: B02SRAL

SHEET TITLE:

**1st FLOOR
UTILITY PLAN
OPTIONS**

PRINT DATE:

July 14, 2017

SHEET NO:

E1.1

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NO:	DATE:	REVISION:
△	xx-xx-xx	

PROJECT TITLE:
Biltmore

CONSTRUCTION SET

CLIENTS NAME:

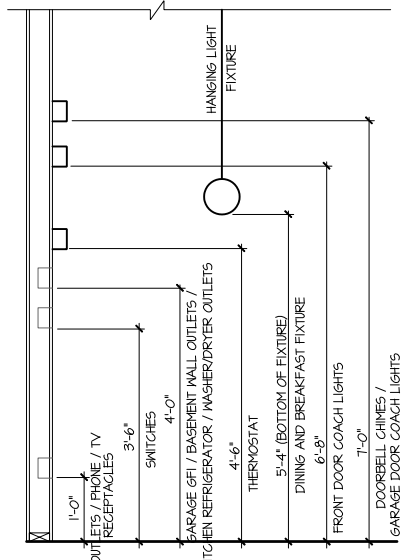
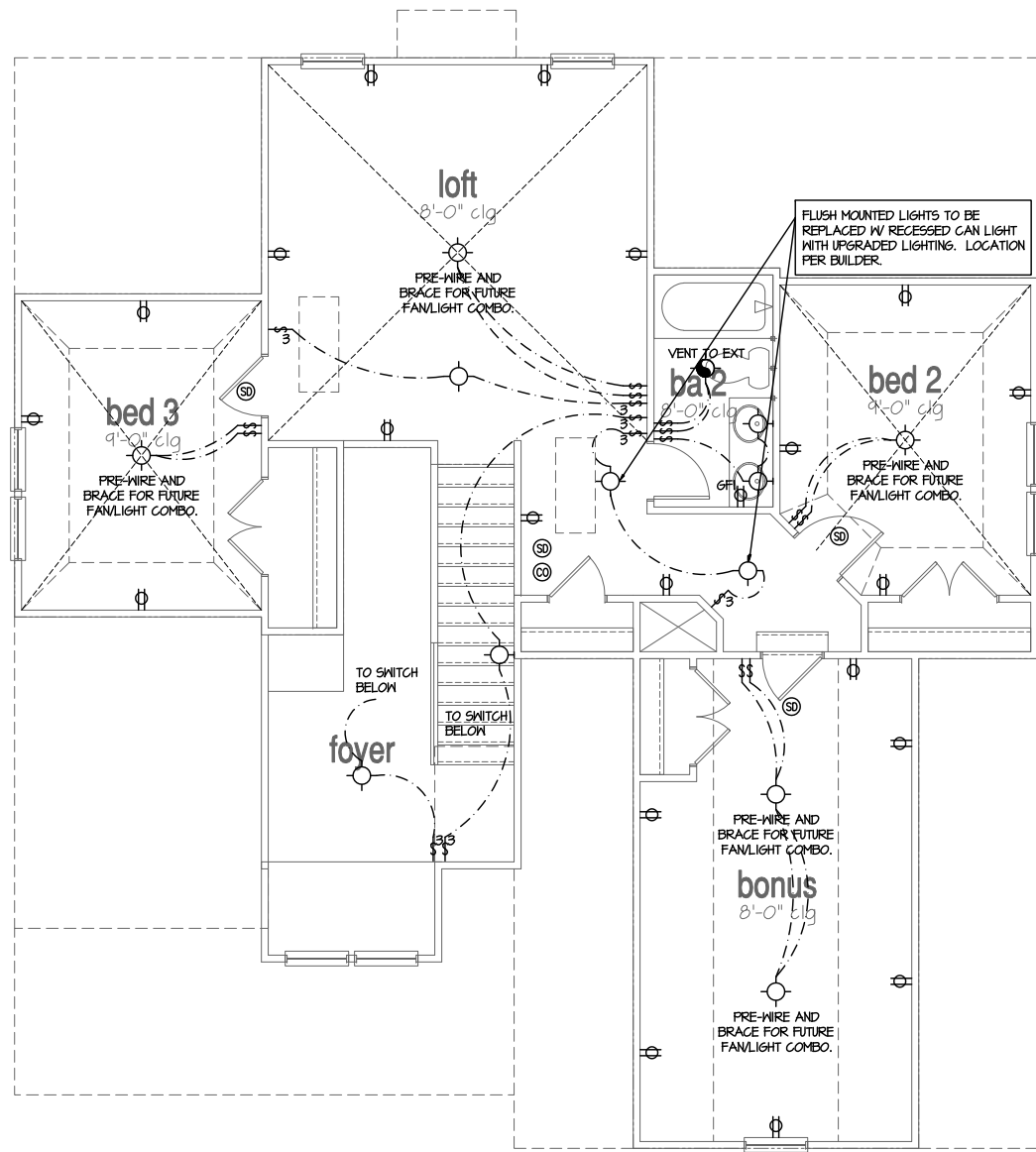
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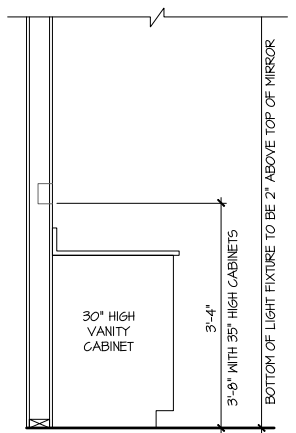
2nd FLOOR UTILITY PLAN

PRINT DATE:
July 14, 2017

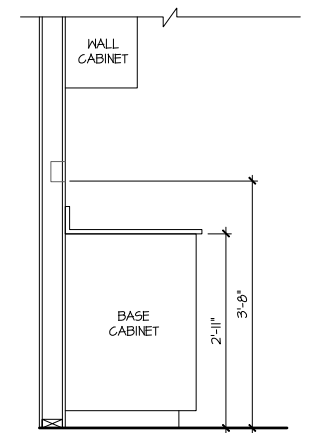
SHEET NO:
E2.0



STANDARD ELECTRICAL BOX HEIGHTS



SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS



SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS

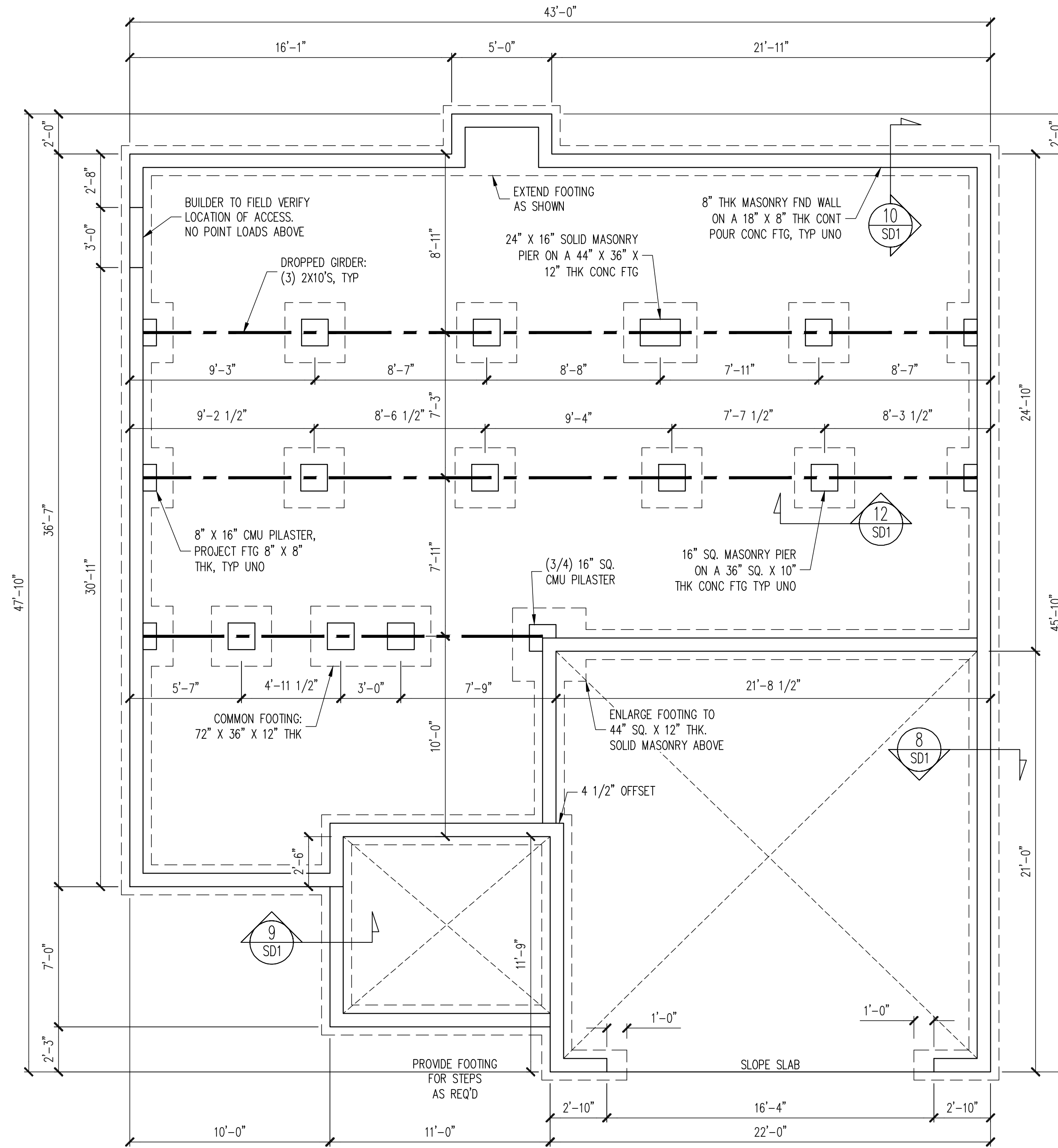
2nd Floor Utility Plan Basic

SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x11" LAYOUT

- NOTES:**
- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
 - PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 - ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS.
 - FANLIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
 - ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
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 - ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
 - HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
 - ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE PUMPS, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
 - PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

LEGEND:			
⊕	DUPLEX OUTLET	⊙	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
⊕WP/GFI	WEATHERPROOF GFI DUPLEX OUTLET	⊙	WALL MOUNTED INCANDESCENT LIGHT FIXTURE
⊕GFI	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET	⊙	RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF
⊕	HALF-SWITCHED DUPLEX OUTLET	⊙	EXHAUST FAN (VENT TO EXTERIOR)
⊕220V	220 VOLT OUTLET	⊙	EXHAUST FANLIGHT COMBINATION (VENT TO EXTERIOR)
⊙	REINFORCED JUNCTION BOX	⊙	FLUORESCENT LIGHT FIXTURE
⊕	WALL SWITCH	⊙	TECH HUB SYSTEM
⊕3	THREE-WAY SWITCH	⊙	CHIMES
⊕4	FOUR-WAY SWITCH	⊙	PUSHBUTTON SWITCH
		⊙	110V SMOKE DETECTOR W/ BATTERY BACKUP
		⊙	CO2 DETECTOR
		⊙	THERMOSTAT
		⊙	TELEPHONE
		⊙	TELEVISION
		⊙	ELECTRIC METER
		⊙	ELECTRIC PANEL
		⊙	DISCONNECT SWITCH
		⊙	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
		⊙	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
		⊙	GAS SUPPLY WITH VALVE
		⊙	HOSE BIBB
		⊙	1/4" WATER STUB OUT
		⊙	WALL SCORCE

Covered rear porch
See pg S16



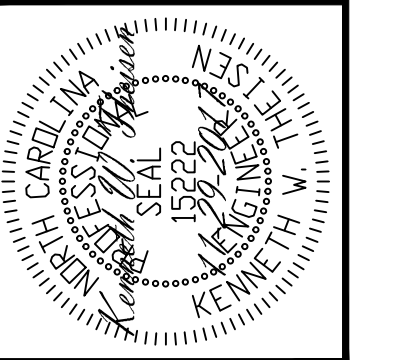
Classic
See next pg

FOUNDATION PLAN
CRAWLSPACE OPTION
~~COASTAL ELEVATION~~
1/4" = 1'-0"

NOTES:
- HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION.
- FIBER MESH REINFORCED CONCRETE MAY BE USED IN LIEU OF WELDED WIRE FABRIC. SEE SECTION 6.01 OF THE CONSTRUCTION SPECIFICATIONS FOR ALLOWABLE SUBSTITUTION DETAILS.

STRUCTURAL ENGINEERS
License No. C-3870
183 Wind Chime Court, Suite 100
Raleigh, North Carolina 27615
(919) 844-1661 Fax (919) 844-1665

Engineering Tech ASSOCIATES, P.A.



