

Improvement Permit

A building permit cannot be issued with only an Improvement Permit

ISSUED TO: PRIDE HOMES INC
PROPERTY LOCATION: BLUE CHIP CT
SUBDIVISION: MARKET PLACE LOT # 95
Type of Structure: SFD (63'x43')
Proposed Wastewater System Type: CONVENTIONAL
Projected Daily Flow: 480 GPD
Number of bedrooms: 4 Number of Occupants: 8 max
Basement: No
Pump Required: No
Type of Water Supply: Public
Permit valid for: Five years

Authorized State Agent: [Signature] Date: 12/3/18 SEE ATTACHED SITE SKETCH
The issuance of this permit by the Health Department in no way guarantees the issuance of other permits. The permit holder is responsible for checking with appropriate governing bodies in meeting their requirements. This site is subject to revocation if the site plan, plat, or the intended use changes. The Improvement Permit shall not be affected by a change in ownership of the site. This permit is subject to compliance with the provisions of the Laws and Rules for Sewage Treatment and Disposal and to conditions of this permit.

Construction Authorization

(Required for Building Permit)

The construction and installation requirements of Rules .1950, .1952, .1954, .1955, .1956, .1957, .1958, and .1959 are incorporated by references into this permit and shall be met. Systems shall be installed in accordance with the attached system layout.

ISSUED TO: PRIDE HOMES INC
PROPERTY LOCATION: BLUE CHIP CT
SUBDIVISION: MARKET PLACE LOT # 95
Facility Type: SFD (63'x43')
Basement? No
Type of Wastewater System: CONVENTIONAL
(Initial) Wastewater Flow: 480 GPD

Installation Requirements/Conditions
Number of trenches: 1
Septic Tank Size: 1000 gallons
Exact length of each trench: 200 feet
Trench Spacing: 9 Feet on Center
Soil Cover: 6.12 inches
Pump Requirements: _____ ft. TDH vs. _____ GPM
Aggregate Depth: _____ inches below pipe, _____ inches above pipe, _____ inches total

WATER LINES (INCLUDING IRRIGATION) MUST BE 10FT. FROM ANY PART OF SEPTIC SYSTEM OR REPAIR AREA. NO UTILITIES ALLOWED IN INITIAL OR REPAIR DRAIN FIELD AREA.

**If applicable: I understand the system type specified is different from the type specified on the application. I accept the specifications of this permit.

Owner/Legal Representative Signature: _____ Date: _____

This Construction Authorization is subject to revocation if the site plan, plat, or the intended use changes. The Construction Authorization shall not be transferred when there is a change in ownership of the site. This Construction Authorization is subject to compliance with the provisions of the Laws and Rules for Sewage Treatment and Disposal and to the conditions of this permit. SEE ATTACHED SITE SKETCH

Authorized State Agent: [Signature] Date: 12/3/18
Construction Authorization Expiration Date: 12/3/23

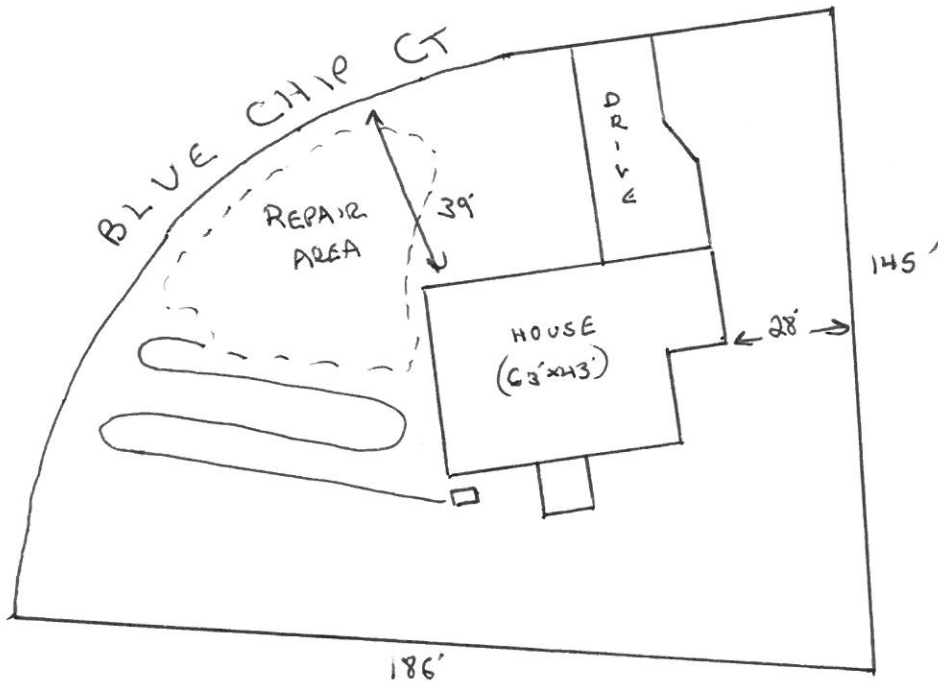
HTE# SF01811-0015

Permit # 30245

Harnett County Department of Public Health Site Sketch

ISSUED TO: PRIDE HOMES INC PROPERTY LOCATOR: BLUE CHIP CT
SUBDIVISION MARKET PLACE LOT # 95

Authorized State Agent: ~~_____~~ REIS (OLIVER TOLKDOFF) Date: 12/3/18



**SOIL/SITE EVALUATION
 for ON-SITE WASTEWATER SYSTEM**

Owner: _____ Applicant: _____
 Address: _____ Date Evaluated: 11/30/18
 Proposed Facility: 4 BDRM Design Flow (.1949): 480 gpd Property Size:
 Location of Site: _____ Property Recorded:
 Water Supply: Public Individual Well Spring Other
 Evaluation Method: Auger Boring Pit Cut
 Type of Wastewater: Sewage Industrial Process Mixed