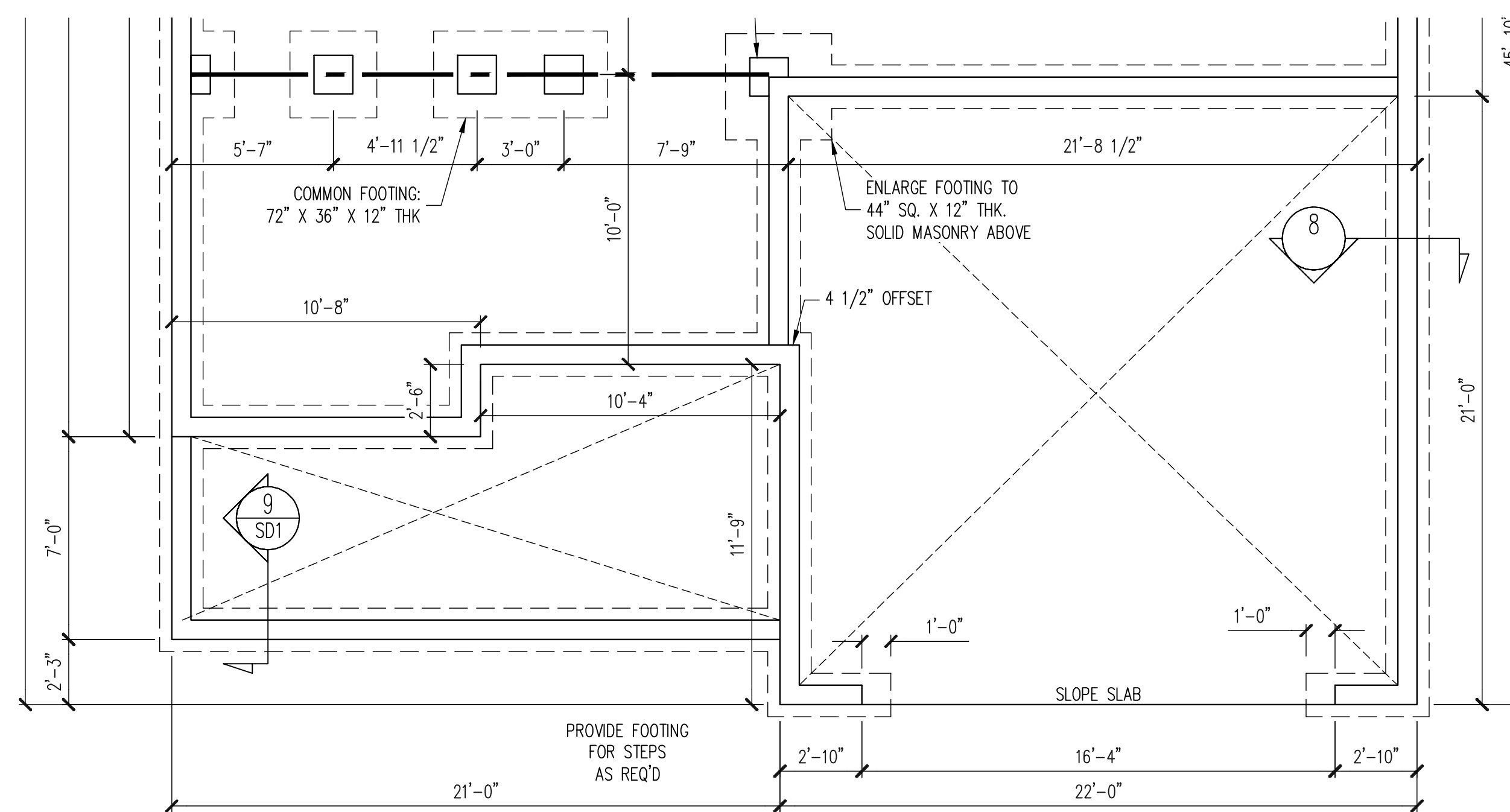
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CLIENT:	MCKEE HOMES, INC.
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	ENG: KWT/DTN REV: 11/29/2017 DATE: 11/29/2017

PLAN NO.
BILTMORE RH

PROJECT NO.
17-29-117R

SHEET NO.
S5



REFER TO SHEET NO. S5
FOR ALL STRUCTURAL
NOTES AND SCHEDULES

FOUNDATION PLAN
CRAWLSPACE OPTION
CLASSIC ELEVATION

1/4" = 1'-0"

CLIENT:	MCKEE HOMES, INC.
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	ENG: KWT/DTN
REV:	REV:
DATE:	11/29/2017

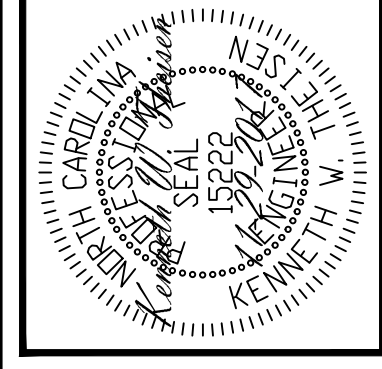
PLAN NO.
BILTMORE RH

PROJECT NO.
17-29-117R

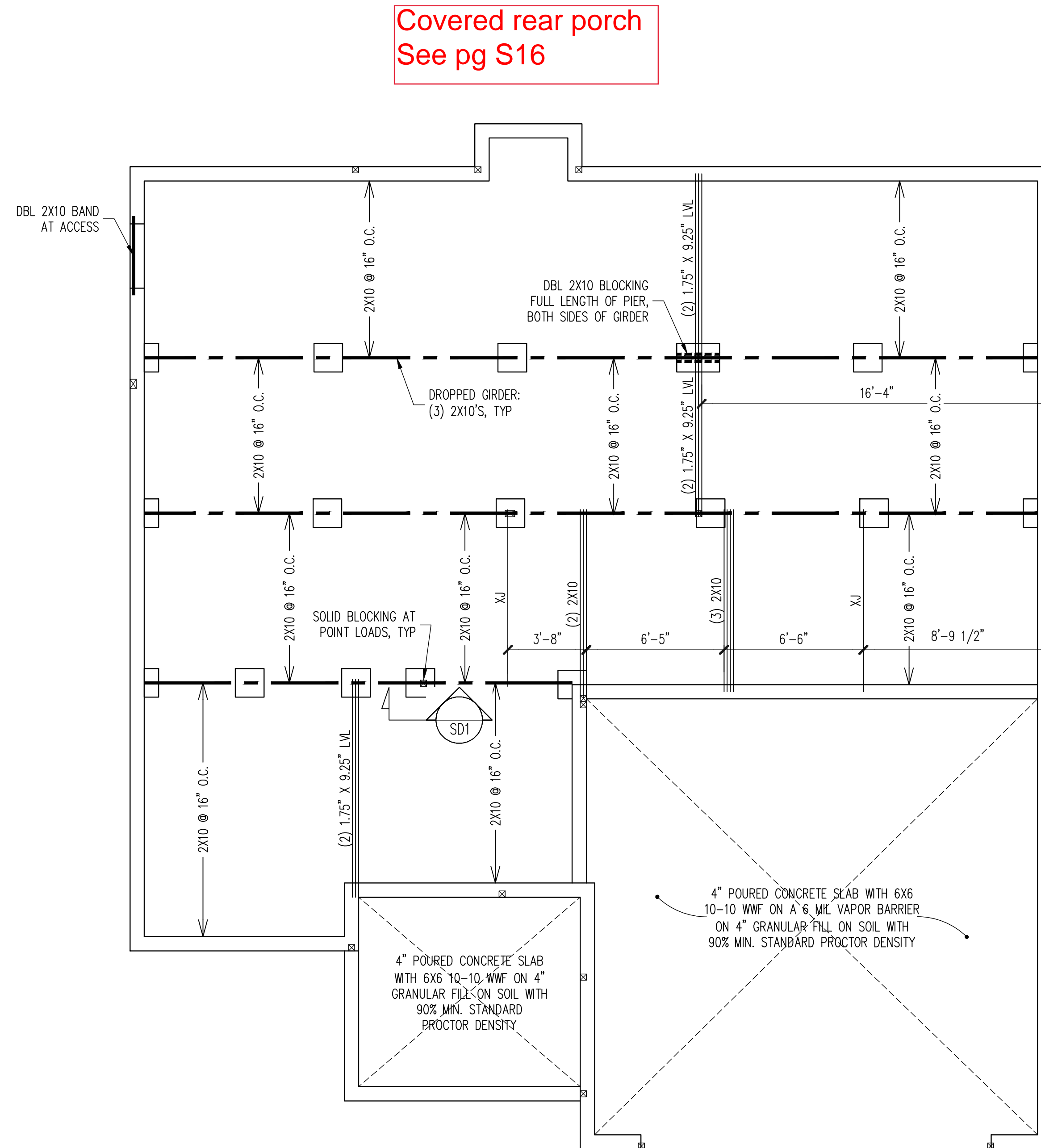
SHEET NO.
S6

6 of 44

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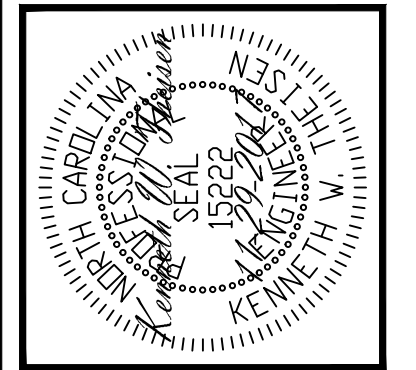


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ASSOCIATES, P.A.
STRUCTURAL ENGINEERS
License No. C-3870
183 Wind Chime Court, Suite 100
Raleigh, North Carolina 27615
(919) 844-1661 Fax (919) 844-1665



Classic
See next pg

CRAWL SPACE FRAMING PLAN
~~COASTAL ELEVATION~~
1/4" = 1'-0"



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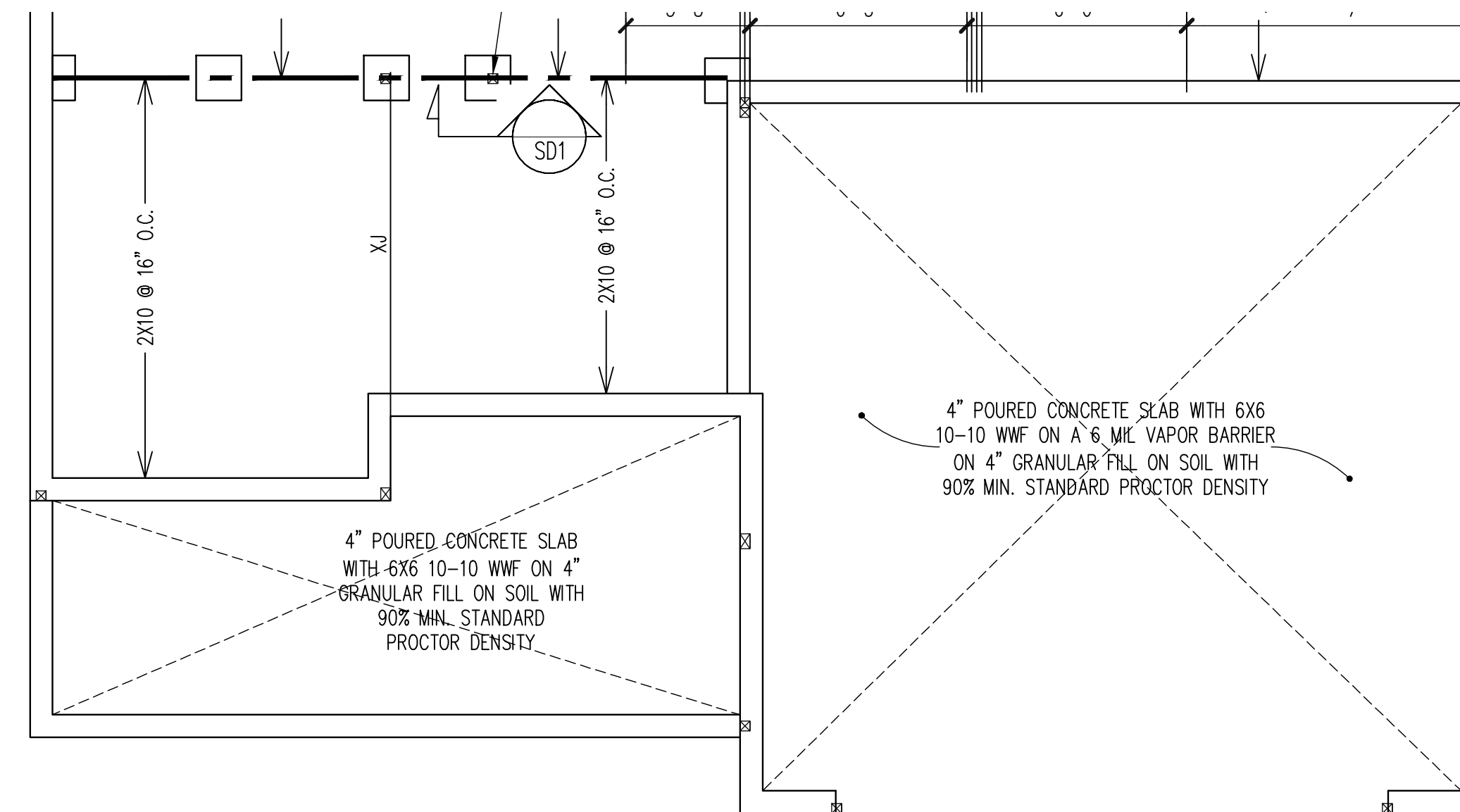
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SCOPE:	STRUCTURAL ADDENDUM
LOT #:	ENG: KWT/DTN REV: DATE: 11/29/2017

PLAN NO.
BILTMORE RH

PROJECT NO.
17-29-117R

SHEET NO.
S7

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REFER TO SHEET NO. S7
FOR ALL STRUCTURAL
NOTES AND SCHEDULES

CRAWL SPACE FRAMING PLAN
CLASSIC ELEVATION
1/4" = 1'-0"

CLIENT:	MCKEE HOMES, INC.
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	ENG: KWT/DTN REV:
	DATE: 11-29-2017

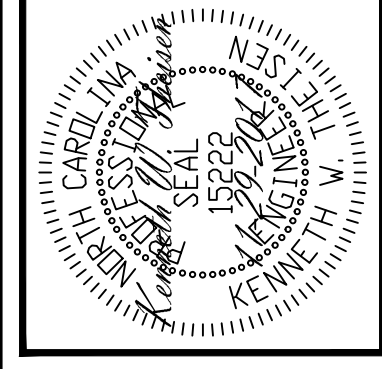
PLAN NO.
BILTMORE RH

PROJECT NO.
17-29-117R

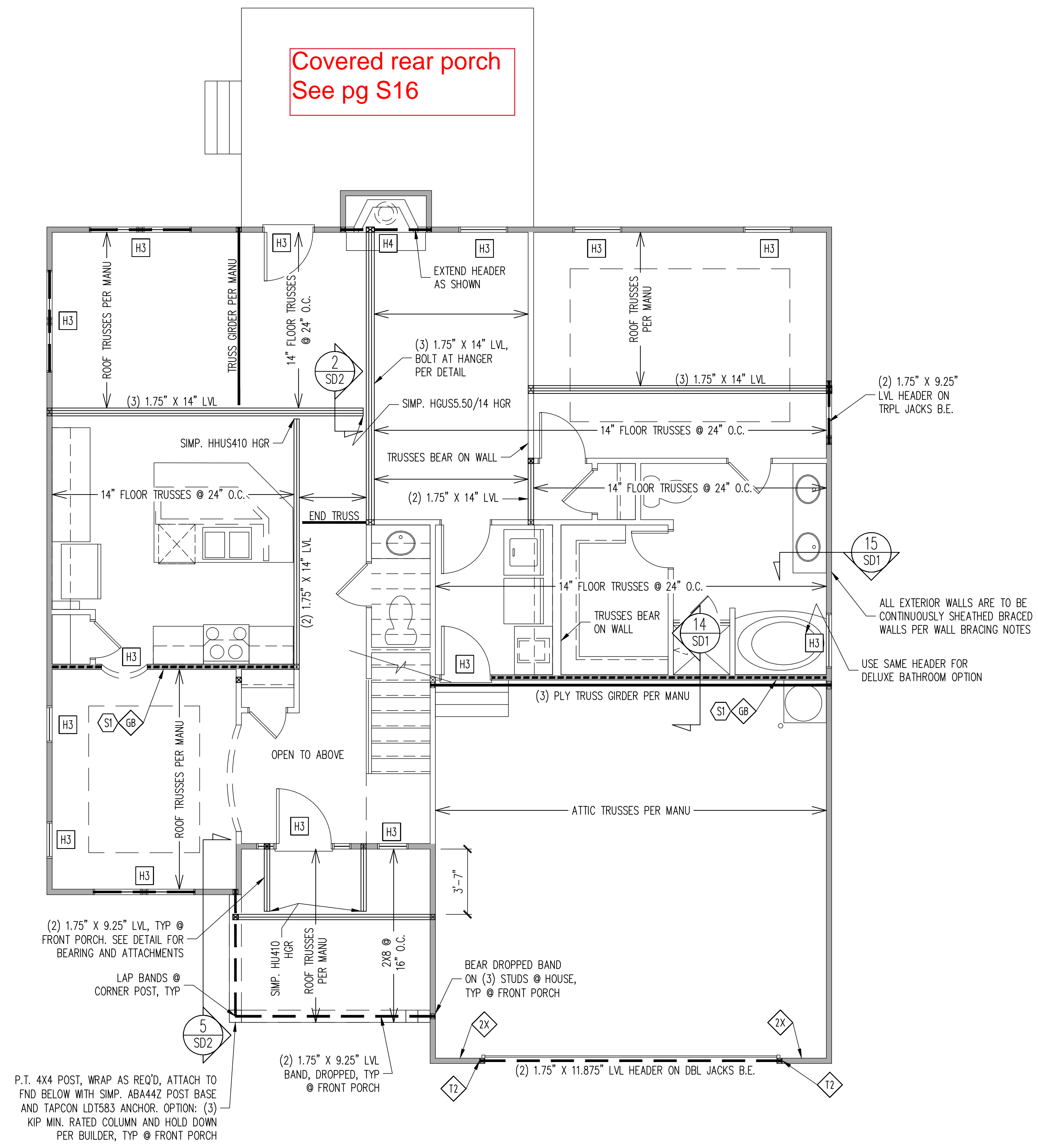
SHEET NO.
S8

8 of 44

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Covered rear porch
See pg S16

Classic
See next pg

1ST FLOOR FRAMING PLAN
~~COASTAL ELEVATION~~

WALLS AND CEILING
1/4" = 1'-0"

WALL BRACING
1ST FLOOR ONLY

ALL EXTERIOR STUD WALLS ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD. BLOCKING AT HORIZONTAL JOINTS IN BRACED WALL LINES ONLY REQUIRED AT SHADED WALLS, UNO

SHADED WALLS:

- GB - INTERIOR BRACED WALL WITH GYPSUM BOARD. 1/2" GB BOTH SIDES OF WALL ATTACHED TO PANEL EDGES, INCLUDING TOP AND BOTTOM PLATES, AT 7" O.C.
 - 2X - SHEATH BOTH SIDES OF STUD WALL WITH 7/16 APA RATED OSB, NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.
 - T2 - SIMPSON LTT19 HOLDOWN SECURED AS UPLIFT DEVICE TO CORNER STUDS OR KING/JACKS STUDS. ATTACH TO FOUNDATION OR SLAB THROUGH P.T. SILL PLATE WITH 3/8" DIA. ANCHOR BOLT.
- BUILDER PERMITTED TO SUBSTITUTE INTERIOR OSB SHEATHING WITH THERMO-PLY BLUE PROTECTIVE SHEATHING. REFERENCE TECHNICAL EVALUATION REPORT COL#P-1038 PROVIDED BY DRJ ENGINEERING, LLC AND SEALED BY RYAN DEXTER, P.E.

PROVIDED CONTINUOUS SHEATHING = 186" MIN.
-WALL BRACING IS BY ENGINEERED DESIGN AND NOT PRESCRIPTIVE PER SECTION 602.10 OF THE 2012 NCR. CONTINUOUS SHEATHING HAS BEEN PROVIDED, ALONG WITH ALTERNATIVE METHODS TO INSURE THE MINIMUM INTENT OF SECTION 602.10 OF THE 2012 NCR HAS BEEN MET AND EXCEEDED.

FRAMING SCHEDULE
1ST FLOOR ONLY

- S1 TRUSS OR BLOCKING REQUIRED ABOVE AND BELOW ALL BRACED WALLS. NAIL SUBFLOOR ABOVE WALL TO TRUSS / BLOCKING WITH 8d NAILS @ 6" O.C. TOE NAIL TRUSS / BLOCKING ABOVE WALL TO TOP PLATE WITH 16d TOE NAILS @ 6" O.C. ATTACH SOLE PLATE OF BRACED WALL TO FOUNDATION BELOW PER BRACED WALL DETAILS

REQUIRED STUDS FOR BEAM SUPPORT

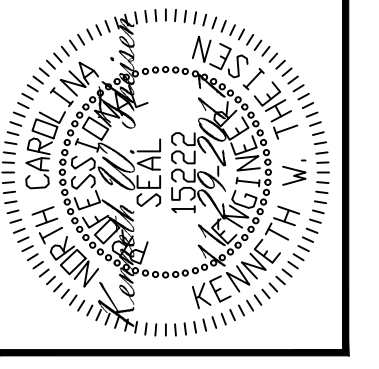
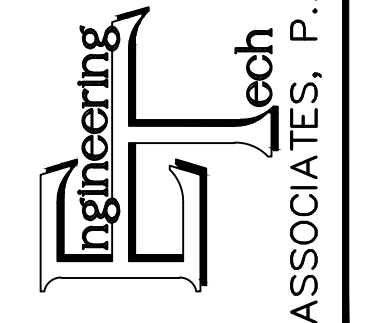
REFER TO SECTIONS 5.02 - 5.06 OF THE CONSTRUCTION SPECIFICATIONS FOR REQUIRED NUMBER OF STUDS FOR BEAM SUPPORT, TYP UNO.

HEADER SCHEDULE

- H1 SINGLE 2X4 TURNED FLAT (A)
 - H2 (2) 2X4'S ON SINGLE JACKS (B)
 - H3 (2) 2X10'S ON SINGLE JACKS (C)
 - H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS
- (A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.
(B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.
(C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.
*REQUIRED NUMBER OF KING STUDS FOR EXTERIOR HEADERS DETERMINED BY NCRBC TABLE 602.3(5) UNLESS NOTED OTHERWISE ON PLAN.

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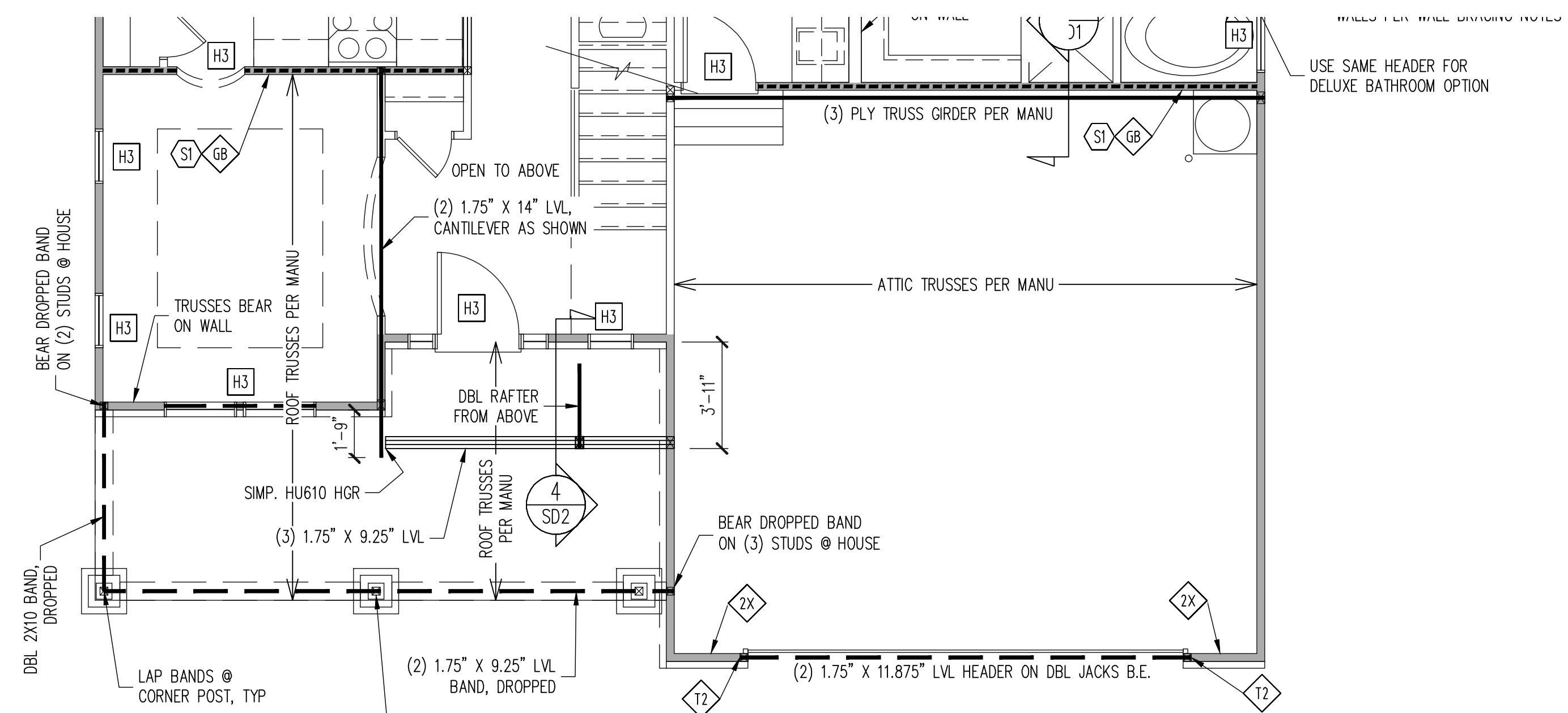
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SCOPE:	STRUCTURAL ADDENDUM
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PLAN NO.
BILTMORE RH

PROJECT NO.
17-29-117R

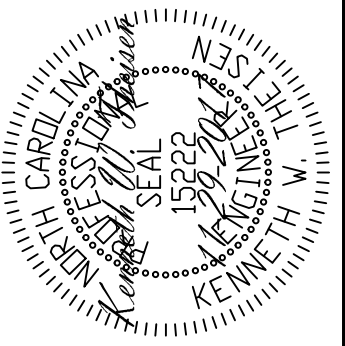
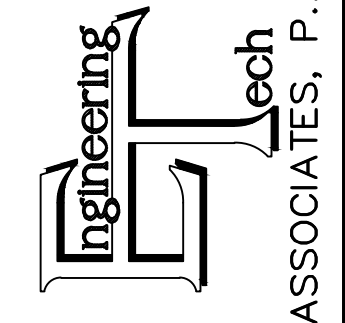
SHEET NO.
S9



REFER TO SHEET NO. S9
FOR ALL STRUCTURAL
NOTES AND SCHEDULES

1ST FLOOR FRAMING PLAN
CLASSIC ELEVATION
WALLS AND CEILING
1/4" = 1'-0"

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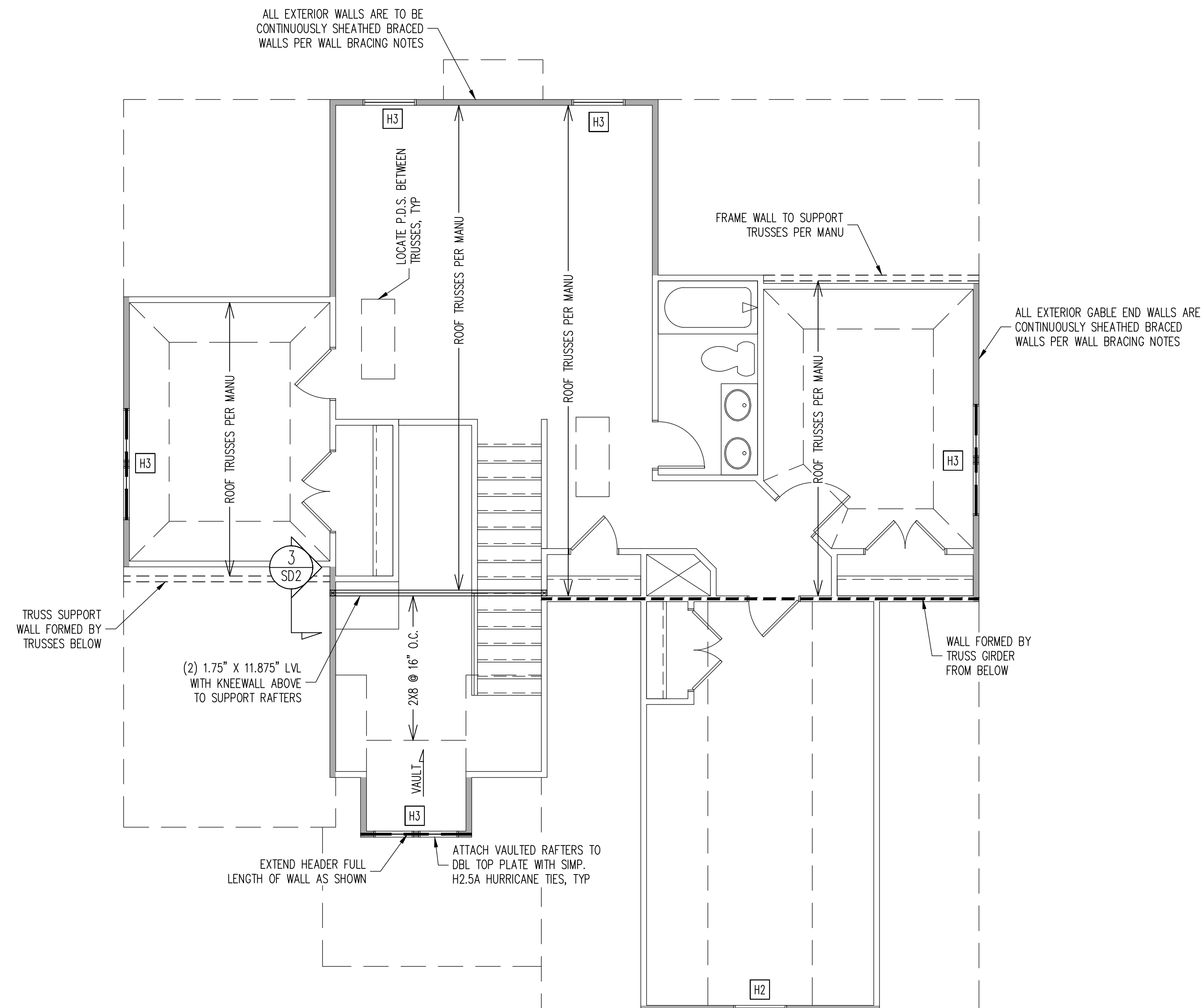
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BILTMORE RH

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SHEET NO.
S10



Classic See next pg 2ND FLOOR FRAMING PLAN
~~COASTAL ELEVATION~~
 WALLS AND CEILING
 1/4" = 1'-0"

WALL BRACING

2ND FLOOR ONLY

ALL EXTERIOR STUD WALLS ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

TRUSS OR BLOCKING REQUIRED ABOVE AND BELOW ALL BRACED WALLS. NAIL SUBFLOOR ABOVE WALL TO BLOCKING WITH 8d NAILS @ 6" O.C. TOE NAIL TRUSS / BLOCKING ABOVE WALL TO TOP PLATE WITH 16d TOE NAILS @ 6" O.C. NAIL SOLE PLATE OF BRACED WALL TO TRUSS / BLOCKING BELOW WALL WITH (3) 16d NAILS @ 16" O.C. BLOCKING AT HORIZONTAL JOINTS IN BRACED WALL LINES ONLY REQUIRED AT SHADED WALLS, UNO

SHADED WALLS:

-PROVIDED CONTINUOUS SHEATHING = 98" MIN.
 -WALL BRACING IS BY ENGINEERED DESIGN AND NOT PRESCRIPTIVE PER SECTION 602.10 OF THE 2012 NCR. CONTINUOUS SHEATHING HAS BEEN PROVIDED, ALONG WITH ALTERNATIVE METHODS TO INSURE THE MINIMUM INTENT OF SECTION 602.10 OF THE 2012 NCR HAS BEEN MET AND EXCEEDED.