P R O F I L E #	.1940 Landscape Position/ Slope %	Horizon Depth (In.)	SOIL MORPHOLOGY .1941		OTHER PROFILE FACTORS				Profile Class & LTAR
			.1941 Structure/ Texture	.1941 Consistence Mineralogy	.1942 Soil Wetness/ Color	.1943 Soil Depth (IN.)	.1956 Sapro Class	.1944 Restr Horiz	
1	LS 2-5	0-38	G S	VF ₂ NS/MP					
		38-48	G LS	VF ₂ NS/MP					S ₂ F
2		0-48	G S	VF ₂ NS/MP					S ₂ F
3		0-48	G S	VF ₂ NS/MP					S ₂ F

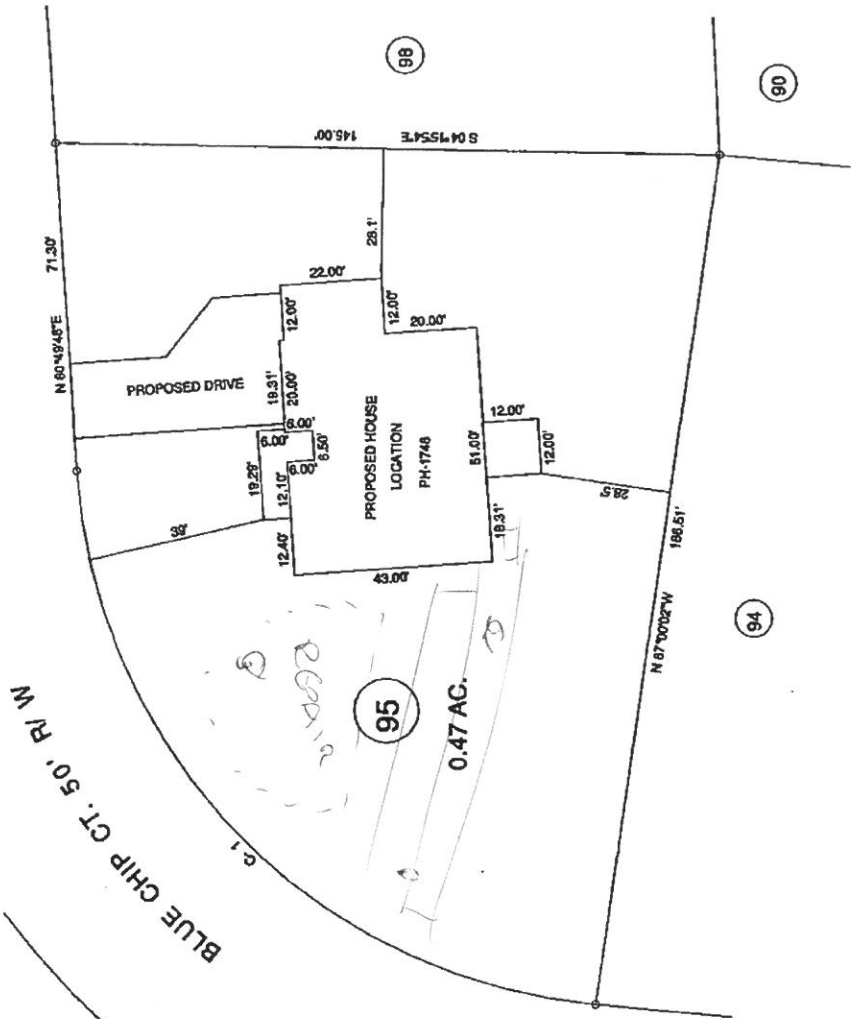
Description	Initial System	Repair System	Other Factors (.1946): Site Classification (.1948): S Evaluated By: CT Others Present: -
Available Space (.1945)	✓	✓	
System Type(s)	CON	CON	
Site LTAR	.8	.8	

1x200 @ 18-24"

CURVE RADIUS LENGTH CHORD CH-BEARING
 C-1 125.00' 178.42' 162.14' N 40°23'56"E

1200'
 1100'
 0-218
 0-218
 0-218
 0-38

MAP NO. 2014-199



SITE PLAN APPROVAL
 DISTRICT VA 2012 USE SFD

#BEDROOMS 4
11/15/14
 4342 STREET

[Signature]

DEED REFERENCE: DEED BK 3228, PAGE 729

MAP REFERENCE: MAP NO. 2014-199

MINIMUM BUILDING SETBACKS
 FRONT YARD — 35'
 REAR YARD — 10'
 SIDE YARD — 10'
 CORNER LOT SIDE YARD — 80'
 MAXIMUM HEIGHT — 35'

BLUE CHIP CT. BROADWAY, NC 27605



TOWNSHIP BARBECUE COUNTY HARNETT
 STATE: NORTH CAROLINA DATE: NOVEMBER 10, 2018
 ZONING: PA-20R WATERBURY DISTRICT TAX PARCEL ID#: 9637-11-3420-000
 PH#

PROPOSED PLOT PLAN - LOT - 95
 MARKET PLACE S/D, PHASE - 1

BENNETT SURVEYS
 1682 CLARK RD., LILLINGTON, N.C. 27646
 (919) 890-9282

F-1304

10'	0	20'	SURVEYED BY:	FIELD BOOK
10'	0	20'	DRAWN BY: RVB	DRAWING NO.
SCALE: 1" = 40'			CHECKED & CLOSURE BY:	
			18381	