REQUIRED STUDS FOR BEAM SUPPORT

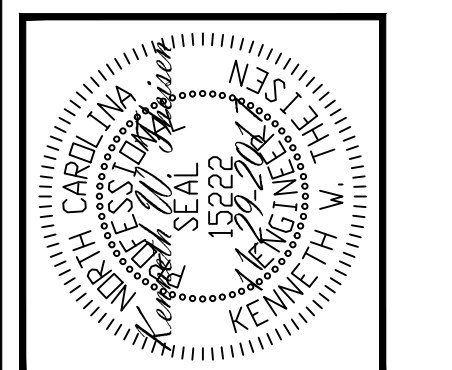
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HEADER SCHEDULE

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 - H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS
- (A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.
 - (B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.
 - (C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:
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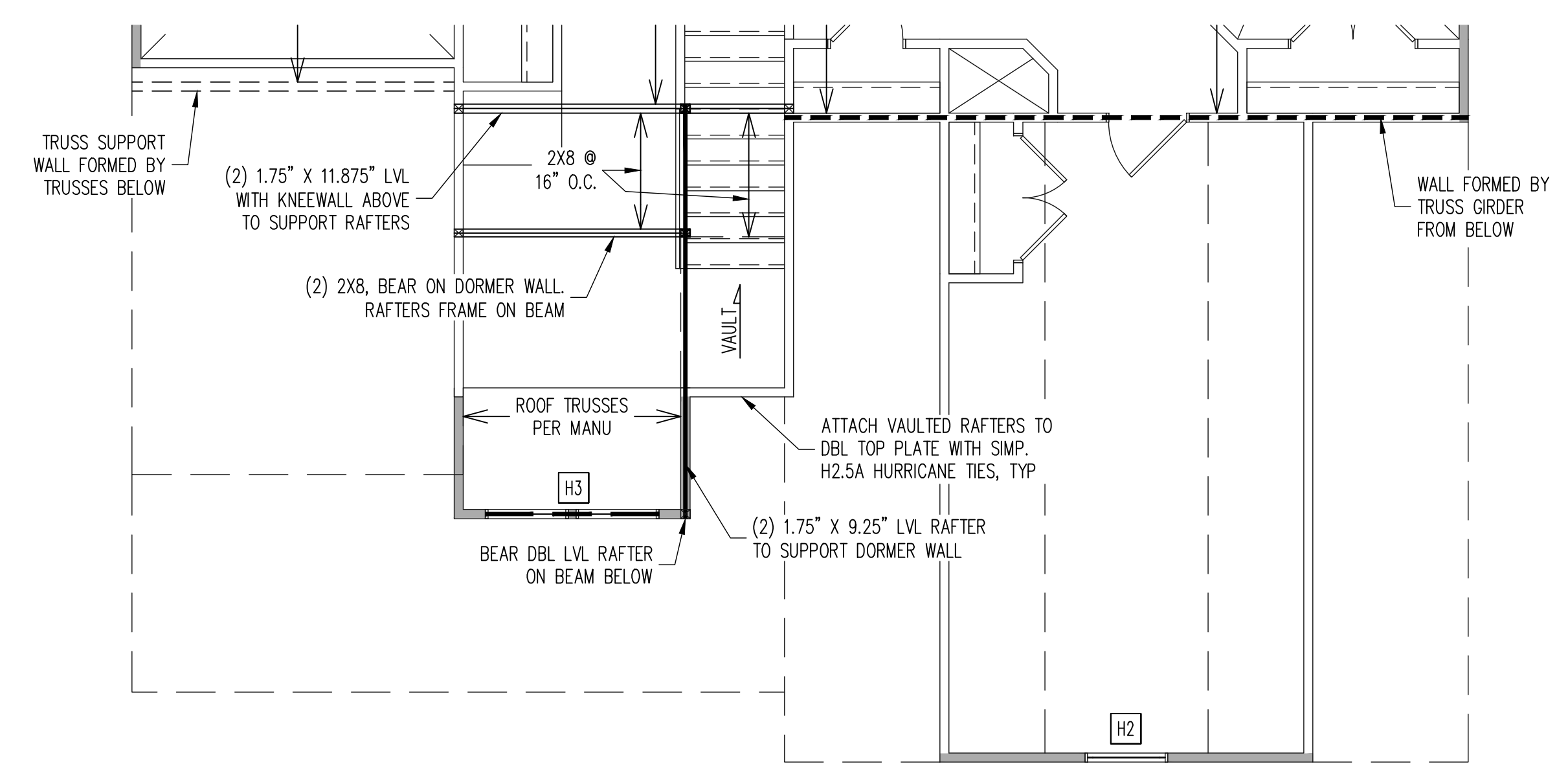
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REV:	REV:
DATE:	DATE: 11/29/2017

PLAN NO.
 BILTMORE RH

PROJECT NO.
 17-29-117R

SHEET NO.
 S11

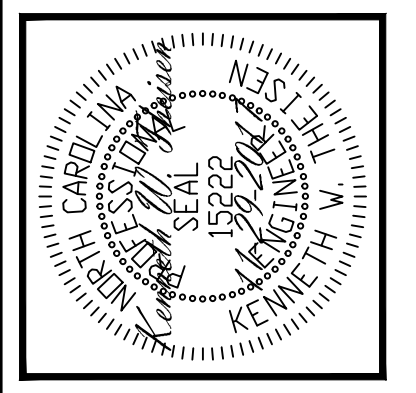


REFER TO SHEET NO. S11
FOR ALL STRUCTURAL
NOTES AND SCHEDULES

2ND FLOOR FRAMING PLAN
CLASSIC ELEVATION
WALLS AND CEILING
1/4" = 1'-0"

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FRAMING NOTES
 ROOF ONLY
 -ROOF TRUSSES PER MANU TYPICAL UNO
 -VERIFY ALL ARCHITECTURAL OVERHANGS, ROOF
 PITCHES, AND KNEEWALL HEIGHTS PRIOR TO
 CONSTRUCTION

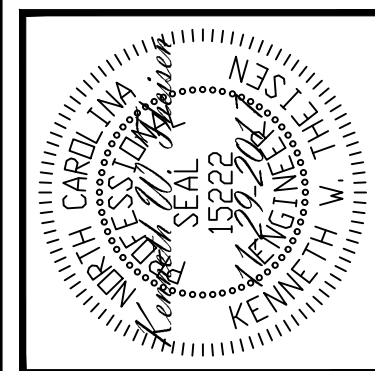
SHEET NO.
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PLAN NO.
 BILTMORE RH

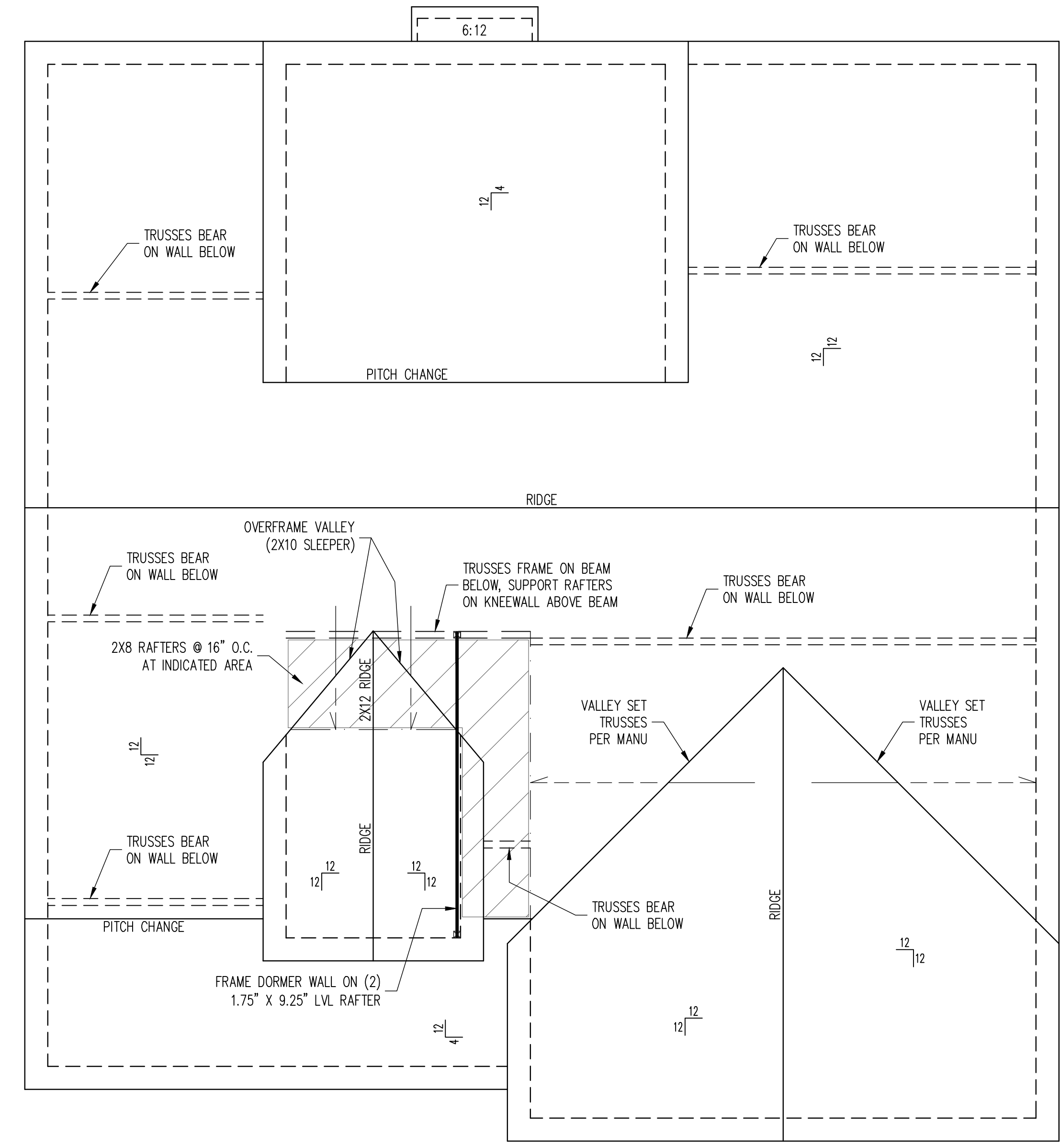
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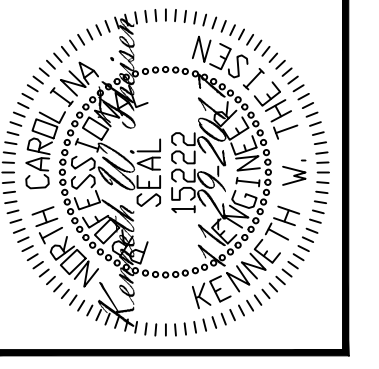
Covered rear porch
See pg S16



REFER TO SHEET NO. S13
FOR ALL STRUCTURAL
NOTES AND SCHEDULES

ROOF FRAMING PLAN
CLASSIC ELEVATION
1/4" = 1'-0"

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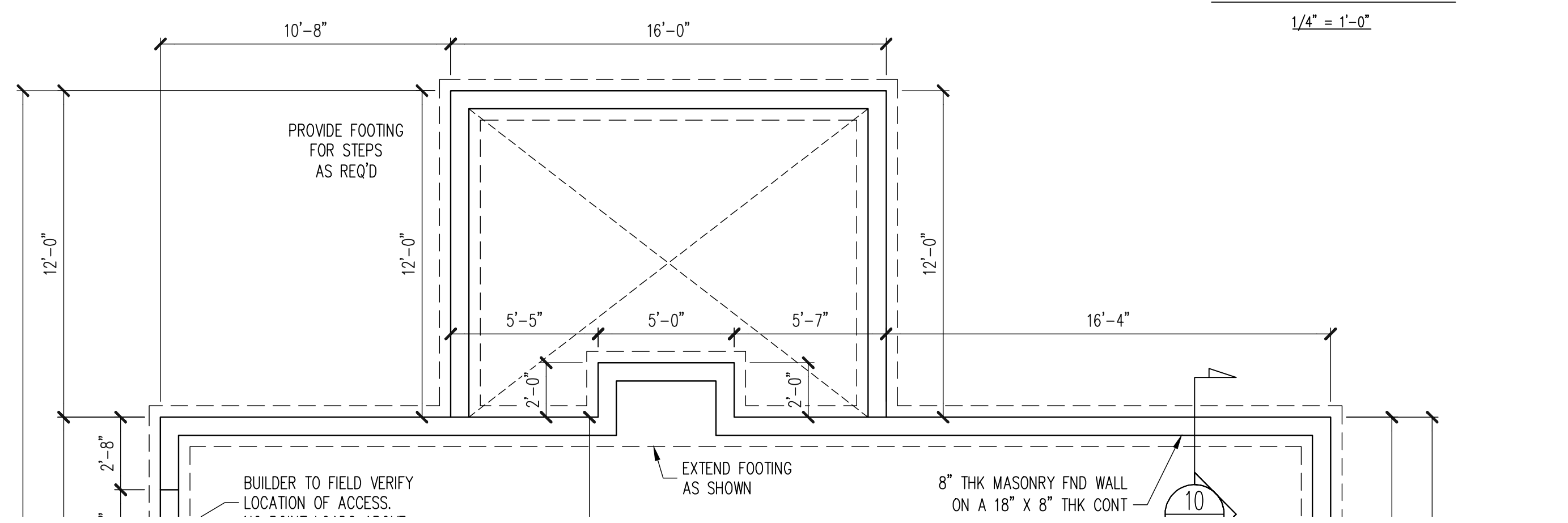
PLAN NO.
BILTMORE RH

PROJECT NO.
17-29-117R

SHEET NO.
S15

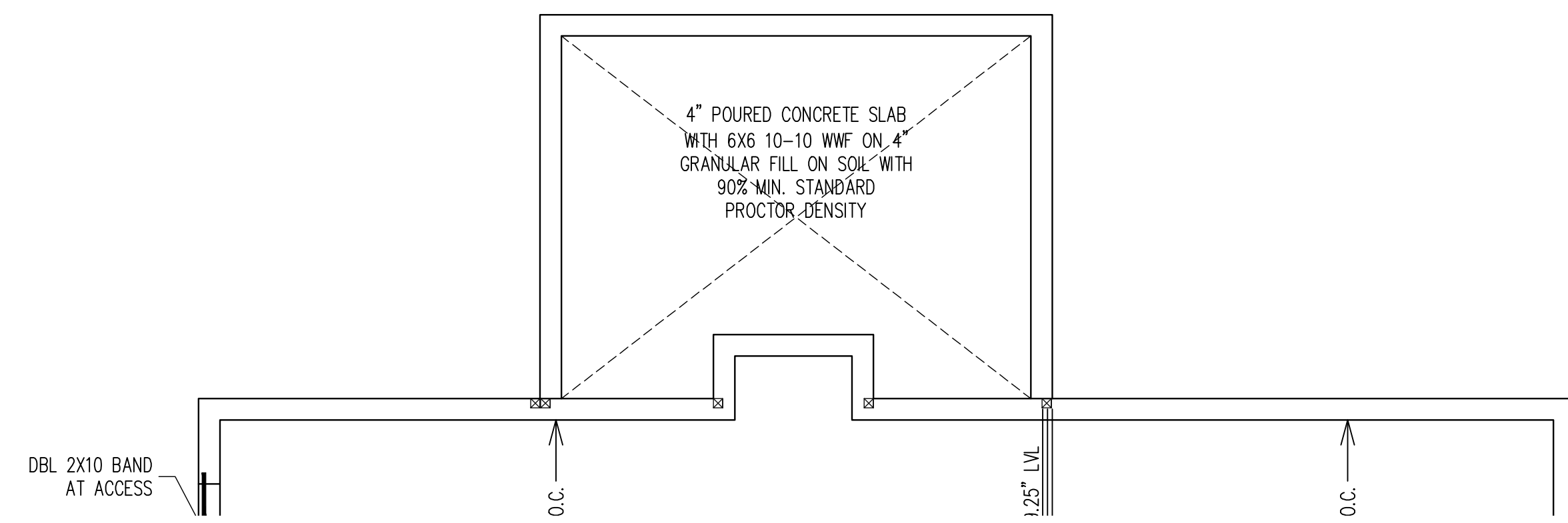
15 of 44

REFER TO SHEET NO. S5
FOR ALL STRUCTURAL
NOTES AND SCHEDULES



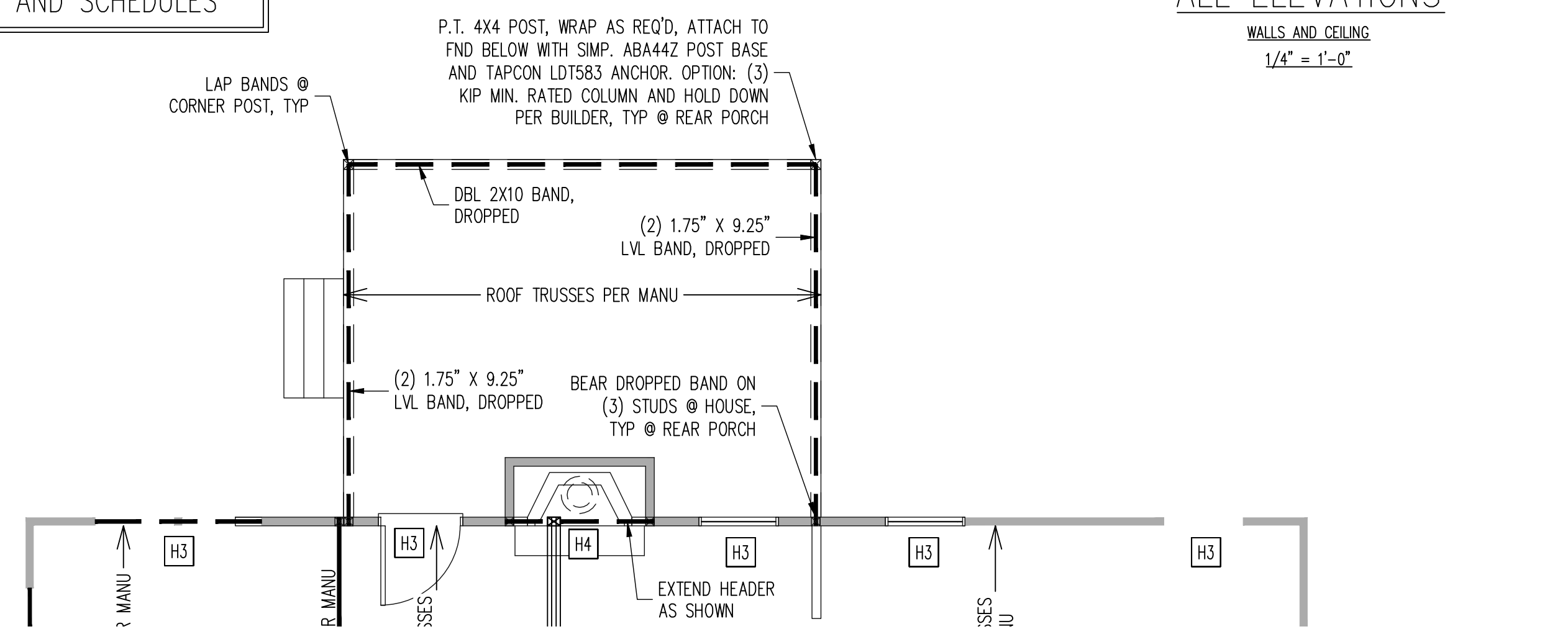
FOUNDATION PLAN
CRAWLSPACE OPTION
COVERED REAR PORCH OPTION
ALL ELEVATIONS
1/4" = 1'-0"

REFER TO SHEET NO. S7
FOR ALL STRUCTURAL
NOTES AND SCHEDULES



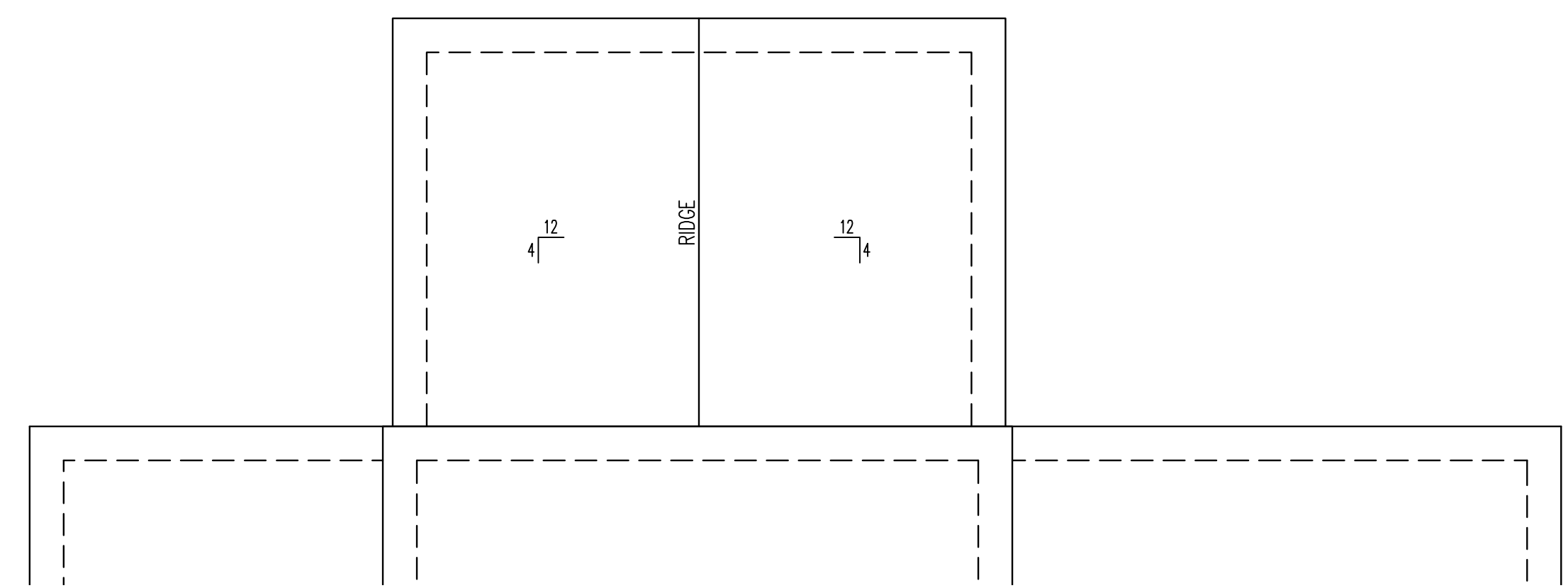
CRAWL SPACE FRAMING PLAN
COVERED REAR PORCH OPTION
ALL ELEVATIONS
1/4" = 1'-0"

REFER TO SHEET NO. S9
FOR ALL STRUCTURAL
NOTES AND SCHEDULES



1ST FLOOR FRAMING PLAN
COVERED REAR PORCH OPTION
ALL ELEVATIONS
WALLS AND CEILING
1/4" = 1'-0"

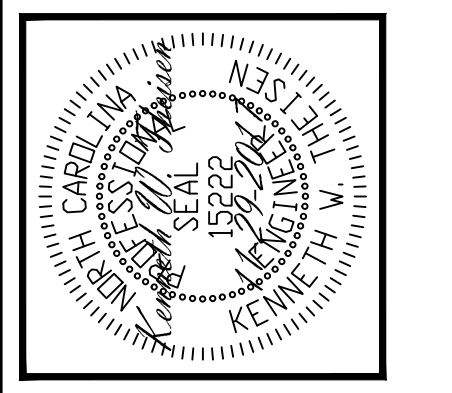
REFER TO SHEET NO. S13
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ROOF FRAMING PLAN
COVERED REAR PORCH OPTION
ALL ELEVATIONS
1/4" = 1'-0"

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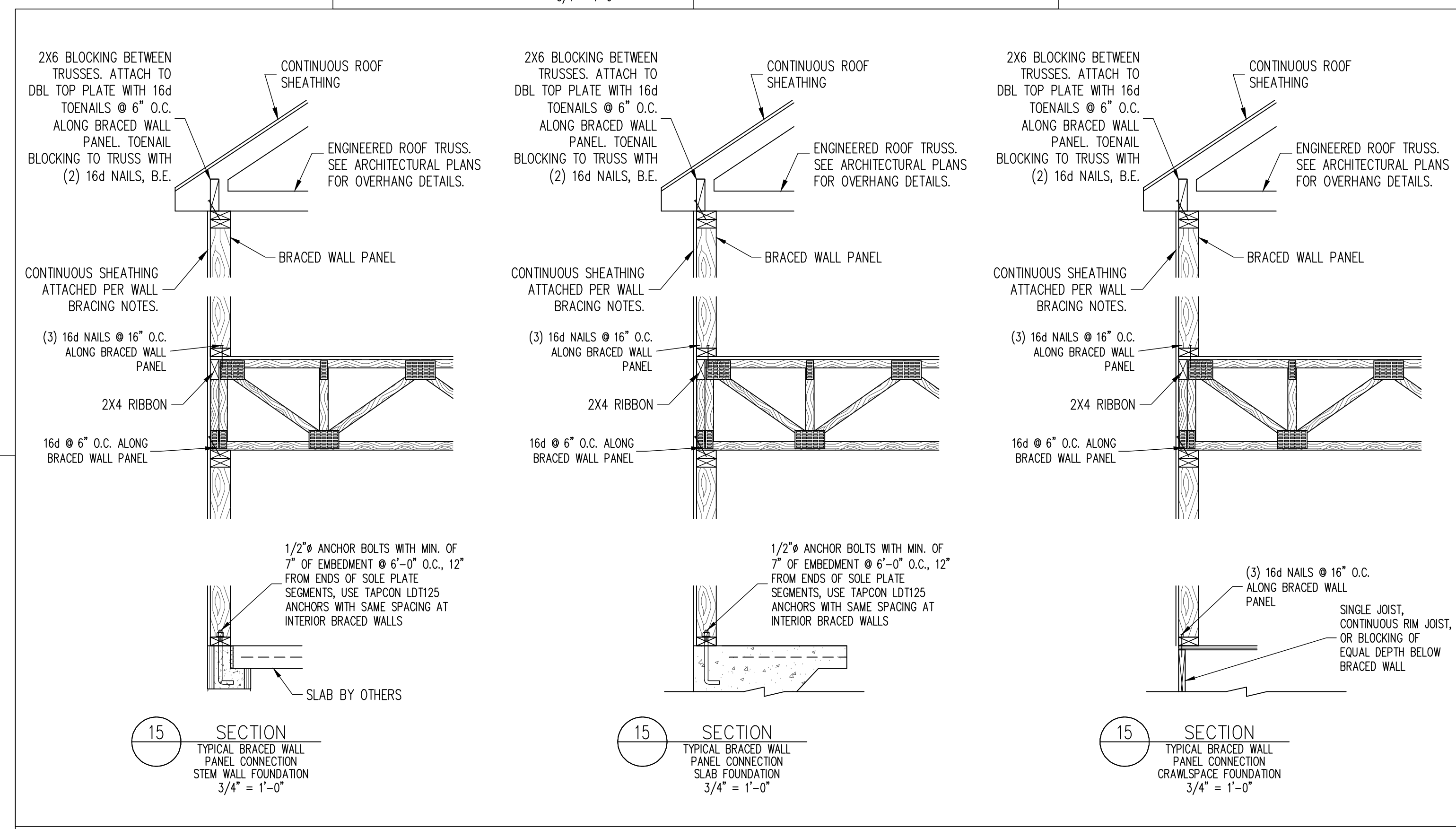
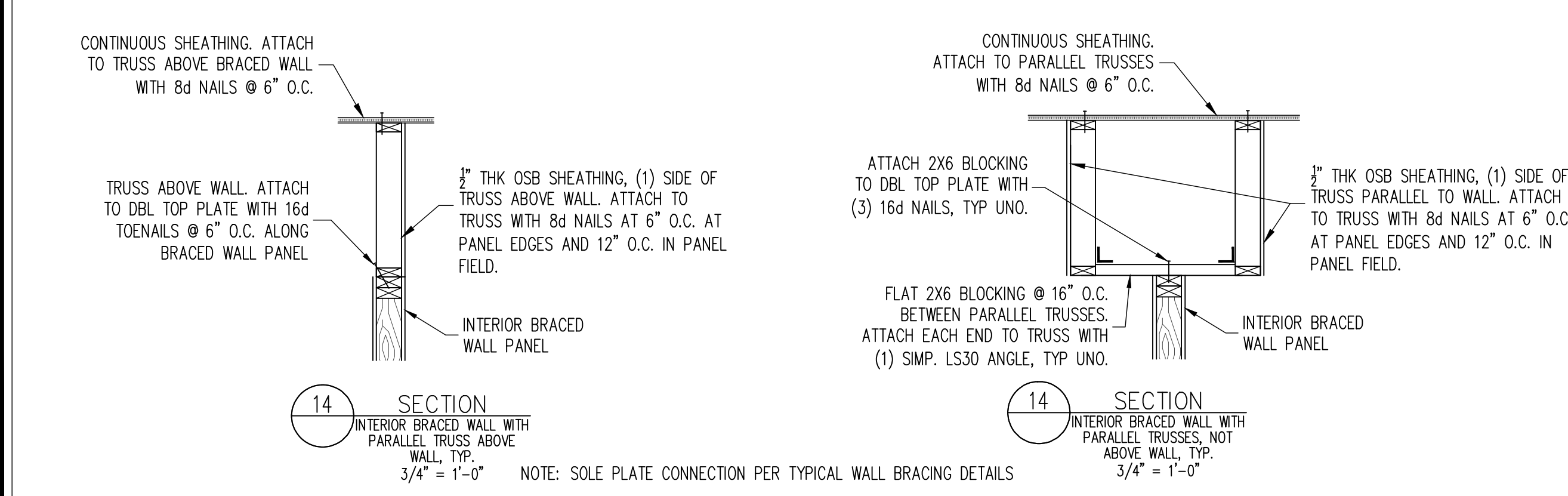
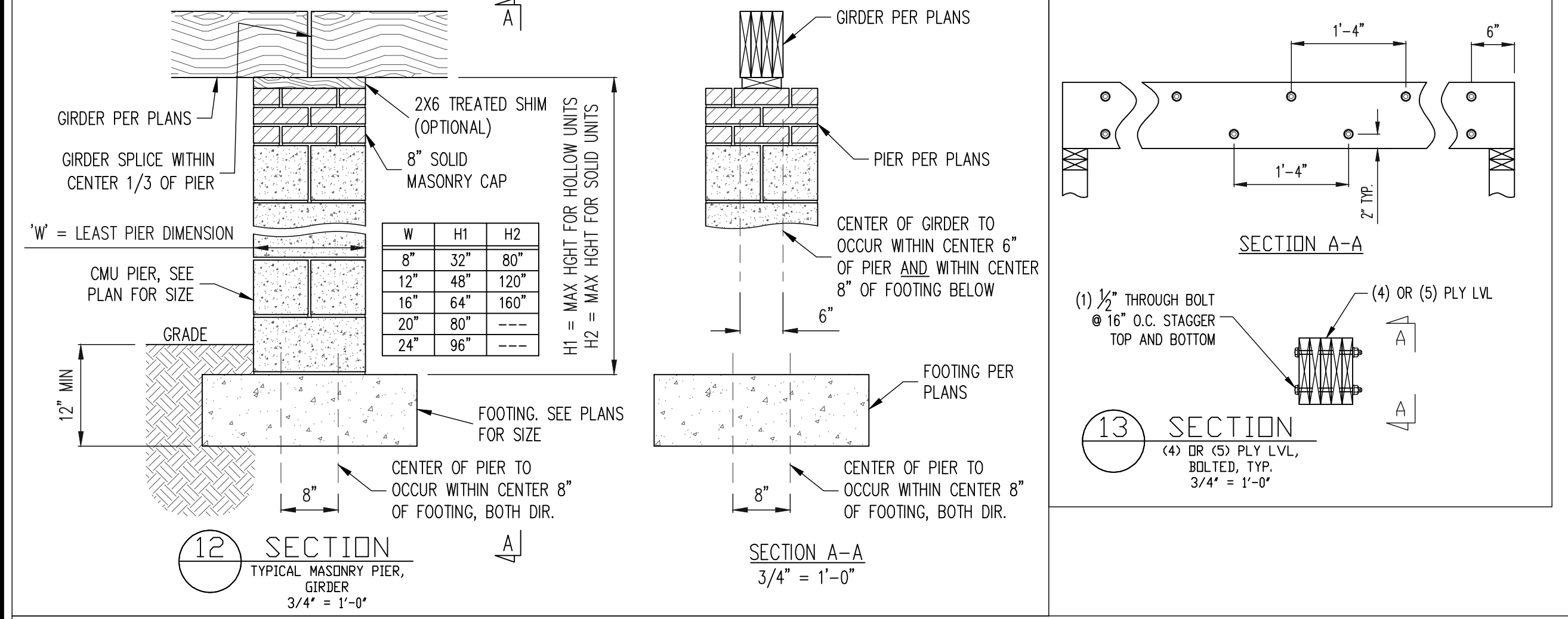
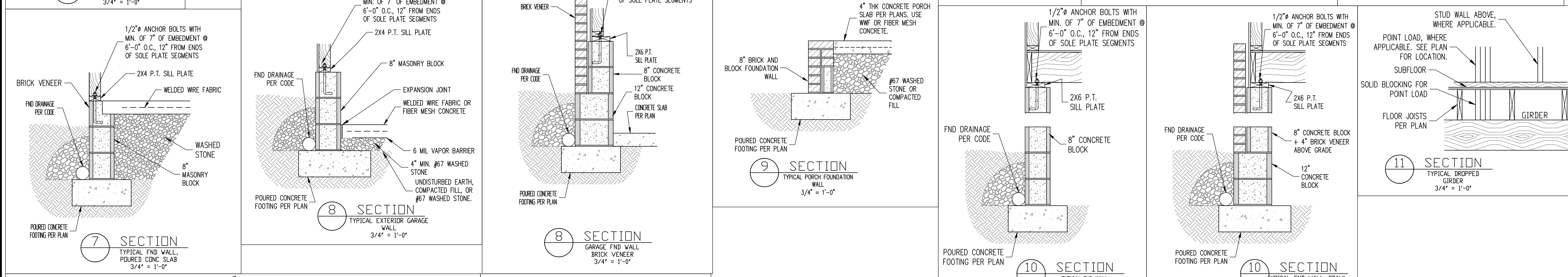
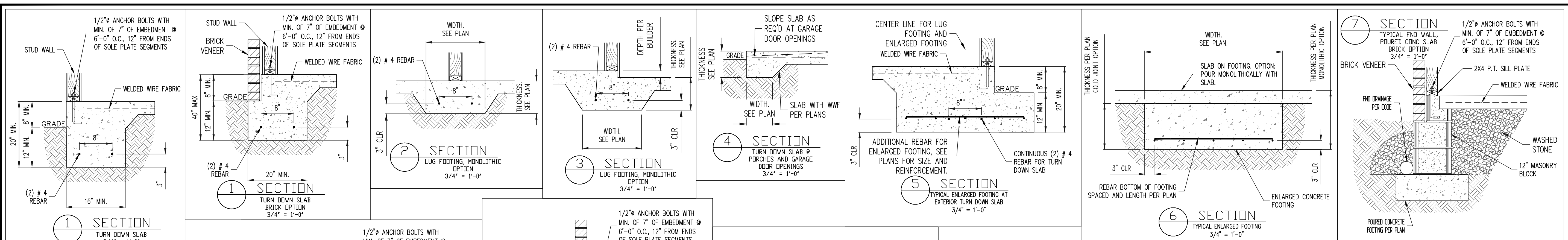
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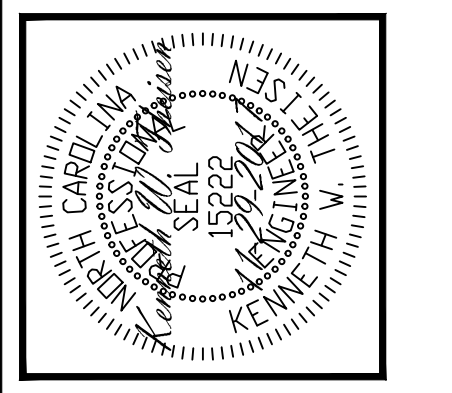
SHEET NO.
S16

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PLAN NO.
BILTMORE RH

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17-29-117R

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SD1
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CONSTRUCTION SPECIFICATIONS

PART 1: GENERAL

- 1.01 CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE, 2012 EDITION.
- 1.02 STRUCTURAL STEEL SHALL MEET THE REQUIREMENTS OF THE AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
- 1.03 REINFORCED CAST IN PLACE CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF ACI 318, LATEST EDITION.
- 1.04 MASONRY CONSTRUCTION SHALL CONFORM TO THE SPECIFICATIONS OF ACI 530-95, LATEST EDITION.
- 1.05 METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND INSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.

PART 2: DIMENSIONS

- 2.01 DIMENSIONS SHOWN SHALL GOVERN OVER SCALE ON THESE DRAWINGS.

PART 3: DESIGN LOADS

- 3.01 DESIGN LOADS SHALL CONFORM WITH THE TABLE BELOW:

USE	LIVE LOAD (PSF)	DEAD LOAD (PSF)
BALCONIES, DECKS, ATTICS WITH FIXED STAIR ACCESS, DWELLING UNITS (INCLUDING SLEEPING ROOMS), ATTICS WITH FIXED STAIR ACCESS, STAIRS, FIRE ESCAPES	40	10
GARAGES (PASSENGER CARS ONLY)	50	---
ATTICS (NO STORAGE, LESS THAN 5' HEADROOM)	10	10
ATTICS (WITH STORAGE)	20	10
ROOF	20	10 (15 FOR VAULTS)

- NOTES: - INDIVIDUAL STAIR TREADS ARE TO BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300 LB. CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQ. IN., WHICHEVER PRODUCES THE GREATER STRESS.
- GUARD RAILS AND HAND RAILS ARE TO BE DESIGNED FOR A SINGLE CONCENTRATED LOAD OF 200 LB. APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.
- BUILDER TO VERIFY DEAD LOAD DOES NOT EXCEED 10 PSF WHEN HEAVY FLOOR OR ROOF FINISHES SUCH AS TILE OR SLATE ARE UTILIZED.

- 3.02 INTERIOR WALLS: 5 PSF LATERAL.
- 3.03 BASIC WIND DESIGN VELOCITY OF 100 MPH.
- 3.04 LOAD DURATION FACTOR FOR ROOF STRUCTURAL MEMBERS IS 1.15.
- 3.05 SOIL BEARING CAPACITY 2000 PSF (PRESUMPTIVE).

PART 4: MATERIALS

- 4.01 STRUCTURAL STEEL SQUARE AND RECTANGULAR TUBING SHALL CONFORM TO ASTM A500 GRADE B MINIMUM GRADE. ALL OTHER STRUCTURAL STEEL SHALL CONFORM TO ASTM A502 MINIMUM GRADE. TYP. UNO.
- 4.02 REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615 GRADE 60 TYP UNO.
- 4.03 SOLID SAWN WOOD FRAMING DESIGN IS BASED ON NO. 2 SPRUCE PINE FIR FOR JOISTS, RAFTERS, WOOD GIRDERS, BEAMS, STUDS, ETC. ALLOWANCE HAS BEEN MADE FOR SYP #2 SUBSTITUTION TYP. UNO.
- 4.04 LVL OR PSL MINIMUM ALLOWABLE DESIGN STRESSES ARE AS FOLLOWS:
E = 1.9 X 10⁶ PSI, F_b = 2800 PSI, F_v = 285 PSI, F_c = 750 PSI
- 4.05 LVL MINIMUM ALLOWABLE DESIGN STRESSES ARE AS FOLLOWS:
E = 1.3 X 10⁶ PSI, F_b = 1700 PSI, F_v = 400 PSI, F_c = 680 PSI
- 4.06 BOLTS SHALL CONFORM TO ASTM A307 MINIMUM GRADE TYP UNO.
- 4.07 WELDING ELECTRODES SHALL BE E70XX.
- 4.08 LUMBER IN CONTACT WITH THE GROUND, CONCRETE OR MASONRY SHALL BE PRESSURE TREATED IN ACCORDANCE WITH ANPA STANDARD C-15. ALL OTHER EXPOSED LUMBER SHALL BE TREATED IN ACCORDANCE WITH ANPA STANDARD C-2 OR BY ANY METHOD GIVING EQUAL PROTECTION. THE BUILDING CODE OFFICE MAY ALSO APPROVE A NATURAL DECAY RESISTANT WOOD PER SECTION 19-6(A).

- 4.09 CAST IN PLACE CONCRETE SHALL BE OF NORMAL WEIGHT AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS TYP UNO.
- 4.10 CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C 90 OR ASTM C 55.
- 4.11 MORTAR SHALL BE TYPE S CONFORMING TO ASTM C 476.
- 4.12 NAILS SHALL BE COMMON WIRE NAILS TYP UNO.
- 4.13 LAG SCREWS SHALL CONFORM TO ANSI/ASME STANDARD B18.21-1981.

PART 5: CONSTRUCTION

- 5.01 FLITCH PLATE BEAMS SHALL CONSIST OF A CONTINUOUS STEEL PLATE BOLTED BETWEEN TWO PIECES OF CONTINUOUS LUMBER AS SIZED ON THE PLANS. BOLTS PROCEED TOGETHER USING 1/2" x 8" BOLTS SPACED AT 24" O.C. STAGGERED TOP TO BOTTOM OF THE BEAM. MAINTAIN A 2" EDGE DISTANCE. PLACE TWO BOLTS, ONE ABOVE THE OTHER, 6" FROM EACH END OF THE BEAM.
- 5.02 STEEL, LVL, AND FLITCH PLATE BEAMS BEARING ON A STUD WALL PERPENDICULAR TO THE BEAM SHALL BEAR FULL WIDTH ON THE SUPPORTING WALL INDICATED AND SHALL BE SUPPORTED BY A MINIMUM OF THREE GANGED STUDS, OR A GANGED STUD COLUMN WITH A NUMBER OF STUDS SUCH THAT THE STUD COLUMN IS AT LEAST AS WIDE AS THE BEAM BEING SUPPORTED, WHICHEVER IS GREATER, TYP UNO.
- 5.03 STEEL, LVL, AND FLITCH PLATE BEAMS BEARING ONTO THE END OF A STUD WALL PARALLEL TO THE BEAM SHALL BEAR A MINIMUM OF 4 1/2" ONTO THE WALL AND BE SUPPORTED BY A TRIP STUD GANGED COLUMN TYP UNO.
- 5.04 SOLID SAWN LUMBER GANGED BEAMS BEARING ON A STUD WALL PERPENDICULAR TO THE BEAM SHALL BEAR FULL WIDTH ON THE SUPPORTING WALL INDICATED (LESS 1 1/2" TO ALLOW FOR A CONTINUOUS RIM JOIST) AND SHALL BE SUPPORTED BY A GANGED STUD COLUMN THE SAME WIDTH AS THE BEAM TYP UNO.
- 5.05 SOLID SAWN LUMBER GANGED BEAMS BEARING ONTO THE END OF A STUD WALL PARALLEL TO THE BEAM SHALL BEAR A MINIMUM OF 3" ONTO THE WALL AND BE SUPPORTED BY A DBL STUD GANGED COLUMN TYP UNO.
- 5.06 EXTRA JOISTS OR SINGLE LVL MEMBERS OF 1.75" OR LESS WIDTH BEARING ON A STUD WALL PERPENDICULAR TO THE BEAM SHALL BEAR ON THE WALL A MINIMUM OF 2" AND SHALL BE SUPPORTED BY ONE ADDITIONAL STUD.
- 5.07 SOLID SAWN LUMBER JOISTS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM NAILED TOGETHER WITH THREE ROWS OF 10d NAILS @ 16" O.C.
- 5.08 LVL MEMBERS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM FASTENED TOGETHER PER MANUFACTURERS RECOMMENDATIONS, TYP UNO.
- 5.09 STUDS THAT ARE GANGED TO FORM A COLUMN SHALL HAVE ADJACENT STUDS WITHIN THE COLUMN NAILED TOGETHER WITH ONE ROW OF 10d NAILS AT 8" O.C. (TWO ROWS OF 10d NAILS @ 8" O.C., 3" APART, FOR 200 OR 240 STUDS) ALL COLUMNS SHALL BE CONTINUOUS DOWN TO THE FOUNDATION OR OTHER PROPERLY DESIGNED STRUCTURAL ELEMENT SUCH AS A BEAM. COLUMNS TRANSFERRING LOADS THROUGH FLOOR LEVELS SHALL BE SOLIDY BLOCKED FOR THE FULL WIDTH OF THE STUD COLUMN WITHIN THE CAVITY FORMED BY THE FLOOR JOISTS.
- 5.10 STUD WALLS SHALL CONSIST OF 2X4 STUDS SPACED AT 16" O.C. UNO. STUDS SHALL BE CONTINUOUS FROM SOLE PLATE AT FLOOR TO DOUBLE TOP PLATE AT THE CEILING OR ROOF. NO INTERMEDIATE BANDS OR PLATES SHALL CAUSE DISCONTINUITIES IN A STUD WALL EXCEPT AS REQUIRED FOR DOOR OR WINDOW OPENINGS. THE KING STUDS FOR SUCH OPENINGS SHALL BE CONTINUOUS.
- 5.11 PILOT HOLES SHALL BE USED FOR LAG SCREW INSTALLATION AND SHALL BE BORED ACCORDING TO NDS SPECIFICATIONS.
- 5.12 ALL WELDING SHALL BE PERFORMED BY AN AWS CERTIFIED WELDER.
- 5.13 ALL CONCRETE, INCLUDING CONCRETE FOR FOOTINGS, IS TO BE CAST IN PLACE, TYP UNO.
- 5.14 BOLTS AND LAG SCREWS USED FOR BOLTING WOOD MEMBERS SHALL HAVE STANDARD WASHERS INSTALLED FOR THE NUTS AND BOLT / SCREW HEADS.

PART 6: SUBSTITUTIONS

- 6.01 IN LIEU OF WELDED WIRE FABRIC IN SLABS, SYNTHETIC POLYPROPYLENE FIBRILLATED MICRO FIBERS, FIBER LENGTH 1 1/2", DOSAGE RATE 1 1/2 LBS/CU YD.
- 6.02 OTHER MATERIAL OR MEMBER SIZE SUBSTITUTIONS REQUIRE THE WRITTEN AUTHORIZATION OF THE DESIGNERS. UNAUTHORIZED DEVIATIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

NOTES

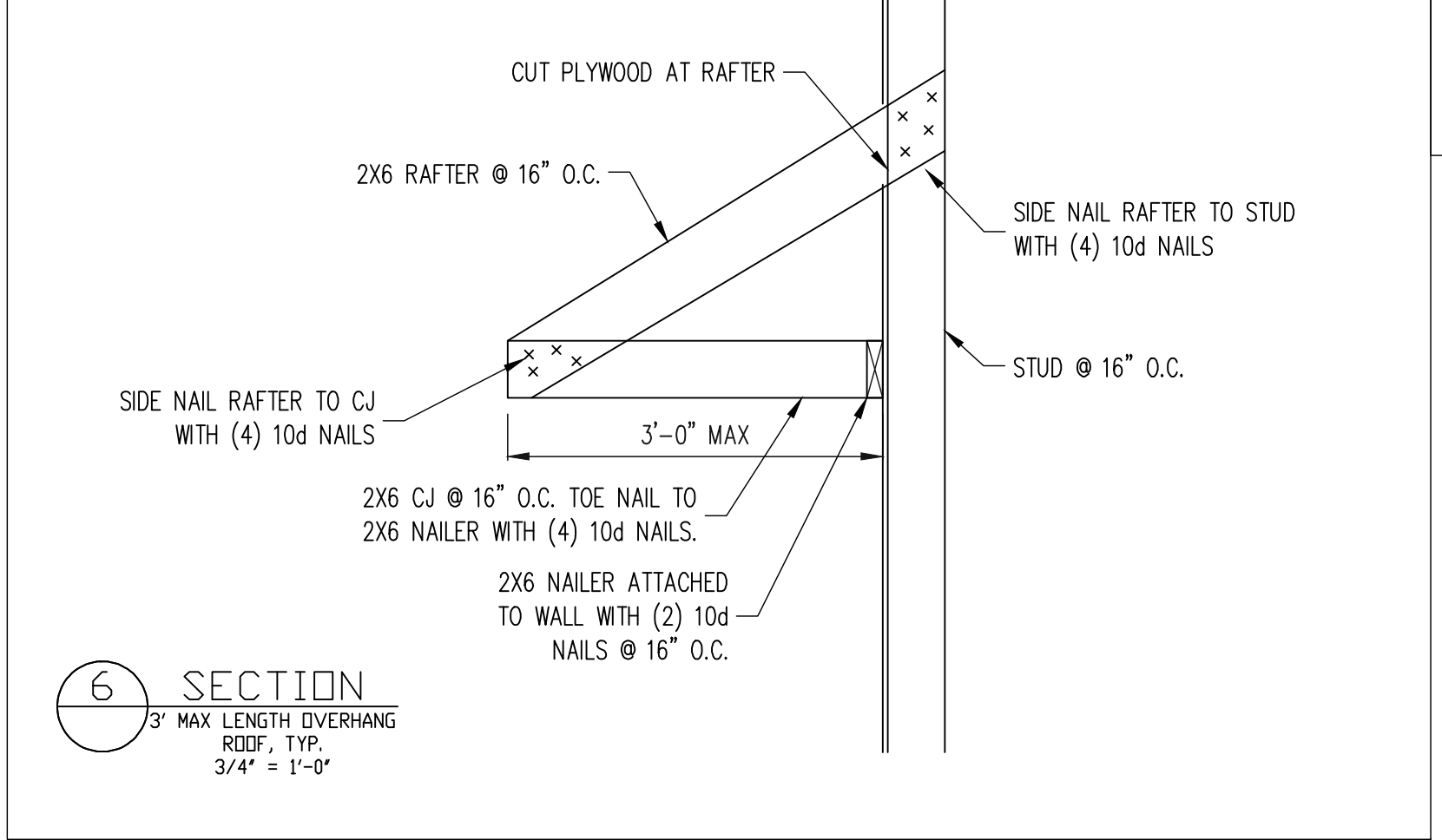
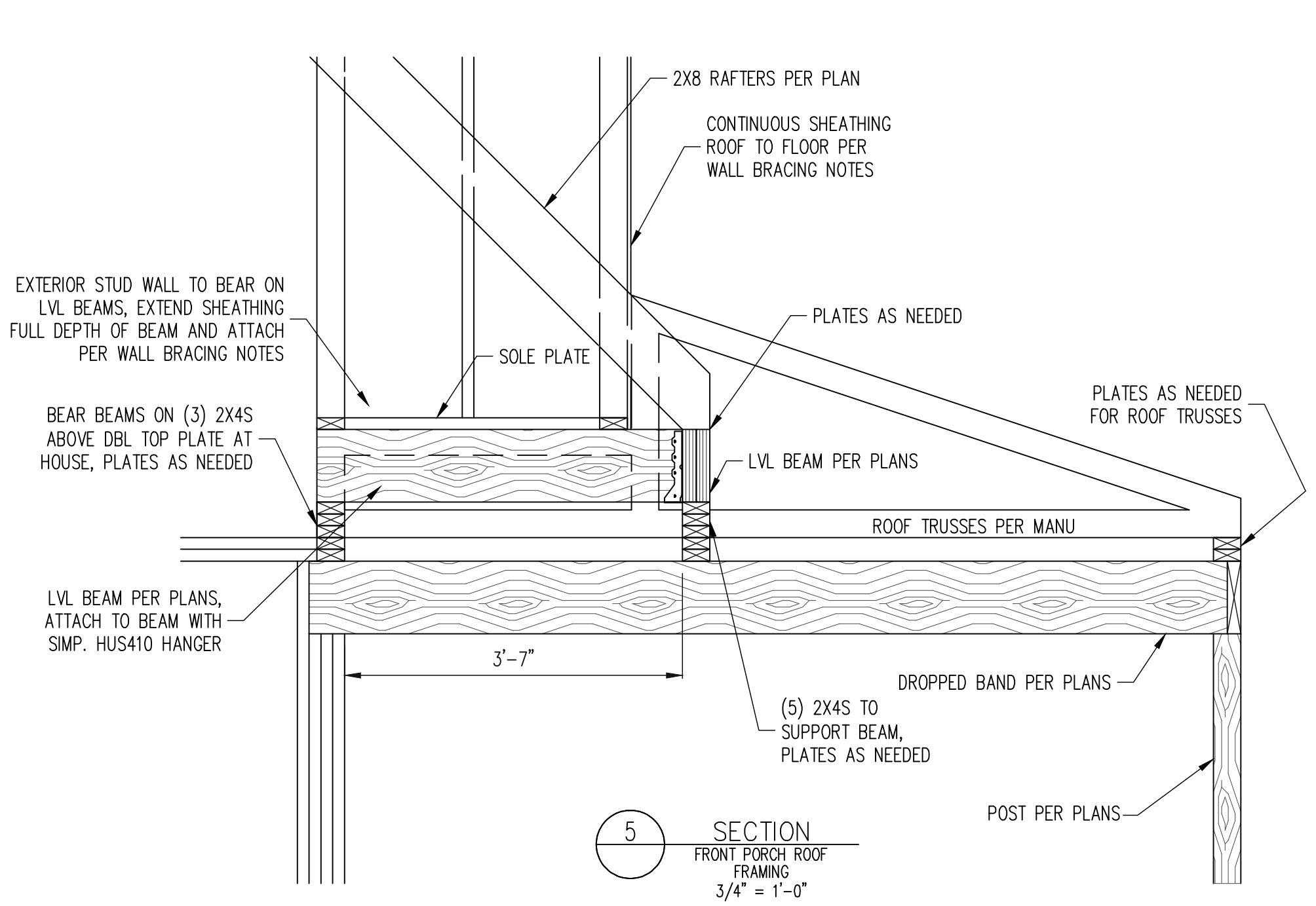
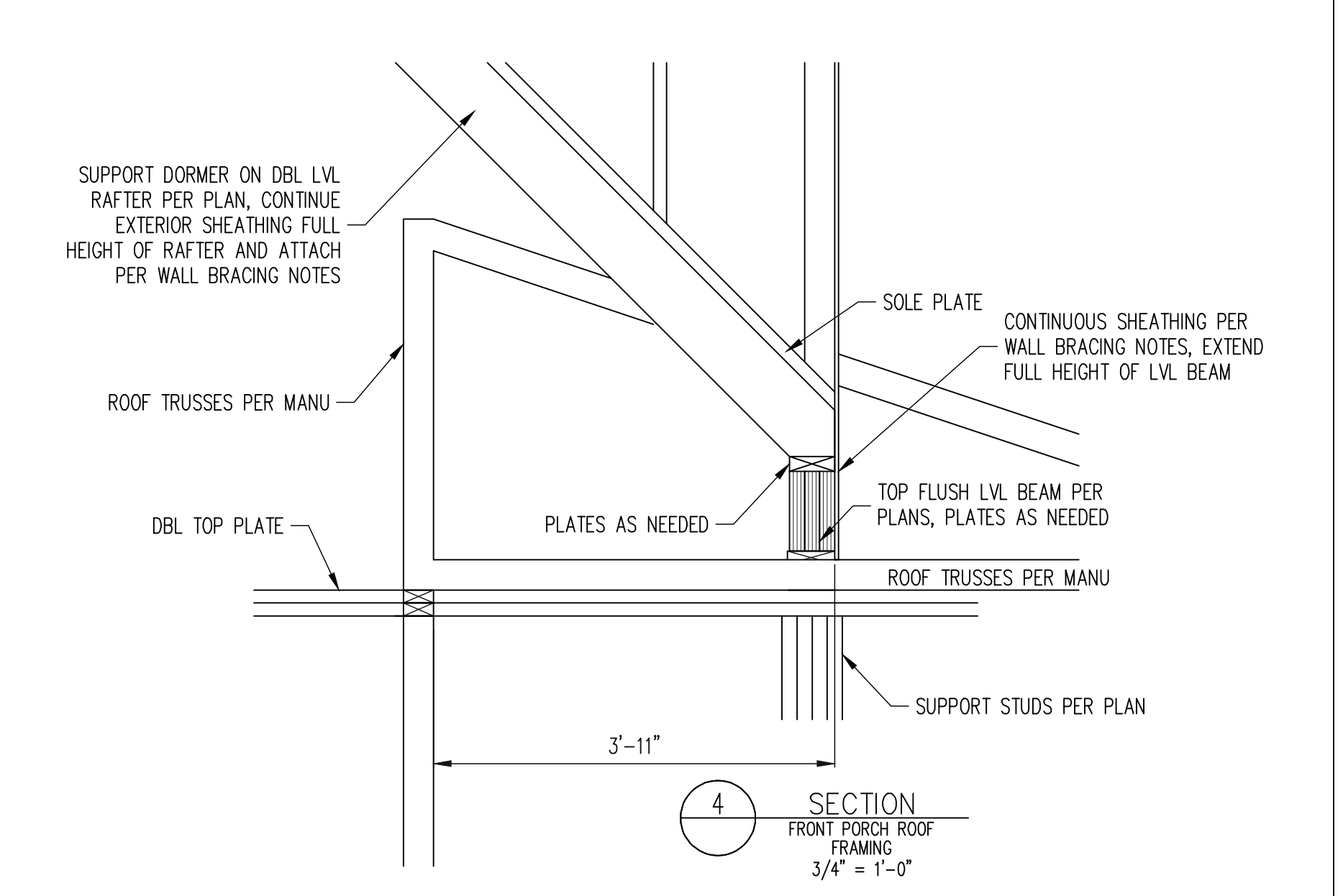
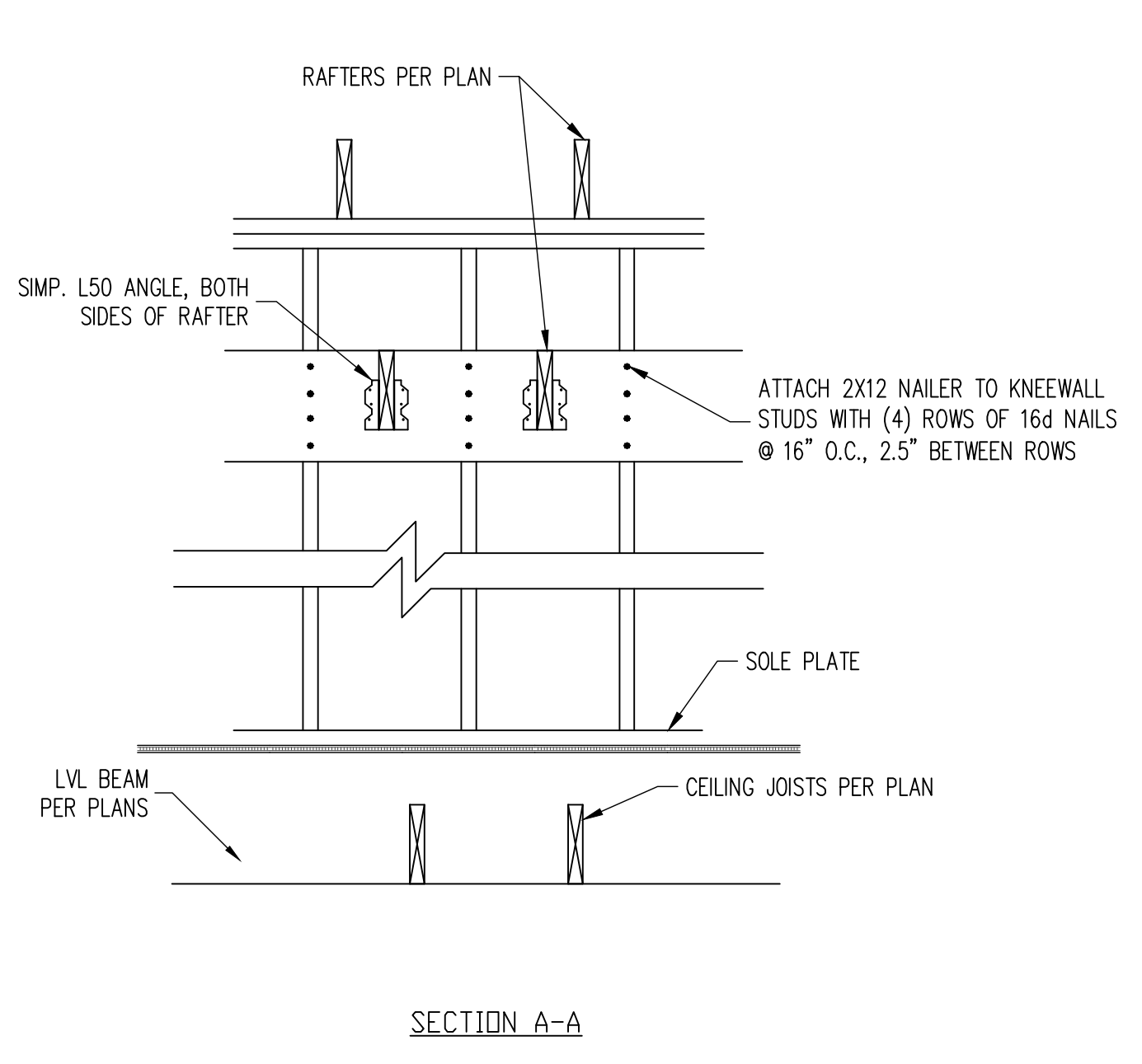
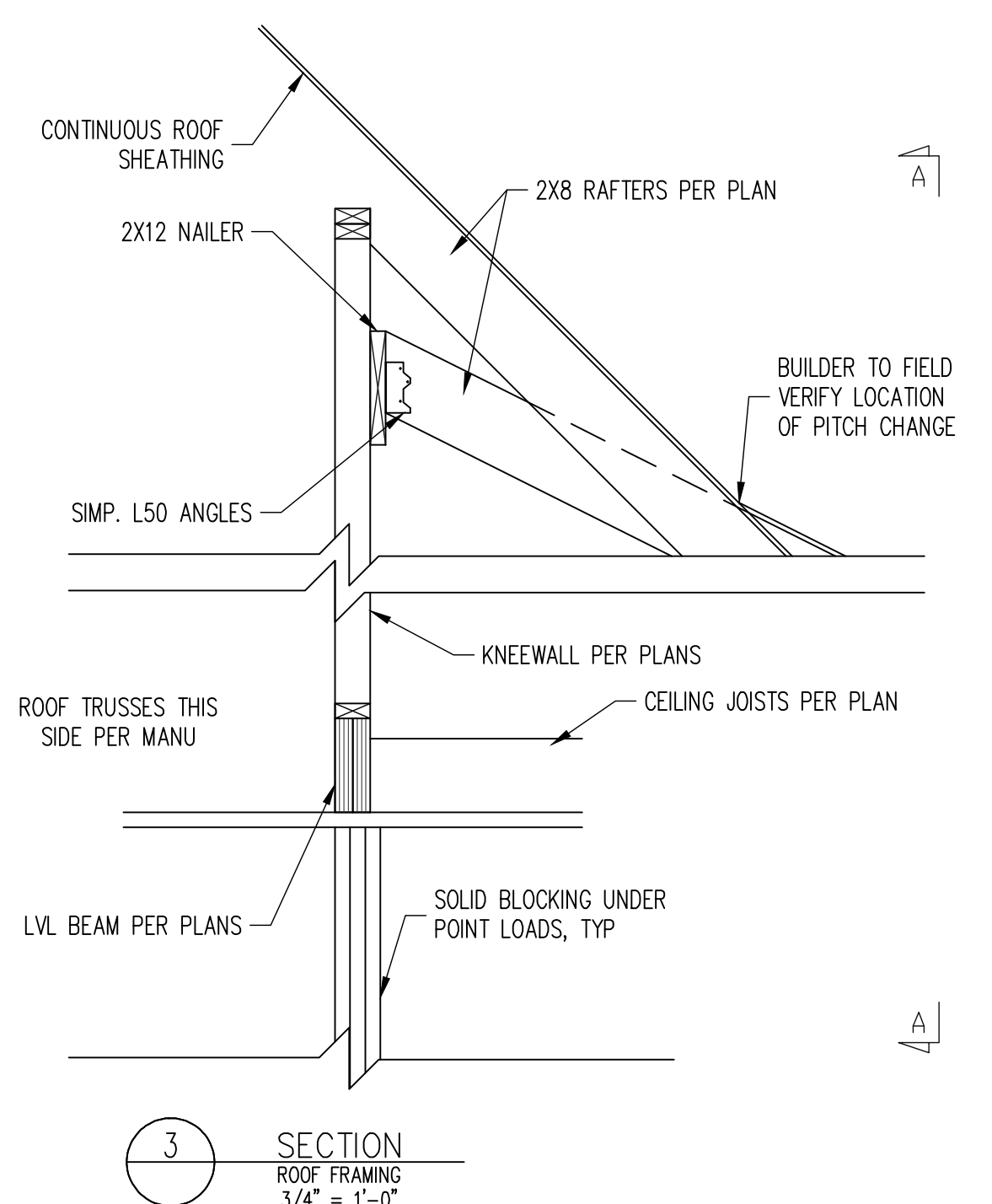
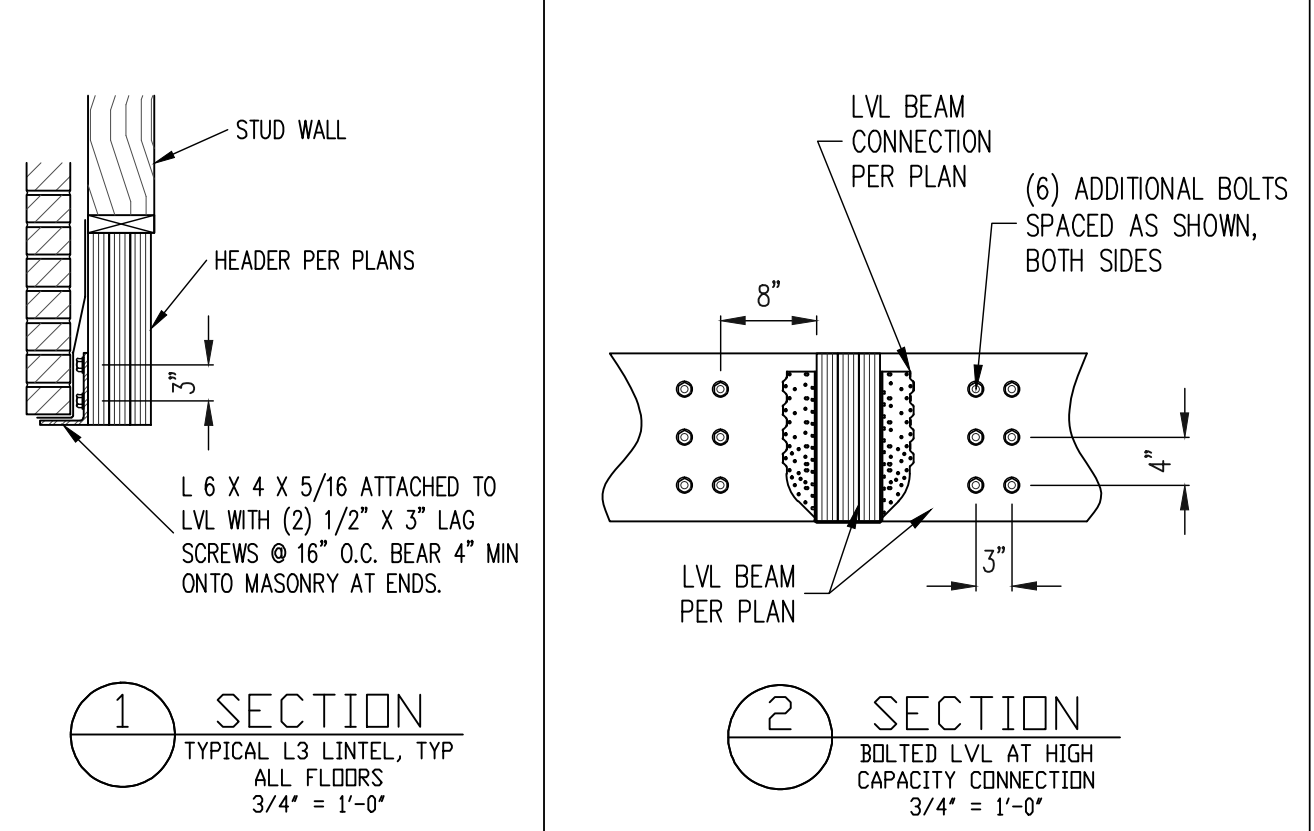
ALL WORK IS TO BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES. THE BUILDER IS RESPONSIBLE FOR REVIEWING PLANS PRIOR TO CONSTRUCTION. IF ENGINEERING SERVICES HAS BEEN PROVIDED THE BUILDER SHALL VERIFY THAT THE FOUNDATION AND STRUCTURAL PLANS HAVE BEEN SEALED BY AN ENGINEER REGISTERED BY THE STATE. IF THE PLANS HAVE NOT BEEN SEALED AND SEALED, THE BUILDER SHALL IMMEDIATELY CONTACT ENGINEERING TECH BEFORE PROCEEDING FURTHER. ANY ERRORS DUE TO A FAILURE TO FOLLOW THE ABOVE PROCEDURES SHALL NOT BE THE RESPONSIBILITY OF ENGINEERING TECH. ALL FINAL SETS OF THE SAME PLAN ISSUED TO A BUILDER SHOULD BE REVIEWED FOR UNIFORMITY, ESPECIALLY IF PRIOR SETS OF PLANS HAVE BEEN ISSUED AS STUDY COPIES.

ENGINEERING TECH DOES NOT PERFORM PENETRATION, ROOF VENT, OR ATTIC CALCULATIONS OR ANY OTHER AREA CALCULATIONS THAT ARE NOT RELATED TO STRUCTURAL ENGINEERING.

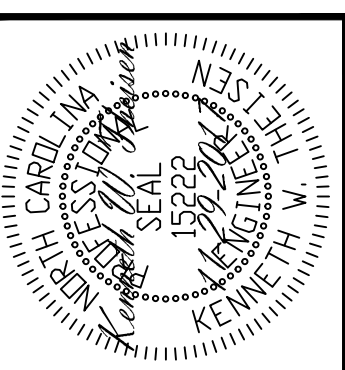
TRUSSES TO BE DESIGNED BY AN ENGINEER REGISTERED IN NORTH CAROLINA. FINAL TRUSS DRAWING SHOULD BE SUBMITTED TO ENGINEERING TECH ASSOCIATES, PA FOR REVIEW

ABBREVIATIONS

ABV ABOVE	FND FOUNDATION	TJ TRIPLE JOIST
B BOTH	FTG FOOTING	TYP TYPICAL
B.E. BOTH ENDS	HDG HOT DIPPED	TRPL TRIPLE
BTMN BETWEEN	CALV GALVANIZED	TSP TRIPLE STUD POCKET
CONC CONCRETE	HOR HANGER	UNO UNLESS NOTED
CS CONTINUOUS SHEATHING	LVL LAMINATED VENEER LUMBER	XJ EXTRA JOIST
DBL DOUBLE	NTS NOT TO SCALE	
DJ DOUBLE JOIST	O.C. ON CENTER	
DSP DBL STUD POCKET	PSL PARALLEL STRAND LUMBER	
EQ EQUAL	PT PRESSURE TREATED	
EA EACH	QJ QUAD JOIST	
FLG FLANGE	SP STUD POCKET	
FL PL FLITCH PLATE	SQ SQUARE	
FLR FLOOR		



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CLIENT:	MCKEE HOMES, INC.
SCOPE:	STRUCTURAL ADDENDUM
LOT #:	ENG: KWT/DTN
REV:	REV: 11-29-2017
DATE:	DATE: 11-29-2017

PLAN NO.
BILTMORE RH

PROJECT NO.
17-29-117R

SHEET NO.
SD2

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